



LEO S. LUTZ
Mayor

EVAN M. GABEL
Solicitor

HEATHER ZINK
Borough Council President

MARK E. STIVERS
Borough Manager

COLUMBIA BOROUGH HISTORICAL ARCHITECTURAL REVIEW BOARD

Paul W. Myers Council Chambers, 308 Locust Street, Columbia

October 12, 2022, | 7:00 PM

FINAL AGENDA

This meeting will be live streamed via the Borough's Facebook page as a convenience and is not meant to replace in-person participation in the meeting.

- 1) Call to Order and Roll Call
- 2) Moment of Silence
- 3) Pledge to the Flag
- 4) Minutes for Approval – September 14, 2022, HARB Meeting
- 5) New Business
 - a) Consider motion to recommend to Borough Council for the COA – 149 N Third Street
APPLICANT/OWNER: Joseph Crouse/ARY 786 LLC
AGENT: CGA Architects Inc
CONTRACTOR: TBD
ALTERATION: ADA ramp, remove entry door and install French doors, install business signs, fur out exterior walls and install insulation
 - b) Consider motion to recommend to Borough Council for the COA – 218 Walnut Street
APPLICANT/OWNER: Adam Rohrer
AGENT: N/A
CONTRACTOR: Helm Construction Co
ALTERATION: Remove asphalt, slate, metal roofing and replace with asphalt shingles, replace flashing and replace metal windows with vinyl windows
 - c) Consider motion to recommend to Borough Council for the COA – 449 Union Street
APPLICANT/OWNER: Beneli Properties LLC/Michael Elia
AGENT: N/A
CONTRACTOR: Joel Ulrich
ALTERATION: Replace existing front door, install storm door, replace picture window



- 6) Presentation of Administrative Approvals (information only) Listed Below
- i) 16 S Third Street – paint windows, doors, overhang – replace rotted wood with in-kind materials
 - ii) 235 N Second Street – replace dormer roof with in-kind materials
 - iii) 129 N Fifth Street – replace half-round gutters with same style gutters
 - iv) 418 Walnut Street – replace side porch bracing/railing/deck boards with in-kind materials
 - v) 621 Chestnut Street – replace bay roof on front of dwelling with in-kind materials
 - vi) 334 N Third Street – replace rubber roof with rubber
 - vii) 17 S Third Street – exterior painting of side and rear of building – already painted
 - viii) 356 Maple Street – replace shingled roof with shingles

7) Public Comments and Questions

Civility and Decorum: Borough officials and members of the public are expected to conduct themselves with civility and to accord each other a measure of dignity and respect. Shouting, foul language, personal insults, threats, and attacks or any conduct that disrupts the flow of business is out of order.

8) Other Business

9) Motion to Adjourn

(Next Meeting, November 9, 2022)

If you are a person with a disability wishing to attend this meeting and require an accommodation to participate in the meeting, please contact the Columbia Borough Office at (717) 684-2467 at least 24 hours prior to the meeting.

**BOROUGH of COLUMBIA COUNCIL
HISTORICAL ARCHITECTURAL REVIEW BORAD
MINUTES**

September 14, 2022 | 7:00 PM
Paul W. Myers Council Chambers

1. Vice Chairperson Kerekgyarto called the meeting to order at 7:00 p.m.

Board Members present: Barley, Mountain, Brandt, Carrigan, and Architect Kerekgyarto,

Board Members absent: Lutz

Staff Present: Theresa O'Donnell, Administrative Assistant

2. There was a moment of silence.

3. There was the pledge to the flag.

4. Minutes for Approval.

Motion to approve minutes for the August 10, 2022, meeting.

Motion by:	Second by:	Voice Vote:
Carrigan	Barley	All Favored – Motion Carried

5. New Business

- a) Consider motion to recommend to Borough Council for the COA – 311 Chestnut St
APPLICANT/OWNER: Justine Peters & Ronald Heisey
AGENT: N/A
CONTRACTOR: Certa Pro
ALTERATION: Paint the entire dwelling “Victorian dark grey”

Motion to recommend to Borough Council approval for the COA 311 Chestnut Street

Motion by:	Second by:	Voice Vote:
Brandt	Barley	All Favored – Motion Carried

- b) Consider motion to recommend to Borough Council for the COA – 129 N Fifth Street
APPLICANT/OWNER: Stanley Investments LLC – Jessica Mann
AGENT: N/A
CONTRACTOR: Mass Seamless Gutter
ALTERATION: Replace ½ round gutters with “K” style gutters and spouting

Motion to deny to Borough Council approval for the COA 129 N Fifth Street

Motion by:	Second by:	Voice Vote:
Brandt	Mountain	All Favored – Motion Carried

- c) Consider motion to recommend to Borough Council for the COA – 332 Locust Street
 APPLICANT/OWNER: Lancaster Co Redevelopment Authority
 AGENT: N/A
 CONTRACTOR: D H Funk and Sons
 ALTERATION: Demolish existing comm/res building to construct outdoor commercial eatery seating area

Motion to deny to Borough Council approval for the COA 332 Locust Street

Motion by:	Second by:	Voice Vote:
Brandt	Mountain	All Favored – Motion Carried

- 6) Presentation of Administrative Approvals (information only) Listed Below
- i) 448 Cherry Street – replace asphalt roof with asphalt shingles
 - ii) 131 N Seventh Street – replace front and porch roof asphalt shingles with asphalt shingles
 - iii) 528 N Third Street – repaint already painted façade of dwelling
 - iv) 311 Cherry Street – cap wall on third floor roof aluminum to aluminum – replace vinyl siding to rear of dwelling
 - v) 113 South Third Street – replace asphalt roof with asphalt shingles
 - vi) 230 North Fourth Street – repaint already painted exterior of commercial building
 - vii) 527 N Second Street – in-kind replacement of windows, roof, siding, paint wood trim

7) Public Comments and Questions- None

8) Other Business- None

9) Motion to adjourn the meeting at 7:27 PM.

Motion by:	Second by:	Voice Vote:
Carrigan	Barley	All Favored – Motion Carried

MOTIONED AND APPROVED this 12th day of October 2022, by the Historical Architectural Review Board of the Borough of Columbia, Lancaster County, Pennsylvania, in lawful session duly assembled.

BOROUGH OF COLUMBIA, LANCASTER COUNTY, PENNSYLVANIA

By:

Jonathan Lutz, Chairperson of the Board



LEO S. LUTZ **EVAN M. GABEL**
Mayor Solicitor
HEATHER ZINK **MARK E. STIVERS**
Borough Council President Borough Manager

AGENDA DATE: October 12, 2022

TO: Historic Architecture Review Board
RE: HARB COA for 149 N Third Street
 Permit No.220-299 / Account No.
 1102891900000

FROM: Sharon Cino, Planning & Zoning Manager
VIA: Mark E Stivers, AICP, Borough Manager

TITLE: Consideration of a Certificate of Appropriateness (COA) the property located at 149 N Third Street for exterior and interior renovations to include the removal and installation of French doors, ADA ramp, installation of business signs, fur out exterior walls and install new insulation.

OWNER/APPLICANT: Joseph Crouse
 150 S Donerville Rd
 Lancaster, PA 17603

LEASED TO: ARY, 786, LLC

ARCHITECT: CGA Architects, Inc.
 Ian Norman
 134 W Main Street
 Leola, PA 17540

CONTRACTOR: TBD

PROJECT DESCRIPTION: The applicant is proposing to renovate and the old Subway for the operation of a new convenience store with interior and exterior renovations. The aspects of the project concerning the exterior renovations include the following:

- Removal of existing entry door and widening of existing opening to make room for new asymmetric French storefront doors. Existing finishes and trim to be modified to conform to new opening and match existing style.
- Removal and replacement of existing exterior floodlighting to better illuminate the building for security purposes. New lighting to be shielded and directed downward. The proposed lighting specification is attached.



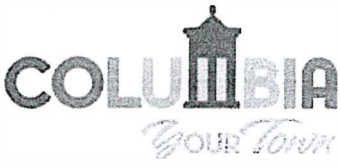
- Removal and replacement of existing curb to make room for a new ADA compliant sidewalk and curb cut ramp for the accessible route from parking space to entry door. Existing macadam to be graded as necessary to ensure no portion of new curbing is greater than 8" above finished grade.

PROPERTY DESCRIPTION: The commercial fast-food building (old Subway) was constructed in 1970 and is located in the Downtown Commercial (DC) zoning district and is also located in the historic district.

SECRETARY OF THE INTERIOR STANDARDS THAT APPLY: 1 and 9

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (9) New additions, exterior alterations or related new construction will not destroy historic materials, features, and spatial relations that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic material features, site scale and proportion and massing to protect the integrity of the property and its environment.

STAFF RECOMMENDATION: Staff recommends approval of the COA for 149 N Third Street to include exterior and interior renovations to include the removal and installation of French doors, ADA ramp, and installation of business sign with new shielded lighting.



Borough of Columbia
ZONING /HARB REVIEW

COPY

22-299

9/26/22
Date of Application

Check List: Your completed application should include:
HARB Letter of Intent (LOI)
Plot Plan Drawings
Elevation Drawings
Photographs
Brochure or Catalog Cut
Material Sample
Other (specify):

PLEASE PRINT OR WRITE LEGIBLY

1. Owner's Name: Joseph L & Bette J Crouse
If applicant is not the equitable owner of the property, indicate:
Owner's Agent/Representative
Other
Letter Submitted by Property Owner, authorizing Agent/Representative to act:

Street Address: 150 S. Donerville Rd.
Mailing Address if different:
City: Lancaster State: PA Zip: 17603
Phone (daytime): N.A Email: N/A

2. Street Address of Property to be Reviewed (if different): 149 N. 3RD ST. COLUMBIA, PA 17512

3. Contractor's Name: TBD
Street Address:
Mailing Address (if different):
City: State: Zip:
Phone (daytime): Email:

4. Architect/Engineer (if applicable): CGA ARCHITECTS INC.
Street Address: 134 W. MAIN ST.
Mailing Address (if different):
City: LEOLA State: PA Zip: 17540
Phone (daytime): 717-656-4183 EX 42 Email: IAN@CGAARCHITECTS.COM

5. Property Use (Check all that apply):
Single Family Residence
Multi-Family Residence
Office
Commercial/Retail
Industrial
Institutional
Vacant
Particular Building Type:
single, detached
duplex
row
apartment building
warehouse
other:
Property Data (if unknown, leave blank)
1. Date building constructed:
2. Date of additions/alterations:

6. **Proposed Alteration(s), Demolition or New Construction (list each item separately):**

Example: 1. replace existing front door with wood four-panel door
2. install storm door

DEMOLISH EXISTING ENTRY DOOR AND WIDEN OPENING FOR NEW ASYMMETRIC FRENCH DOOR

INSTALL NEW BACK-LIT ILLUMINATED SIGNS IN EXISTING BUILDING SIGN FRAMES

INSTALL NEW BACK-LIT ILLUMINATED SIGNS IN EXISTING FREE-STANDING SIGN FRAME

DEMO EXISTING INTERIOR WALLS AND CONSTRUCT NEW CHECKOUT AREA, ADA BATHROOM AND OFFICE

FUR OUT EXTERIOR WALLS AND INSTALL NEW BATT INSULATION

DEMOLISH INTERIOR FINISHES AND REPLACE WITH NEW FLOOR TILE THROUGHOUT

DEMO INTERIOR CEILING GRID AND TILE AND REPLACE WITH NEW. INSTALL NEW LED LIGHTING.

CONSTRUCT NEW CEILING BULKHEAD AND INSTALL NEW COOLER UNIT

INSTALL NEW DISPLAY RACKS, SHELVING AND SERVICE COUNTERS

DEMO EXISTING NON-ADA COMPLIANT CURB AND INSTALL NEW ADA COMPLIANT SIDEWALK AND CURB RAMP

7. **Costs**

Estimate the total cost of the alteration(s): \$50,000

8. **Date of Review**

Date of meeting at which application will be reviewed: 10/12/22

I, the undersigned, understand that any work affecting existing ordinances must be in compliance with those ordinances, that major work is subject to inspection, that new structures require a Certificate of Occupancy upon completion, that any misrepresentation of the proposed work is cause for withdrawal of the work permit, and any work beyond the scope of the work permit is cause for a Civil Action Complaint. The minimum penalty as prescribed by the Pennsylvania Municipalities Planning Code is \$500.00.

9. Signature of Owner: [Signature] Date: 9/26/22

10. Signature of Zoning Official: _____ Date: _____

Applicant was given:

Pink Placard (to be prominently displayed by applicant on the property where the alterations are proposed)

Meeting Notice (provides applicant with date, time, and location of meeting at which application will be reviewed)

Official Use Only

Date of site visit: _____

Property Description (building inventory data sheet)

Historic Function: _____ Particular Type: _____ Current Function: _____

Architectural Style: _____

Exterior Materials: _____

Structural System: _____ Foundation: _____

Bays: _____ Stories: _____

Roof Pitch: _____ Roof Materials: _____ Roof/Wall Junction: _____

Dormers: _____ Chimney: _____

Porch: _____ Porch Support: _____

General Condition: _____ Integrity: _____

Field Notes: _____



PROJECT: 149 N. 3RD STREET

PROJECT #: 220864

RE: HARB SUBMISSION NARRATIVE

On behalf of our Client, Amir Paracha and his company ARY 786 LLC, CGA Architects, Inc wishes to submit to the Columbia Borough HARB the proposed changes to the property located at 149 N. 3rd St, Columbia, PA 17512. The property is located within the Historic District and requires your review. CGA Architects, Inc. delineates these changes below:

- The interior of the building shall be gutted down to existing structural members for construction of new interior partitions and finishes inline with the established aesthetic of our client's brand.
- The existing exterior front door with incompatible hinging for ADA access shall be demolished, and the opening widened to allow the installation of a new asymmetric French door to allow ADA access with proper clearances as well as facilitate the ingress of products needed to stock the store.
- The existing curbing in front of the building shall be demolished for the construction of a new ADA compliant sidewalk and curb ramp into an otherwise inaccessible building. The site macadam shall be graded as required next to the new curbing for tie in and clearance purposes.
- The existing flood lamps on the building will be removed and replaced with new LED shielded flood lights to both illuminate the building for security as well as cut down on light pollution caused by the previous lights.
- The existing illuminated sign boxes present on the building and free-standing sign are to be refaced with new back-lit illuminated signs displaying the store name.

These changes are all requested and in CGA's opinion, necessary for the operation of a new convenience store at the project location.

Please let us know if you have any questions or comments. I can be reached at 717-656-4183, ext. 42 or by email at Ian@cgaarchitects.com.

CGA ARCHITECTS, INC.

