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AN ORDINANCE APPROVING THE AMENDED AREA PLAN FOR NEW PERSPECTIVE OF WELDON SPRING

\*\*\*\*\*

WHEREAS, Weldon Springs RE LLC., has submitted a document containing thirty-six (36) pages dated (10/13/24) and identified as the "Area Plan Amendment For New Perspective of Weldon Spring"; and

WHEREAS the "Area Plan Amendment for New Perspective of Weldon Spring" has been reviewed by the City Engineer, City Planner and the Planning & Zoning Commission at a duly called public meeting and is now submitted to the Board of Aldermen for approval.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, AS FOLLOWS:

Section 1: That Weldon Springs RE LLC., "Area Plan Amendment for New Perspective of Weldon Spring", owner of a certain tract of land has provided the City of Weldon Spring with the proper plans and documentation.

Section 2: That after a public hearing by the City's Planning & Zoning Commission on November 6, 2023 and the Board of Aldermen on November 9, 2023, the amended area plan was approved at this time.

Section 3: The vote on the aforesaid being deemed an emergency by the Board of Aldermen, the Board does hereby waive and dispense with the tabling procedure set forth in City Code, Section 110.070 and does hereby authorize the reading of the above bill twice at this meeting, and a vote thereon immediately following said second reading.

Section 4: That this ordinance shall be in full force and effect upon its enactment and approval.

READ TWO TIMES AND PASSED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, THIS 9th DAY OF November 2023.

*Donald D. Licklider*  
Donald D. Licklider, Mayor

Attest:

*William C. Hanks*  
William C. Hanks, City



To approve Bill #1209

Motioned: Baker

Seconded: Yeager

	<u>Aye</u>	<u>Nay</u>	<u>Abstention</u>
Baker	<u>X</u>	<u>---</u>	<u>---</u>
Clutter	<u>---</u>	<u>---</u>	<u>---</u>
Conley	<u>---</u>	<u>---</u>	<u>---</u>
Kolb	<u>X</u>	<u>---</u>	<u>---</u>
Martiszus	<u>X</u>	<u>---</u>	<u>---</u>
Yeager	<u>X</u>	<u>---</u>	<u>---</u>
Lickliger	<u>---</u>	<u>---</u>	<u>---</u>

Absent: Clutter & Conley

Weldon Spring RE, LLC

1110 N. Dr. Martin Luther King Jr. Drive  
Suite 610  
Milwaukee, WI 53203

Chris Buday  
414.305.4930

Faeq Hussain  
414.232.9881

October 13, 2023

Greetings,


Please find attached application for amendment of approved Area Plan for New Perspective Senior Living of Weldon Spring parcel 3-0160-D309-00-000A.0000000.

**Project Description:**

A 3 story - 137-unit senior living building in Weldon Spring, MO. This community was designed for wellness, personal choice, and independence. It is a place where residents can "live life on purpose" with a stimulating and meaningful lifestyle. Amenities include a full-service spa, activity center, library, theater, & chapel.

**Minor site plan modifications listed below:**

- **C000 COVER SHEET**
  1. Revised parking calculation.
  2. Revised lot density calculation.
  3. Revised sanitary sewer flow estimate.
- **C200 SITE PLAN**
  1. Revised sidewalk layout.
    - Added door for additional egress path requested by Missouri DHSS to satisfy smoke compartment requirements. (2) memory care studio units were added - (2) additional beds.
  2. Revised sidewalk.
  3. Added door and concrete stoop to allow for egress onto back lawn.
    - The maintenance shop in MC wing was converted to the additional MC units noted above. (1) independent living unit was converted into a maintenance shop on level one make up for this. A stoop was added out of this room to allow maintenance technicians to egress safely.
- **C700 LIGHTING PLAN**
  1. (2) bollards added leading to the dog park to enhance safety & visibility for the resident.

  
Sincerely,  
Faeq Hussain



# Area Plan, Final Development Plan or Section Plan Application Form

Instructions: Submit five (5) hard copies and one (1) electronic PDF version of the plans along with applicable application fee.

AMENDMENT APPLICATION

FOR OFFICE USE ONLY	
Application Number: _____	Application Date: _____
Fee Paid: _____	Reviewed By: _____
Approval Date: _____	Approved By: _____

See "Fee Schedule - Section 412.010" for applicable fee for the submission with this application.

Application Type:  Area Plan  Final Development Plan  Section Plan

Project Name: New Perspective of Weldon Spring

Location/Subdivision: 400 Siedentop Rd - Coordinates: 38.716611, -90.687153

Current Zoning: PC Gross Acreage/Square Footage: 6.98 Acres/304112 SF

Current Land Use: Vacant Agricultural (A)

Proposed Land Use/Zoning: Nursing/Residential/Congregate Care Facility Rezoning Requested:  Yes  No

Type of Plan:  Commercial  Industrial  Residential

Number of Buildings: 1 Number of Units: 137

Brief Description of Project: A 3 story - 137 unit senior living building in Weldon Spring, MO

This community was designed for wellness, personal choice, and independence. It is a place where residents can "live life on purpose" with a stimulating and meaningful lifestyle.

Amenities include a full-service spa, activity center, library, theater, & chapel in an aesthetic hardie board/stone clad building.

### Contact Information:

Applicant Name: Faeq Hussain Phone: [REDACTED]

Company: Weldon Springs RE, LLC

Address: [REDACTED]

E-mail: [REDACTED] Fax: \_\_\_\_\_

Engineer/Surveyor/Designer: Civil & Environmental Consultants, Inc. Phone: [REDACTED] Email: [REDACTED]

Name of Property Owner: Weldon Springs RE, LLC

I, the undersigned do certify the accuracy of the information given on all the above.

	Faeq Hussain	10/16/2023
<b>Signature of Applicant</b>	<b>Print Name</b>	<b>Date</b>

Weldon Spring RE, LLC

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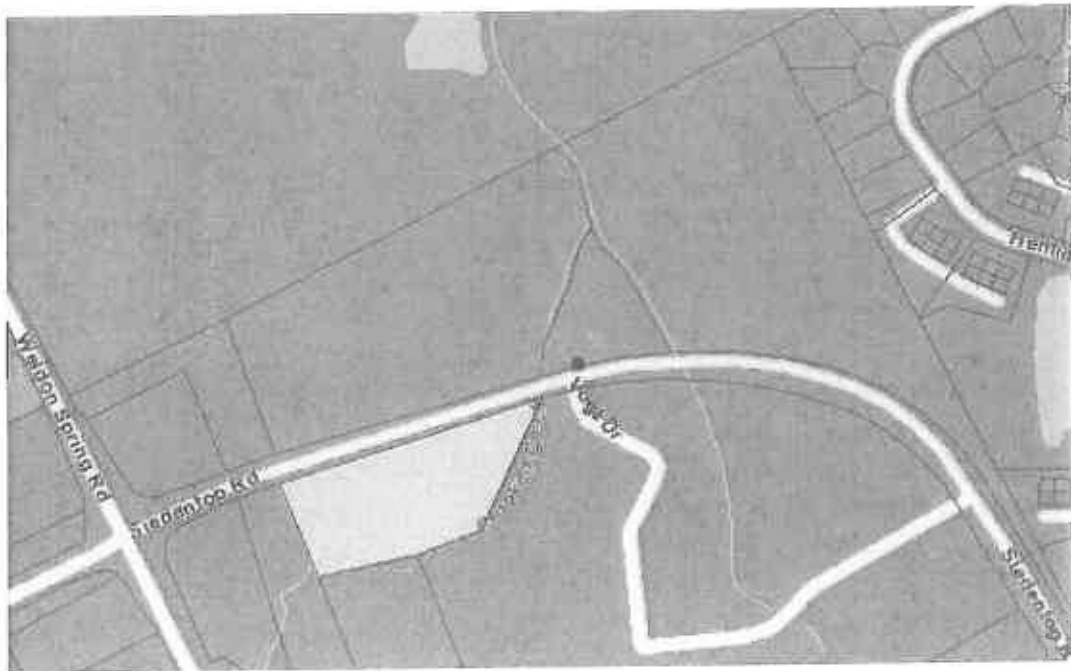
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- **C700 LIGHTING PLAN**
  1. (2) bollards added leading to the dog park to enhance safety & visibility for the resident.



Sincerely,  
Faeq Hussain

**Weldon Springs Senior Living Facility List of Neighbors**

- **Faith Church of Weldon Spring - (314) 635-2000**  
300 Siedentop Rd, Weldon Spring, MO 63304
- **The Trace Apartments - (636) 487-6677**  
1100 Vogt Dr, Weldon Spring, MO 63304
- **Persimmon Woods Golf Club - (636) 926-7227**  
6401 Weldon Spring Pkwy, Weldon Spring, MO 63304
- **NESSLAGE LARRY D\*NESSLAGE BARBARA J REVOC TRUST**  
38.716258, -90.688330
- **REYNOLDS GRACE E TRUST [May be outside of 185 ft]**  
38.715994, -90.688899







**BEFORE CB#8 CHANGES**



**AFTER CB#8 CHANGES**

# NEW PERSPECTIVE OF WELDON SPRING

TRACTS OF LAND BEING PART OF U.S. SURVEYS 1796, TOWNSHIP 47 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI

## IMPROVEMENT PLAN



**LOCATION MAP**  
 600' GRAPHIC SCALE  
 WELDON SPRING, MO 63354

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS AND BRIDGES, LATEST EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
7. ALL UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.

**PARKING CALCULATIONS**

1. TOTAL PARKING REQUIRED: 150 SPACES

2. AVAILABLE PARKING: 150 SPACES

3. DISTURBED AREA: 150 SPACES

**LOT DENSITY CALCULATIONS**

1. TOTAL LOT DENSITY: 150 SPACES

2. AVAILABLE LOT DENSITY: 150 SPACES

3. DISTURBED AREA: 150 SPACES

**SANITARY SEWER FLOW ESTIMATE**

1. PEAK FLOW: 150 GPM

2. AVERAGE FLOW: 150 GPM

3. MINIMUM FLOW: 150 GPM

**SEE INSTRUCTIONS**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS AND BRIDGES, LATEST EDITION.

**TITLE DESCRIPTION:**

THIS PROJECT IS A PART OF THE NEW PERSPECTIVE OF WELDON SPRING, TRACTS OF LAND BEING PART OF U.S. SURVEYS 1796, TOWNSHIP 47 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI. THE PROJECT CONSISTS OF IMPROVING THE SANITARY SEWER SYSTEM AND PAVING THE DRIVEWAY AND PARKING AREAS. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2023.

**NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS AND BRIDGES, LATEST EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.

**GENERAL LEGEND:**

- 1. Utility lines
- 2. Street lines
- 3. Property lines
- 4. Easement lines
- 5. Right-of-way lines
- 6. Etc.

**Sheet List Table**

Sheet Number	Sheet Title
C000	COVER SHEET
C100	NOTES
C200	EXISTING DEMO PLAN
C300	SITE PLAN
C400	GRADING PLAN
C401	PROPOSED DRAINAGE AREA MAP
C500	EXISTING DRAINAGE AREA MAP
C501	UTILITY PLAN
C600	OFF-SITE WATER CONNECTION
C601	STORM PROFILES
C602	DETENTION BASIN
C700	EXISTING WATER LINE
C801	LIGHTING PLAN
C802	DETAILS
C803	DETAILS
C804	DETAILS
C805	DETAILS
C806	DETAILS
C807	DETAILS
C808	DETAILS
C809	DETAILS
C810	SMYPPP NOTES

**NEW PERSPECTIVE OF WELDON SPRING**  
 IMPROVEMENT PLANS  
 COVER SHEET

1110 N. Dr. Kevin Luther King Jr. Ste 810  
 Madison, WI 53203  
 khussein@boldt.com  
 262-210-1451

**Pickett**  
 Ray & Silver  
 Inc. of Civil & Environmental Consulting, Inc. (C&E)  
 1000 W. Lincoln Ave. Suite 100 - St. Charles, MO 63305  
 636-221-1111

**C000**

**SCALE:**  
 1" = 100'

**DATE:**  
 08/19/2023

**PROJECT:**  
 NEW PERSPECTIVE OF WELDON SPRING

**DATE:**  
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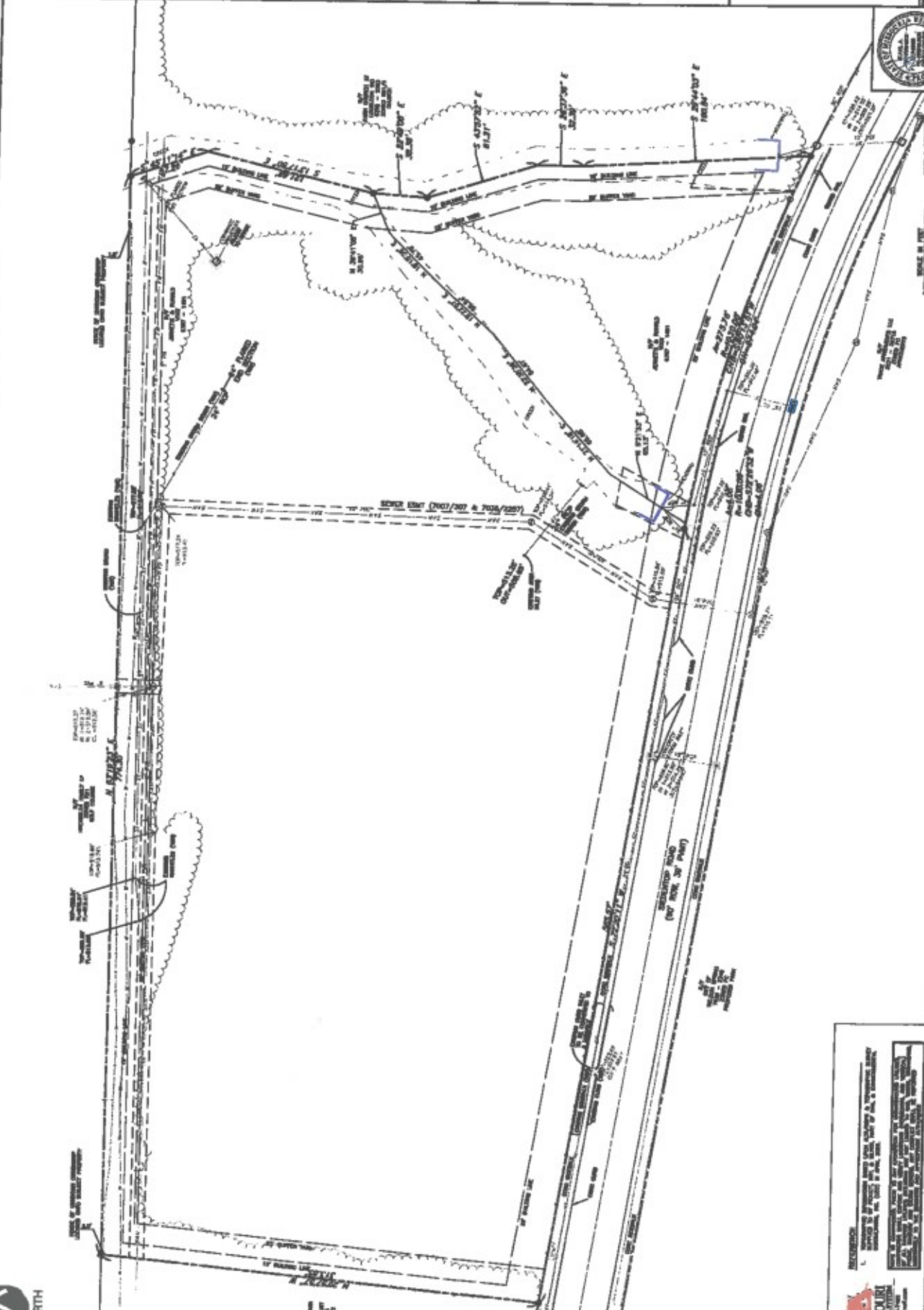
NEW PERSPECTIVE OF WELDON SPRING  
EXISTING ROAD PLANS  
IMPROVEMENT PLANS

Weldon Spring RE, LLC  
1110 N. Dr. Martin Luther King Jr. Ste 610  
Milwaukee, WI 53203  
262-210-1481  
fred.hussain@boltr.com

**Pidgett**  
Ray/Silver  
Part of CFC & Associated Companies, Inc. (CFC)  
www.pidgett.com  
10000 W. Wisconsin Ave. Ste. 100 - Chicago, IL 60643  
312-461-1000



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/31/2023
2	REVISED PER PLAN NO. C100	08/31/2023
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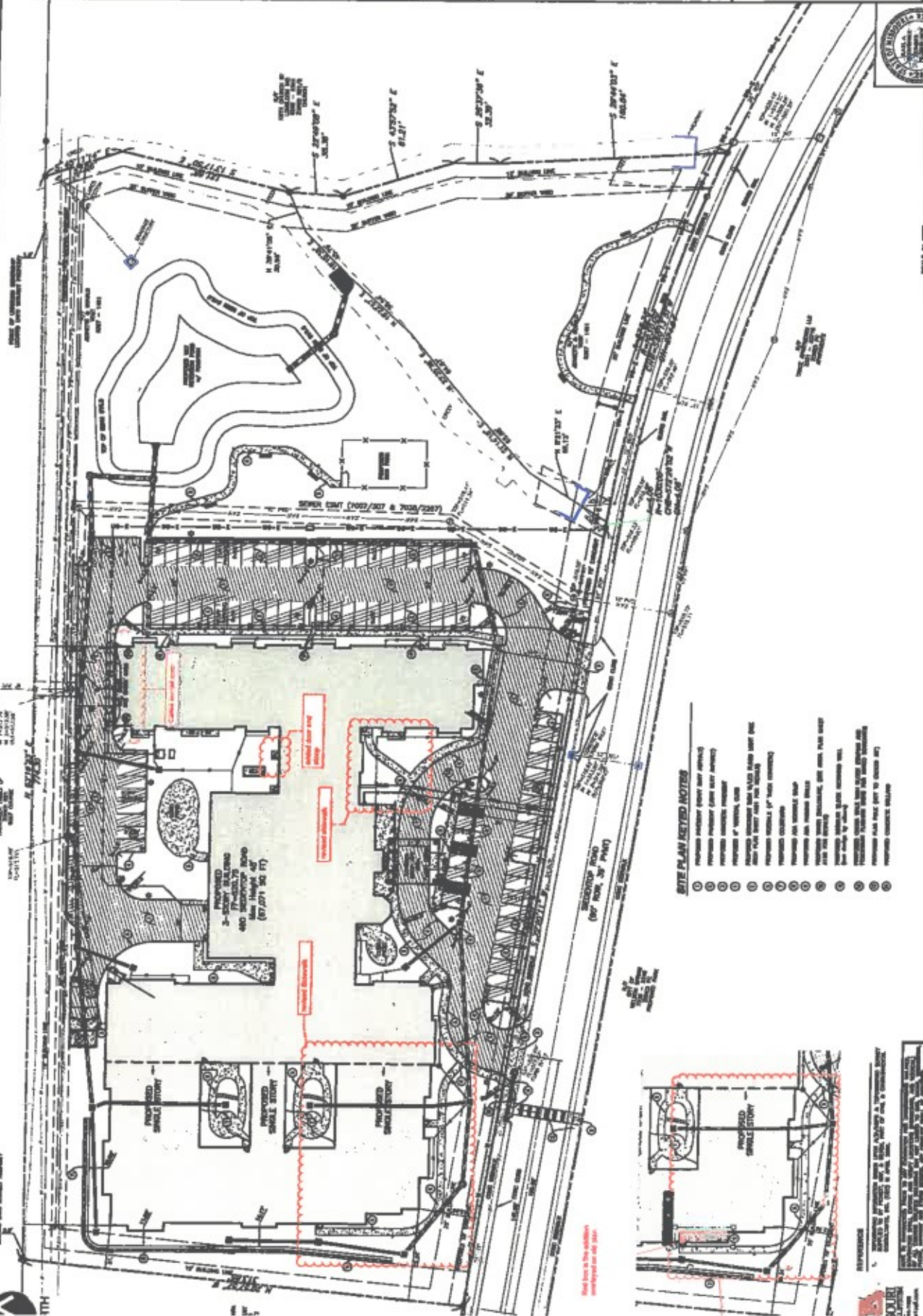
**NOTICE:**  
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NEW PERSPECTIVE OF WELDON SPRING  
SITE PLAN  
IMPROVEMENT PLANS