Ian Norman
Project Coordinator

File/copy
Owner/copy

Enclosure

s:\cgaprojects\1493rdStreet\HARB9.26.22

JOE & PAUL
CROUSE USED CARS

5-2172-1

SUBWAY

SUBWAY
OPEN

EAT FRESH
REFRESH
WITH A WHOLE LOT

149

REFRESH





REVISIONS	NO.	DATE	REMARKS
△	-	-	-

APPLICABLE CODES

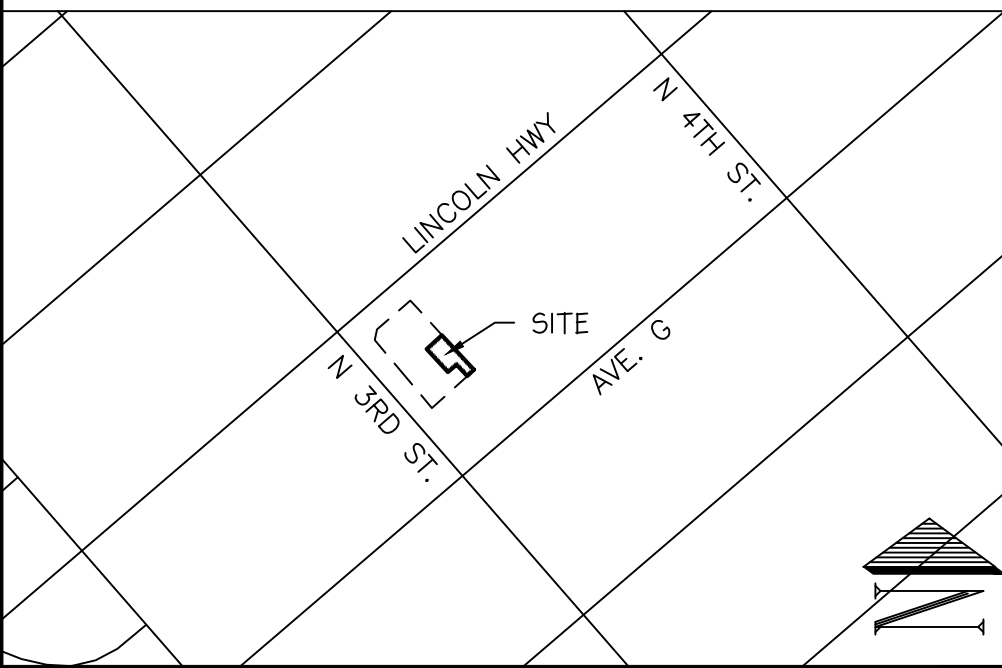
PA UNIFORM CONSTRUCTION CODE (UCC)
 2018 INTERNATIONAL BUILDING CODE (IBC)
 2018 INTERNATIONAL BUILDING CODE: CHAPTER 11 & APPENDIX E (ACCESSIBILITY)
 2017 ANSI A117.1 (ACCESSIBILITY)
 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) NOTE: SEE PA AMENDMENTS FOR MODIFICATIONS & EXCLUSIONS.
 2018 INTERNATIONAL ENERGY CONSERVATION CODE: SECTION 102.1.1 (ABOVE CODE PROGRAMS), 104.3 (FINAL INSPECTION), & 403.2.3 (BUILDING CAVITIES).
 2018 INTERNATIONAL ENERGY CONSERVATION CODE: SECTION R403.3.6 (DUCTS BURIED WITHIN CEILING INSULATION), R403.3.7 (DUCTS IN CONDITIONED SPACE), & R406.4 FOOTNOTE "a" (MAX ENERGY RATING INDEX).
 NFPA 70-2014 NATIONAL ELECTRICAL CODE (NEC)

PROJECT OVERVIEW

INTERIOR RENOVATIONS TO EXISTING BUILDING TO CONVERT RESTAURANT TO CONVENIENCE STORE INCLUDING REFACING 2 EXISTING BUILDING SIGNS AND 1 EXISTING FREESTANDING SIGN.

DEFERRED SUBMITTALS

SITE LOCATION MAP



OWNER

PAK786LLC
 481 WHEATFIELD DR.
 LITITZ, PA. 17543
 717-513-0082

CODE OFFICIALS

COLUMBIA BOROUGH
 308 LOCUST STREET
 COLUMBIA, PA 17512
 (717) 684-2467

DRAWING INDEX

DWG #	DESCRIPTION	DATE
CS	COVER SHEET	08/31/22
SP1.1	SITE PLAN	08/31/22
A1.1	PROPOSED FLOOR PLAN	08/31/22
A1.2	PROPOSED REFLECTED CEILING PLAN	08/31/22
A2.1	BUILDING ELEVATIONS	08/31/22

CONSULTANTS

GENERAL NOTES

- SILL PLATES ON A CONCRETE MASONRY SLAB WHICH IS IN DIRECT CONTACT WITH EARTH SHALL BE OF APPROVED NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
- SAFETY GLAZING SHALL BE PROVIDED AT ALL HAZARDOUS LOCATIONS.
- FIRE BLOCKING IS REQUIRED AT THE CONNECTION OR JUNCTURE BETWEEN HORIZONTAL SPACES THAT OCCUR AT SOFFITS, OVER CABINETS, DROOP CEILING (i.e. ACOUSTICAL TILE CEILINGS), COVE CEILING AND SIMILAR LOCATIONS.
- ALL CONTROLS, OPERATING MECHANISMS AND HARDWARE SUCH AS FAUCET HANDLES FOR SINKS (EXCEPT UTILITY / MOP SINKS), VENTILATION SYSTEMS CONTROLS, ELECTRICAL OUTLETS ETC., SHALL BE HANDICAP ACCESSIBLE WHEN LOCATED ALONG ACCESSIBLE ROUTES AND / OR WHEN THEY ARE LOCATED IN ACCESSIBLE SPACES.
- ALL DOORS SHALL BE EQUIPPED WITH APPROVED HARDWARE FOR USE BY THE PHYSICALLY HANDICAPPED.
- NO SIGNS ARE INCLUDED IN THIS APPROVAL. ALL SIGNS SHALL BE INSTALLED UNDER A SEPARATE SIGN PERMIT ISSUED AND APPROVED BY TOWNSHIP.
- PROVIDE A CONVENIENCE OUTLET ON THE SAME LEVEL, WITHIN 25 FEET OF ALL MECHANICAL EQUIPMENT.
- PROVIDE A DISCONNECTING MEANS AT ALL MOTORS, APPLIANCES AND HEATING EQUIPMENT.
- ALL WATER CLOSETS SEATS SHALL BE OF THE HINGED OPEN FRONT TYPE.
- THE WATER CLOSETS SHALL BE OF THE ELONGATED TYPE.
- JOINTS FORMED WHERE PLUMBING FIXTURES COME IN CONTACT WITH WALL OR FLOORS SHALL BE SEALED.
- OUTSIDE ABOVE GRADE GAS PIPING SHALL BE SECURELY SUPPORTED AND PROTECTED FROM PHYSICAL DAMAGE.
- THE POTABLE WATER SYSTEM PIPING IS REQUIRED TO BE PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. THE TOWNSHIP REQUIRES EVIDENCE OF SATISFACTORY DISINFECTION PRIOR TO GIVING FINAL PLUMBING / BUILDING APPROVAL.
- AIR DISTRIBUTION SYSTEMS WITH A CAPACITY GREATER THAN 2,000 CFM ARE REQUIRED TO BE EQUIPPED WITH APPROVED SMOKE DETECTORS IN THE RETURN AIR DUCT OF PLENUM UPSTREAM OF ANY FILTERS OR DECONTAMINATION EQUIPMENT. SMOKE DETECTORS MUST BE SUPERVISED BY A FIRE ALARM CONTROL PANEL AND COMPATIBLE WITH THE FIRE ALARM SYSTEM.
- A CLEARANCE OF 1" SHALL BE PROVIDED AROUND ALL PIPES PASSING THROUGH CONCRETE SLABS AND WALL. A SUITABLE MATERIAL SHALL BE USED TO SEAL THE ANNULAR SPACE AROUND THE PIPE. THE MATERIAL USED SHALL ALLOW PIPE MOVEMENT WHEN THE BUILDING STRUCTURE MOVES INDEPENDENTLY OF THE PIPING.
- CONTRACTOR TO PROVIDE SIGNED AND SEALED COPIES OF THE TRUSS DRAWINGS WITH THE DESIGN LOADS FOR EACH TRUSS. THESE SHALL BE SUBMITTED A MINIMUM OF 2 WEEKS IN ADVANCE OF THE EXPECTED ROOF FRAMING INSPECTION.
- GAS PIPING, OUTSIDE AND ABOVE GROUND SHALL BE SECURELY SUPPORTED AND PROTECTED FROM PHYSICAL DAMAGE. ALL GAS PIPING THAT PENETRATES A FOUNDATION WALL MUST BE ABOVE GRADE.
- THE HVAC SYSTEM DESIGN SHALL MEET ALL REQUIREMENTS OF THE 2009 INTERNATIONAL MECHANICAL CODE.
- ALL WORK WITHIN DEMISED PREMISES TO COMPLY WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (ADA), ALL STATE AND LOCAL CODES AND LANDLORD'S CRITERIA.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES.
- ALL NECESSARY PERMITS TO BE OBTAINED BY CONTRACTOR AND SUBCONTRACTOR AS REQUIRED.
- FIRE EXTINGUISHERS TO BE INSTALLED AS REQUIRED.
- ALL INSIDE LOCKS, LATCHES, PULLS, ECT, SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE THE DEVICE. KEYS OR THUMB TURNED DEAD BOLTS ARE PROHIBITED TO BE USED ON EGRESS SIDE OF REQUIRED EXIT DOORS.
- ALL EXIT SIGNS SHALL BE INTERNALLY ILLUMINATED AND CONNECTED TO A NORMAL POWER SOURCE AND CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM IN ACCORDANCE WITH NEC ARTICLE 700.
- ALL EMERGENCY EXIT AND MEANS OF EGRESS LIGHTING SHALL BE CONNECTED TO THE SAME BRANCH CIRCUITS SERVING THE NORMAL AREA LIGHTING AND CONNECTED AHEAD OF ANY LOCAL SWITCHES AS PER NEC ARTICLE 700-12(E).
- ALL JOINTS FORMED WHERE PLUMBING FIXTURES COME IN CONTACT WITH WALLS OF FLOORS SHALL BE SEALED.
- ALL WATER HEATER PRESSURE RELIEF VALVES DISCHARGES SHALL DISCHARGE INTO DRAIN PAN OR BE PIPED TO WITHIN 6" OF THE FLOOR.

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	INT	INTERIOR
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
ALUM	ALUMINUM	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MTL	METAL
BLKG	BLOCKING	MEZZ	MEZZANINE
BSMT	BASEMENT	MIN	MINIMUM
CLG	CEILING	MTD	MOUNTED
CLR	CLEAR	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	PART	PARTITION
CONST	CONSTRUCTION	PLAM	PLASTIC LAMINATE
CONT	CONTINUOUS	PLYWD	PLYWOOD
DEMO	DEMOLITION	QTY	QUANTITY
DET	DETAIL	RAD	RADIUS
DIA	DIAMETER	REQ'D	REQUIRED
DIM	DIMENSION	REV	REVISION
DWG	DRAWING	RM	ROOM
DF	DRINKING FOUNTAIN	SCHED	SCHEDULE
EA	EACH	SECT	SECTION
ELEC	ELECTRIC	SHT	SHEET
ELEV	ELEVATION	SIM	SIMILAR
EQ	EQUAL	SC	SOLID CORE
EXIST	EXISTING	SF	SQUARE FEET
EXP	EXPOSED	STL	STEEL
EXT	EXTERIOR	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURE
FIN	FINISH	SUSP	SUSPENDED
FLR	FLOOR	TBD	TO BE DETERMINED
FND	FOUNDATION	TEMP	TEMPERED
FURN	FURNISH	T & G	TONGUE AND GROOVE
GWB	GYPSON WALL BOARD	TYP	TYPICAL
HC	HOLLOW CORE	VCT	VINYL COMPOSITION TILE
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HR	HOUR	VERT	VERTICAL
HWH	HOT WATER HEATER	WD	WOOD
INSUL	INSULATION	WDW	WINDOW

CODE ANALYSIS

	2018 IBC AND IEBC	SECTION	REMARKS
CLASSIFICATION OF WORK: "LEVEL 3 ALTERATIONS"			
CHAPT 3	USE & OCCUPANCY	M (MERCANTILE)	302
CHAPT 4	SPECIAL REQUIREMENTS		
	N/A		
CHAPT 5	BLDG HEIGHTS & AREAS		
	ALLOWABLE BUILDING HEIGHT	40'	TABLE 504.3
	ACTUAL BUILDING HEIGHT	±14'-6"	
	ALLOWABLE STORIES (ABOVE GRADE PLANE)	1	TABLE 504.4
	ACTUAL STORIES (ABOVE GRADE PLANE)	1	
	ALLOWABLE AREA PER FLOOR	9,000 SF	TABLE 506.2
	AREA MODIFICATIONS (USE & STORIES)	N/A	506.2.1-506.2.4
	AREA MODIFICATIONS (FRONTAGE)	N/A	506.3
	ACTUAL AREA PER FLOOR	±1,414 SF	
	MIXED USE AND OCCUPANCY (METHOD OF COMPLIANCE)	N/A	508
CHAPT 6	TYPES OF CONSTRUCTION		
	TYPE OF CONSTRUCTION	VB	602
	STRUCTURAL FRAME	0-HR	TABLE 601
	EXTERIOR BEARING WALLS	0-HR	TABLE 601
	INTERIOR BEARING WALLS	0-HR	TABLE 601
	EXTERIOR WALLS (FIRE SEPARATION DISTANCE)	0-HR	TABLE 602
	INTERIOR NON-BEARING WALLS	0-HR	
	FLOOR CONSTRUCTION	0-HR	TABLE 601
	ROOF CONSTRUCTION	0-HR	
CHAPT 7	FIRE & SMOKE PROTECTION		
	STRUCTURAL MEMBERS	0-HR	704
	EXTERIOR WALLS (OPENINGS)	N/A	705
	FIRE WALLS	N/A	706
	FIRE BARRIERS	N/A	707
	FIRE PARTITIONS	N/A	708
	SMOKE BARRIERS	N/A	709
	SMOKE PARTITIONS	N/A	710
	FLOOR & ROOF ASSEMBLIES	N/A	711
	VERTICAL OPENINGS	N/A	712
	SHAFT ENCLOSURES	N/A	713
	PENETRATIONS	N/A	714
	JOINT SYSTEMS	N/A	715
	OPENING PROTECTIVES	N/A	716
	DUCT & TRANSFER OPENINGS	N/A	717
	CONCEALED SPACES	N/A	718
CHAPT 8	INTERIOR FINISHES		
	INT EXIT STAIRS/RAMPS & EXIT PASSAGeways	N/A	
	CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRS/RAMPS	N/A	TABLE 803.1.1
	ROOMS & ENCLOSED SPACES	C	
CHAPT 9	FIRE PROTECTION SYSTEMS		
	AUTOMATIC SPRINKLER SYSTEM	NOT REQUIRED	903
	ALTERNATIVE AUTO FIRE EXTINGUISHING SYSTEM	N/A	904
	STANDPIPE SYSTEM	N/A	905
	PORTABLE FIRE EXTINGUISHERS	REQUIRED*	906 *MAX 75' TRAVEL DISTANCE
	FIRE ALARM & DETECTION SYSTEM	NOT REQUIRED	907
	EMERGENCY ALARM SYSTEM	N/A	908
	SMOKE CONTROL SYSTEM	N/A	909
	SMOKE AND HEAT VENTS	N/A	910
	FIRE PUMP PROTECTION	N/A	913
	CARBON MONOXIDE DETECTION	N/A	915