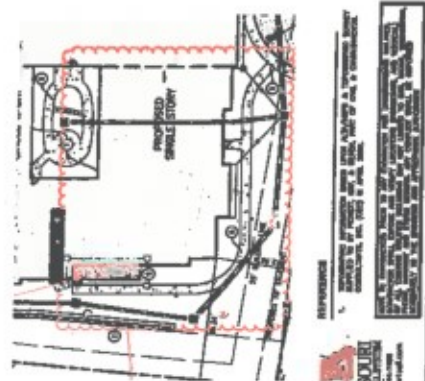
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haq.huseain@boldt.com

**Priddy**  
Ray Silver  
Part of C&E Environmental Consulting, Inc. (CEC)  
For Professional Services - Only Not to be Used for Other  
Professional Services

NO.	DESCRIPTION	DATE
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- SITE PLAN KEYED NOTES**
- 1. PROPOSED 3-STORY BUILDING
  - 2. PROPOSED 4-STORY BUILDING
  - 3. PROPOSED 5-STORY BUILDING
  - 4. PROPOSED 6-STORY BUILDING
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  - 97. PROPOSED 99-STORY BUILDING
  - 98. PROPOSED 100-STORY BUILDING



SCALE: 1/8" = 1'-0"

DATE: 09/19/2023

BY: [Signature]

PROJECT: [Project Name]

SHEET: [Sheet Number]

DATE: [Date]

BY: [Signature]

PROJECT: [Project Name]

SHEET: [Sheet Number]

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C-300

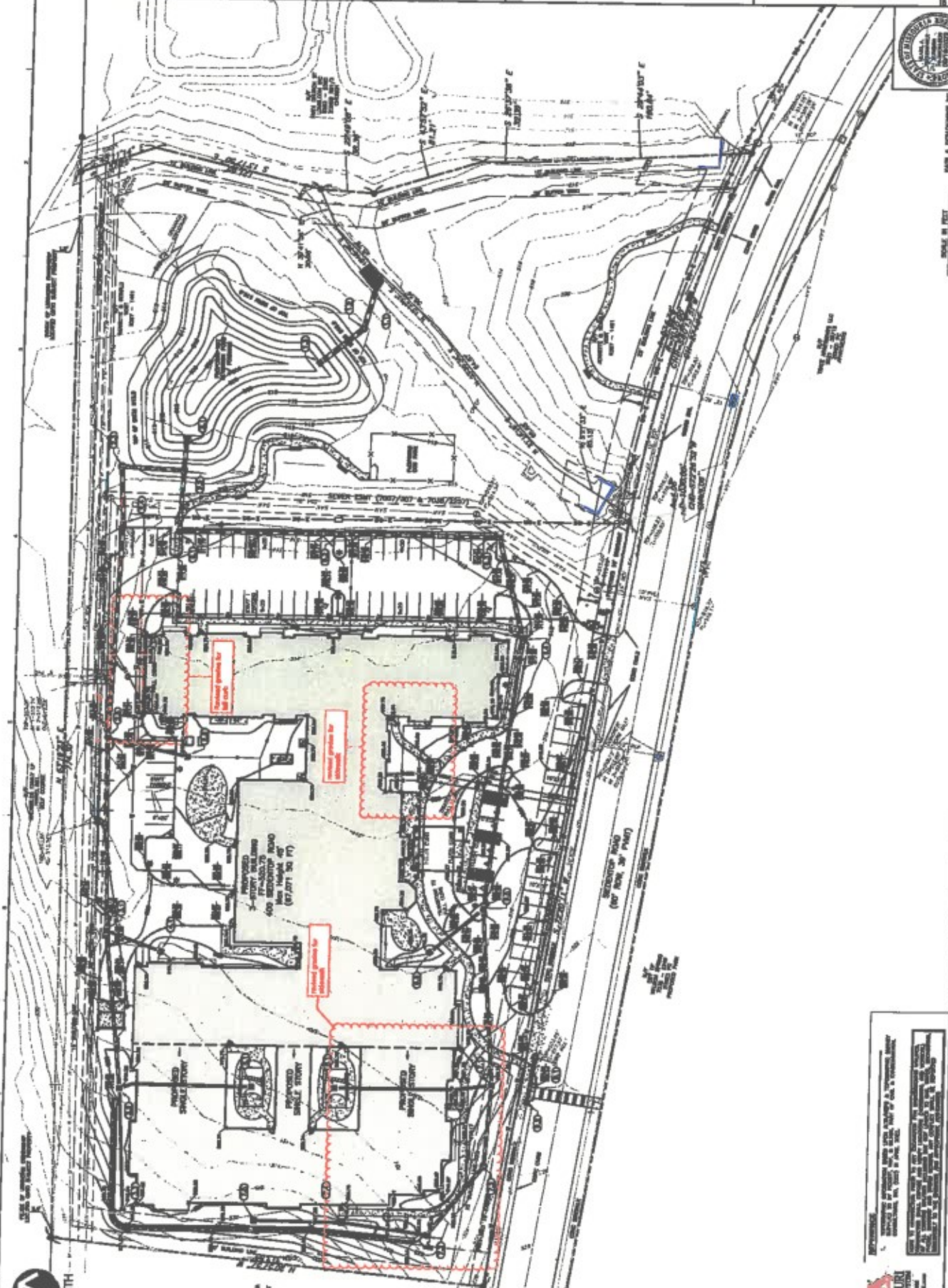
**NEW PERSPECTIVE OF WELDON SPRING  
GRADING PLANS  
IMPROVEMENT PLANS**

**Weldon Spring RE, LLC**  
1110 N. Dr. Martin Luther King Jr. Sgs 610  
Milwaukee, WI 53208  
248-210-1461  
weq.hussain@bold.com

**Pidgett  
Revising**  
Part of Civil & Environmental Consulting, Inc. (CEC)  
3150 W. Washington Ave. - Suite 122 - Chicago, IL 60644  
312.461.0000  
www.pidgett.com

09/19/2023 89 PACKAGE #1 - CONSTRUCTION PACKAGE #8

NO.	DESCRIPTION	DATE
1	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-01)	12/15/2018
2	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-02)	12/15/2018
3	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-03)	12/15/2018
4	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-04)	12/15/2018
5	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-05)	12/15/2018
6	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-06)	12/15/2018
7	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-07)	12/15/2018
8	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-08)	12/15/2018
9	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-09)	12/15/2018
10	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-10)	12/15/2018
11	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-11)	12/15/2018
12	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-12)	12/15/2018
13	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-13)	12/15/2018
14	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-14)	12/15/2018
15	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-15)	12/15/2018
16	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-16)	12/15/2018
17	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-17)	12/15/2018
18	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-18)	12/15/2018
19	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-19)	12/15/2018
20	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-20)	12/15/2018
21	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-21)	12/15/2018
22	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-22)	12/15/2018
23	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-23)	12/15/2018
24	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-24)	12/15/2018
25	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-25)	12/15/2018
26	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-26)	12/15/2018
27	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-27)	12/15/2018
28	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-28)	12/15/2018
29	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-29)	12/15/2018
30	PROPOSED IMPROVEMENTS TO WELDON SPRING (SHEET 89-30)	12/15/2018

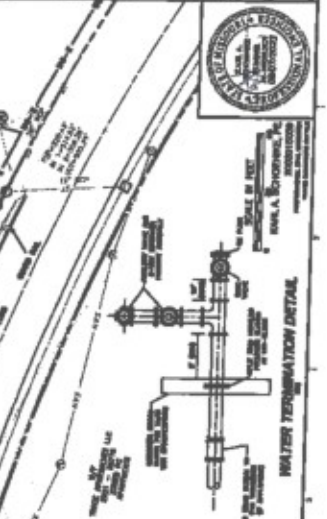
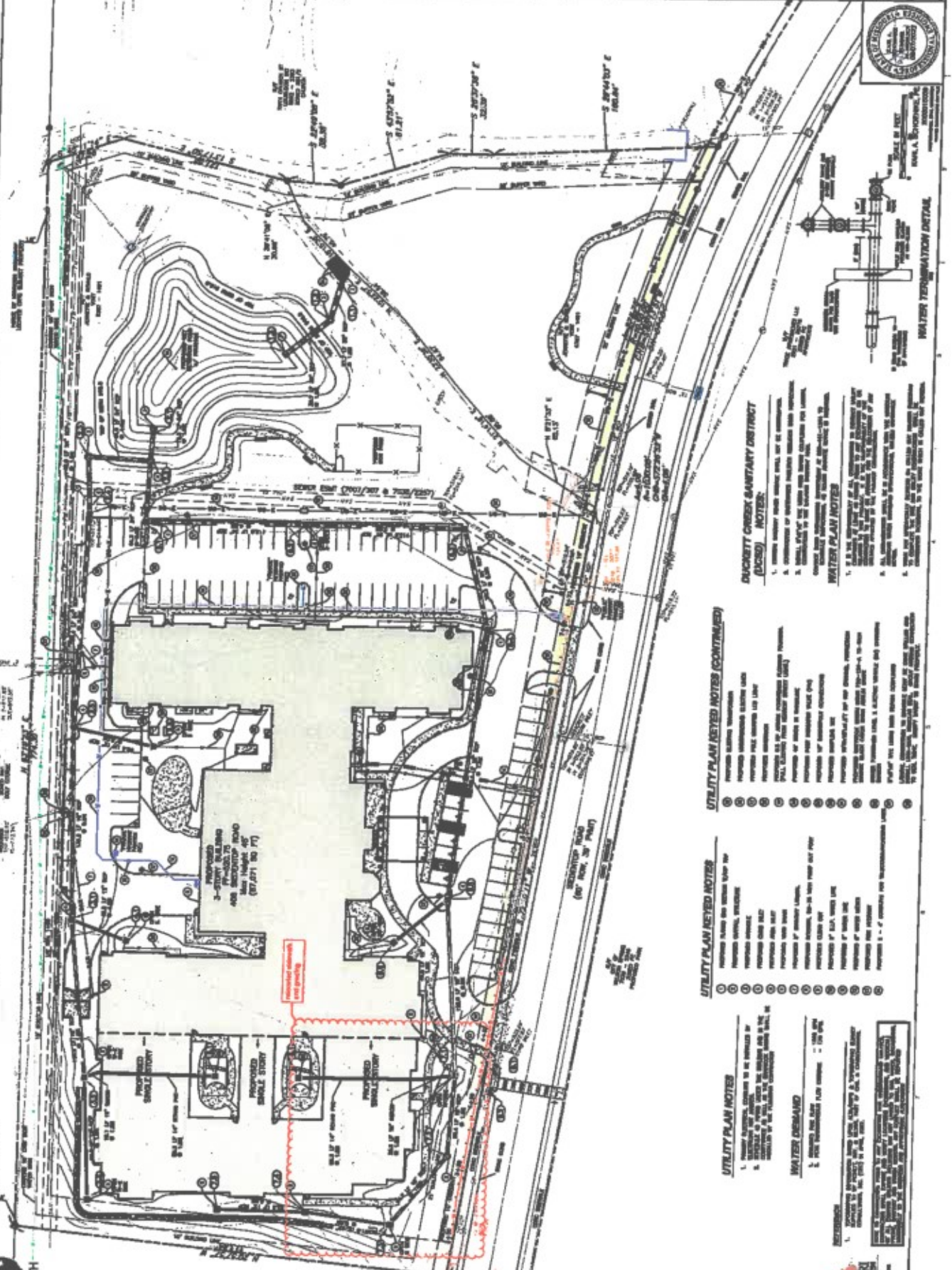


**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS (SHEET 89-01)	12/15/2018
2	ISSUED FOR PERMITS (SHEET 89-02)	12/15/2018
3	ISSUED FOR PERMITS (SHEET 89-03)	12/15/2018
4	ISSUED FOR PERMITS (SHEET 89-04)	12/15/2018
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9	ISSUED FOR PERMITS (SHEET 89-09)	12/15/2018
10	ISSUED FOR PERMITS (SHEET 89-10)	12/15/2018
11	ISSUED FOR PERMITS (SHEET 89-11)	12/15/2018
12	ISSUED FOR PERMITS (SHEET 89-12)	12/15/2018
13	ISSUED FOR PERMITS (SHEET 89-13)	12/15/2018
14	ISSUED FOR PERMITS (SHEET 89-14)	12/15/2018
15	ISSUED FOR PERMITS (SHEET 89-15)	12/15/2018
16	ISSUED FOR PERMITS (SHEET 89-16)	12/15/2018
17	ISSUED FOR PERMITS (SHEET 89-17)	12/15/2018
18	ISSUED FOR PERMITS (SHEET 89-18)	12/15/2018
19	ISSUED FOR PERMITS (SHEET 89-19)	12/15/2018
20	ISSUED FOR PERMITS (SHEET 89-20)	12/15/2018
21	ISSUED FOR PERMITS (SHEET 89-21)	12/15/2018
22	ISSUED FOR PERMITS (SHEET 89-22)	12/15/2018
23	ISSUED FOR PERMITS (SHEET 89-23)	12/15/2018
24	ISSUED FOR PERMITS (SHEET 89-24)	12/15/2018
25	ISSUED FOR PERMITS (SHEET 89-25)	12/15/2018
26	ISSUED FOR PERMITS (SHEET 89-26)	12/15/2018
27	ISSUED FOR PERMITS (SHEET 89-27)	12/15/2018
28	ISSUED FOR PERMITS (SHEET 89-28)	12/15/2018
29	ISSUED FOR PERMITS (SHEET 89-29)	12/15/2018
30	ISSUED FOR PERMITS (SHEET 89-30)	12/15/2018

**NEIL A. HOFFMANN, P.E.**  
Professional Engineer  
License No. 14295  
State of Wisconsin  
12/15/2018





**DUCKETT CREEK SANITARY DISTRICT (DCSD) NOTES:**

1. VERIFY EXISTING WATER MAINS SIZE AT ALL INTERFACES.
2. CONFIRMATION OF SANITARY MAINS LOCATION SHALL BE OBTAINED FROM DCSD.
3. VERIFY ALL SANITARY MAINS ARE PROTECTED BY CONCRETE AND GROUND COVER.
4. VERIFY ALL SANITARY MAINS ARE PROTECTED BY CONCRETE AND GROUND COVER.

**UTILITY PLAN NOTES:**

1. ALL UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. ALL UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
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**UTILITY PLAN NOTES (CONTINUED)**

11. ALL UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
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**WATER DEMAND**

1. THE WATER DEMAND FOR THIS PROJECT IS ESTIMATED TO BE 1.5 MGPD.

2. THE WATER DEMAND FOR THIS PROJECT IS ESTIMATED TO BE 1.5 MGPD.

3. THE WATER DEMAND FOR THIS PROJECT IS ESTIMATED TO BE 1.5 MGPD.

4. THE WATER DEMAND FOR THIS PROJECT IS ESTIMATED TO BE 1.5 MGPD.

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10. THE WATER DEMAND FOR THIS PROJECT IS ESTIMATED TO BE 1.5 MGPD.



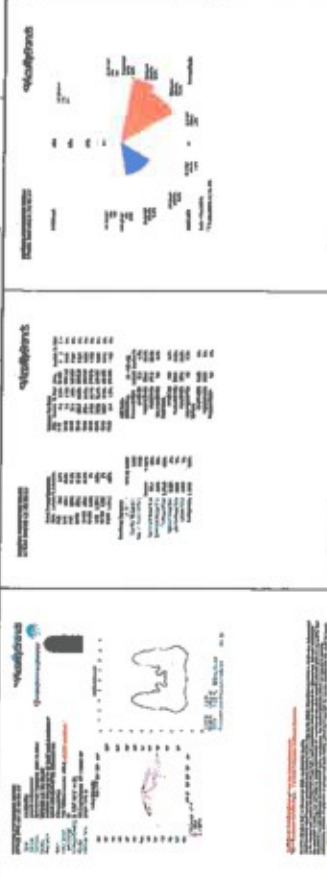
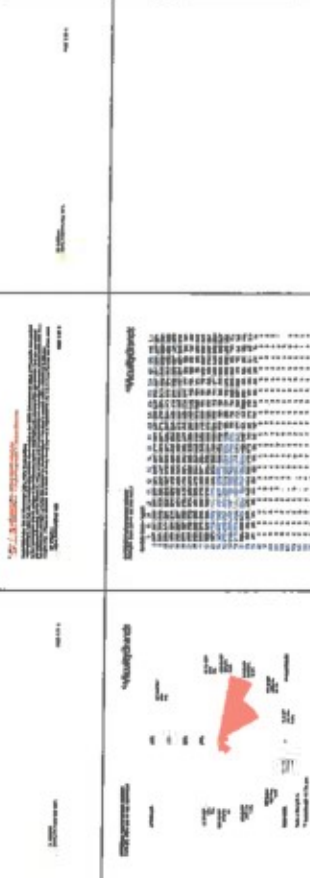
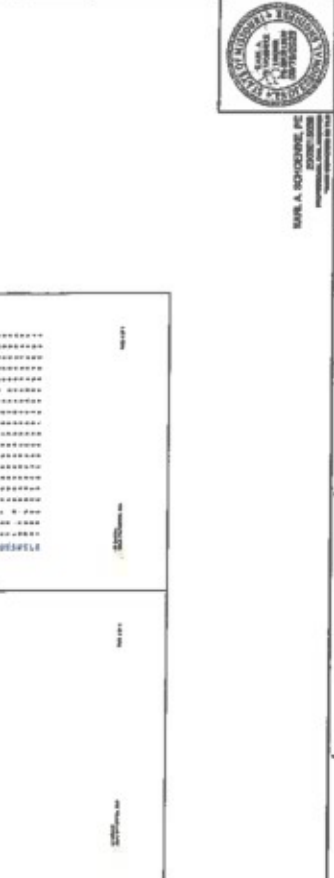


**NEW PERSPECTIVE OF WELDON SPRING  
LIGHTING PLAN  
IMPROVEMENT PLANS**

Weldon Spring RE, LLC  
1110 N. Dr. North Luthar King Jr. St. #10  
248-210-1451  
wang.hussain@boldt.com


**Pickett  
Ray-Sivier**  
Part of Civil & Environmental Consultants, Inc. (CEC)  
www.prdt.com  
1000 Lakeshore Drive, Suite 200, Chicago, IL 60606  
Tel: 773.698.6677 Fax: 773.698.6688

NO.	DATE	DESCRIPTION
01	08/19/2023	CONSTRUCTION PACKAGE #8



**LED Flood Light Notes**

1. DIMENSIONS AND LED LIGHTS PLACED AS SHOWN. 3364 IN. 85V-265V, 5000K, BRONZE
2. SEE APPROVED SUBMITTAL

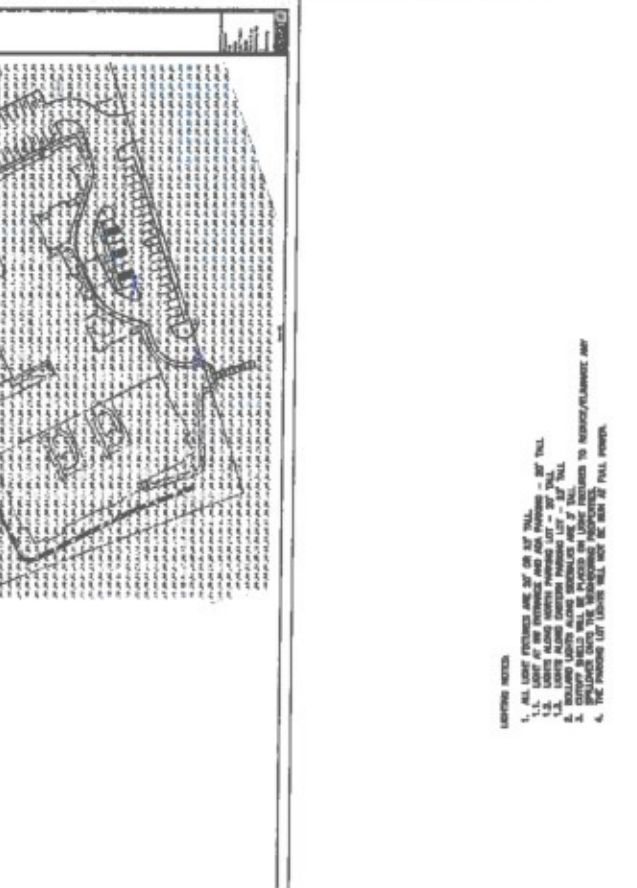


**Dalimar 36W LED Linear Flood & Sign Light, 3364 In, 85V-265V, 5000K, Bronze**

Industry Rating: 200 LED Linear Flood & Sign Light provides consistent light distribution that is suitable for illuminating signage and parking lots and other architectural lighting applications. Many also have LED lighting in multiple rows.

**Notes:**

- See note 1 for notes
- See note 2 for notes
- See note 3 for notes
- See note 4 for notes
- See note 5 for notes
- See note 6 for notes
- See note 7 for notes
- See note 8 for notes
- See note 9 for notes
- See note 10 for notes
- See note 11 for notes
- See note 12 for notes
- See note 13 for notes
- See note 14 for notes
- See note 15 for notes
- See note 16 for notes
- See note 17 for notes
- See note 18 for notes
- See note 19 for notes
- See note 20 for notes



**Lighting Data Table**

Zone #	Area (sq ft)	Footcandle (fc)	Footcandle (fc)	Footcandle (fc)
Zone # 1	1,018	0.75	0.61	0.61
Zone # 2	1,018	0.66	0.52	0.52
Zone # 3	1,018	0.63	0.51	0.51

**LEDING NOTES**

1. ALL LIGHT FIXTURES ARE 5' ON 5' TALL
2. ALL LIGHT FIXTURES ARE 5' ON 5' TALL
3. ALL LIGHT FIXTURES ARE 5' ON 5' TALL
4. ALL LIGHT FIXTURES ARE 5' ON 5' TALL
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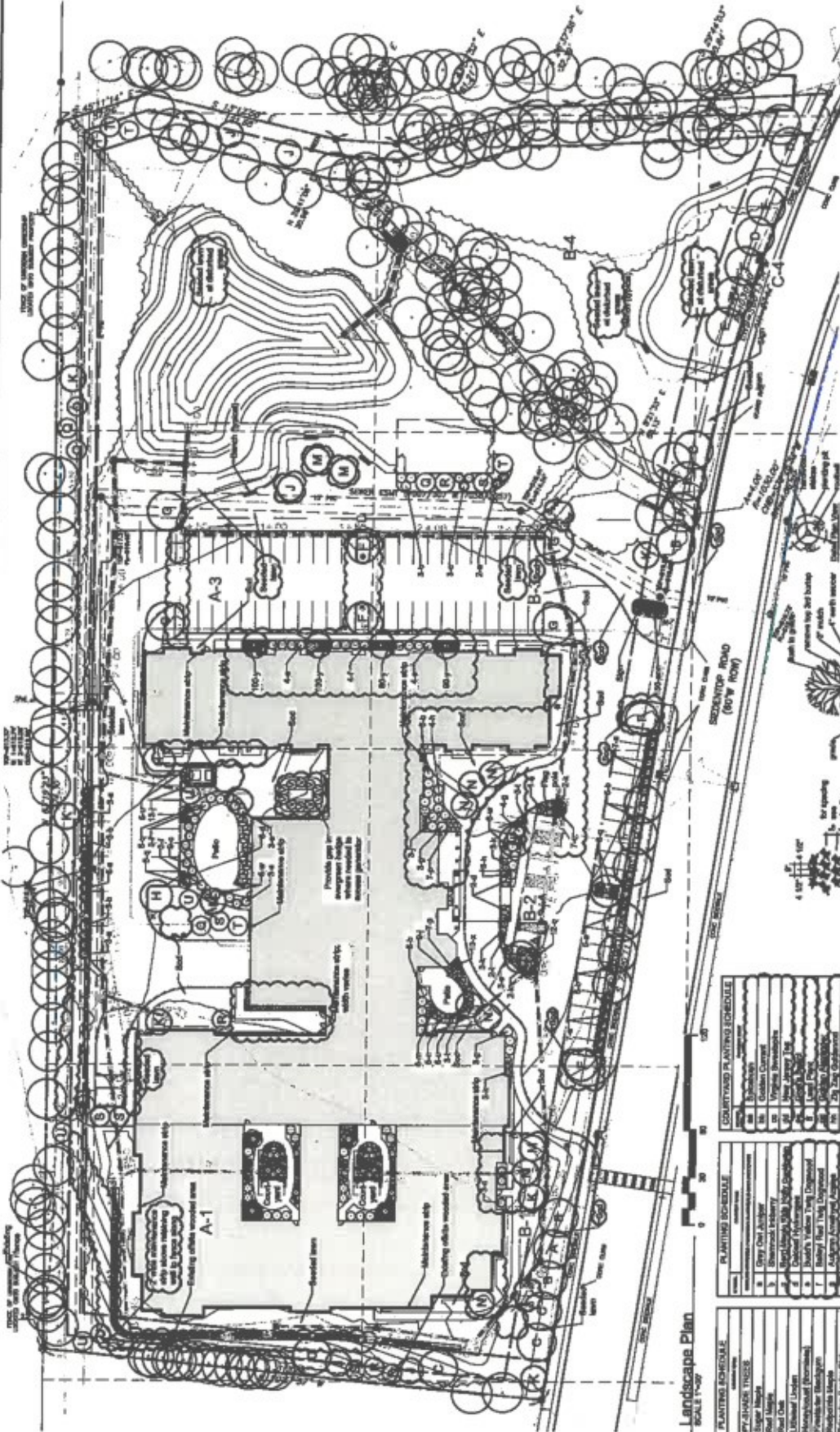


# New Perspective of Weldon Spring

Weldon Spring, Missouri

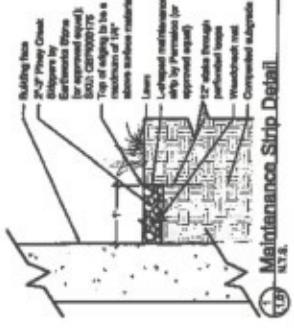
**LOOMIS ASSOCIATES**  
 Landscape Architects + Planners  
 1000 S. ...  
 ...

Sheet: Landscape  
 Title: Plan  
 Scale: L1.01  
 Date: 10/19/2005  
 Author: JTB



**Landscaping Notes:**

- 1) Lawn areas shall be installed in 10' x 10' sections (or approved equal).
- 2) Turf shall be installed from areas of 5' depth.
- 3) All plants to be installed shall be 100% established.
- 4) All trees to be installed shall be 100% established.
- 5) All plants to be installed shall be 100% established.
- 6) All plants to be installed shall be 100% established.
- 7) All plants to be installed shall be 100% established.
- 8) All plants to be installed shall be 100% established.
- 9) All plants to be installed shall be 100% established.
- 10) All plants to be installed shall be 100% established.
- 11) All plants to be installed shall be 100% established.
- 12) All plants to be installed shall be 100% established.



**Typical Shrub Planting:**  
 4" x 4" hole  
 4" x 4" hole  
 4" x 4" hole  
 4" x 4" hole

**Typical Perennial Planting:**  
 12" x 12" hole  
 12" x 12" hole  
 12" x 12" hole  
 12" x 12" hole

**Typical Evergreen Planting:**  
 18" x 18" hole  
 18" x 18" hole  
 18" x 18" hole  
 18" x 18" hole

**Landscape Plan**  
 SCALE: 1/8" = 1'-0"

PLANTING SCHEDULE	COURTYARD PLANTING SCHEDULE
1. Red Maple	1. Red Maple
2. White Birch	2. White Birch
3. Norway Spruce	3. Norway Spruce
4. Eastern Red Cedar	4. Eastern Red Cedar
5. Black Cherry	5. Black Cherry
6. White Dogwood	6. White Dogwood
7. Red Dogwood	7. Red Dogwood
8. Yellow Dogwood	8. Yellow Dogwood
9. Green Dogwood	9. Green Dogwood
10. Red Tamarac	10. Red Tamarac
11. White Tamarac	11. White Tamarac
12. Green Tamarac	12. Green Tamarac
13. Yellow Tamarac	13. Yellow Tamarac
14. Red Tamarac	14. Red Tamarac
15. White Tamarac	15. White Tamarac
16. Green Tamarac	16. Green Tamarac
17. Yellow Tamarac	17. Yellow Tamarac
18. Red Tamarac	18. Red Tamarac
19. White Tamarac	19. White Tamarac
20. Green Tamarac	20. Green Tamarac
21. Yellow Tamarac	21. Yellow Tamarac
22. Red Tamarac	22. Red Tamarac
23. White Tamarac	23. White Tamarac
24. Green Tamarac	24. Green Tamarac
25. Yellow Tamarac	25. Yellow Tamarac
26. Red Tamarac	26. Red Tamarac
27. White Tamarac	27. White Tamarac
28. Green Tamarac	28. Green Tamarac
29. Yellow Tamarac	29. Yellow Tamarac
30. Red Tamarac	30. Red Tamarac
31. White Tamarac	31. White Tamarac
32. Green Tamarac	32. Green Tamarac
33. Yellow Tamarac	33. Yellow Tamarac
34. Red Tamarac	34. Red Tamarac
35. White Tamarac	35. White Tamarac
36. Green Tamarac	36. Green Tamarac
37. Yellow Tamarac	37. Yellow Tamarac
38. Red Tamarac	38. Red Tamarac
39. White Tamarac	39. White Tamarac
40. Green Tamarac	40. Green Tamarac
41. Yellow Tamarac	41. Yellow Tamarac
42. Red Tamarac	42. Red Tamarac
43. White Tamarac	43. White Tamarac
44. Green Tamarac	44. Green Tamarac
45. Yellow Tamarac	45. Yellow Tamarac
46. Red Tamarac	46. Red Tamarac
47. White Tamarac	47. White Tamarac
48. Green Tamarac	48. Green Tamarac
49. Yellow Tamarac	49. Yellow Tamarac
50. Red Tamarac	50. Red Tamarac
51. White Tamarac	51. White Tamarac
52. Green Tamarac	52. Green Tamarac
53. Yellow Tamarac	53. Yellow Tamarac
54. Red Tamarac	54. Red Tamarac
55. White Tamarac	55. White Tamarac
56. Green Tamarac	56. Green Tamarac
57. Yellow Tamarac	57. Yellow Tamarac
58. Red Tamarac	58. Red Tamarac
59. White Tamarac	59. White Tamarac
60. Green Tamarac	60. Green Tamarac

Notes: Refer to sheet L1.02 for planting schedule and planting details.



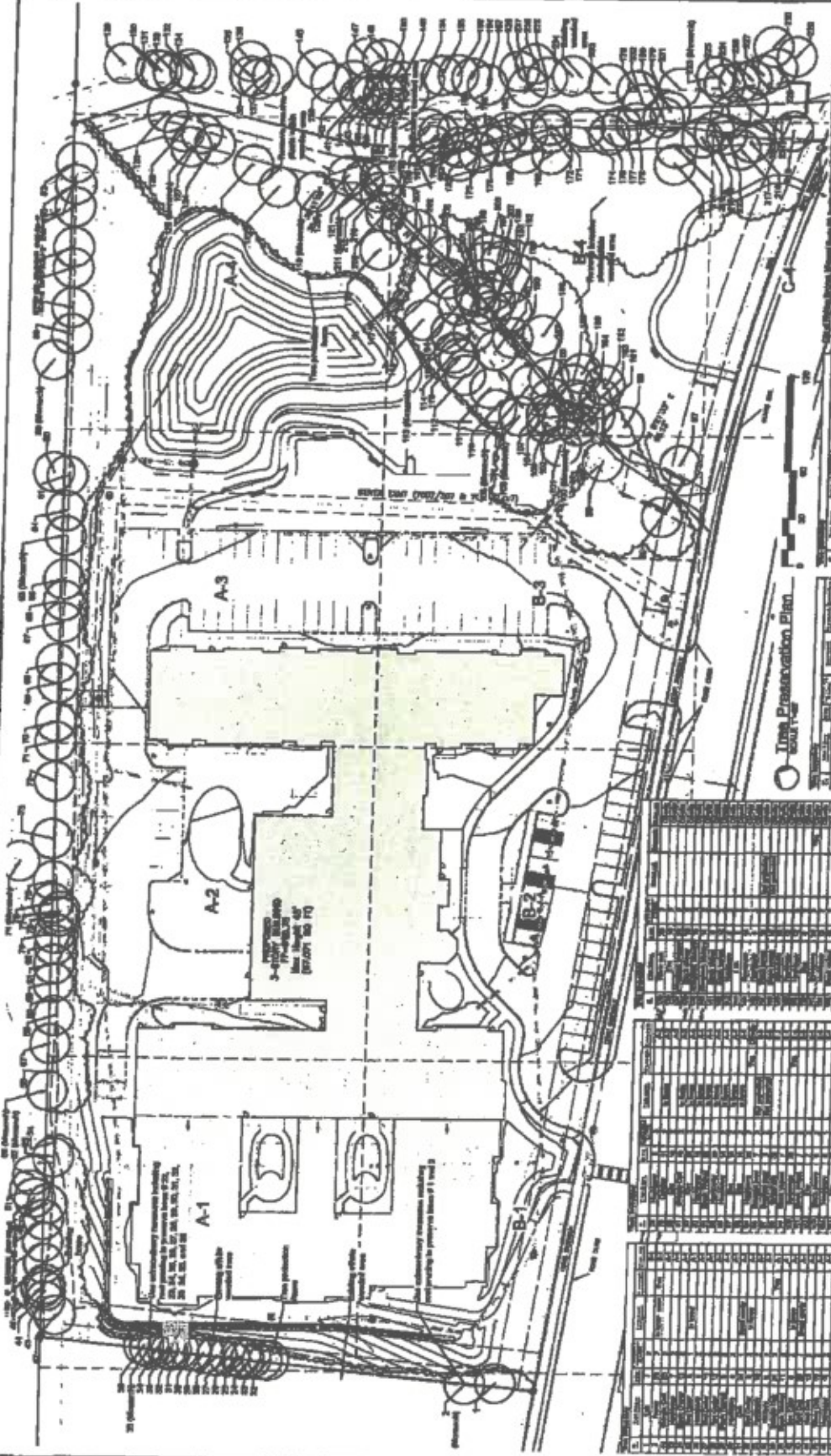


# New Perspective of Weldon Spring

Weldon Spring, Missouri

**LOOMIS ASSOCIATES**  
ARCHITECTS & PLANNERS  
10000 Weldon Spring Road  
Weldon Spring, Missouri 64156  
Phone: (816) 338-1100  
Fax: (816) 338-1101

**TPP**  
Date: 08/22/00  
Scale: 1/4" = 1'-0"



**Tree Preservation Plan**

Tree ID	Species	DBH (in)	Height (ft)	Condition	Preservation Status
1	...	...	...	...	...
2	...	...	...	...	...
3	...	...	...	...	...
4	...	...	...	...	...
5	...	...	...	...	...
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17	...	...	...	...	...
18	...	...	...	...	...
19	...	...	...	...	...
20	...	...	...	...	...
21	...	...	...	...	...
22	...	...	...	...	...
23	...	...	...	...	...
24	...	...	...	...	...
25	...	...	...	...	...
26	...	...	...	...	...
27	...	...	...	...	...
28	...	...	...	...	...
29	...	...	...	...	...
30	...	...	...	...	...
31	...	...	...	...	...
32	...	...	...	...	...
33	...	...	...	...	...
34	...	...	...	...	...
35	...	...	...	...	...
36	...	...	...	...	...
37	...	...	...	...	...
38	...	...	...	...	...
39	...	...	...	...	...
40	...	...	...	...	...
41	...	...	...	...	...
42	...	...	...	...	...
43	...	...	...	...	...
44	...	...	...	...	...
45	...	...	...	...	...
46	...	...	...	...	...
47	...	...	...	...	...
48	...	...	...	...	...
49	...	...	...	...	...
50	...	...	...	...	...