CODE ANALYSIS CONTINUED

CHAPT 10	MEANS OF EGRESS	M (MERCANTILE)	SECTION	REMARKS
	OCCUPANT LOAD	MERCANTILE: 660/60 = 11 OCC STORAGE: 784/300 = 3 OCC TOTAL: = 14 OCC	TABLE 1004.1.2	-
	EGRESS SIZING	MIN 36" AISLE WIDTH	1005	-
	NUMBER OF EXITS & EXIT ACCESS DOORWAYS	1	1006	-
	EGRESS ILLUMINATION (EMERGENCY)	REQUIRED	1008	-
	EXIT SIGNS	REQUIRED	1013	-
	EXIT ACCESS TRAVEL DISTANCE	200' (MAX)*	1017	*W/O SPRINKLER
	EXIT ACCESS STAIRS & RAMPS	N/A	1019	-
CHAPT 29	PLUMBING			
	CORRIDORS	N/A	TABLE 1020.1	-
	INTERIOR EXIT STAIRS & RAMPS	N/A	1023	-
	EXIT PASSAGeways	N/A	1024	-
	HORIZONTAL EXITS	N/A	1026	-
	EXTERIOR EXIT STAIRS & RAMPS	N/A	1027	-
	WATER CLOSETS @ 1:500	(1) PROVIDED*	TABLE 2902.1	*SEPARATE FACILITIES SHALL NOT BE REQ'D IN MERCANTILE OCCUPANCIES IN WHICH THE MAX OCCUPANT LOAD IS 100 OR LESS.
	LAVATORIES @ 1:750	(1) PROVIDED*	TABLE 2902.1	
	DRINKING FOUNTAINS @ 1:1000	(1) PROVIDED*	TABLE 2902.1	*VIA WATER DISPENSER IN SODA FOUNTAIN.
	SERVICE SINKS @ 1 REQ'D	(1) PROVIDED*	TABLE 2902.1	

SYMBOLS

(S) SMOKE DETECTOR	(I) ILLUMINATED EXIT SIGN	# PARTITION TYPE	1-HR FIRE RATED ASSEMBLY	EXIST PARTITION TO REMAIN
(H) HEAT DETECTOR	(I) ILLUMINATED EXIT SIGN WITH LIGHTS	# SECTION NUMBER	2-HR FIRE RATED ASSEMBLY	EXIST PARTITION TO BE DEMO'D
(CO) CARBON MONOXIDE DETECTOR	(N) NON-ILLUMINATED EXIT SIGN	# SHEET NUMBER	(#) GENERAL KEYNOTE	(X) MASONRY
(FE) FIRE EXTINGUISHER (SURFACE MOUNT)	(D) DUAL HEAD EMERGENCY LIGHT	ELEV #/SHT #	(DH) DOOR KEYNOTE (REFER TO SCHED)	(C) CONCRETE
(FE) FIRE EXTINGUISHER (CABINET)	(D) DUAL HEAD EMERGENCY LIGHT	DESCRIPTION HEIGHT	(WH) WINDOW KEYNOTE (REFER TO SCHED)	(B) BRICK
(F) MANUAL PULL FIRE ALARM STATION	(A) EXIT ACCESS TRAVEL PATH		(R) REVISION KEYNOTE (REFER TO TITLE BLOCK)	(M) MTL STUD PARTITION
(H) HORN-STROBE				(W) WD STUD PARTITION

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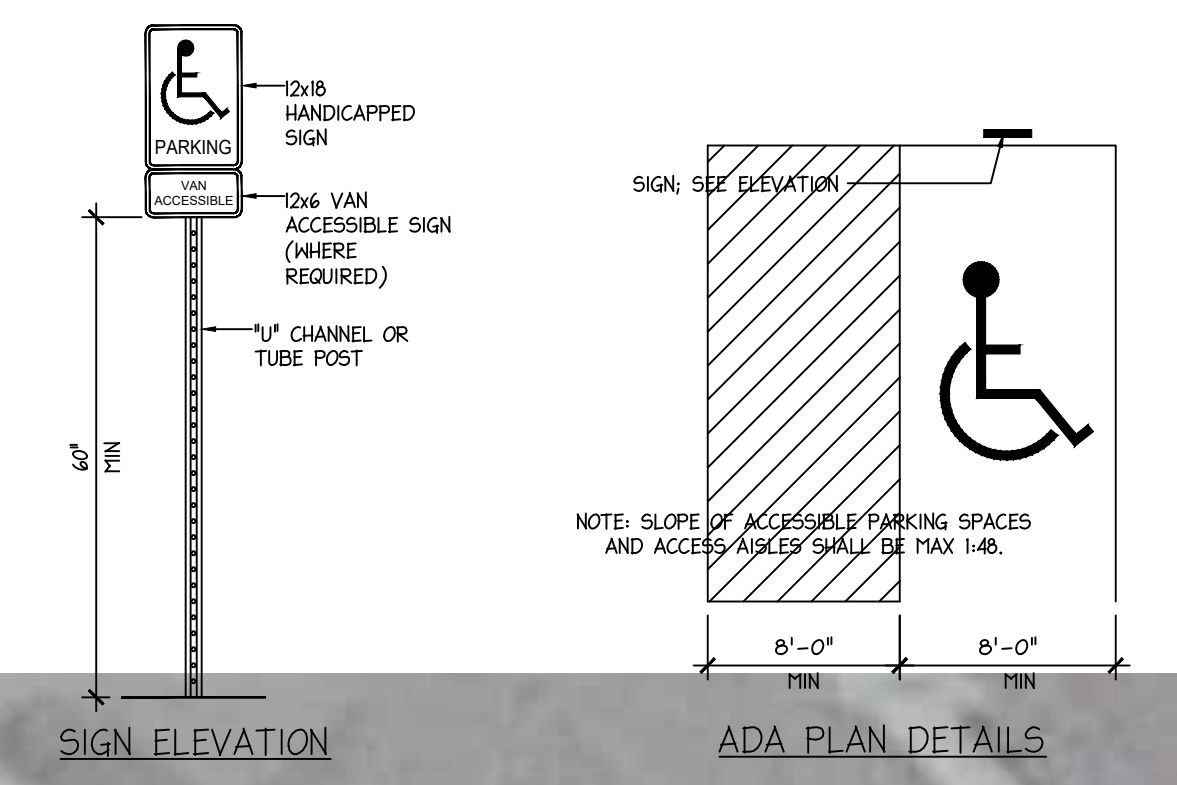
DRAWN BY: NORMAN GOOD
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 APPROVED BY: 220864
 JOB NO.: AS NOTED
 SCALE: 08/31/22
 DATE:

DRAWING TITLE: COVER SHEET
 DRAWING NO.: CS

RENOVATIONS FOR:
SMOKE & CHILL
 COLUMBIA BOROUGH
 149 N. 3RD ST. COLUMBIA, PA. 17512



REVISIONS	NO.	DATE	REMARKS
△	-	-	-



ADA PARKING DETAIL
SCALE: NTS



SITE PLAN

SCALE: 1/8" = 1'-0"



RENOVATIONS FOR:
SMOKE & CHILL
COLUMBIA BOROUGH
149 N. 3RD ST. COLUMBIA, PA. 17512

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 APPROVED BY: CALABRESE
 JOB NO.: 220864
 SCALE: AS NOTED
 DATE: 08/31/22

DRAWING TITLE
SITE PLAN

DRAWING NO.
SP1.1

ACCESSIBILITY NOTES

1. NO DRINKING FOUNTAIN IS PROVIDED DUE TO ADA COMPLIANT WATER DISPENSERS LOCATED IN SODA FOUNTAIN
2. SEE SHEET A1.0 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
3. ALL ACCESSIBLE DEVICES (THERMOSTATS, FIRE EXTINGUISHERS, MICROWAVE, TIMECLOCKS, SWITCHES, FIRE ALARM PULL STATIONS, ETC. SHALL BE WITHIN THE REQUIRED REACH RANGE AS SPECIFIED ON SHEET CC.
4. PROVIDE TACTILE SIGNAGE AS REQUIRED PER SECTION 703 OF THE ICC A117.1-2009.
5. DOOR HARDWARE HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (865 MM) MINIMUM AND 48 INCHES (1220 MM) MAXIMUM ABOVE THE FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

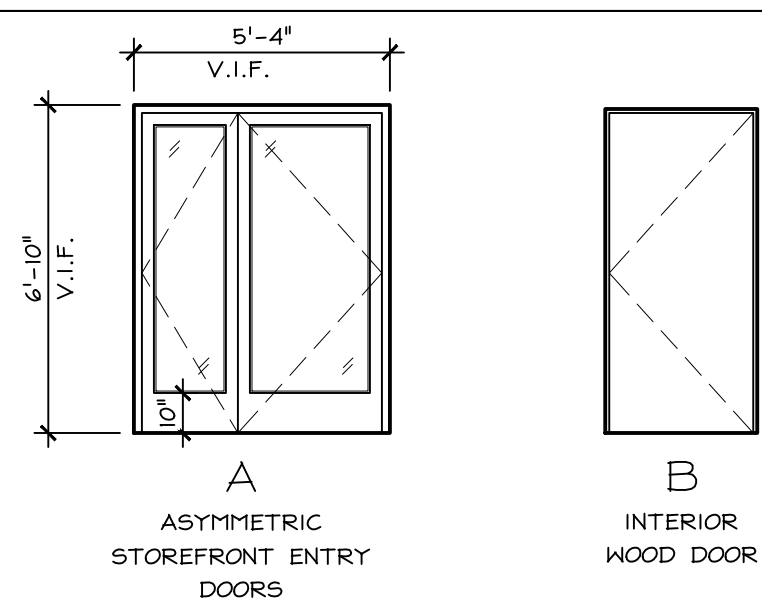
DOOR SCHEDULE

NO	SIZE	DOOR					FRAME		HDWR	REMARKS	
		TYPE	LABEL	MAT'L	FIN	LOCK	CLOSER	MAT'L			FIN
D1	5'-0" x 6'-8"	A		ALUM	ANOD	YES	YES	METAL	ANOD	1	ASYMMETRIC EXTERIOR DOUBLE DOOR, FULL LITE
D2	3'-0" x 6'-8"	B		WOOD	PAINT	YES	NO	METAL	PAINT	2	INTERIOR WOOD DOOR
D3	3'-0" x 6'-8"	B		WOOD	PAINT	YES	NO	METAL	PAINT	2	INTERIOR WOOD DOOR

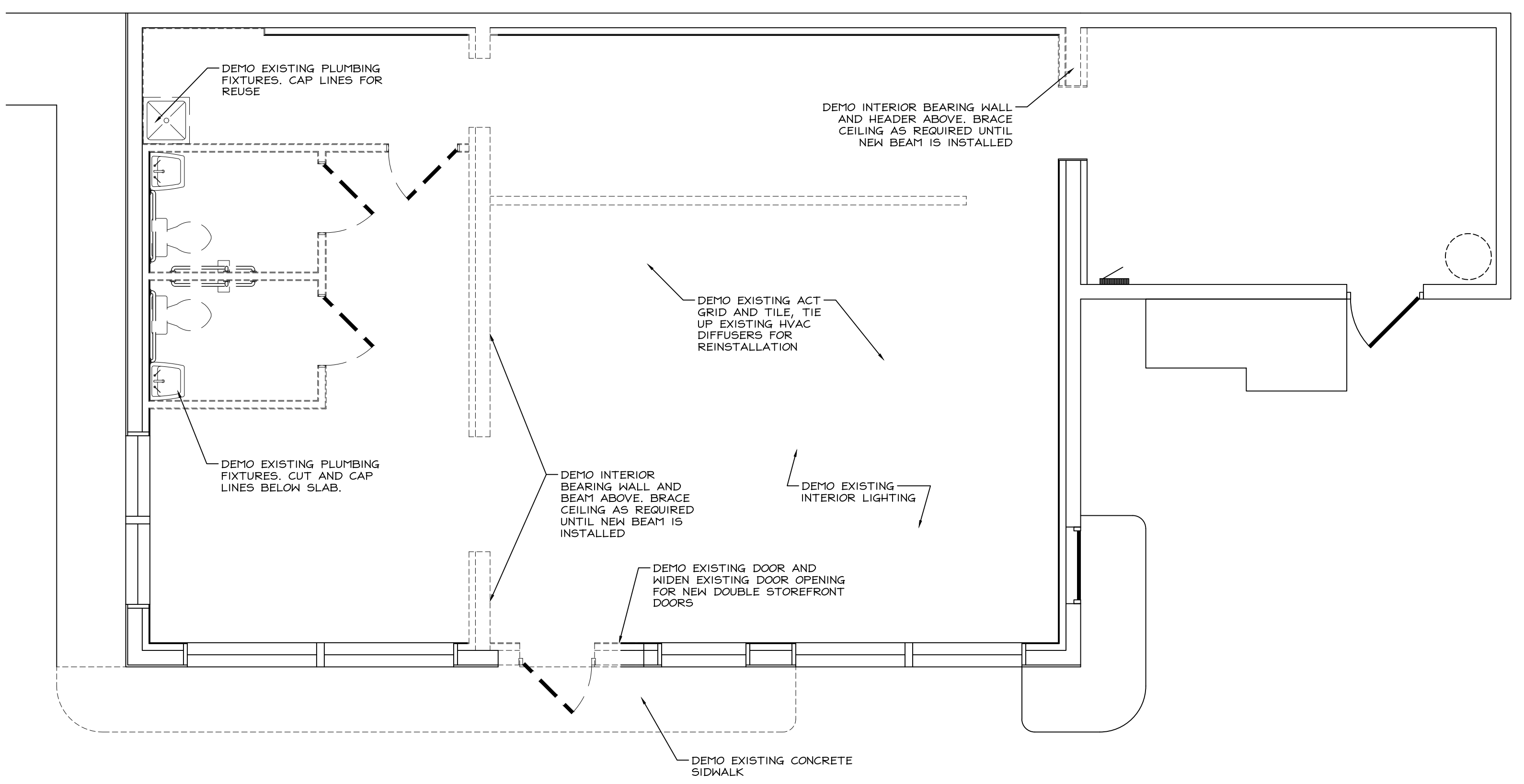
HARDWARE SCHEDULE

1	KEYED LEVER LOCKSET, CLOSER, HINGES, SILENCERS, FLOOR DOOR BUMPER
2	PRIVACY LEVER LOCKSET, CLOSER, HINGES, WALL DOOR BUMPER

DOOR TYPES



DURING DEMOLITION, CONTRACTOR TO VERIFY LOCATION AND CONDITION OF ALL STRUCTURAL MEMBERS. REPORT ANY DISCREPANCIES TO ARCHITECT.