**Tree Preservation Plan**

Tree ID	Species	DBH (in)	Height (ft)	Condition	Preservation Status
51	...	...	...	...	...
52	...	...	...	...	...
53	...	...	...	...	...
54	...	...	...	...	...
55	...	...	...	...	...
56	...	...	...	...	...
57	...	...	...	...	...
58	...	...	...	...	...
59	...	...	...	...	...
60	...	...	...	...	...
61	...	...	...	...	...
62	...	...	...	...	...
63	...	...	...	...	...
64	...	...	...	...	...
65	...	...	...	...	...
66	...	...	...	...	...
67	...	...	...	...	...
68	...	...	...	...	...
69	...	...	...	...	...
70	...	...	...	...	...
71	...	...	...	...	...
72	...	...	...	...	...
73	...	...	...	...	...
74	...	...	...	...	...
75	...	...	...	...	...
76	...	...	...	...	...
77	...	...	...	...	...
78	...	...	...	...	...
79	...	...	...	...	...
80	...	...	...	...	...

**Tree Preservation Plan**

Tree ID	Species	DBH (in)	Height (ft)	Condition	Preservation Status
81	...	...	...	...	...
82	...	...	...	...	...
83	...	...	...	...	...
84	...	...	...	...	...
85	...	...	...	...	...
86	...	...	...	...	...
87	...	...	...	...	...
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93	...	...	...	...	...
94	...	...	...	...	...
95	...	...	...	...	...
96	...	...	...	...	...
97	...	...	...	...	...
98	...	...	...	...	...
99	...	...	...	...	...
100	...	...	...	...	...

**Tree Preservation Plan**

Tree ID	Species	DBH (in)	Height (ft)	Condition	Preservation Status
101	...	...	...	...	...
102	...	...	...	...	...
103	...	...	...	...	...
104	...	...	...	...	...
105	...	...	...	...	...
106	...	...	...	...	...
107	...	...	...	...	...
108	...	...	...	...	...
109	...	...	...	...	...
110	...	...	...	...	...
111	...	...	...	...	...
112	...	...	...	...	...
113	...	...	...	...	...
114	...	...	...	...	...
115	...	...	...	...	...
116	...	...	...	...	...
117	...	...	...	...	...
118	...	...	...	...	...
119	...	...	...	...	...
120	...	...	...	...	...

**Tree Preservation Plan**

Tree ID	Species	DBH (in)	Height (ft)	Condition	Preservation Status
121	...	...	...	...	...
122	...	...	...	...	...
123	...	...	...	...	...
124	...	...	...	...	...
125	...	...	...	...	...
126	...	...	...	...	...
127	...	...	...	...	...
128	...	...	...	...	...
129	...	...	...	...	...
130	...	...	...	...	...
131	...	...	...	...	...
132	...	...	...	...	...
133	...	...	...	...	...
134	...	...	...	...	...
135	...	...	...	...	...
136	...	...	...	...	...
137	...	...	...	...	...
138	...	...	...	...	...
139	...	...	...	...	...
140	...	...	...	...	...

**Tree Preservation Plan**

Tree ID	Species	DBH (in)	Height (ft)	Condition	Preservation Status
141	...	...	...	...	...
142	...	...	...	...	...
143	...	...	...	...	...
144	...	...	...	...	...
145	...	...	...	...	...
146	...	...	...	...	...
147	...	...	...	...	...
148	...	...	...	...	...
149	...	...	...	...	...
150	...	...	...	...	...
151	...	...	...	...	...
152	...	...	...	...	...
153	...	...	...	...	...
154	...	...	...	...	...
155	...	...	...	...	...
156	...	...	...	...	...
157	...	...	...	...	...
158	...	...	...	...	...
159	...	...	...	...	...
160	...	...	...	...	...

**Tree Preservation Plan**





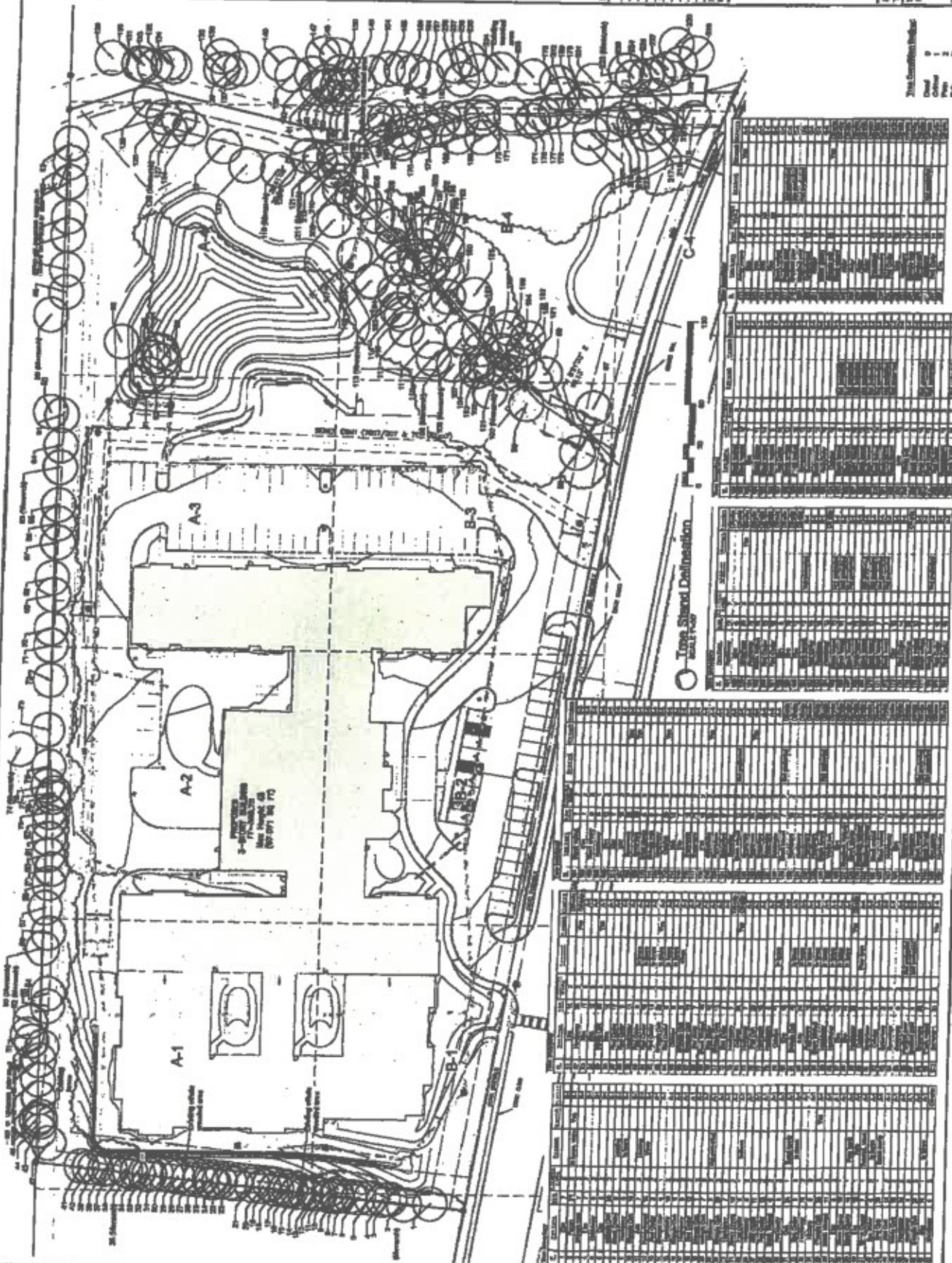
# New Perspective of Weldon Spring

Weldon Spring, Missouri

Project No.	177-004
Sheet No.	177-004
Date	1987
Scale	1" = 40'

**LOOMIS ASSOCIATES**  
 Environmental Engineering & Consulting  
 1000 E. 12th Street, Suite 100  
 Independence, MO 64057

**TSD**  
 Title: Site Remediation  
 Date: 1987



This Description Refers to:  
 Sheet 177-004  
 Date 1987



**January 26, 2023**  
**NPSL Weldon Spring**  
**Miscellaneous Revisions**



Boldt  
Real Estate Development  
1110 N Dr. Martin Luther King, Jr. Drive  
Suite 610  
Milwaukee, WI 53203

January 19, 2022

Mr. Larry Halbrook  
Chairman of the Architectural Review Commission  
Weldon Spring City Hall  
5401 Independence Road,  
Weldon Spring, Missouri 63304

**Subject: New Perspective Senior Living: January 2023 Revisions**

Dear Larry/Steve,

I am writing regarding the planned nursing & residential facility located at 400 Siedentop Rd.

We understand deviations from the approved exterior building materials & finishes require review by a representative of Weldon's ARC or Steve Lauer.

List of minor changes around facility entry - See attached **Exhibit A** for summary of changes.:

1. Changed stone to siding at Chapel bump out and 2<sup>nd</sup> floor bump out over Vestibule.
2. Changed stone on each side of Vestibule to windowsill height with siding above. Kept full height stone at 3 walls of Vestibule. Stone was removed above sill height on level one to improve constructability by eliminating excessive flashing that could cause water/moisture leakage in future.
3. Omitted the side gable roof elements from the Porte Cochere.

Attached is our proposal to modify roof pitches on the 3-story portion to remove flat roof area that would not be visible from grade either way. Please reference **Exhibit B to C** attached to note change.

We understand per § 405.430(C)(6) of Weldon code *roofs on buildings with three (3) or more stories may be flat or pitched as approved by the Architectural Review Commission*. Please let me know if this change can be signed off on.

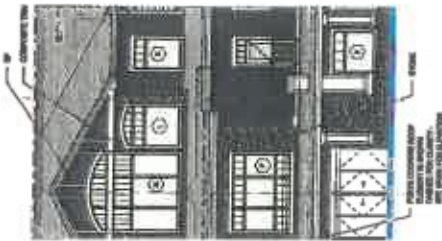
For your information, recently Missouri Department of Health and Senior Services required us add a stairwell in the building to allow assisted living residents the ability to egress without going through independent living space. This therefore decreased the egress distance for the handicapped residents that need it most. This change has added roughly 350 SF to the building, which is shown on Exhibit B in green bubble. A sidewalk was added to connect exterior slab from added stairwell to main sidewalk path. Please reference **Exhibit D** for more information & **Exhibit E** for an updated site plan.

Sincerely,

Faeq Hussain  
414-232-9881  
[faeq.hussain@boldt.com](mailto:faeq.hussain@boldt.com)  
CC: Chris Buday - Boldt

Approved By Steve Lauer\*  
Date 1-26-23  
\*Reviewed by Larry Halbrook

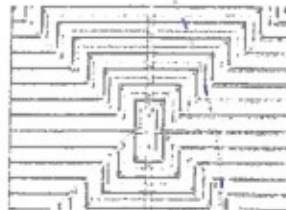
1/22 ARC Approved Plan



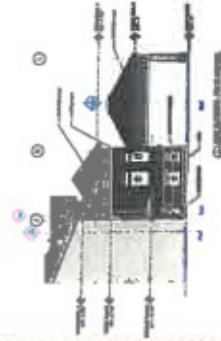
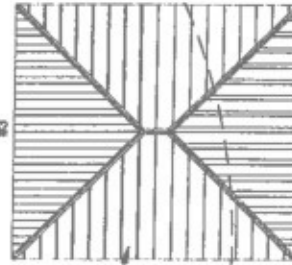
1/9/23 Proposed Modification #1



9/22 ARC Approved Plan



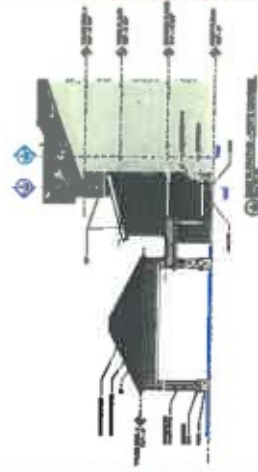
1/9/23 Proposed Modification #3



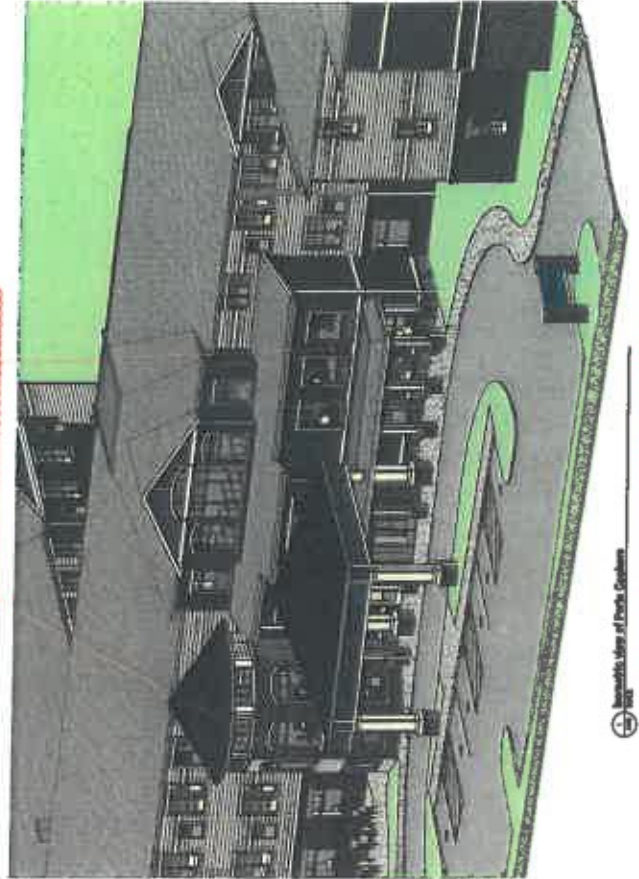
7/19/22 ARC Approved Plan



1/9/23 Proposed Modification #2



Removed door & rail on second floor walkout space. Door replaces with rail. This outdoor space was moved to outside of Pub off of level 1.



Isometric View of Pub & Garden

1/9/23 Isometric View - Exhibit A



NPSL - WELDON SPRING

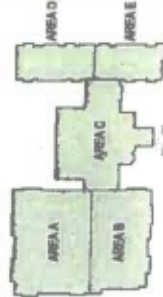
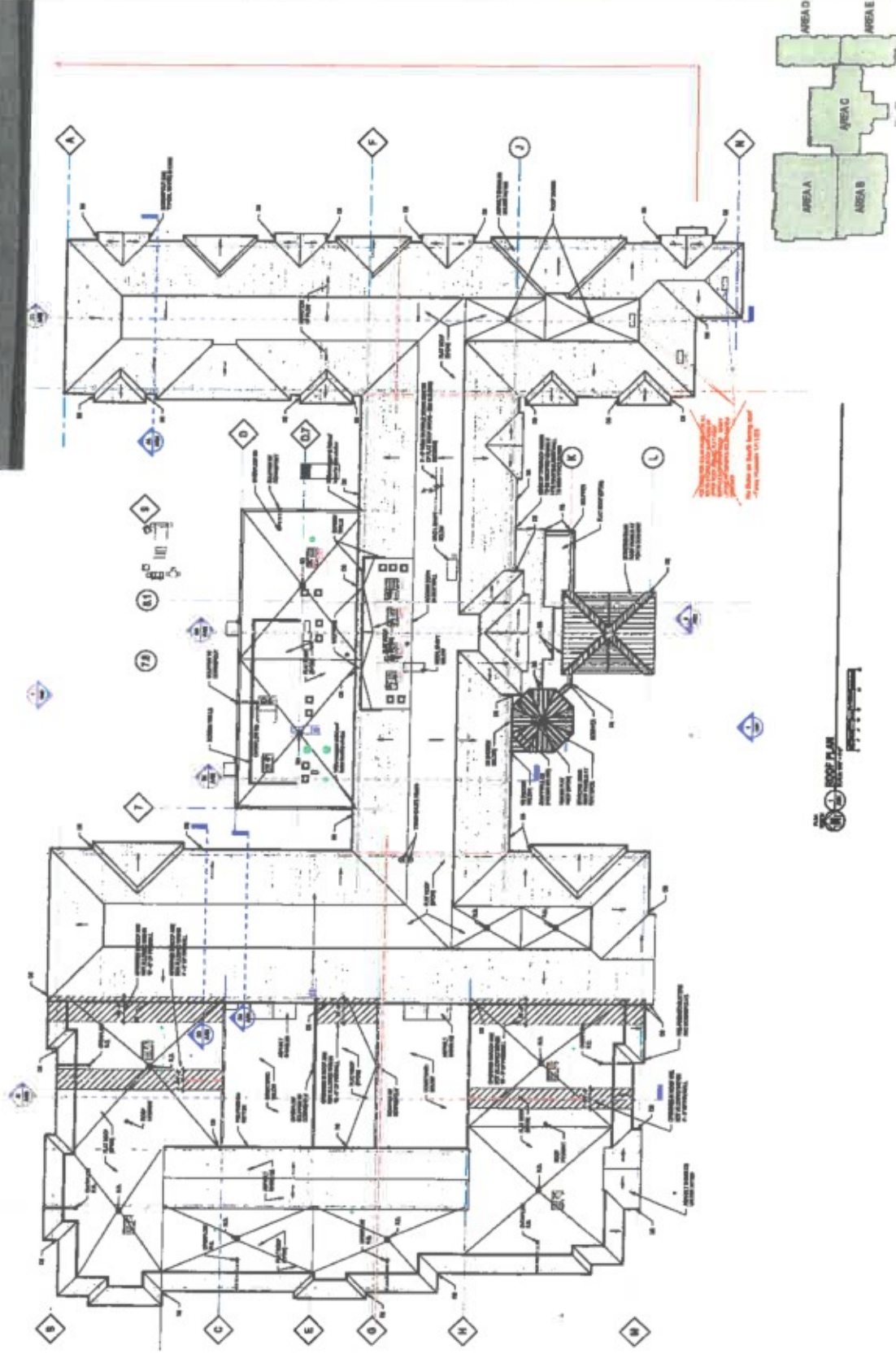
WELDON SPRINGS RE, LLC

ISOMETRIC VIEWS





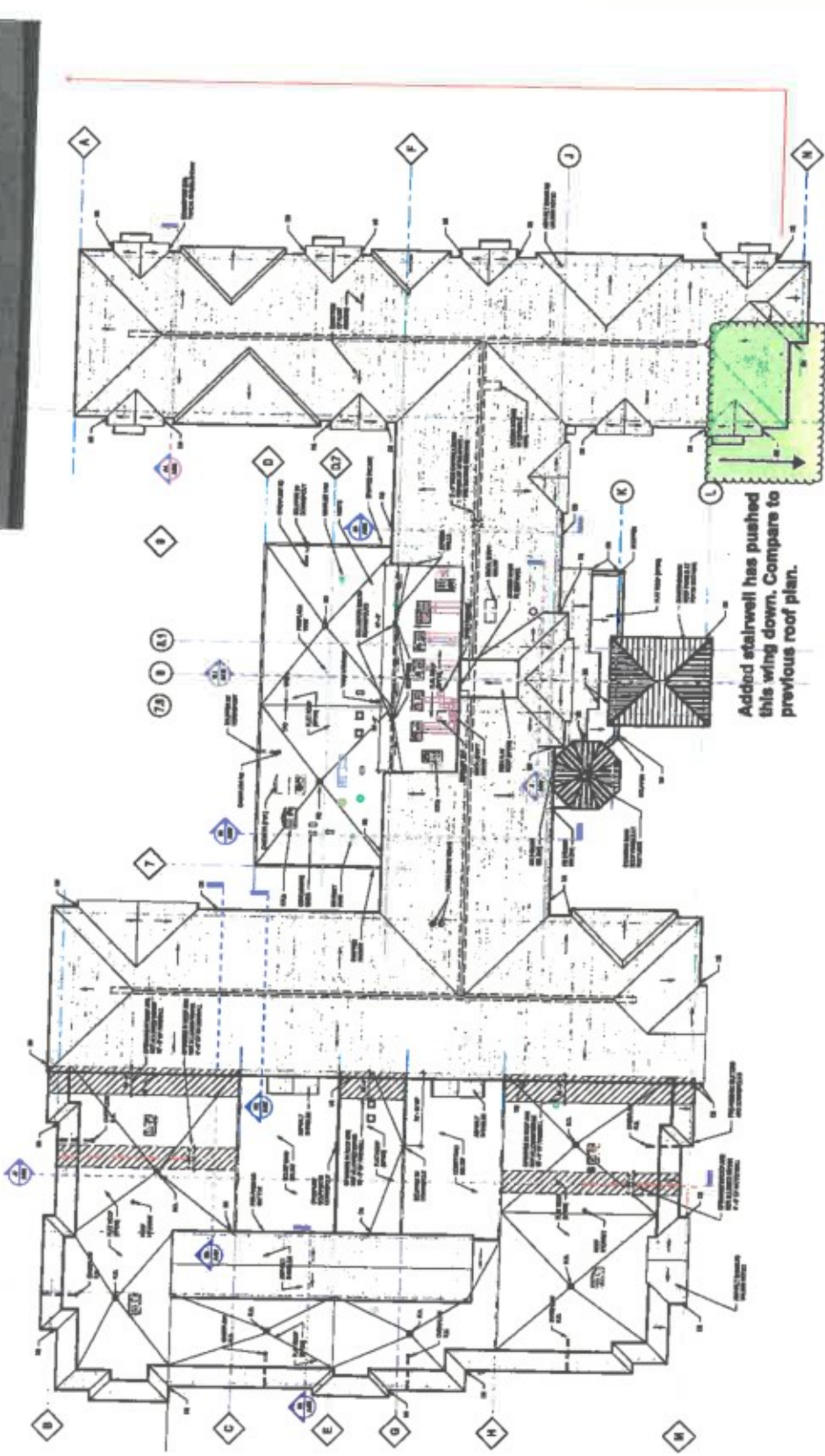
**Exhibit B**  
**7/19/22 ARC Approved Roof Plan:**  
 "Roofs on buildings with three (3) or more stories may be flat or pitched as approved by the ARC. Roofs on one-story buildings shall not be flat or nearly flat except for the center portion of the roof (not to exceed forty (40%) percent of the entire roof when seen in plan view) that is not visible from ground level. Part of the proposed building is three stories in height and part of the building is one story in height."







**Exhibit C**  
**Proposed Roof Plan Modification**  
 Modified pitch to remove majority of flat roof area on 3-story portion of facility.  
 Flat roof area will not be visible from grade.



**NP SL - WELDON SPRING**

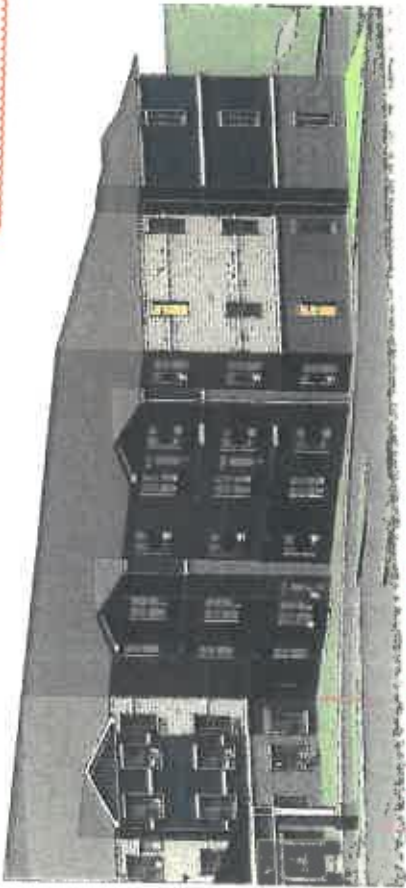
WELDON SPRINGS RE. LLC  
 1700 W. 20th Street, Weldon Springs, MO 64086  
 816.338.1111

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/14/2014	J. H. HARRIS	J. H. HARRIS
2	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS
3	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS
4	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS
5	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS
6	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS
7	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS
8	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS
9	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS
10	REVISION	08/14/2014	J. H. HARRIS	J. H. HARRIS

**ROOF PLAN**

1/16/2014

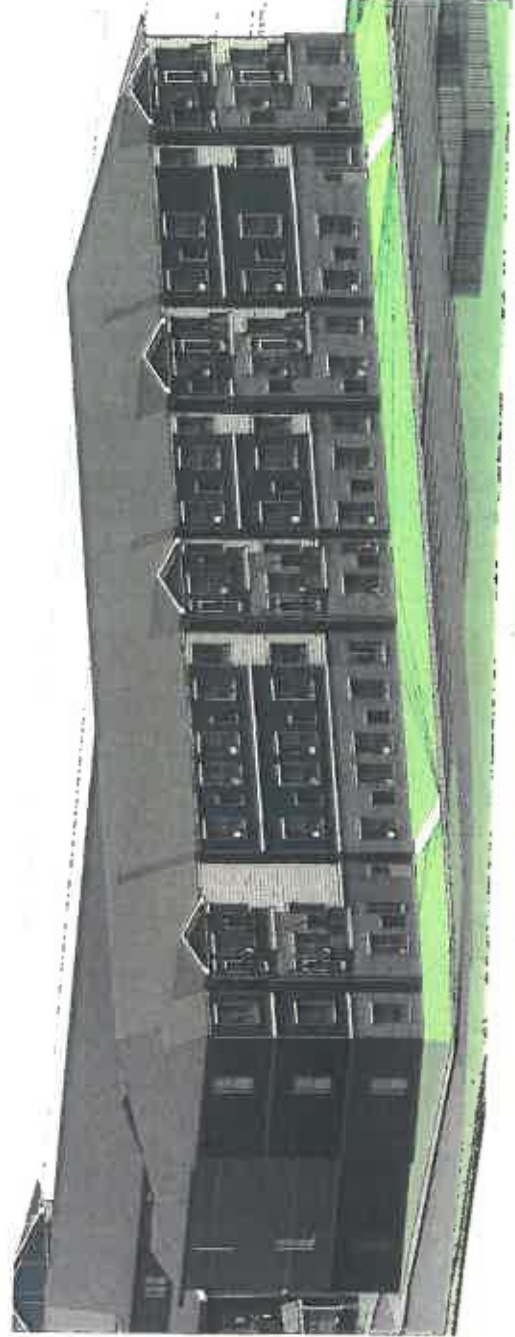
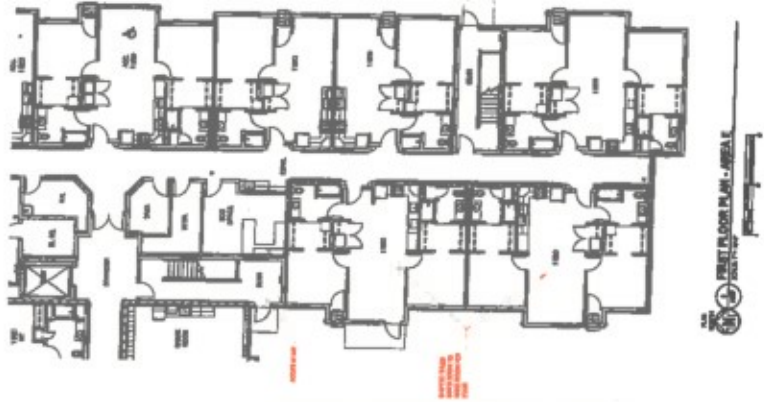
**Exhibit D  
Added DHS Stairwell**



1/14/23 View - Colors same as approved set.

1/18/2023 - Sidewalk was added from added DHS stairwell to connect to main sidewalk path. Reference Exhibit E: Site Plan

or reference - 7/19/22 approved exterior.



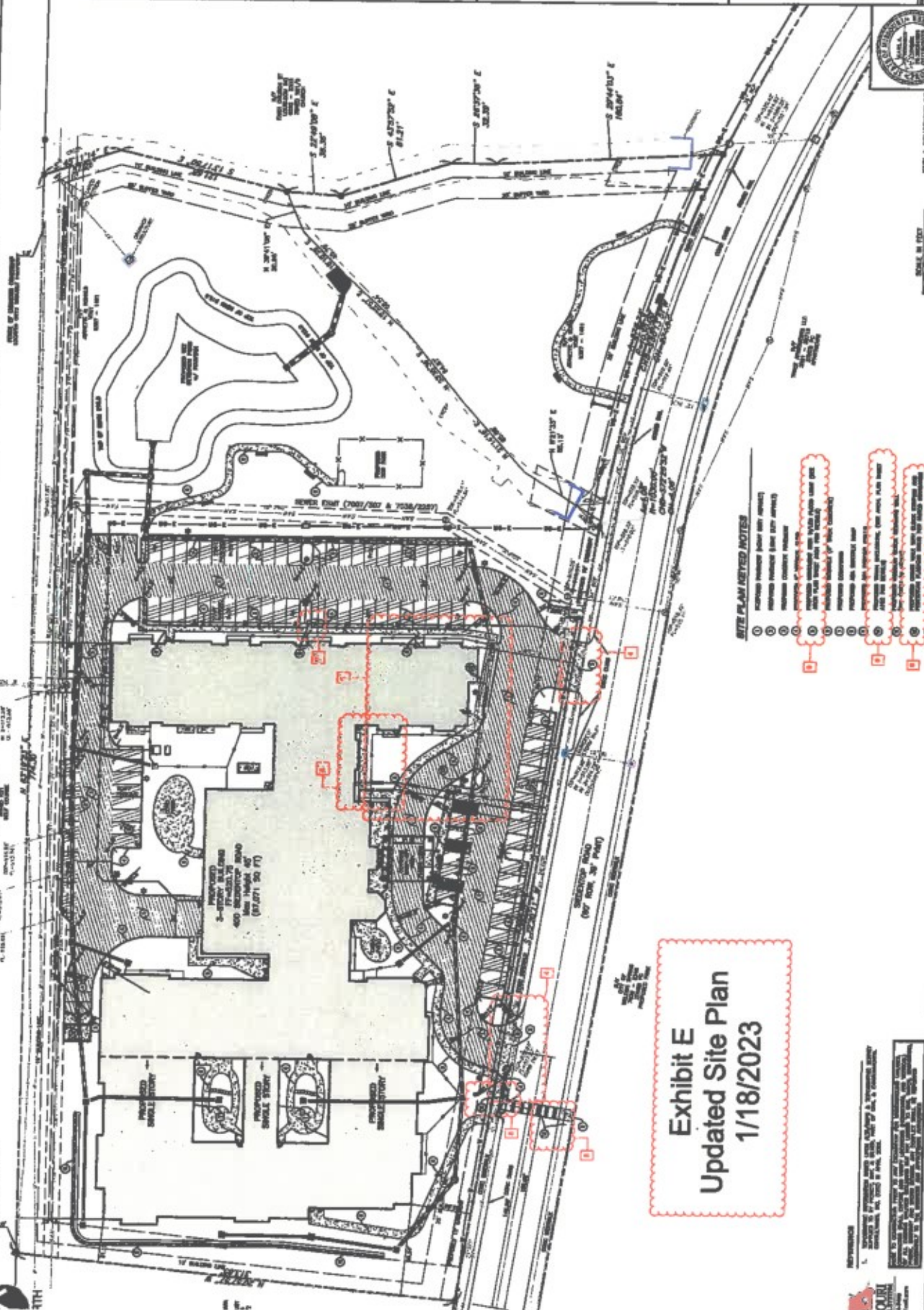


NEW PERSPECTIVE OF WALDON SPRING  
SITE PLAN  
IMPROVEMENT PLANS

Walden Spring RE, LLC  
1119 N. Dr. Martin Luther King Jr. Ste 810  
Milwaukee, WI 53203  
248-210-1451  
reed.hussain@bold.com

**Pidgett**  
Reynolds  
Part of C&E Environmental Consultants, Inc. (CEC)  
10000 W. Wisconsin Ave. Suite 100 - Wauwatosa, WI 53226  
www.pidgett.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	1/18/2023
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	
11	REVISIONS	
12	REVISIONS	
13	REVISIONS	
14	REVISIONS	
15	REVISIONS	
16	REVISIONS	
17	REVISIONS	
18	REVISIONS	
19	REVISIONS	
20	REVISIONS	



- SITE PLAN REVISION NOTES**
- 1. REVISIONS TO EXISTING DRIVE
  - 2. REVISIONS TO EXISTING SIDEWALK
  - 3. REVISIONS TO EXISTING DRIVE
  - 4. REVISIONS TO EXISTING SIDEWALK
  - 5. REVISIONS TO EXISTING DRIVE
  - 6. REVISIONS TO EXISTING SIDEWALK
  - 7. REVISIONS TO EXISTING DRIVE
  - 8. REVISIONS TO EXISTING SIDEWALK
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  - 12. REVISIONS TO EXISTING SIDEWALK
  - 13. REVISIONS TO EXISTING DRIVE
  - 14. REVISIONS TO EXISTING SIDEWALK
  - 15. REVISIONS TO EXISTING DRIVE
  - 16. REVISIONS TO EXISTING SIDEWALK
  - 17. REVISIONS TO EXISTING DRIVE
  - 18. REVISIONS TO EXISTING SIDEWALK
  - 19. REVISIONS TO EXISTING DRIVE
  - 20. REVISIONS TO EXISTING SIDEWALK

**Exhibit E**  
**Updated Site Plan**  
**1/18/2023**

WALDON SPRING RE, LLC  
1119 N. DR. MARTIN LUTHER KING JR. STE 810  
MILWAUKEE, WI 53203  
248-210-1451  
reed.hussain@bold.com

# Exhibit E

## NEW PERSPECTIVE OF WELDON SPRING

01/18/2022 Bid Package #1 - Construction Bulletin #2

Redlined Plan Set

1/18/2023

COMMENT #	SHEET	COMMENT
1	C000	REVISED SHEET TABLE LIST (NEW DETAIL PAGE)
2	C000	UPDATED DATE ON PLAN SET
3	C100	EXISTING STORM SEWER LABELED AS ADJUST TO GRADE WITH PIPE REMIAING IN PLACE
4	C200	CONCRETE PAVEMENT CALLED OUT IN PUBLIC RIGHT OF WAY AT ENTRANCES
5	C200	BUILDING FOOTPRINT AND PAVEMENT REVISED BASED ON NEW ARCHITECTURAL PLANS
6	C200	SIDEWALK ADDED AT FRONT OF BUILDING
7	C200	CONCRETE PADD ADDED FOR ELECTRIC CHARGING STATION
8	C200 C803	FLASHING CROSS WALK SIGNS
9	C200	NOTES ADDED TO SEE ATRCH PLANS FOR MONUMENT SIGN AND TRASH ENCLOSURE
10	C300	GRADING REVISED TO WORK WITH NEW BUILDING FOOTPRING AND PARKING AISLE LAYOUT
11	C500	UTILITY PLAN NOTES ADDED
12	C500	LATERAL REVISED FROM 6" TO 8" PVC
13	C500	UNDERGROUND DOWNSPOUT CONNECTIONS REMOVED - WILL BE SPLASHED AT GRADE
14	C500 C600	REVISED STORM SEWER PIPE TYPE
15	C500	REVISED COURTYARD AI'S TO BE GREYDOCK ATRIUM GRATES
16	C500	CIRCLE NOTE 26 ADDED FOR EV CHARGING STATION
17	C802	CONCRETE CURB WITH SIDEWALK DETAIL ADDED
18	C803	CURB RAMP DETAILS ADDED
19	C803	ENTRANCE PAVEMENT DETAILS ADDED
20	C803	TRUNCATED DOME DETAILS ADDED
21	C805	GREYDOCK ATRIUM GRATE DETAIL ADDED



**2022**  
**NPSL Weldon Spring**  
Approved Final Development Plan  
proceeding Land Use Permit/ARC Approval.

\*\*\*\*\*  
 AN ORDINANCE APPROVING THE FINAL DEVELOPMENT PLAN FOR NEW  
 PERSPECTIVE OF WELDON SPRING AND MATTERS RELATING THERETO  
 \*\*\*\*\*

**WHEREAS**, Weldon Springs, RE LLC, came to a contractual real estate purchase agreement with Ronald K. & Jeanette R. Vogt to purchase a tract of land at 400 Siedentop Road”; and

**WHEREAS**, Boldt Capital, LLC, and Weldon Springs, RE LLC , are representatives of the developer for a proposed senior living facility to be known as New Perspective of Weldon Spring; and

**WHEREAS**, the City of Weldon Spring granted a Conditional Use Permit (CUP) to allow a Nursing and Residential Care Facility to be known as New Perspective of Weldon Spring in a “PC” Planned Commercial Zoning District, with the passage of Ordinance 22-04 on June 23, 2022; and

**WHEREAS**, the City of Weldon Spring approved the Area Plan for New Perspective of Weldon Spring with the passage of Ordinance 22-05 on June 23, 2022; and

**WHEREAS**, the City Planning & Zoning Commission recommended approval of the Final Development Plan for New Perspective of Weldon Spring on September 12, 2022.

**NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, AS FOLLOWS:**

**SECTION 1:** That Weldon Springs, RE, LLC (New Perspective of Weldon Spring) has provided the City of Weldon Spring with the proper plans and documentation, which have been received by the City Staff, Mayor, & Aldermen.

**SECTION 2:** That after a public hearing by the Planning & Zoning Commission on May 2, 2022, and a public hearing by the Board of Aldermen on May 10, 2022, a Conditional Use Permit (CUP) was granted by the Board of Aldermen in Ordinance 22-04 with the following conditions:

1. The entrances on Siedentop Road will need to be aligned with the future Weldon Spring Park entrances.
2. An area plan must be submitted to the City of Weldon Spring and be approved for the site.
3. The facility must be licensed to operate as an Long Term Care Facility by the Missouri Department of Health & Senior Services.



**SECTION 3:** That the City Planner and City Engineer have reviewed the final development plan and all the conditions have been met in regard to the plan.

**SECTION 4:** On September 12, 2022, the Planning & Zoning Commission recommended approval of the final development plan after determining that it complies with the conditions of the ordinance authorizing the development.