DEMO PLAN

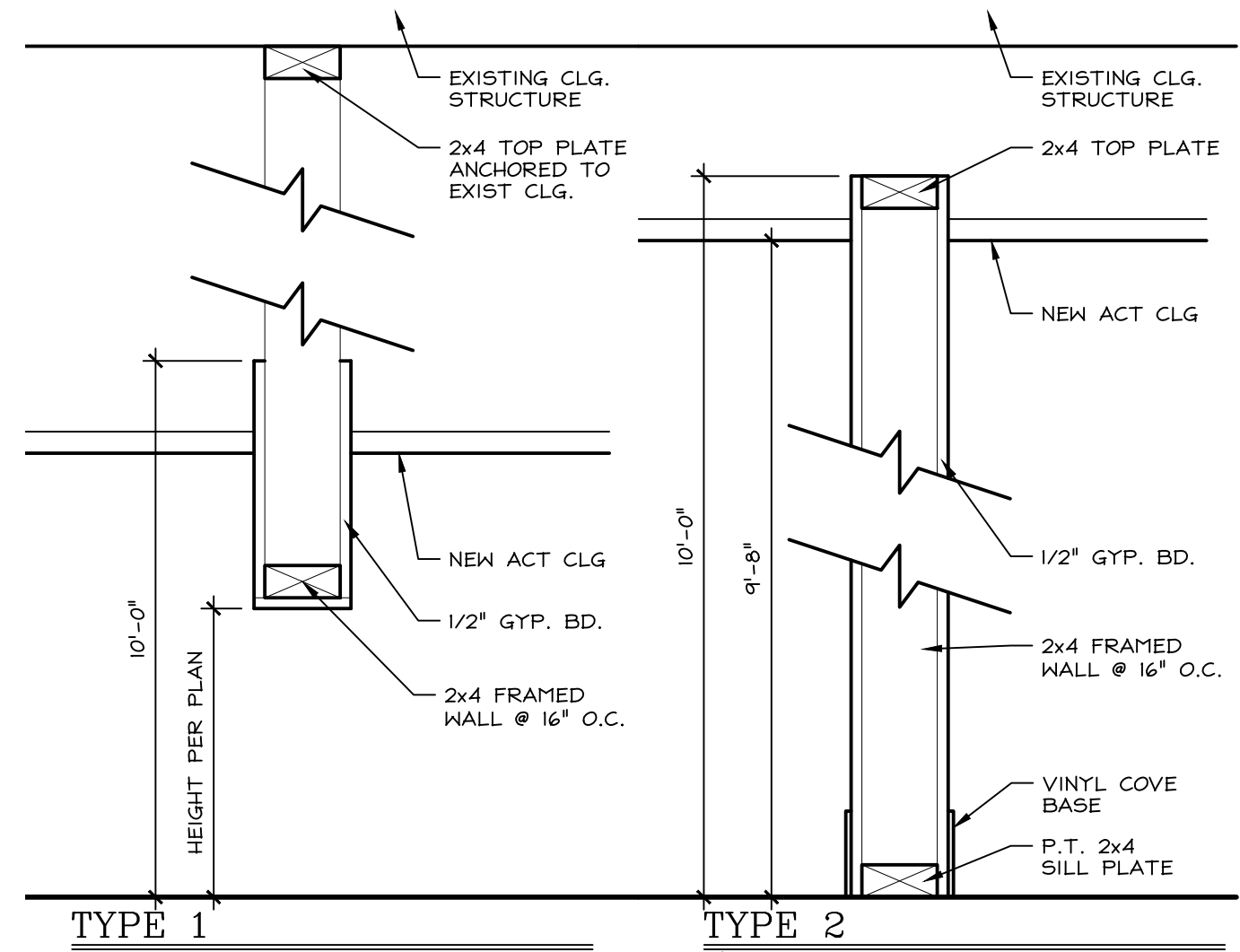
SCALE: 1/4" = 1'-0"

1
A1.1

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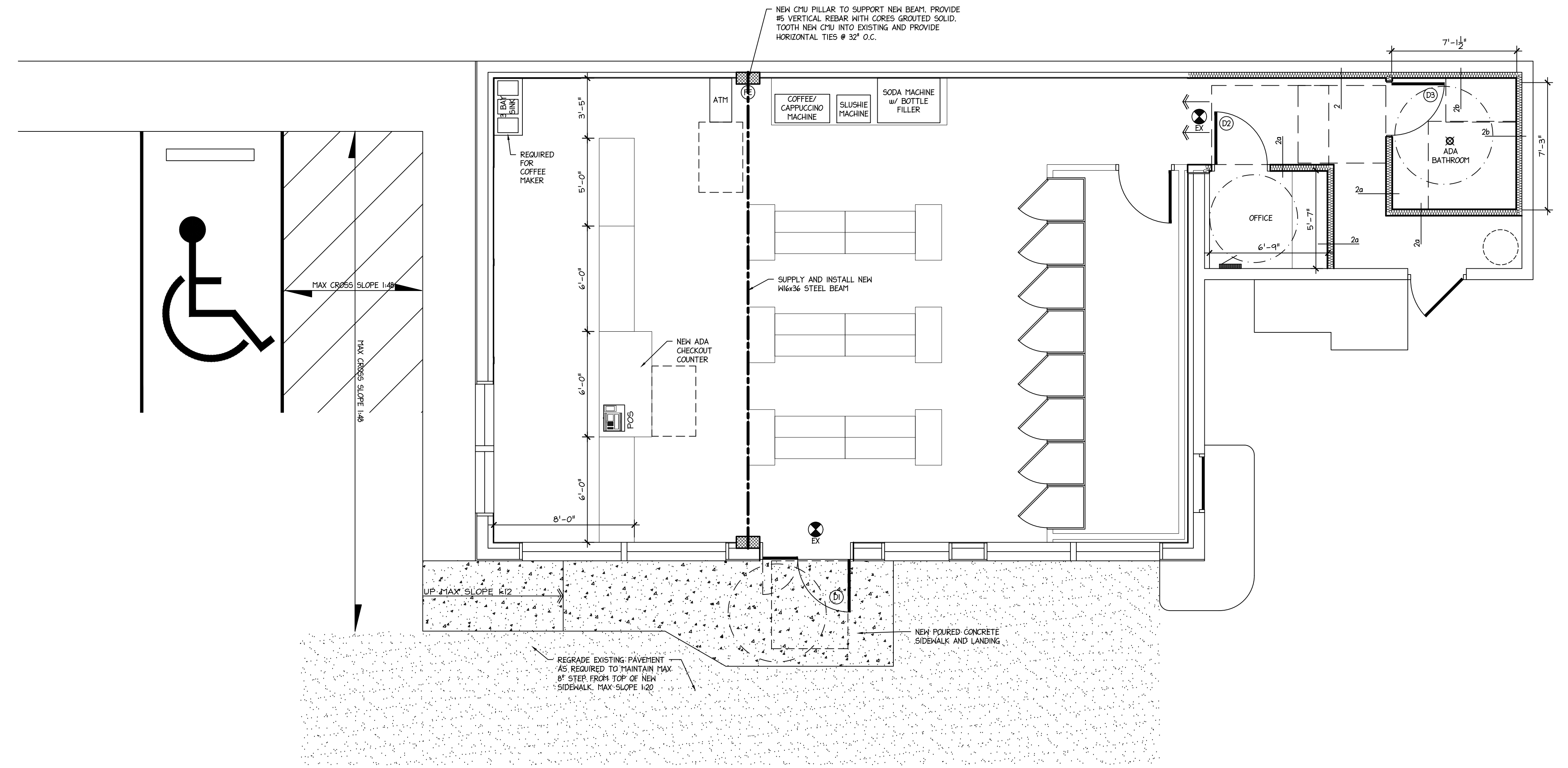


REVISIONS	NO.	DATE	REMARKS
△	-	-	-



WALL TYPES

SCALE: 1 1/2" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

2
A1.1

RENOVATIONS FOR:
SMOKE & CHILL
COLUMBIA BOROUGH
149 N. 3RD ST. COLUMBIA, PA. 17512

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CHECKED BY: GOOD
APPROVED BY: CALABRESE
JOB NO.: 220864
SCALE: AS NOTED
DATE: 08/31/22

DRAWING TITLE: PLAN

DRAWING NO.: A1.1

ELECTRICAL SPECIFICATIONS

- GENERAL REQUIREMENTS**
- AN ELECTRICAL INSPECTION CERTIFICATE SHALL BE PROVIDED FROM A STATE LICENSED AND AUTHORITY APPROVED INSPECTION AGENCY. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE ELECTRICAL INSPECTION.
 - UPON COMPLETION OF WORK, ELECTRICAL CONTRACTOR SHALL FURNISH TO OWNER A CERTIFICATE OF APPROVAL, ISSUED BY LOCAL AUTHORITIES OR BY AN ELECTRICAL INSPECTION AGENCY LICENSED BY LOCAL AUTHORITIES TO PERFORM SUCH INSPECTIONS.
 - CONDUIT SHALL BE CONCEALED WHERE POSSIBLE AND SHALL RUN PARALLEL OR PERPENDICULAR TO WALLS OR FLOORS.
 - PROVIDE IDENTIFICATION OF ALL BRANCH CIRCUITS ON A TYPED/WRITTEN DIRECTORY CARD, PERMANENTLY ATTACHED TO THE DOOR OF EACH LIGHTING AND DISTRIBUTION PANEL.
 - CLEAN EQUIPMENT, LIGHT FIXTURES, AND CONSTRUCTION SITE AT COMPLETION OF PROJECT. REMOVE TEMPORARY WORK WHEN CONSTRUCTION IS COMPLETE.
 - CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS, PRIOR TO SUBMISSION OF BID. ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND BE INCLUDED IN FINAL BID.
 - MATERIALS AND EQUIPMENT SHALL BE GUARANTEED FREE FROM DEFECTS FOR ONE (1) YEAR FROM DATE OF OWNER ACCEPTANCE, AND BE REPAIRED, IF REQUIRED, AT NO EXPENSE TO OWNER, DURING 1ST YEAR.
 - SIGN CONTRACTOR SHALL INSTALL ALL SIGNS. ELECTRICAL CONTRACTOR SHALL PROVIDE FINAL HOOK-UP OF SIGNS FROM SIGN TO JUNCTION BOX. SIGN CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING OPERATION OF SIGNS, AFTER FINAL HOOK-UP BY ELECTRICIAN.
 - SIZE AND LOCATION OF ALL EQUIPMENT SHOWN ON DRAWINGS IS FOR SCHEMATIC PURPOSES TO SHOW GENERAL ORIENTATION ONLY. DRAWINGS SHALL NOT BE USED FOR FINAL DIMENSIONING UNLESS DIMENSIONS ARE SPECIFICALLY NOTED ON DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE FOR DETERMINING LOCATION & SUPPORT OF ELECTRICAL RACEWAY AND EQUIPMENT. CONTRACTOR SHALL COORDINATE WITH OTHERS TO VERIFY SIZE/LOCATION AND ASSOCIATED ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT.
 - WORK SHALL ADHERE TO THE 2014 NEC.
 - ALL EQUIPMENT SHALL BE UL LISTED AND LABELED WHERE APPLICABLE.
 - ALL POWER BRANCH CIRCUITS SHALL INCLUDE A GROUNDING CONDUCTOR SIZED PER NEC TABLE 250-122, MINIMUM #12 AWG.
 - INTERCONNECTING WIRING AND SWITCHES SHALL BE #12 AWG, #12/20, 3/4" (OR EQUAL MC CABLE) UNLESS NOTED OTHERWISE.

- WORKMANSHIP, RESPONSIBILITY AND GUARANTEES**
- ENTIRE INSTALLATION SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATING AND BALANCED ACROSS ALL THREE PHASES.
 - ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL OWNER ACCEPTANCE.
 - CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THERE BY.
 - ELECTRICAL CONTRACTOR SHALL WEDGER TEST ALL MOTORS AND FEEDERS PRIOR TO ENERGIZING. REPLACE DEFECTIVE FEEDERS AND NOTIFY OWNER OF ANY DEFECTIVE MOTORS.
 - ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE PROJECT WORK.

- UNDERGROUND WORK**
- BURIAL DEPTH FOR CONDUIT SHALL BE 24 INCHES MINIMUM EXCEPT ELECTRIC SERVICE CONDUIT BURIAL DEPTH SHALL BE THE MINIMUM DEPTH REQUIRED BY THE UTILITY. PROVIDE ALL TRENCHING AND BACKFILL. BACKFILL SHALL BE PLACED IN LOOSE LAYERS NOT EXCEEDING 8" AND THOROUGHLY COMPACTED. REMOVE 2" OR LARGER STONES AND FOREIGN MATERIAL FROM BACKFILL. MATCH EXISTING GRADE.
 - ENGASE AND REINFORCE ALL CONDUITS IN CONCRETE IN ROAD CROSSING AND AREAS SUBJECT TO VEHICULAR TRAFFIC. REINFORCEMENT SHALL CONSIST OF:
 - #5 (MINIMUM) TRANSVERSE REINFORCING BARS (U-BARS) AT 12-INCH MAXIMUM SPACING ALONG LENGTH OF DUCT BANK.
 - #6 (MINIMUM) LONGITUDINAL REINFORCING BARS AT 12-INCH MAXIMUM SPACING TOP AND BOTTOM AND ON EACH SIDE OF THE DUCT BANK SECTION.
 - REINFORCING CONCRETE COVER SHALL BE A MINIMUM OF 3-INCHES BOTTOM AND SIDES. REINFORCING CONCRETE COVER SHALL BE A MINIMUM OF 2-INCHES TOP.

- MOUNTING HEIGHTS**
- UNLESS OTHERWISE SPECIFICALLY INSTRUCTED, LOCATE MOUNTING HEIGHTS FROM FINISHED FLOOR OR GRADE TO CENTERING OF BOX, CABINET OR APPARATUS.
 - LIGHTING FIXTURES: COORDINATE AS REQUIRED.
 - EMERGENCY LIGHT UNIT & EXIT SIGNS - 7'-6" AFF.
 - LIGHTING SWITCHES: 3'-6" AFF. NOMINAL. MAXIMUM 3'-9" AFF (COMPLY W/ ADA REQUIREMENTS)
 - RECEPTACLES: 18" AFF. NOMINAL - COORDINATE AS REQUIRED.
 - CONTROL PANELS, DISC. SWITCHES, PANELBOARDS: 4'-6" NOMINAL. TOP OF EQUIPMENT 6'-6" MAX.

- AREA CLASSIFICATION**
- EQUIPMENT RATINGS, RACEWAY, AND INSTALLATION SHALL MEET THE FOLLOWING AREA CLASSIFICATION REQUIREMENTS, UNLESS NOTED OTHERWISE.
 - OUTDOOR ABOVE GRADE - WET LOCATION: ENCLOSURES - NEMA 3R. CONDUITS - EMT, RIGID GALVANIZED STEEL OR SCHEDULE 40 RIGID PVC (MNI).
 - OUTDOOR BELOW GRADE: CONDUITS - SCHEDULE 40 RIGID PVC.
 - BUILDING INTERIOR LOCATIONS: ENCLOSURES - NEMA 1. CONDUITS - EMT, RIGID GALVANIZED STEEL, SCHEDULE 40 RIGID PVC.

- RACEWAY**
- REFER TO THE ABOVE AREA CLASSIFICATION FOR RACEWAY REQUIREMENTS IN EACH AREA.
 - FLEXIBLE CONDUIT, IF REQUIRED 4 FEET MAX LENGTH.

WIRE KEY	CONDUCTORS	CONDUIT
A2	2 #12, #12 GND	3/4"
A3	3 #12, #12 GND	3/4"
B2	2 #10, #10 GND	3/4"
B3	3 #10, #10 GND	3/4"
C2	2 #8, #10 GND	3/4"
C3	3 #8, #10 GND	3/4"
D2	2 #6, #10 GND	1"
D3	3 #6, #10 GND	1"
E2	2 #4, #8 GND	1 1/4"
E3	3 #4, #8 GND	1 1/4"
F2	2 #3, #8 GND	1 1/4"
F3	3 #2, #8 GND	1 1/4"
G2	2 #2, #8 GND	1 1/4"
G3	3 #2, #8 GND	1 1/4"
G4	4 #2, #8 GND	1 1/2"
S4	#500 MCM, #3 GND	4"

PANEL SCHEDULE

DESCRIPTION	PANEL	VOLTS: 120/240V AMPS: 200	PHASE: 3	POLES: 40	LOAD			#	LOAD			MOUNTING: SURFACE MOUNT	LOCATION: BASEMENT	DESCRIPTION	
					A	B	C		A	B	C				
COFFEE BREWER #20	2	50	D2	14.5	-	-	3	4	-	-	50	3	EXISTING A.C./HEATING UNIT		
SLUSHIE DISPENSER	-	-	-	-	-	9.6	5	6	-	-	-	-	-		
CONVENIENCE RECEPT	1	20	A2	-	4.5	-	1	2	-	1.9	-	-	COOLER DOOR LIGHTS (DL)		
POS. RECEPTACLE	1	20	A2	-	-	-	3	11	-	2.5	A2	20	1	COOLER DEFROST FAN (CDF)	
(CCU) COOLER CONDENSER UNIT	2	50	C3	17	-	-	15	16	-	1.79	A2	20	1	EXTERIOR LIGHTING	
EXTERIOR BUILDING SIGNS	1	20	A2	-	-	-	5	17	-	7.21	A2	20	1	INTERIOR LIGHTING	
FREESTANDING SIGN	1	20	A2	-	2.5	-	21	22	-	7.5	A2	20	1	HINDON RECEPT	
SODA FOUNTAIN	-	-	-	-	-	-	5.7	23	24	-	20	B2	30	1	(H42) KWICKSHOT TEF024V20
-	-	-	-	-	-	-	-	25	26	-	-	-	-	-	
-	-	-	-	-	-	-	-	27	28	-	-	-	-	-	
-	-	-	-	-	-	-	-	29	30	-	-	-	-	-	
-	-	-	-	-	-	-	-	31	32	-	-	-	-	-	
-	-	-	-	-	-	-	-	33	34	-	-	-	-	-	
-	-	-	-	-	-	-	-	35	36	-	-	-	-	-	
-	-	-	-	-	-	-	-	37	38	-	-	-	-	-	
-	-	-	-	-	-	-	-	39	40	-	-	-	-	-	
PHASE SUBTOTAL					31.5	38.5	23.3			11.9	29.71				
TOTAL PHASE A					31.5										
TOTAL PHASE B (HIGH LEG)					41.64										
TOTAL PHASE C					50.01										
GRAND TOTAL					134.58										

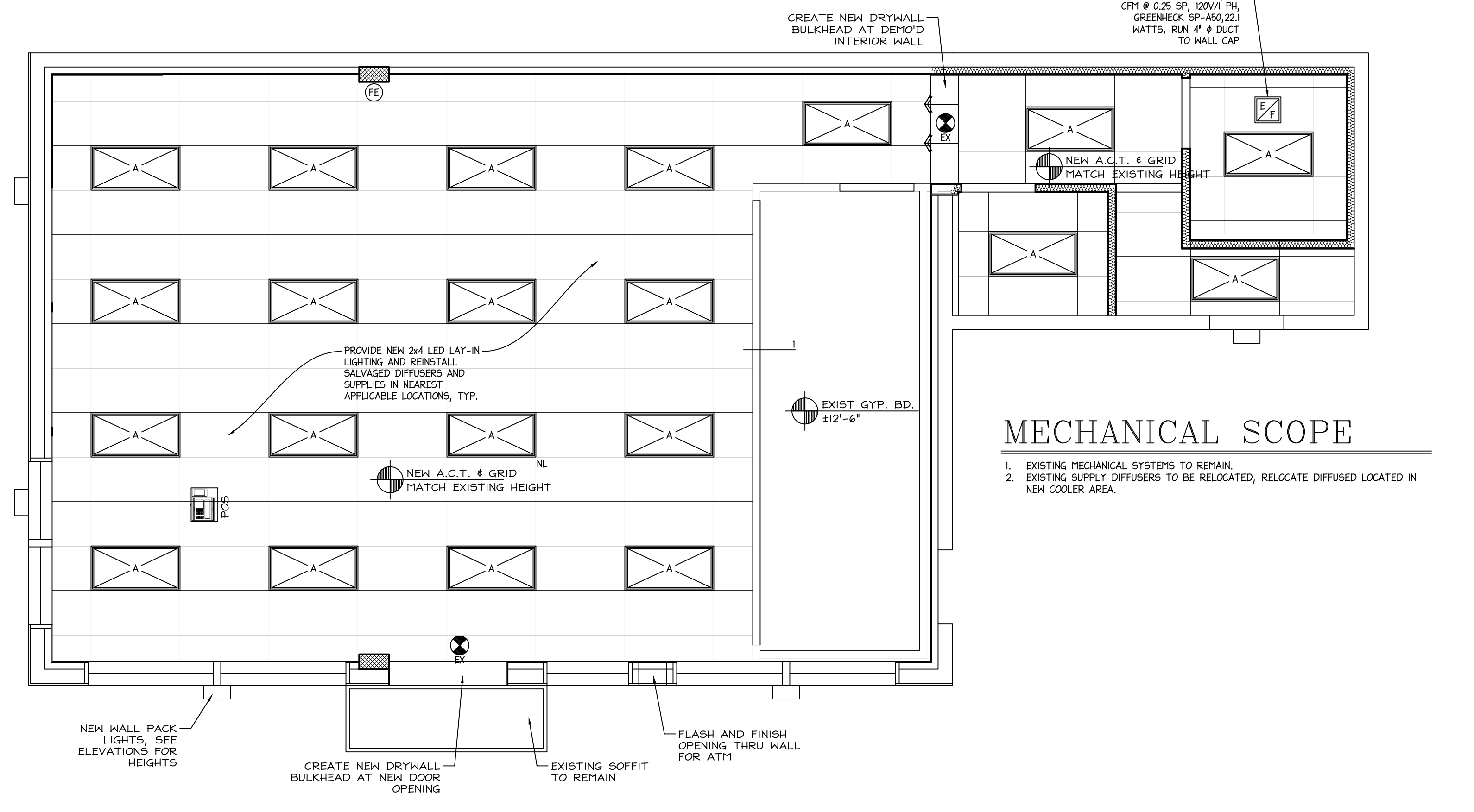
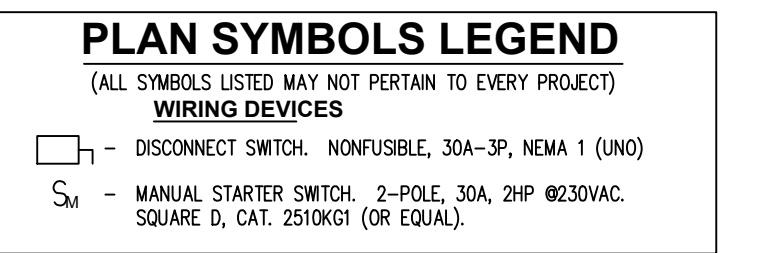
NOTE: ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CIRCUITRY AND RECONFIGURE AS REQUIRED. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.

- COORDINATE RECEPTACLE/DISCONNECT WITH GASWORKS
- COORDINATE COOLER WIRING WITH REQUIREMENTS AND EQUIPMENTS LOCATIONS WITH COOLER SUPPLIER
- CONTRACTOR TO VERIFY ALL EXISTING LOADS AND BALANCE PANEL WITHIN 10% OF EACH LEG

- GROUNDING**
- GROUNDING SHALL BE IN ACCORDANCE WITH NEC ARTICLE 250.
 - ALL CIRCUITS SHALL INCLUDE A DEDICATED GREEN GROUNDING CONDUCTOR SIZED PER NEC TABLE 250-122, MINIMUM #12 AWG. RACEWAY SYSTEMS SHALL NOT BE PERMITTED TO SERVE AS THE EQUIPMENT GROUND.
 - GROUND RODS SHALL BE INSTALLED IN A WETTED LOCATION (NOT BELOW PAVING OR CONCRETE TO GREATEST EXTENT POSSIBLE).
 - GROUND RODS SHALL BE 5/8" x 8' COPPER/CLAD.
 - ALL BELOW GRADE CONNECTIONS SHALL BE UL LISTED SUITABLE FOR BELOW GRADE INSTALLATIONS OR EXTERNALLY WELDED/DIRECT BURIED GROUNDING ELECTRODE CONDUCTORS SHALL BE BARE, SOFT-DRAWN, COPPER.
 - GROUNDING TYPE BUSHINGS SHALL BE USED AS REQUIRED BY CODE.
 - CONDUCTORS: ALL EXISTING ABANDONED CONDUCTORS SHALL BE REMOVED.
- 1. MATERIAL: ALL CONDUCTORS SHALL BE COPPER UNDO, COMPACT ALUMINUM OF EQUAL OR LARGER AMPACITY RATING PERMITTED FOR SERVICE ENTRANCE CONDUCTORS AND FEEDERS TO PANELBOARDS #2 AWG AND LARGER.**
- 2. INSULATION RATINGS: MINIMUM RATING 75 DEG C. HIGHER RATING AS INDICATED BELOW.**
- INTERIOR BRANCH CIRCUITS: TYPE THW OR THHN/THAN IN RACEWAY.
 - TYPE MC CABLE, EQUIVALENT WIRE SIZE PER WIRING, AS PERMITTED BY CODE.
 - MINIMUM WIRE SIZES - POWER CONDUCTORS:
 - SOLID CONDUCTOR FOR #10 AWG AND #12 AWG (STRANDED ACCEPTABLE).
 - STRANDED CONDUCTOR FOR #8 AWG AND LARGER.
- 3. WIRE CONNECTORS AND SPLICES:**
- #10 AWG & SMALLER SOLID CONDUCTORS: WIRE NUTS SPLICES IN SOLID CONDUCTORS (#12 AWG OR #10 AWG). WIRE NUTS NOT ACCEPTABLE ON SPLICES IN STRANDED CONDUCTORS.
 - #10 AWG & SMALLER STRANDED CONDUCTORS: UL LISTED, COMPRESSION BUTT SPLICES OR BOLTED RING TONGUE TERMINALS. UTILIZE MANUFACTURER APPROVED CRIMP TOOL.
 - #8 AWG & LARGER CONDUCTORS: POWER CONDUCTORS LARGER THAN #10 AWG, UL LISTED, SPLIT BOLT OR SUITABLE COMPRESSION TYPE CONNECTORS.
- 4. PROVIDE COMPANION PREFORMED PLASTIC INSULATING COVERS OR TAPE INSULATION CONFORMING TO NEC REQUIREMENTS FOR ALL UNSHULDED CONNECTIONS.**
- 4. WIRES SHALL BE COLOR CODED AS FOLLOWS:**
- A.C. UNGROUNDED PHASE A: 208V-BLACK
 - A.C. UNGROUNDED PHASE B: 208V-RED
 - A.C. UNGROUNDED PHASE C: 208V-BLUE
 - D.C. GROUNDED NEUTRAL (GROUNDED): WHITE OR GRAY
- ARC FLASH HAZARD WARNING LABELS:**
- 2014 NEC ARTICLE 110.16 FLASH PROTECTION: SWITCHBOARDS, PANELBOARDS, INDUSTRIAL CONTROL PANELS, AND MOTOR CONTROL CENTERS THAT ARE IN OTHER THAN DWELLING OCCUPANCIES AND ARE LIKELY TO REQUIRE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE WHILE ENERGIZED SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRICAL ARC FLASH HAZARDS.
 - INFORMATIONAL NOTE 1: NFPA 70E-2012, ELECTRICAL SAFETY REQUIREMENTS FOR EMPLOYEE WORKPLACES, PROVIDES GUIDANCE, SUCH AS DETERMINING SEVERITY OF POTENTIAL EXPOSURE, PLANNING SAFE WORK PRACTICES, ARC FLASH LABELING AND SELECTING PERSONAL PROTECTIVE EQUIPMENT.
 - CONTRACTOR SHALL PROVIDE A WARNING LABEL SIMILAR TO THE LABEL SHOWN ON THE DRAWINGS) ALL PANELBOARDS AND DISCONNECT SWITCHES. COMPLY WITH NEC ARTICLE 110.21(B) FOR ALL LABELS.
- EQUIPMENT, COMPONENTS, & WIRING DEVICES**
- RECEPTACLES: 20 AMP, 120 VOLTS, SPEC-GRADE, PMS #5361 (SINGLE) #5362 (DUPLIC) OR EQUAL. OUT DOOR, PMS #2091 OR EQUAL. GFI (TYPE W) OUTDOOR, PMS #2092TWR OR EQUAL WITH WEATHERPROOF WIRE-IN-USE COVER. COORDINATE COLOR OF DEVICE AND COVER PLATE W/OWNER.
 - LIGHTING FIXTURES: REFER TO FIXTURE SCHEDULE (SELECTION BY ARCHITECT/OWNER)
 - LIGHTING SWITCHES: 20 AMP, 120/277 VOLTS, CONVENTIONAL, 3-WAY, 4-WAY, SPEC-GRADE, PMS #20A OR EQUAL.
 - PHOTOCELL: INTERMATIC K4221C (OR EQUAL).
 - DISCONNECT SWITCHES: ENCLOSURE NEMA RATING AS REQUIRED. NONFUSED UNLESS NOTED OTHERWISE.
 - 240V GENERAL DUTY SAFETY SWITCH, SQUARE D, CUTLER HAMMER, OR SIEMENS.
 - MANUAL MOTOR STARTER DISCONNECTS: 2-POLE, 240V (MAX. 149/50A), SQUARE D CLASS 2510 (OR EQUAL CUTLER HAMMER & SIEMENS), NEMA 1, TYPE K01 OR K02 (SURFACE MOUNT) OR TYPE K01 OR K02 (WALL BOX).
 - PANELBOARD & DISTRIBUTION: SQUARE D, TYPE 40 PANELBOARD (EQUAL CUTLER HAMMER OR SIEMENS). REFER TO PANEL SCHEDULE FOR ADDITIONAL REQUIREMENTS. 208/120V, 3φ, 4W.