**SECTION 5:** That the Board of Aldermen hereby approved the Final Development Plan.

**SECTION 6:** That this Ordinance shall be in full force and effect upon its enactment and approval.

*READ TWO TIMES AND PASSED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, THIS 11th DAY OF October 2022.*

  
\_\_\_\_\_  
Donald D. Licklider, Mayor

Attest:

  
\_\_\_\_\_  
William C. Hanks, City Clerk



PLAN IS NOT FOR RECORD

GENERAL NOTES
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI ENGINEERING AND SURVEYING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF SANITARY SEWER SYSTEMS AND THE MISSOURI ENGINEERING AND SURVEYING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF STORM SEWER SYSTEMS.

SANITARY SEWER FLOW ESTIMATE

1.000 GPD PER 100 SF OF FLOOR AREA
2.000 GPD PER 100 SF OF FLOOR AREA
3.000 GPD PER 100 SF OF FLOOR AREA

PAVING CALCULATIONS

1.000 GPD PER 100 SF OF FLOOR AREA
2.000 GPD PER 100 SF OF FLOOR AREA
3.000 GPD PER 100 SF OF FLOOR AREA

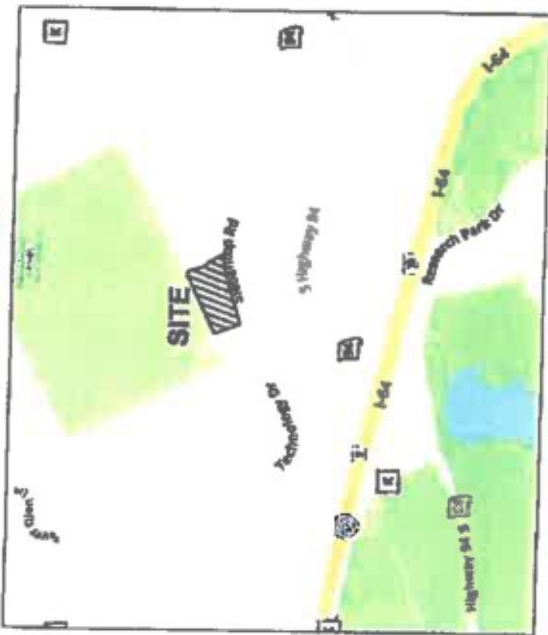
LOT DENSITY CALCULATIONS

1.000 GPD PER 100 SF OF FLOOR AREA
2.000 GPD PER 100 SF OF FLOOR AREA
3.000 GPD PER 100 SF OF FLOOR AREA

DEVELOPED AREA

1.000 GPD PER 100 SF OF FLOOR AREA
2.000 GPD PER 100 SF OF FLOOR AREA
3.000 GPD PER 100 SF OF FLOOR AREA

NEW PERSPECTIVE OF WELDON SPRING
TRACTS OF LAND BEING PART OF U.S. SURVEYS 1798, TOWNSHIP 47 NORTH, RANGE 3 EAST ST. CHARLES COUNTY, MISSOURI
FINAL DEVELOPMENT PLAN



LOCATION MAP

TITLE DESCRIPTION:

THE PROJECT IS A DEVELOPMENT OF 100 ACRES OF LAND BEING PART OF U.S. SURVEYS 1798, TOWNSHIP 47 NORTH, RANGE 3 EAST ST. CHARLES COUNTY, MISSOURI. THE PROJECT IS A DEVELOPMENT OF 100 ACRES OF LAND BEING PART OF U.S. SURVEYS 1798, TOWNSHIP 47 NORTH, RANGE 3 EAST ST. CHARLES COUNTY, MISSOURI.



THE BOLDT COMPANY
800 John Robin Dr., Suite 120
Madison, WI 53713
(808) 250-8400

NEW PERSPECTIVE OF WELDON SPRING
FINAL DEVELOPMENT PLAN



FDP1

Sheet List Table
Sheet No. Description Sheet Number Sheet Title
FDP1 COVER SHEET
FDP2 EXISTING DEMO PLAN
FDP3 SITE PLAN
FDP4 GRADING PLAN
FDP5 UTILITY PLAN
FDP6 LIGHTING PLAN

- GENERAL ABBREVIATIONS
1. 1" = 100'
2. 1" = 100'
3. 1" = 100'

THIS PLAN IS NOT FOR RECORD

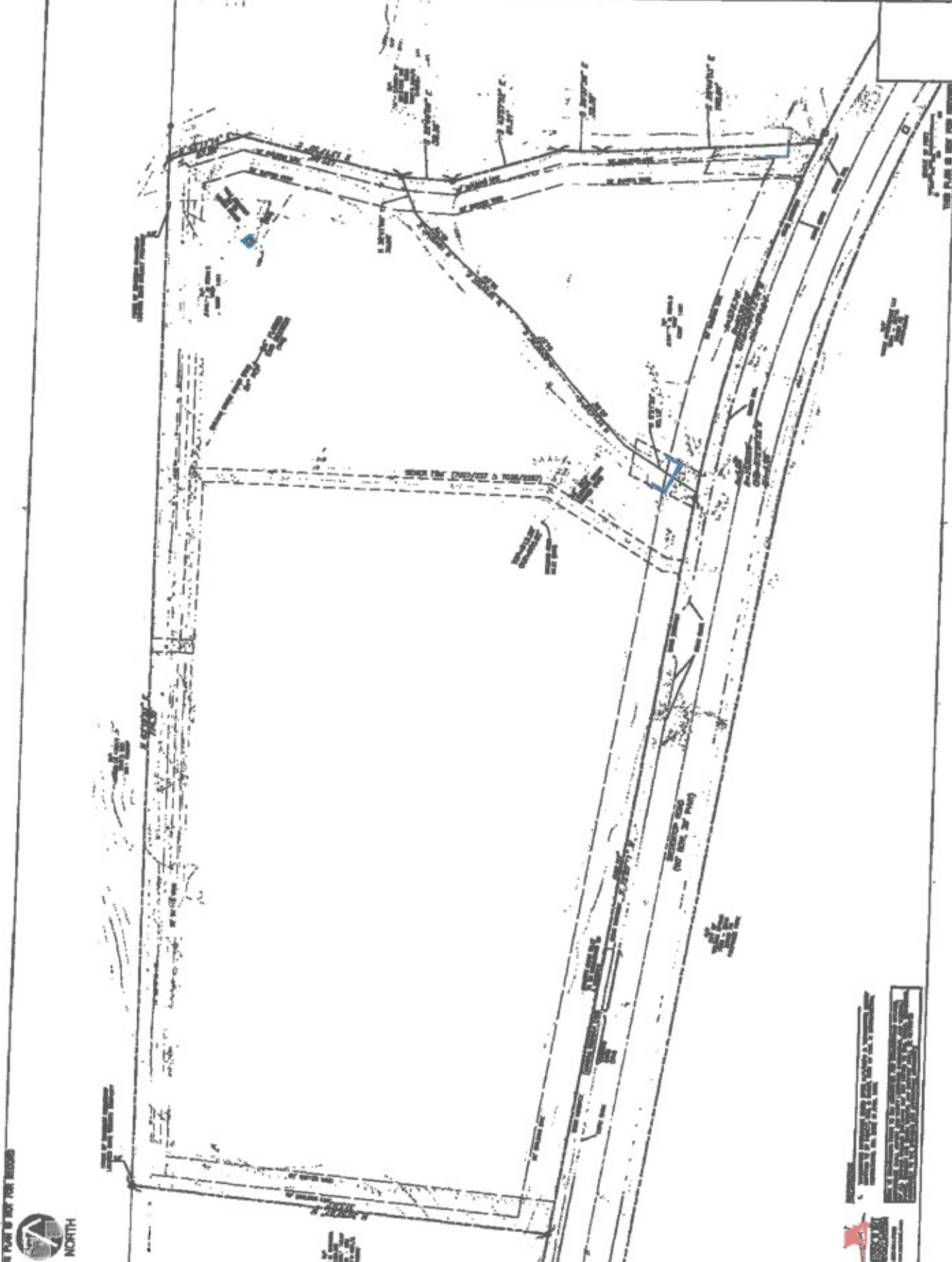


NEW POSSESSION OF WILSON SPRING  
FINAL DEVELOPMENT PLAN

THE BOLDT COMPANY  
680 John Redden Dr., Suite 120  
Madison, WI 53713  
(608) 250-8400

Project  
RIVERVIEW  
City of Oak & Riverwood Council, Inc. CEO  
1000 Wisconsin Ave. S.E.  
Washington, D.C. 20003

NO. 100	DATE	DESCRIPTION
101		
102		
103		
104		
105		
106		
107		
108		
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119		
120		



SEE PLAN IN MAP FILE RECORDS

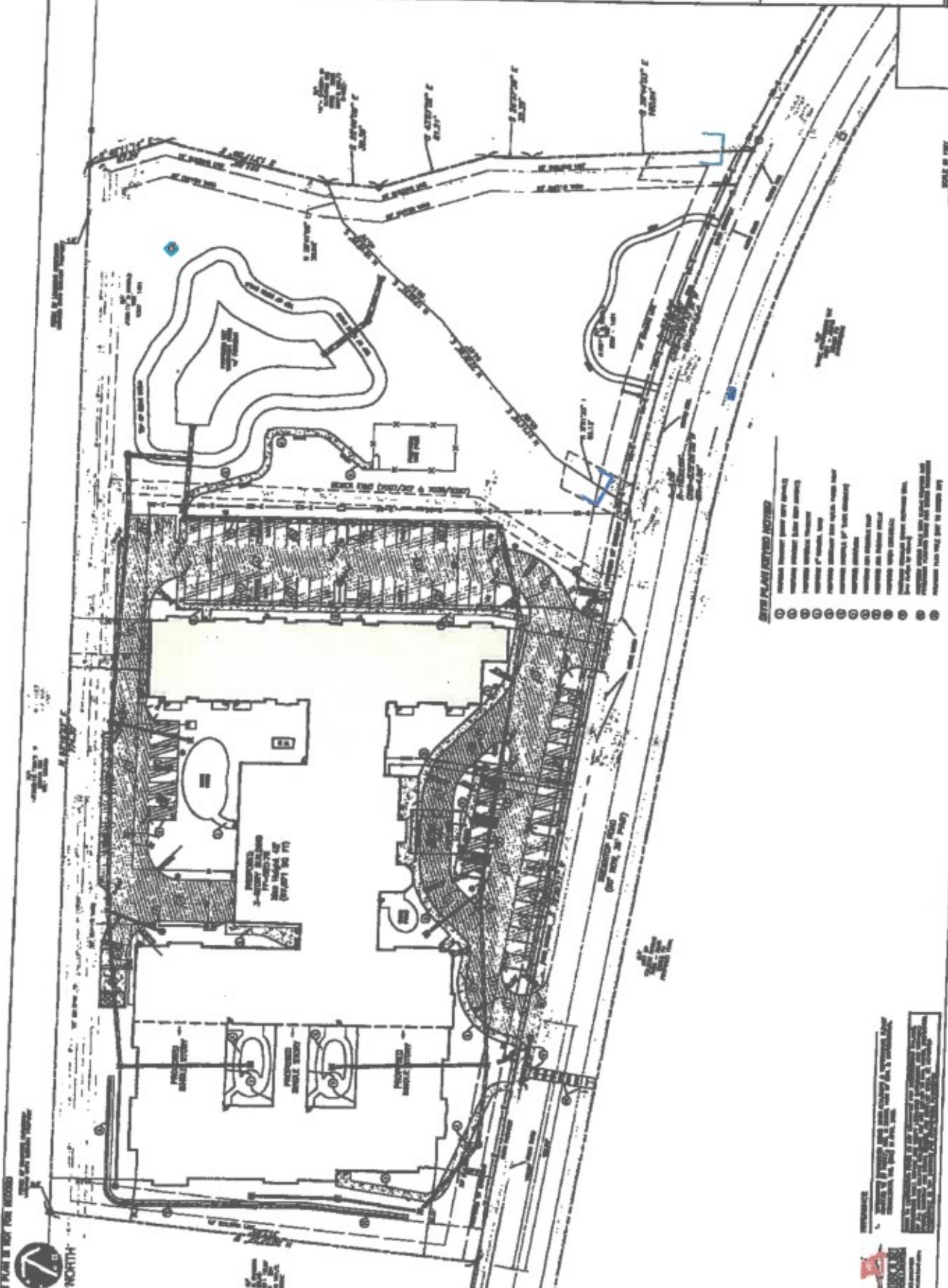
**NORTH**

THE BOLDT COMPANY  
680 John Redden Dr., Suite 120  
Madison, WI 53713  
(608) 250-8400

THE BOLT COMPANY  
830 JOHN NOLAN DR., SUITE 120  
MADISON, WI 53713  
(608) 259-8400

**Project**  
Pulsifer  
Part of Civil & Environmental Consulting Inc. (CEC)  
1000 Lakeshore Drive - Madison, WI  
53706-1000  
www.pulsifer.com

NO. 100	DATE	DESCRIPTION
101	10/1/00	PRELIMINARY
102	10/1/00	REVISED
103	10/1/00	REVISED
104	10/1/00	REVISED
105	10/1/00	REVISED
106	10/1/00	REVISED
107	10/1/00	REVISED
108	10/1/00	REVISED
109	10/1/00	REVISED
110	10/1/00	REVISED
111	10/1/00	REVISED
112	10/1/00	REVISED
113	10/1/00	REVISED
114	10/1/00	REVISED
115	10/1/00	REVISED
116	10/1/00	REVISED
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119	10/1/00	REVISED
120	10/1/00	REVISED

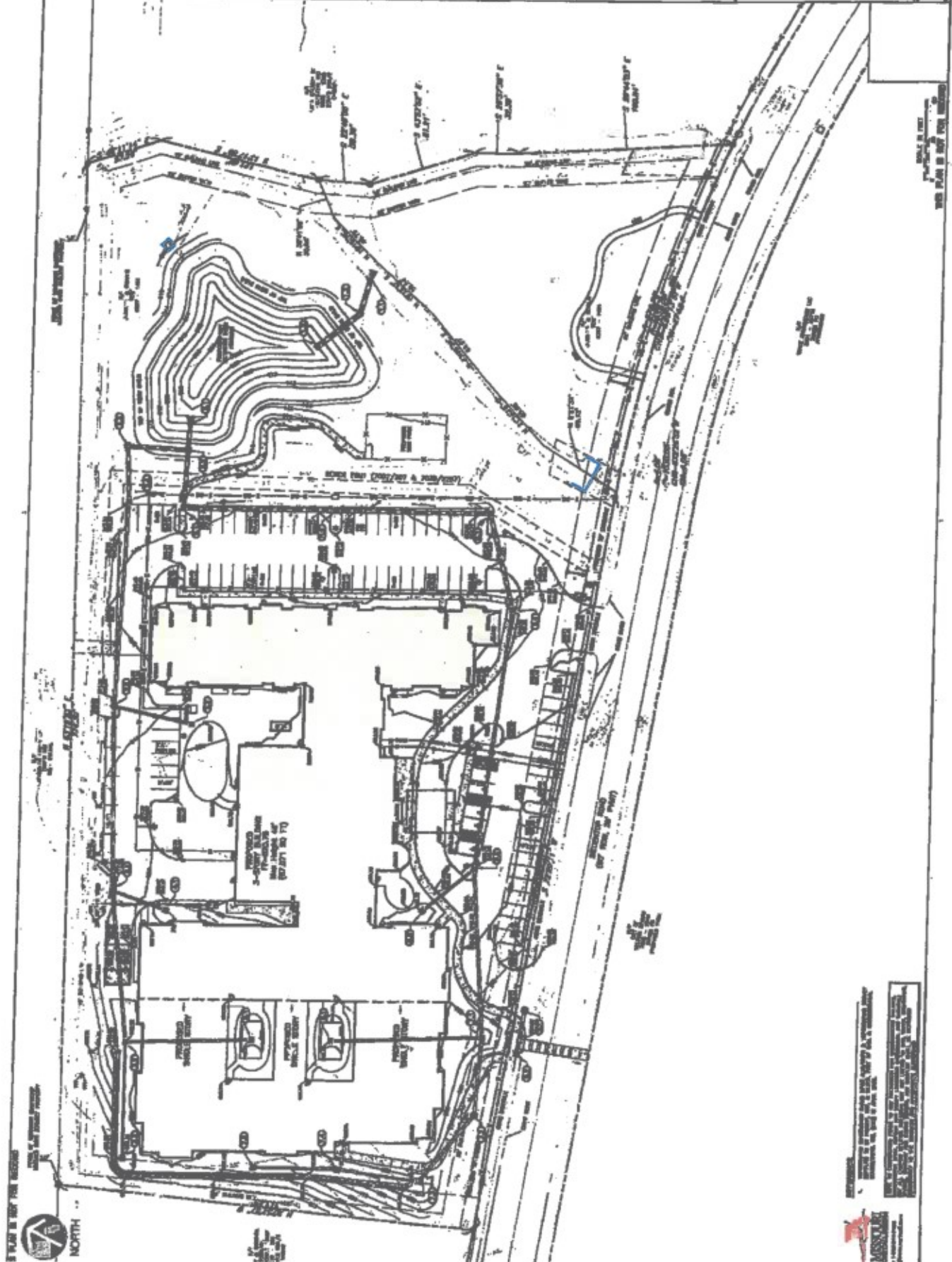


**THE BOLT COMPANY**  
830 JOHN NOLAN DR., SUITE 120  
MADISON, WI 53713  
(608) 259-8400

**PROJECT**  
Pulsifer  
Part of Civil & Environmental Consulting Inc. (CEC)  
1000 Lakeshore Drive - Madison, WI  
53706-1000  
www.pulsifer.com



<p>DATE: 10/15/2010          DRAWN BY: J. H. HARRIS          CHECKED BY: J. H. HARRIS          PROJECT: THE GOLDT COMPANY          SHEET: FDP4</p>	<p><b>Pidgett</b>          REVERSING          THE GOLDT COMPANY          600 JOHN FORDEN DR., SUITE 120          MADISON, WI 53713          (608) 259-8400</p>	<p>NOT PERMISSIVE OF WELDON BRAND          FINAL DEVELOPMENT PLAN          FDP4</p>
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**MASSMAN**  
 ENGINEERS & ARCHITECTS  
 1000 W. WISCONSIN AVENUE  
 MADISON, WI 53706  
 (608) 261-1111  
 WWW.MASSMANENGINEERS.COM





FINAL DEVELOPMENT PLAN  
LIGHTING PLAN  
NEW PROSPECTIVE OF WELDON BRIDGE

THE BOLT COMPANY  
660 John Nolan Dr., Suite 120  
Madison, WI 53713  
(608) 250-9400

Project Reviewer  
The City of Madison  
Engineering Department  
315 Walnut Street  
Madison, WI 53703  
(608) 261-3300

NO.	DATE	DESCRIPTION
1	10/1/10	Initial Review
2	10/15/10	Final Review

<p><b>SECTION 1: GENERAL NOTES</b></p> <p>1. ALL LIGHT FIXTURES ARE OF THE WALL MOUNTED TYPE UNLESS OTHERWISE NOTED.</p> <p>2. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p> <p>3. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p> <p>4. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p>	<p><b>SECTION 2: LIGHTING PLAN</b></p>	<p><b>SECTION 3: LIGHTING PLAN</b></p>
<p><b>SECTION 4: LIGHTING PLAN</b></p> <p>1. ALL LIGHT FIXTURES ARE OF THE WALL MOUNTED TYPE UNLESS OTHERWISE NOTED.</p> <p>2. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p> <p>3. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p> <p>4. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p>	<p><b>SECTION 5: LIGHTING PLAN</b></p>	<p><b>SECTION 6: LIGHTING PLAN</b></p>
<p><b>SECTION 7: LIGHTING PLAN</b></p> <p>1. ALL LIGHT FIXTURES ARE OF THE WALL MOUNTED TYPE UNLESS OTHERWISE NOTED.</p> <p>2. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p> <p>3. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p> <p>4. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.</p>	<p><b>SECTION 8: LIGHTING PLAN</b></p>	<p><b>SECTION 9: LIGHTING PLAN</b></p>

NO.	DATE	DESCRIPTION
1	10/1/10	Initial Review
2	10/15/10	Final Review

- LETTERING NOTES**
- 1. ALL LIGHT FIXTURES ARE OF THE WALL MOUNTED TYPE UNLESS OTHERWISE NOTED.
  - 2. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.
  - 3. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.
  - 4. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.