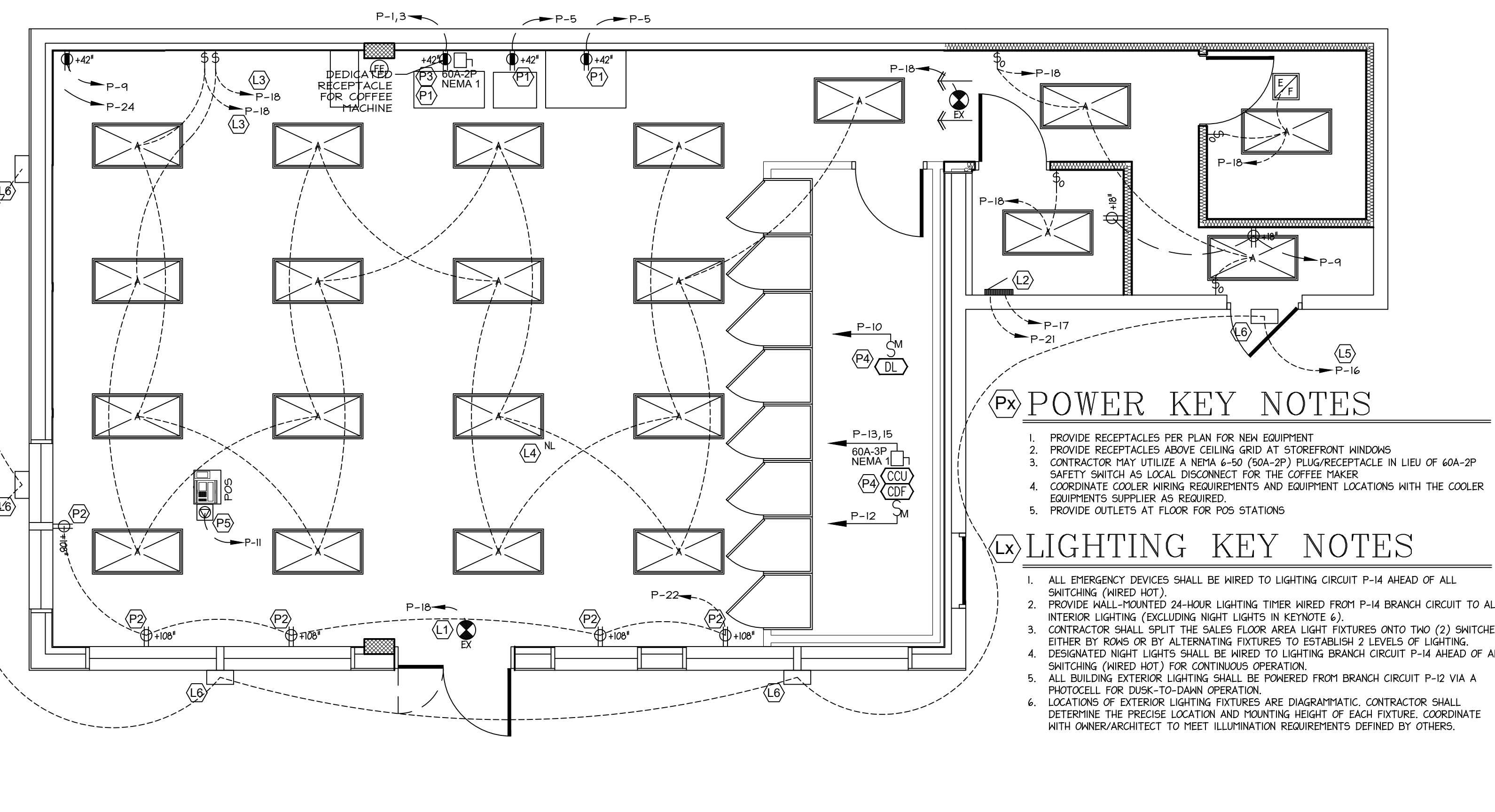
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT, LANDLORD, OR TENDANT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK. THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS AND DEVICES AS REQUIRED BY STATE AND LOCAL CODES WHETHER INDICATED OR NOT ON CONTRACT DOCUMENTS. THE SUBMISSIONS OF A BID SHALL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN, HAD AN EXAMINATION AND CODE REVIEW BEEN MADE, WILL NOT BE ALLOWED.



REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



(Px) POWER KEY NOTES

- PROVIDE RECEPTACLES PER PLAN FOR NEW EQUIPMENT
- PROVIDE RECEPTACLE ABOVE CEILING GRID AT STOREFRONT WINDOWS
- CONTRACTOR MAY UTILIZE A NEMA 6-50 (50A-2P) PLUG/RECEPTACLE IN LIEU OF 60A-2P SAFETY SWITCH AS LOCAL DISCONNECT FOR THE COFFEE MAKER
- COORDINATE COOLER WIRING REQUIREMENTS AND EQUIPMENT LOCATIONS WITH THE COOLER EQUIPMENT SUPPLIER AS REQUIRED
- PROVIDE OUTLETS AT FLOOR FOR POS STATIONS

(Lx) LIGHTING KEY NOTES

- ALL EMERGENCY DEVICES SHALL BE WIRED TO LIGHTING CIRCUIT P-14 AHEAD OF ALL SWITCHING (WIRED HOT).
- PROVIDE WALL-MOUNTED 24-HOUR LIGHTING TIMER HIRED FROM P-14 BRANCH CIRCUIT TO ALL EXTERIOR LIGHTING (EXCLUDING NIGHT LIGHTS IN KEYNOTE 6).
- CONTRACTOR SHALL SPLIT THE SALES FLOOR AREA LIGHT FIXTURES ONTO TWO (2) SWITCHES EITHER BY RIMS OR BY ALTERNATING FIXTURES TO ESTABLISH 2 LEVELS OF LIGHTING. DESIGNATED NIGHT LIGHTS SHALL BE WIRED TO LIGHTING BRANCH CIRCUIT P-14 AHEAD OF ALL SWITCHING (WIRED HOT) FOR CONTINUOUS OPERATION.
- ALL BUILDING EXTERIOR LIGHTING SHALL BE POWERED FROM BRANCH CIRCUIT P-12 VIA A PHOTOCELL FOR DUSK-TO-DAWN OPERATION.
- LOCATIONS OF EXTERIOR LIGHTING FIXTURES ARE DIAGNOSTIC. CONTRACTOR SHALL DETERMINE THE PRECISE LOCATION AND MOUNTING HEIGHT OF EACH FIXTURE. COORDINATE WITH OWNER/ARCHITECT TO MEET ILLUMINATION REQUIREMENTS DEFINED BY OTHERS.

ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0"

RENOVATIONS FOR:
SMOKE & CHILL
 COLUMBIA BOROUGH
 149 N. 3RD ST. COLUMBIA, PA. 17512

ISSUE FOR PERMIT

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DRAWN BY: NORMAN GOOD
 CHECKED BY: CALABRESE
 APPROVED BY: 220864
 JOB NO.: AS NOTED
 SCALE: 08/31/22
 DATE:

DRAWING TITLE: REFLECTED CEILING PLAN
 DRAWING NO.: A1.2

DIVISION 15 - MECHANICAL

SECTION 1 - GENERAL CONDITIONS

1.1 SCOPE

The mechanical contractor shall be responsible for the following installations but is not necessarily limited by the summary:

1. Sanitary Waste, Vent and Domestic Water Piping.
2. Valves
3. Diffusers, Registers & Grilles
4. Ductwork and Accessories
5. HVAC equipment
6. Gas Piping

1.2 RULES AND REGULATIONS

This entire installation shall be installed in strict accordance with all national, state and local codes or agencies having jurisdiction.

The contractor shall provide for installation, all new equipment, and materials of the best quality as herein specified or illustrated on the accompanying drawings; or equals as approved by mechanical engineer.

The contractor shall be responsible for all fees and permits necessary for all installation. He shall also prepare any specific plans and/or isometric drawings required by proper authorities before acceptance of work.

It shall be the responsibility of this contractor to furnish all required labor, materials, and supervision necessary for a complete installation.

1.3 WORK BY OTHERS

The mechanical contractor shall supply all electrical controls including starters as well as controlling wiring for HVAC equipment. The electrical contractor shall provide power wiring from the electrical distribution system through the controller to the electrical load and test for proper rotation.

1.4 SHOP DRAWINGS

The contractor shall submit with a letter of transmittal to the architect (3) sets of shop drawings containing all capacities, features, options, accessories, and technical data of all materials and equipment listed herein. No work involving any materials and equipment covered by a shop drawing shall be started until the respective shop drawings are approved.

1.5 VISIT TO THE SITE

Prior to the submission of his bid, the contractor shall visit to the site to acquaint himself with the existing conditions. Bids as submitted will be interpreted to include all costs and changes made necessary by such conditions.

1.6 COORDINATION OF WORK

The contractor shall coordinate his work with that of all other trades to ensure proper system operation and complete building system as desired by the architect and mechanical engineer. In case of interference or problems the architect shall decide which work is to be relocated regardless of which is installed first.

If any changes are required in the installation of electrical services to any mechanical equipment accepted as approved equals the mechanical contractor shall be responsible for any additional costs incurred or coordination required.

1.7 PROTECTION OF EQUIPMENT

The contractor shall protect all materials and equipment from damage until final acceptance as installed. He shall close all the openings during construction with temporary plugs and replace all damaged items with ones of exact sameness at his expense.

1.8 OPERATING AND MAINTENANCE INSTRUCTIONS

The contractor shall prepare for the owner 3 bound volumes each containing all information necessary for the care and maintenance of the installed systems.

After completion of the work this contractor shall instruct the employees who have charge of the facility in the care, adjustment, and operation of all parts of the system.

1.9 CLEAN AND FINISH

After all tests have been made in the system proven satisfactory the contractor shall go over the entire project clean all materials installed by him and leave it in a clean and working condition. At the completion of the project the contractor shall disinfect the domestic water system.

1.10 TESTING, ADJUSTING, AND BALANCING

The mechanical contractor shall test and adjust all systems to assure the proper air flow heating output capacities and automatic operations as outlined on the drawings and specifications. Balancing and test reports shall be in accordance with the AABC or NEBB standards.

1.11 GUARANTEE

All work done under this contract shall be guaranteed by the respective contractor against effective materials and faulty workmanship for a period of one year from date of acceptance by owner.

During such period and before the expiration of each such guarantee contractors shall agree to make any and all repairs adjustments and replacements which may become necessary owing to failure of equipment under guarantee.

SECTION 2 - MATERIALS

2.1 DUCTWORK

Ductwork shall be fabricated from galvanized sheets steel in accordance with ASHRAE and SMACNA standards. All supply and return duct work shall be externally insulated with a 1" thick fiberglass duct wrap, 1-1/2 lb per cubic foot density.

Steel gauges shall be as follows:

Largest Duct	Steel U.S.
Dimension	Std. Gauge
Up through 12"	26
13" through 30"	24
30" through 54"	22

All ductwork seams and joints shall be caulked and taped.

Hangers for ducts up to 20 in shall be galvanized band or strap. Hangers for larger ducts shall be angled iron with threaded rod.

Flexible ductwork can be used for connection to diffusers and registers in concealed areas only (Max 8 ft length)

2.2 PIPING INSTALLATION

Domestic water piping shall be type "K" copper for underground and type "L" copper with wrought copper fittings and 1/2" fiberglass insulation with all surface jacket for above ground. All solder shall be 95-5 non lead.

All sanitary waste and vent lines shall be standard weight cast iron or schedule 40 PVC if approved by local code. Provide cleanouts were shown and where required by code or for maintenance service.

Install piping with closed cell flexible elastomeric thermal insulation utilizing appropriate adhesive for joints install per manufacturer's recommendations and requirements.

2.3 VALVES

Valves for domestic water lines shall be ball-type similar to Nibco-scott S-580

2.4 MISCELLANEOUS MATERIALS

All pipes with pass-through walls, ceilings, or floors shall be provided with escutcheon plates securely fastened in place.

Hangers and supports for piping shall allow for expansion. Fly with M55 SP-69 and M55 SP-89 for clamps and rods.

SECTION 3 HVAC EQUIPMENT

3.1 DIFFUSERS REGISTERS DAMPERS

Furnish and install all diffusers, registers, grills, and air control devices indicated shown and/or scheduled on the drawings. Verify exact locations.

Provide edge gaskets, and securely fasten all surface mounted flange type diffusers, registers, and grills to ductwork or ceiling. Draw the air devices tight to the finished surface to prevent leakage and smudging.

All diffusers and register shall be furnished in color selected by architect.

Ceiling diffusers shall be scheduled or accepted substitute.

Return register shall be scheduled or accepted substitute.