**Dualstar 36W LED Linear Flood & Sign Light, 3384 In, 85V-265V, 5000K, Bi-color**

1. ALL LIGHT FIXTURES ARE OF THE WALL MOUNTED TYPE UNLESS OTHERWISE NOTED.

2. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.

3. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.

4. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.

- LED FLOOD LIGHT NOTES**
- 1. ALL LIGHT FIXTURES ARE OF THE WALL MOUNTED TYPE UNLESS OTHERWISE NOTED.
  - 2. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.
  - 3. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.
  - 4. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY OF MADISON.

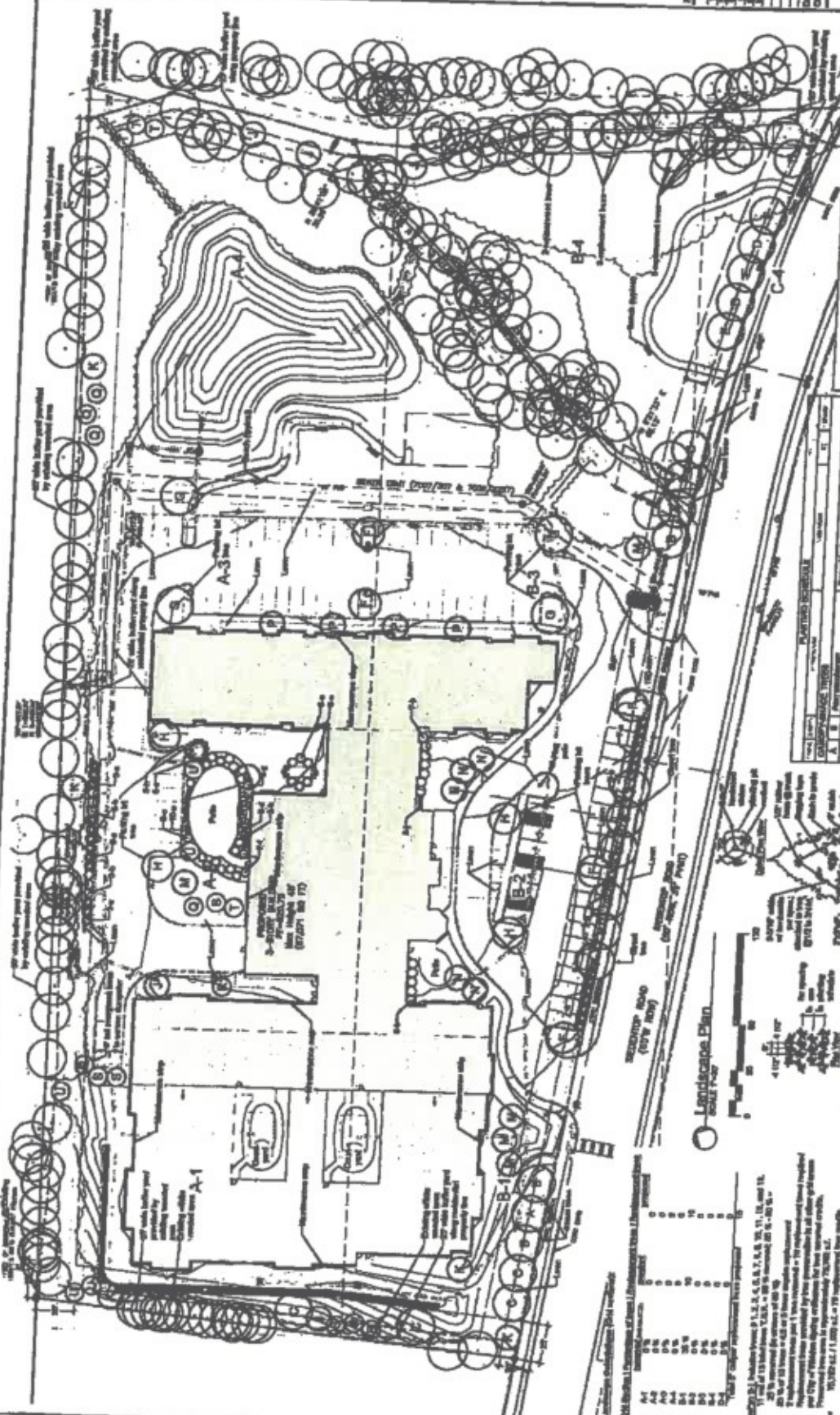


# New Perspective of Weldon Spring

Weldon Spring, Missouri

**LOOMIS ASSOCIATES**

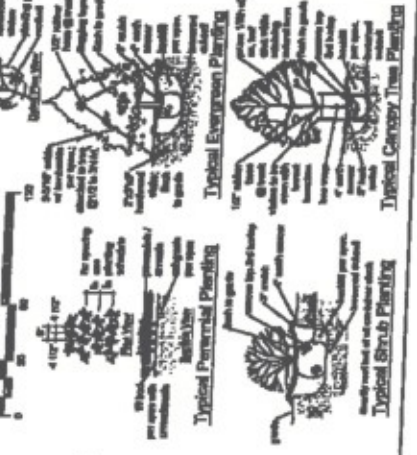
L1.01



PLANTING TYPE	PLANTING SPECIES	PLANTING QUANTITY
1	Plum	1
2	Red Maple	1
3	Green Ash	1
4	White Birch	1
5	Black Locust	1
6	Black Walnut	1
7	Red Maple	1
8	Green Ash	1
9	White Birch	1
10	Black Locust	1
11	Black Walnut	1
12	Red Maple	1
13	Green Ash	1
14	White Birch	1
15	Black Locust	1

PLANTING TYPE	PLANTING SPECIES	PLANTING QUANTITY
16	Plum	1
17	Red Maple	1
18	Green Ash	1
19	White Birch	1
20	Black Locust	1
21	Black Walnut	1
22	Red Maple	1
23	Green Ash	1
24	White Birch	1
25	Black Locust	1
26	Black Walnut	1
27	Red Maple	1
28	Green Ash	1
29	White Birch	1
30	Black Locust	1

### Landscape Plan



**Legend:**

- A1 - 10' x 10' canopy tree
- A2 - 10' x 10' canopy tree
- A3 - 10' x 10' canopy tree
- A4 - 10' x 10' canopy tree
- A5 - 10' x 10' canopy tree
- A6 - 10' x 10' canopy tree
- A7 - 10' x 10' canopy tree
- A8 - 10' x 10' canopy tree
- A9 - 10' x 10' canopy tree
- A10 - 10' x 10' canopy tree
- A11 - 10' x 10' canopy tree
- A12 - 10' x 10' canopy tree
- A13 - 10' x 10' canopy tree
- A14 - 10' x 10' canopy tree
- A15 - 10' x 10' canopy tree
- A16 - 10' x 10' canopy tree
- A17 - 10' x 10' canopy tree
- A18 - 10' x 10' canopy tree
- A19 - 10' x 10' canopy tree
- A20 - 10' x 10' canopy tree
- A21 - 10' x 10' canopy tree
- A22 - 10' x 10' canopy tree
- A23 - 10' x 10' canopy tree
- A24 - 10' x 10' canopy tree
- A25 - 10' x 10' canopy tree
- A26 - 10' x 10' canopy tree
- A27 - 10' x 10' canopy tree
- A28 - 10' x 10' canopy tree
- A29 - 10' x 10' canopy tree
- A30 - 10' x 10' canopy tree

**Notes:**

1. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
2. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
3. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
4. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
5. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
6. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
7. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
8. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
9. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
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12. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
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16. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
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18. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
19. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
20. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
21. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
22. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
23. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
24. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
25. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
26. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
27. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
28. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
29. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.
30. All trees to be planted in accordance with the specifications of the Missouri Department of Conservation.





Loomis Associates, Inc.  
1000 North 17th Street  
Columbia, Missouri 65201  
Phone: (314) 435-1100  
Fax: (314) 435-1101  
www.loomisassoc.com

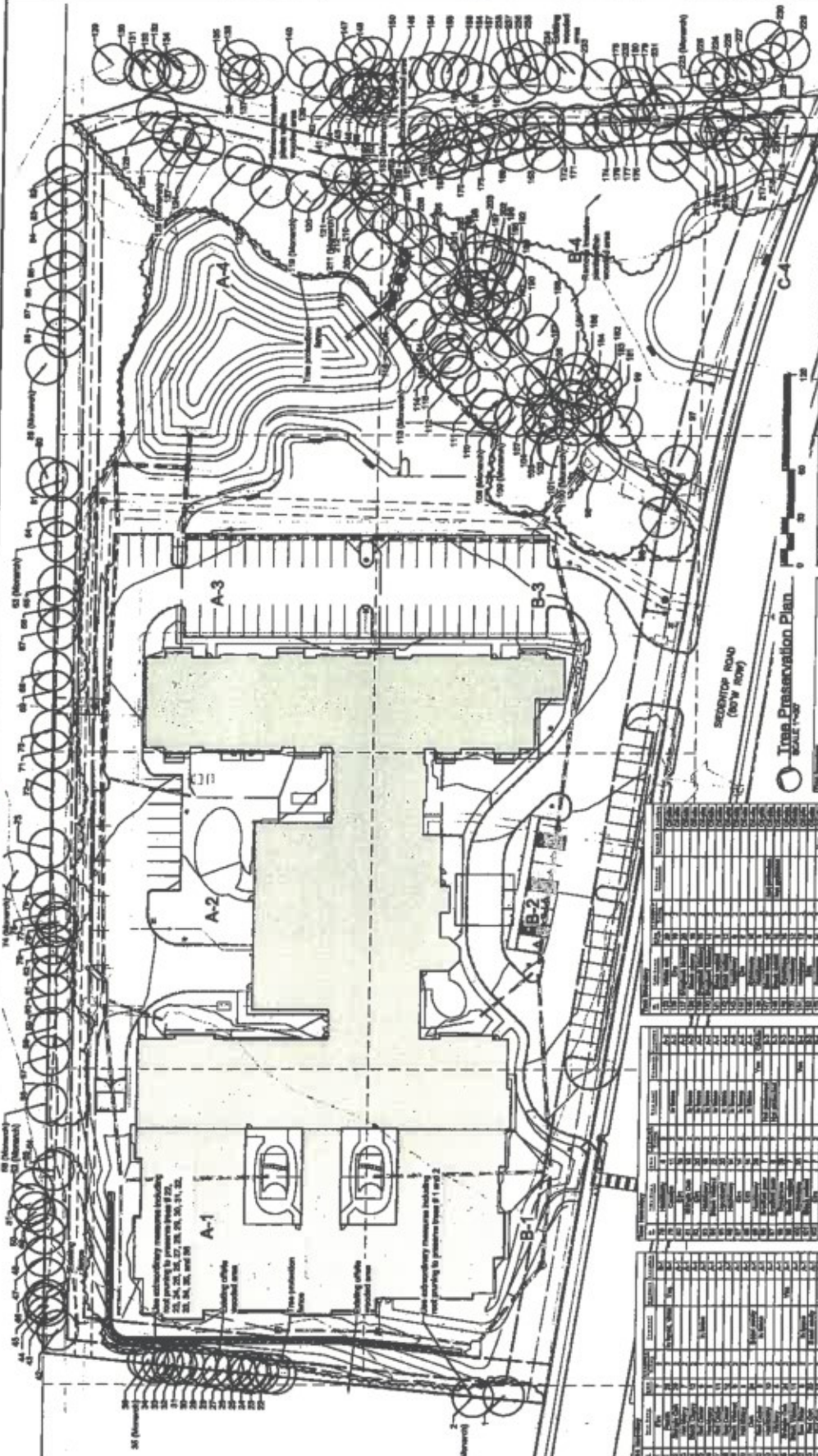
# New Perspective of Weldon Spring

Weldon Spring, Missouri

Revision	Description	Date
1	10/15/2011	10/15/2011
2	10/15/2011	10/15/2011
3	10/15/2011	10/15/2011
4	10/15/2011	10/15/2011
5	10/15/2011	10/15/2011
6	10/15/2011	10/15/2011
7	10/15/2011	10/15/2011
8	10/15/2011	10/15/2011
9	10/15/2011	10/15/2011
10	10/15/2011	10/15/2011

Loomis Associates, Inc.  
Landscape Architecture  
1000 North 17th Street  
Columbia, Missouri 65201  
Phone: (314) 435-1100  
Fax: (314) 435-1101  
www.loomisassoc.com

Sheet No. **TPP**  
Date: 10/15/2011  
Job No. 171.024



**Tree Preservation Plan**  
1. All trees shown on this plan are to be preserved.  
2. All trees shown on this plan are to be removed.  
3. All trees shown on this plan are to be preserved.  
4. All trees shown on this plan are to be removed.  
5. All trees shown on this plan are to be preserved.  
6. All trees shown on this plan are to be removed.  
7. All trees shown on this plan are to be preserved.  
8. All trees shown on this plan are to be removed.  
9. All trees shown on this plan are to be preserved.  
10. All trees shown on this plan are to be removed.

Tree No.	Tree Species	Tree Size (DBH)	Tree Condition	Tree Location
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...
4	...	...	...	...
5	...	...	...	...
6	...	...	...	...
7	...	...	...	...
8	...	...	...	...
9	...	...	...	...
10	...	...	...	...

Tree No.	Tree Species	Tree Size (DBH)	Tree Condition	Tree Location
11	...	...	...	...
12	...	...	...	...
13	...	...	...	...
14	...	...	...	...
15	...	...	...	...
16	...	...	...	...
17	...	...	...	...
18	...	...	...	...
19	...	...	...	...
20	...	...	...	...

Tree No.	Tree Species	Tree Size (DBH)	Tree Condition	Tree Location
21	...	...	...	...
22	...	...	...	...
23	...	...	...	...
24	...	...	...	...
25	...	...	...	...
26	...	...	...	...
27	...	...	...	...
28	...	...	...	...
29	...	...	...	...
30	...	...	...	...

Tree No.	Tree Species	Tree Size (DBH)	Tree Condition	Tree Location
31	...	...	...	...
32	...	...	...	...
33	...	...	...	...
34	...	...	...	...
35	...	...	...	...
36	...	...	...	...
37	...	...	...	...
38	...	...	...	...
39	...	...	...	...
40	...	...	...	...

Tree No.	Tree Species	Tree Size (DBH)	Tree Condition	Tree Location
41	...	...	...	...
42	...	...	...	...
43	...	...	...	...
44	...	...	...	...
45	...	...	...	...
46	...	...	...	...
47	...	...	...	...
48	...	...	...	...
49	...	...	...	...
50	...	...	...	...



Tree Protection Detail  
1. All trees shown on this plan are to be preserved.  
2. All trees shown on this plan are to be removed.  
3. All trees shown on this plan are to be preserved.  
4. All trees shown on this plan are to be removed.  
5. All trees shown on this plan are to be preserved.  
6. All trees shown on this plan are to be removed.  
7. All trees shown on this plan are to be preserved.  
8. All trees shown on this plan are to be removed.  
9. All trees shown on this plan are to be preserved.  
10. All trees shown on this plan are to be removed.