3.2 EXHAUST FANS

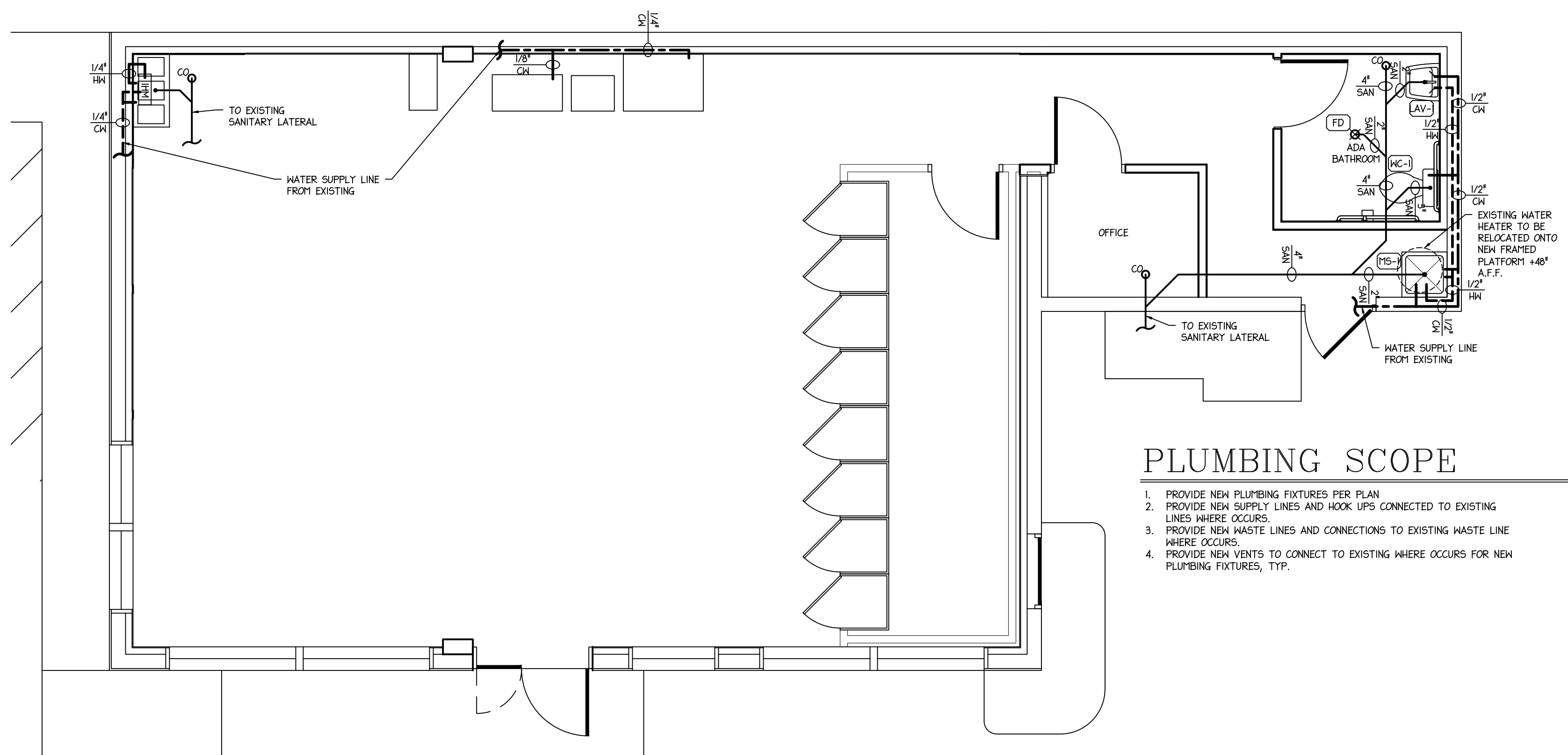
Exhaust fan shall be roof-mounted or ceiling mounted as specified on drawings.

Exhaust fan shall be Greenheck or approved equal. Provide fans with backdraft dampers and curbs.

3.3 ROOFTOP UNITS

All rooftop units shall be specified on drawings and as scheduled.

Supply rooftop units with all accessories for complete installation. This shall be included but not restricted to thermostats, roof curb, outside air dampers, condensate drains.



PLUMBING SCOPE

1. PROVIDE NEW PLUMBING FIXTURES PER PLAN
2. PROVIDE NEW SUPPLY LINES AND HOOK UPS CONNECTED TO EXISTING LINES WHERE OCCURS.
3. PROVIDE NEW WASTE LINES AND CONNECTIONS TO EXISTING WASTE LINE WHERE OCCURS.
4. PROVIDE NEW VENTS TO CONNECT TO EXISTING WHERE OCCURS FOR NEW PLUMBING FIXTURES, TYP.

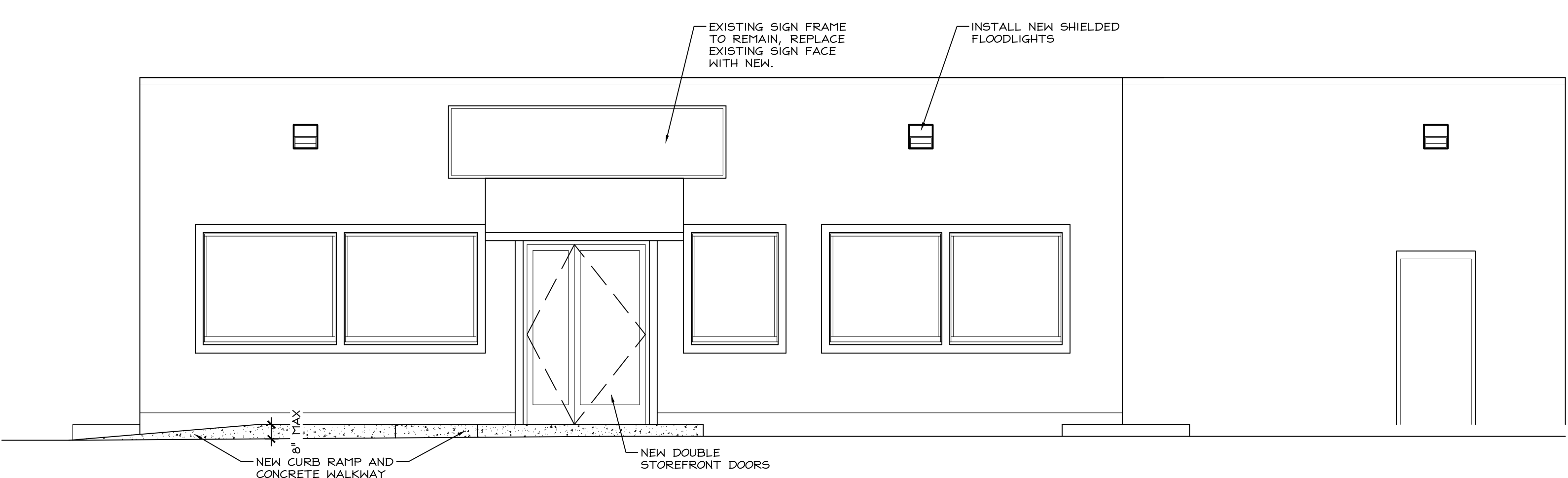


REVISIONS	NO.	DATE	REMARKS
△	-	-	-

PLUMBING FIXTURE SCHEDULE						NOTE
ID	DESCRIPTION	WASTE	VENT	HOT	COLD	
WC-1	WATER CLOSET	4"	2"	-	1/2"	FLOOR MOUNTED PRESSURE ASSIST FLUSH TANK (ADA), GERBER GUL38 (WHITE), WITH BERTS PESC SEAT (WHITE- OPEN FRONT)
LAV-1	LAVATORY	1 1/2"	1 1/4"	1/2"	1/2"	WALL MOUNTED (ADA), GERBER G007234 (WHITE) w/ SINGLE HANDLE MOEN ADA FAUCET, SCALDGAURD BY TRUEDRO, INSTALL THERMOSTATIC MIXING VALVE UNDER LAVE
MS-1	MOP SINK	2	1 1/4"	1/2"	1/2"	FIAT MODEL P5B2424, WITH SERVICE FAUCET #B30-AA WITH VACUUM BREAKER, WALL BRACE AND PAIL HOOK

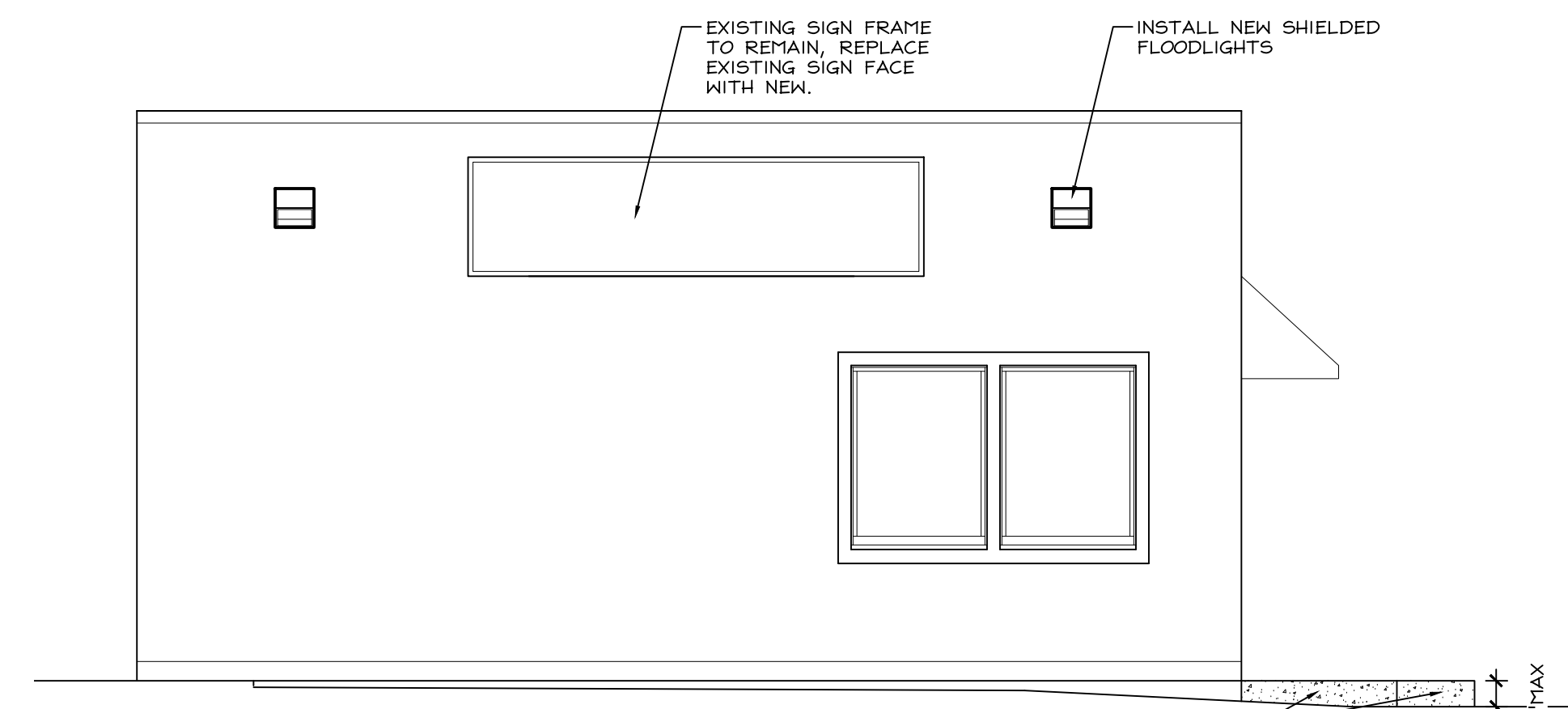
PLUMBING WASTE/SUPPLY PLAN

SCALE: 1/4" = 1'-0"



ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION

SCALE: 1/4" = 1'-0"

RENOVATIONS FOR:
SMOKE & CHILL
 COLUMBIA BOROUGH
 149 N. 3RD ST. COLUMBIA, PA. 17512

ISSUE FOR PERMIT

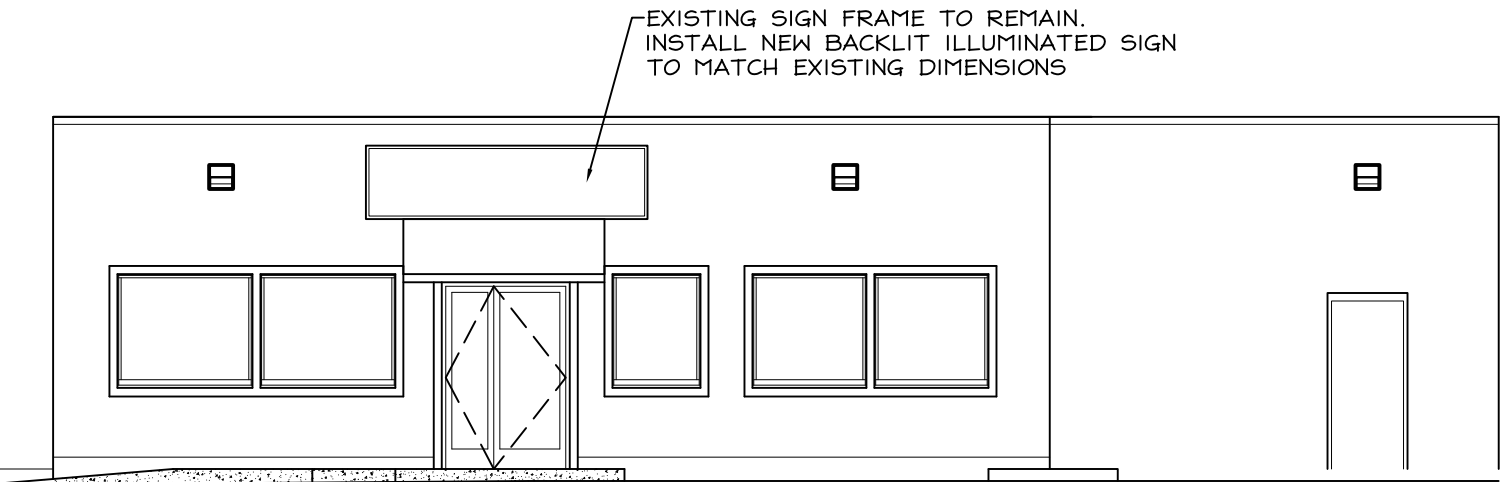
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DRAWN BY **NORMAN**
 CHECKED BY **GOOD**
 APPROVED BY **CALABRESE**
 JOB NO. **220864**
 SCALE **AS NOTED**
 DATE **08/31/22**

DRAWING TITLE
ELEVATIONS

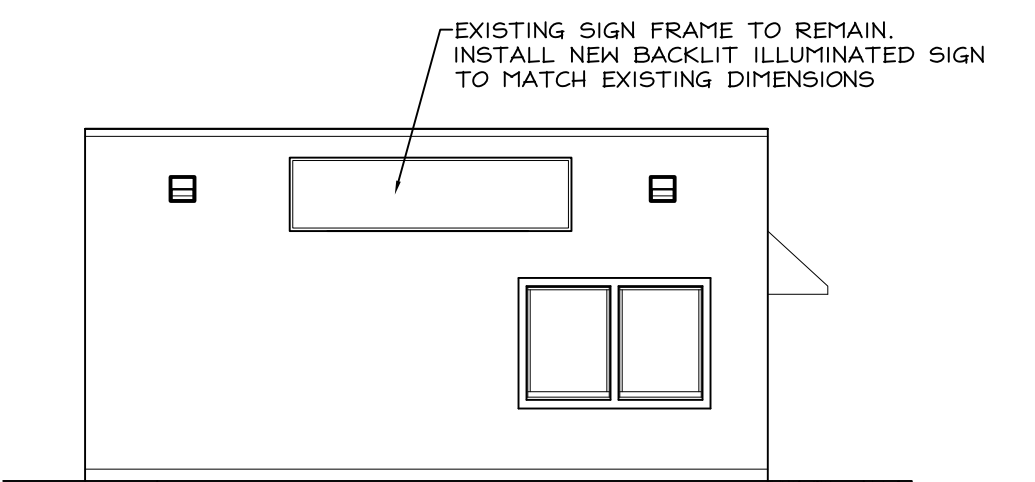
DRAWING NO.
A2.1



SIGN ELEVATION

SCALE: 1/8" = 1'-0"