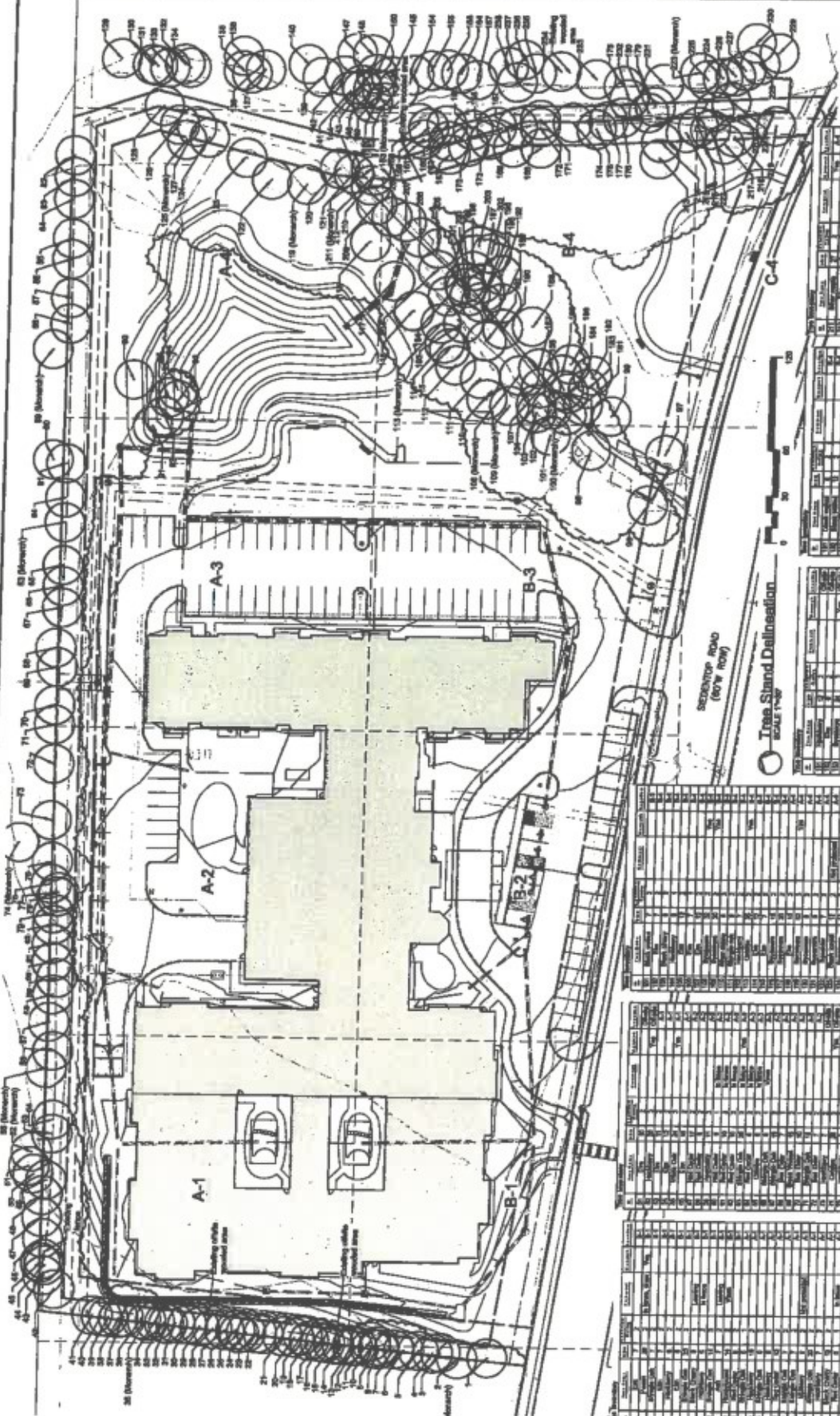
Weldon Springs, Missouri  
 No. 19745  
 State of Missouri  
 State Board of Professional Engineers

# New Perspective of Weldon Spring

Project: Weldon Springs, Missouri  
 Client: [Redacted]  
 Date: [Redacted]  
 Scale: 1" = 40'

**LOOMIS ASSOCIATES**  
 Landscape Architects + Planners  
 1101 West 11th Street, Suite 100  
 Weldon Springs, Missouri 64156  
 Phone: 816.338.1101  
 Fax: 816.338.1102  
 Email: info@loomisassociates.com  
 Website: www.loomisassociates.com

**TSD**  
 Title: [Redacted]  
 Date: 10/15/2022  
 Author: [Redacted]  
 Check: [Redacted]



**Tree Quantities Schedule**

Tree ID	Species	DBH (in)	Height (ft)	Notes
101	Maple	12	25	Preserve
102	Oak	10	20	Preserve
103	Walnut	8	18	Preserve
104	Birch	6	15	Preserve
105	Pine	4	10	Preserve
106	Redwood	14	30	Preserve
107	Juniper	5	12	Preserve
108	Cypress	3	8	Preserve
109	Sycamore	11	22	Preserve
110	Hickory	9	19	Preserve
111	Poplar	7	16	Preserve
112	Alder	5	11	Preserve
113	Boxelder	4	9	Preserve
114	Black locust	6	14	Preserve
115	Black gum	5	13	Preserve
116	Black locust	6	14	Preserve
117	Black gum	5	13	Preserve
118	Black locust	6	14	Preserve
119	Black gum	5	13	Preserve
120	Black locust	6	14	Preserve
121	Black gum	5	13	Preserve
122	Black locust	6	14	Preserve
123	Black gum	5	13	Preserve
124	Black locust	6	14	Preserve
125	Black gum	5	13	Preserve
126	Black locust	6	14	Preserve
127	Black gum	5	13	Preserve
128	Black locust	6	14	Preserve
129	Black gum	5	13	Preserve
130	Black locust	6	14	Preserve

**Tree Quantities Schedule**

Tree ID	Species	DBH (in)	Height (ft)	Notes
131	Maple	12	25	Preserve
132	Oak	10	20	Preserve
133	Walnut	8	18	Preserve
134	Birch	6	15	Preserve
135	Pine	4	10	Preserve
136	Redwood	14	30	Preserve
137	Juniper	5	12	Preserve
138	Cypress	3	8	Preserve
139	Sycamore	11	22	Preserve
140	Hickory	9	19	Preserve
141	Poplar	7	16	Preserve
142	Alder	5	11	Preserve
143	Boxelder	4	9	Preserve
144	Black locust	6	14	Preserve
145	Black gum	5	13	Preserve
146	Black locust	6	14	Preserve
147	Black gum	5	13	Preserve
148	Black locust	6	14	Preserve
149	Black gum	5	13	Preserve
150	Black locust	6	14	Preserve
151	Black gum	5	13	Preserve
152	Black locust	6	14	Preserve
153	Black gum	5	13	Preserve
154	Black locust	6	14	Preserve
155	Black gum	5	13	Preserve
156	Black locust	6	14	Preserve
157	Black gum	5	13	Preserve
158	Black locust	6	14	Preserve
159	Black gum	5	13	Preserve
160	Black locust	6	14	Preserve

**Tree Quantities Schedule**

Tree ID	Species	DBH (in)	Height (ft)	Notes
161	Maple	12	25	Preserve
162	Oak	10	20	Preserve
163	Walnut	8	18	Preserve
164	Birch	6	15	Preserve
165	Pine	4	10	Preserve
166	Redwood	14	30	Preserve
167	Juniper	5	12	Preserve
168	Cypress	3	8	Preserve
169	Sycamore	11	22	Preserve
170	Hickory	9	19	Preserve
171	Poplar	7	16	Preserve
172	Alder	5	11	Preserve
173	Boxelder	4	9	Preserve
174	Black locust	6	14	Preserve
175	Black gum	5	13	Preserve
176	Black locust	6	14	Preserve
177	Black gum	5	13	Preserve
178	Black locust	6	14	Preserve
179	Black gum	5	13	Preserve
180	Black locust	6	14	Preserve
181	Black gum	5	13	Preserve
182	Black locust	6	14	Preserve
183	Black gum	5	13	Preserve
184	Black locust	6	14	Preserve
185	Black gum	5	13	Preserve
186	Black locust	6	14	Preserve
187	Black gum	5	13	Preserve
188	Black locust	6	14	Preserve
189	Black gum	5	13	Preserve
190	Black locust	6	14	Preserve

**Tree Quantities Schedule**

Tree ID	Species	DBH (in)	Height (ft)	Notes
191	Maple	12	25	Preserve
192	Oak	10	20	Preserve
193	Walnut	8	18	Preserve
194	Birch	6	15	Preserve
195	Pine	4	10	Preserve
196	Redwood	14	30	Preserve
197	Juniper	5	12	Preserve
198	Cypress	3	8	Preserve
199	Sycamore	11	22	Preserve
200	Hickory	9	19	Preserve
201	Poplar	7	16	Preserve
202	Alder	5	11	Preserve
203	Boxelder	4	9	Preserve
204	Black locust	6	14	Preserve
205	Black gum	5	13	Preserve
206	Black locust	6	14	Preserve
207	Black gum	5	13	Preserve
208	Black locust	6	14	Preserve
209	Black gum	5	13	Preserve
210	Black locust	6	14	Preserve
211	Black gum	5	13	Preserve
212	Black locust	6	14	Preserve
213	Black gum	5	13	Preserve
214	Black locust	6	14	Preserve
215	Black gum	5	13	Preserve
216	Black locust	6	14	Preserve
217	Black gum	5	13	Preserve
218	Black locust	6	14	Preserve
219	Black gum	5	13	Preserve
220	Black locust	6	14	Preserve

**Tree Quantities Schedule**

Tree ID	Species	DBH (in)	Height (ft)	Notes
221	Maple	12	25	Preserve
222	Oak	10	20	Preserve
223	Walnut	8	18	Preserve
224	Birch	6	15	Preserve
225	Pine	4	10	Preserve
226	Redwood	14	30	Preserve
227	Juniper	5	12	Preserve
228	Cypress	3	8	Preserve
229	Sycamore	11	22	Preserve
230	Hickory	9	19	Preserve
231	Poplar	7	16	Preserve
232	Alder	5	11	Preserve
233	Boxelder	4	9	Preserve
234	Black locust	6	14	Preserve
235	Black gum	5	13	Preserve
236	Black locust	6	14	Preserve
237	Black gum	5	13	Preserve
238	Black locust	6	14	Preserve
239	Black gum	5	13	Preserve
240	Black locust	6	14	Preserve
241	Black gum	5	13	Preserve
242	Black locust	6	14	Preserve
243	Black gum	5	13	Preserve
244	Black locust	6	14	Preserve
245	Black gum	5	13	Preserve
246	Black locust	6	14	Preserve
247	Black gum	5	13	Preserve
248	Black locust	6	14	Preserve
249	Black gum	5	13	Preserve
250	Black locust	6	14	Preserve

**Tree Quantities Schedule**

Tree ID	Species	DBH (in)	Height (ft)	Notes
251	Maple	12	25	Preserve
252	Oak	10	20	Preserve
253	Walnut	8	18	Preserve
254	Birch	6	15	Preserve
255	Pine	4	10	Preserve
256	Redwood	14	30	Preserve
257	Juniper	5	12	Preserve
258	Cypress	3	8	Preserve
259	Sycamore	11	22	Preserve
260	Hickory	9	19	Preserve
261	Poplar	7	16	Preserve
262	Alder	5	11	Preserve
263	Boxelder	4	9	Preserve
264	Black locust	6	14	Preserve
265	Black gum	5	13	Preserve
266	Black locust	6	14	Preserve
267	Black gum	5	13	Preserve
268	Black locust	6	14	Preserve
269	Black gum	5	13	Preserve
270	Black locust	6	14	Preserve
271	Black gum	5	13	Preserve
272	Black locust	6	14	Preserve
273	Black gum	5	13	Preserve
274	Black locust	6	14	Preserve
275	Black gum	5	13	Preserve
276	Black locust	6	14	Preserve
277	Black gum	5	13	Preserve
278	Black locust	6	14	Preserve
279	Black gum	5	13	Preserve
280	Black locust	6	14	Preserve

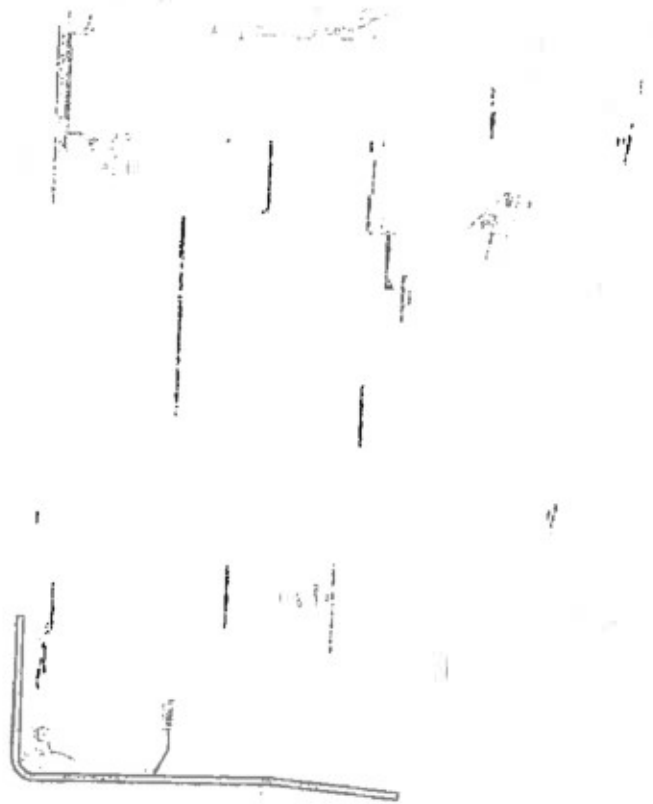
**Tree Stand Delineation**  
 SCALE 1"=40'

SEVENSTAR ROAD  
(NEW ROAD)

**Tree Quantities Schedule**



# NEW PERSPECTIVE SENIOR LIVING RETAINING WALL



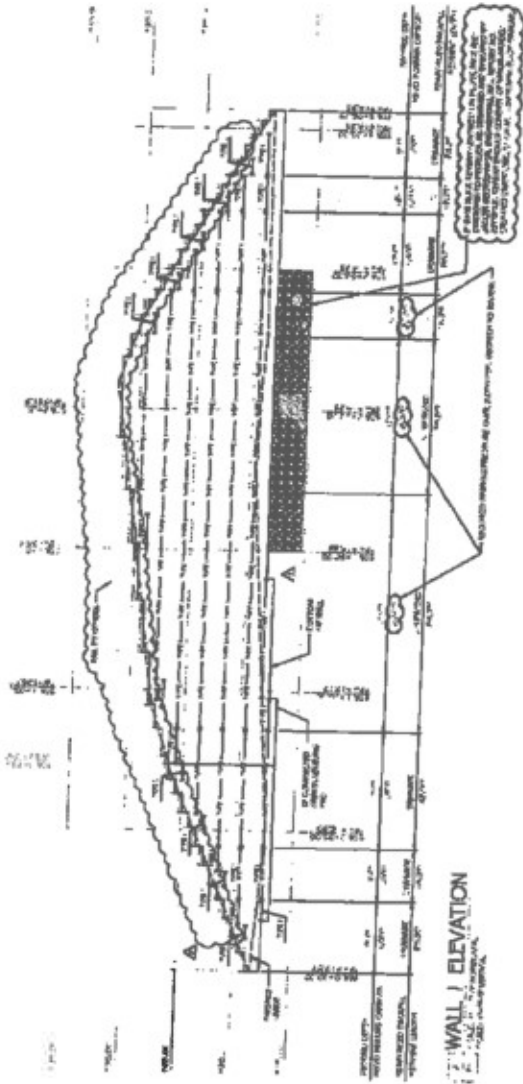
ARCH ENGINEERING  
1000 W. 10th Street  
COLUMBIA, MO 65201  
PHONE: 636-414-7271  
FAX: 636-424-7171

PROJECT: NPSL  
LOCATION: WELDON SPRING, MO  
SHEET: RETAINING WALL  
DATE: 6-27-04  
JOB NO.: 04-0004  
SHEET: COVER

THIS IS A PRELIMINARY DRAWING. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.



PLAN VIEW OF WALL 1



WALL 1 ELEVATION

IF THIS WALL IS TO BE CONSTRUCTED IN PLACE, THE FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL. THE FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL. THE FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL.

- 1. SEE NOTES FOR MATERIALS TO BE USED IN THIS WALL.
- 2. FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL.
- 3. THE FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL.
- 4. THE FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL.

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	CONCRETE	100	CU YD	100.00	100.00
2	STEEL REINFORCEMENT	100	LB	1.00	100.00
3	FORMWORK	100	SQ YD	1.00	100.00
4	LABOR	100	HOUR	1.00	100.00
5	PAINT	100	SQ YD	1.00	100.00
6	FINISH	100	SQ YD	1.00	100.00
7	FOUNDATION	100	CU YD	100.00	100.00
8	FOUNDATION	100	LB	1.00	100.00
9	FOUNDATION	100	SQ YD	1.00	100.00
10	FOUNDATION	100	HOUR	1.00	100.00
11	FOUNDATION	100	SQ YD	1.00	100.00
12	FOUNDATION	100	SQ YD	1.00	100.00
13	FOUNDATION	100	SQ YD	1.00	100.00
14	FOUNDATION	100	SQ YD	1.00	100.00
15	FOUNDATION	100	SQ YD	1.00	100.00
16	FOUNDATION	100	SQ YD	1.00	100.00
17	FOUNDATION	100	SQ YD	1.00	100.00
18	FOUNDATION	100	SQ YD	1.00	100.00
19	FOUNDATION	100	SQ YD	1.00	100.00
20	FOUNDATION	100	SQ YD	1.00	100.00

IF THIS WALL IS TO BE CONSTRUCTED IN PLACE, THE FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL. THE FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL. THE FOUNDATION SHALL BE CONSTRUCTED TO THE SAME DEPTH AS THE WALL.

**BORCH ENGINEERING**  
 1000 S. W. 10th Ave.  
 Ocala, FL 32601  
 PHONE 352-479-7778  
 FAX 352-479-7778

**WELDON SPRING, MO**  
 RETAINING WALL  
 ELEVATION & PLAN

**NPSL**  
 1000 S. W. 10th Ave.  
 Ocala, FL 32601  
 PHONE 352-479-7778  
 FAX 352-479-7778

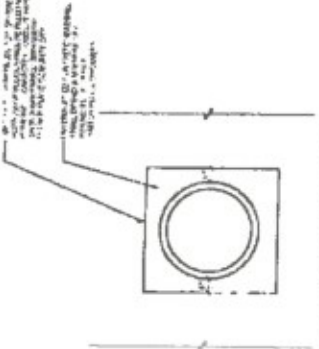
JOB NO. 20 0004  
 SHEET P1

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

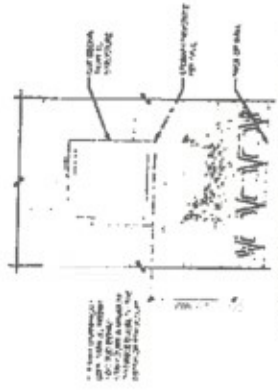




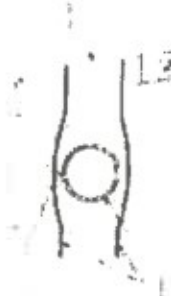
SEE PLAN FOR LOCATION OF WALLS, AND  
 ALL WALLS SHALL BE CONCRETE  
 AND FINISHED WITH  
 STAINLESS STEEL



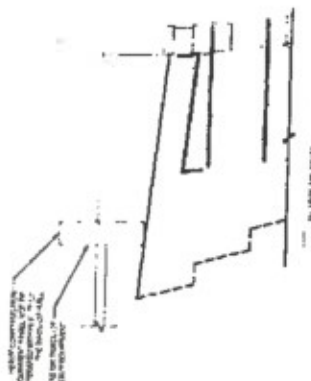
TYPICAL CONCRETE HEATING ELEMENT



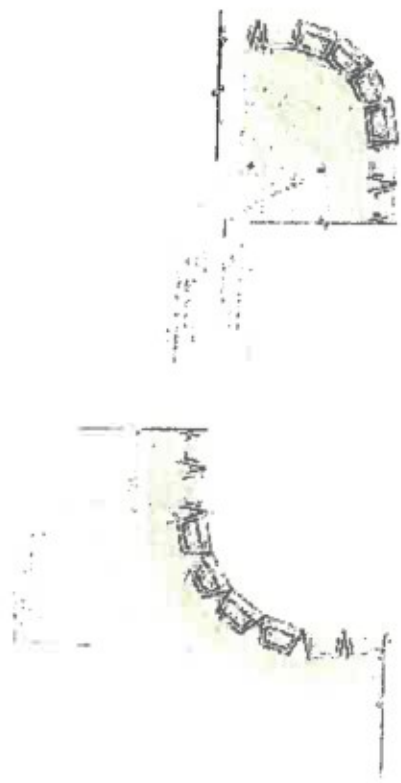
TYPICAL SECTION - AT STRINGER LEVEL



TYPICAL SECTION - AT PIPE



TYPICAL SECTION AT TOP OF WALL



TYPICAL CONCAVE CORNER DETAIL

SEE PLAN FOR LOCATION OF WALLS, AND  
 ALL WALLS SHALL BE CONCRETE  
 AND FINISHED WITH  
 STAINLESS STEEL



BOSH Engineering, Inc.  
 11000  
 11000  
 11000