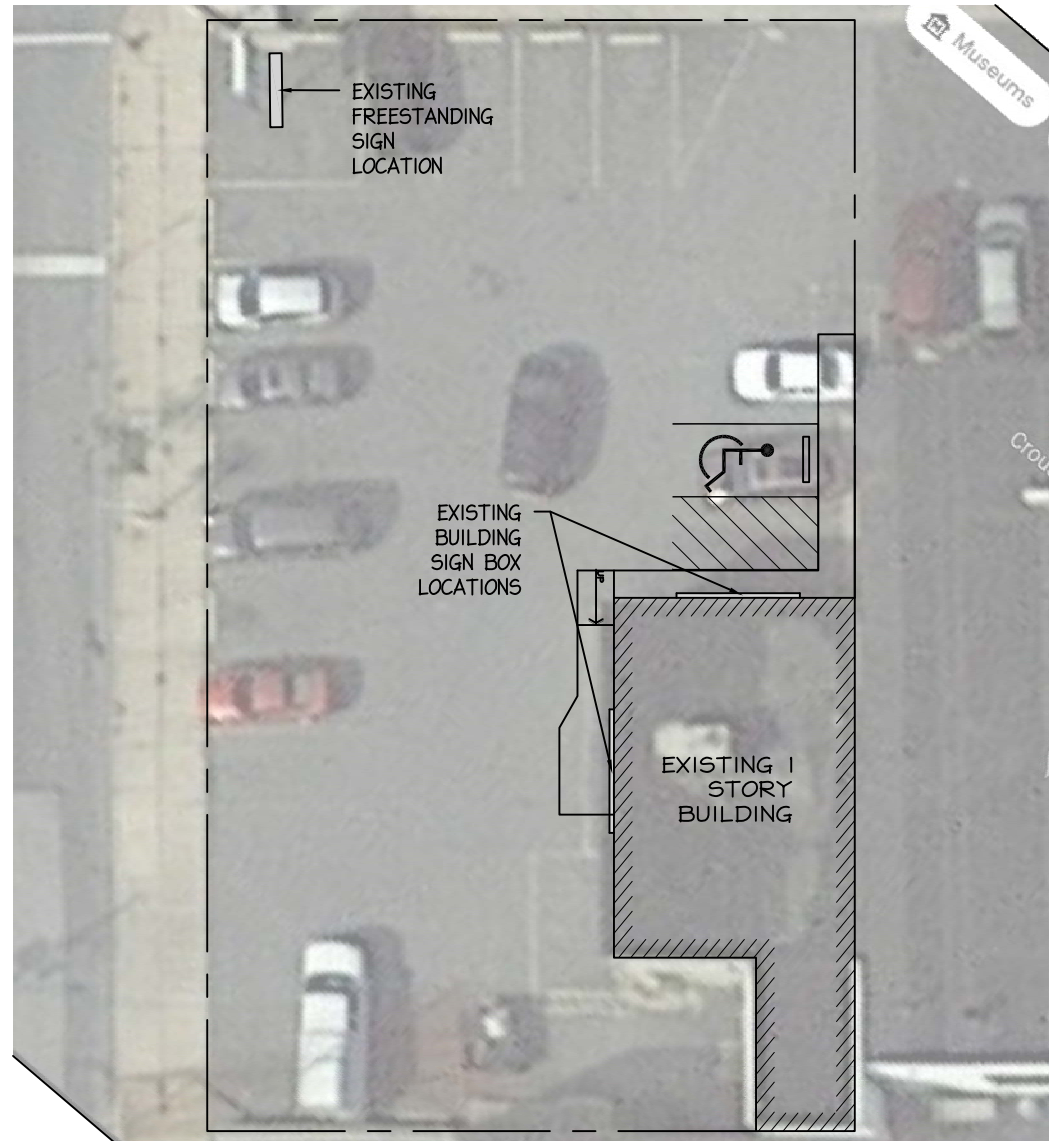
2
SDI.1



SIGN ELEVATION

SCALE: 1/8" = 1'-0"

1
SDI.1



SIGN LOCATION PLAN

SCALE: N.T.S.

4
SDI.1



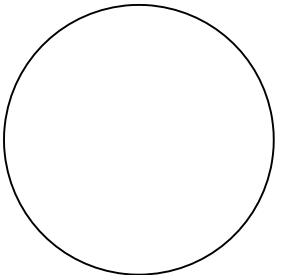
149 N 3erd St
Columbia PA



SIGN DIMENSIONS AND DESIGN

SCALE: N.T.S.

3
SDI.1



PROPOSED EXTERIOR SIGNAGE FOR:
SMOKE & CHILL
COLUMBIA BOROUGH
149 N. 3RD ST. COLUMBIA, PA. 17512

DRAWN BY NORMAN
CHECKED BY GOOD
JOB NO. 220864
DATE 09/23/22

SIGNAGE ELEVATIONS

DRAWING NO.
SD1.1



Color: Bronze

Weight: 3.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.13A
208V	0.07A
240V	0.06A
277V	0.05A
Input Watts	14.2/14/14.2W

LED Info

Watts	15W
Color Temp	3000K/4000K/5000K
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	1761/1904/1852
Efficacy	124/136.2/130.3 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PL0MVJOV62Q3

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.13A, 208V: 0.07A, 240V: 0.06A, 277V: 0.05A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V Integrated button photocell included.

Note:

All values are typical (tolerance +/- 10%)

Construction

IP Rating:

Ingress protection rating of IP65 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Technical Specifications (continued)

Construction

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Adjustable from 0° (full cutoff) to 90°. 7 settings at 15° each.

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

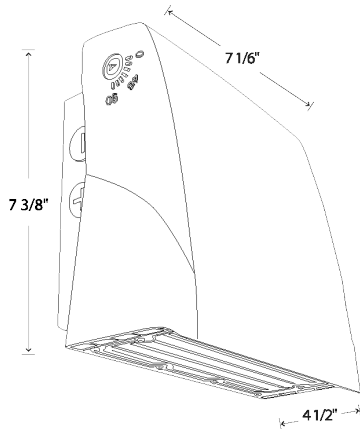
Equivalency:

Equivalent to 70W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Selectable CCT
- Adjustable cutoff
- Integrated photocell
- 0-10V dimming standard

Ordering Matrix

Family	Wattage	Style
SLIM17FA	15	ADJ

15 = 15W ADJ = Angle Adjustable
30 = 30W



LEO S. LUTZ Mayor
HEATHER ZINK Borough Council President
EVAN M. GABEL Solicitor
MARK E. STIVERS Borough Manager

AGENDA DATE: October 12, 2022

TO: Historic Architecture Review Board
RE: HARB COA for 218 Walnut Street
Permit No.220-302 / Account No.
1102960600000

FROM: Sharon Cino, Planning & Zoning Manager
VIA: Mark E Stivers, AICP, Borough Manager

TITLE: Consideration of a Certificate of Appropriateness (COA) the property located at 218 Walnut Street to include a roof replacement from metal to asphalt shingle, and slate to asphalt shingle, and vinyl windows.

OWNER/APPLICANT: Adam K. Rohrer
1252 Breneman Road
Conestoga, PA 17516

CONTRACTOR: Helm Construction Co.
1321 Byerland Church Rd.
Willow, PA 17584

PROJECT DESCRIPTION: The applicant is proposing to remove the existing metal roof with asphalt shingles, slate tiles with slate style asphalt shingle and installation of vinyl window.

PROPERTY DESCRIPTION: The property is constructed circa 1860 and includes a Victorian Vernacular, 2 ½ story double house style. This includes a 2-bay frame surface with a composite material and 6/6 sashed windows with simple architraves in the second story along with paired 1/1 sashed windows and a square headed door with the main fenestration to include a rectangular transom. A late 19th century, pedimented dormer with paired 1/1 sashed windows projects from a steep roof. A full porch with squared wooden posts is shared by with the neighboring property.

SECRETARY OF THE INTERIOR STANDARDS THAT APPLY: 6 and 9

(6) Deteriorated historic features will be repaired rather than replaced. Where the severity



of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible materials. Replacement of missing features will be substantiated by documentary and physical evidence.

- (9) New addition, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationship that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size scale and proportion and massing to p

STAFF RECOMMENDATION: Staff recommends approval of the COA for 218 Walnut Street to include a metal roof replacement with asphalt shingles, and vinyl windows.

09-26-2022

Date of Application

Check List: Your completed application should include:	
<input checked="" type="checkbox"/> HARB Letter of Intent (LOI)	<input checked="" type="checkbox"/> Brochure or Catalog Cut
<input type="checkbox"/> Plot Plan Drawings	<input type="checkbox"/> Material Sample
<input type="checkbox"/> Elevation Drawings	<input type="checkbox"/> Other (specify):
<input checked="" type="checkbox"/> Photographs	

PLEASE PRINT OR WRITE LEGIBLY

1. **Owner's Name:** Adam K. Rohrer

 If applicant is not the equitable owner of the property, indicate:
 Owner's Agent/Representative Other _____
 Letter Submitted by Property Owner, authorizing Agent/Representative to act: _____
 Street Address: 1252 Breneman Road

 Mailing Address (if different): _____
 City: Conestoga State: PA Zip: 17516
 Phone (daytime): 717-419-7986 Email: rohrersrentalpropertiesllc@gmail.com

2. **Street Address of Property to be Reviewed** (if different): 218 Walnut St. Columbia, PA 17512

3. **Contractor's Name:** Helm Construction Co.

 Street Address: 1321 Byerland Church Rd.

 Mailing Address (if different): _____
 City: Willow Street State: PA Zip: 17584
 Phone (daytime): 717-584-3598 Email: cody.helm@helmconstructionco.com

4. **Architect/Engineer** (if applicable): NA
 Street Address: _____
 Mailing Address (if different): _____
 City: _____ State: _____ Zip: _____
 Phone (daytime): _____ Email: _____

5. **Property Use** (Check all that apply):
 Single Family Residence
 Multi-Family Residence
 Office
 Commercial/Retail
 Industrial
 Institutional
 Vacant

Particular Building Type:
 single, detached
 duplex
 row
 apartment building
 warehouse
 other: _____

Property Data (if unknown, leave blank)
 1. Date building constructed:

 2. Date of additions/alterations:

6. **Proposed Alteration(s), Demolition or New Construction (list each item separately):**

- Example: 1. replace existing front door with wood four-panel door
 2. install storm door

A. Replace all existing Asphalt Shingle, Slate Tile, Metal roof with new Asphalt Shingles.

B. Replace Flashing and Gutters with new working ones.

C. Replace existing Metal Windows with new Vinyl Windows.

7. **Costs**

Estimate the total cost of the alteration(s): \$20,000

8. **Date of Review**

Date of meeting at which application will be reviewed:

I, the undersigned, understand that any work affecting existing ordinances must be in compliance with those ordinances, that major work is subject to inspection, that new structures require a Certificate of Occupancy upon completion, that any misrepresentation of the proposed work is cause for withdrawal of the work permit, and any work beyond the scope of the work permit is cause for a Civil Action Complaint. The minimum penalty as prescribed by the Pennsylvania Municipalities Planning Code is \$500.00.

9. Signature of Owner: [Signature] Date: 09-26-2022

10. Signature of Zoning Official: Sharon Cino Date: 10/7/22

Applicant was given:

- Pink Placard (to be prominently displayed by applicant on the property where the alterations are proposed)
- Meeting Notice (provides applicant with date, time, and location of meeting at which application will be reviewed)

Official Use Only

Date of site visit: _____

Property Description (building inventory data sheet)

Historic Function: _____ Particular Type: _____ Current Function: _____

Architectural Style: _____

Exterior Materials: _____

Structural System: _____ Foundation: _____

Bays: _____ Stories: _____

Roof Pitch: _____ Roof Materials: _____ Roof/Wall Junction: _____

Dormers: _____ Chimney: _____

Porch: _____ Porch Support: _____

General Condition: _____ Integrity: _____

Letter of Intent

To All at HARB and the Borough of Columbia,

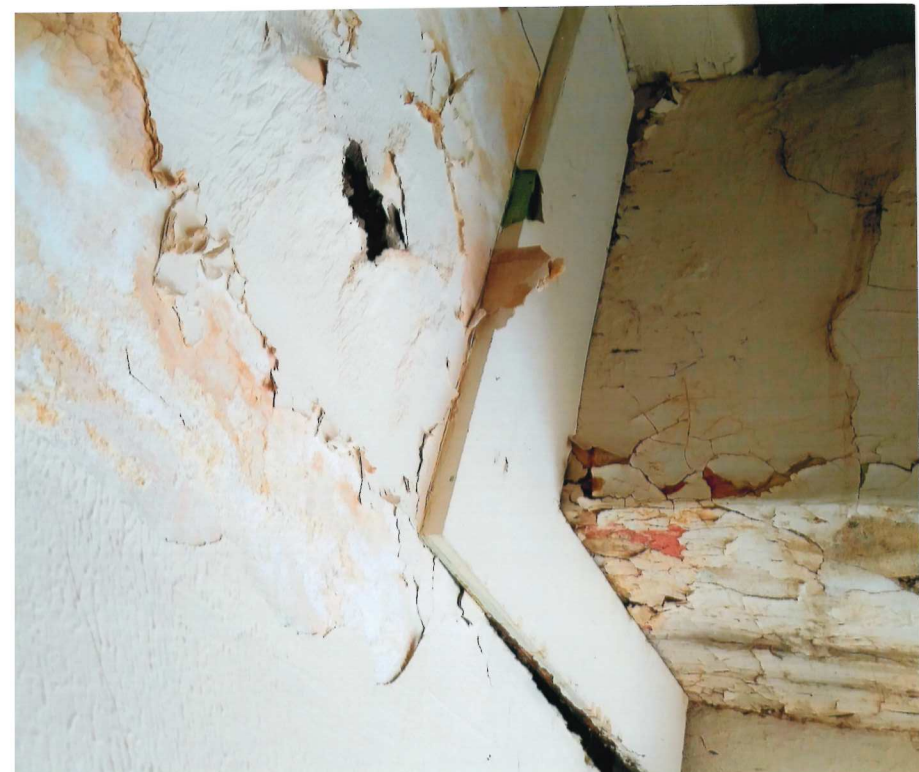
I am proposing alterations to 218 Walnut St. Columbia, PA 17512. The first being a new Asphalt Shingled roof on front and rear of building, flashing, and gutters. The current roof is Asphalt Shingle on the front porch, Slate Tile on the front and rear slope, and Metal Sheets on the rear portion. The Slate and Metal roofs are also currently leaking in multiple areas. Leaks are on and around the dormer, around the brick chimney, and on the back side of the roof where the slate and metal meet. I would like to replace all of the current material with new Asphalt Shingle, Ice and Water Shield, and Sheathing as required. The house will need new flashing installed in most areas to protect the structure further. The gutters are rusted through and no longer working. I would like to replace those as well to protect the structure. I would like to match the new roof, flashing, and gutters to create a seamless and safe look.

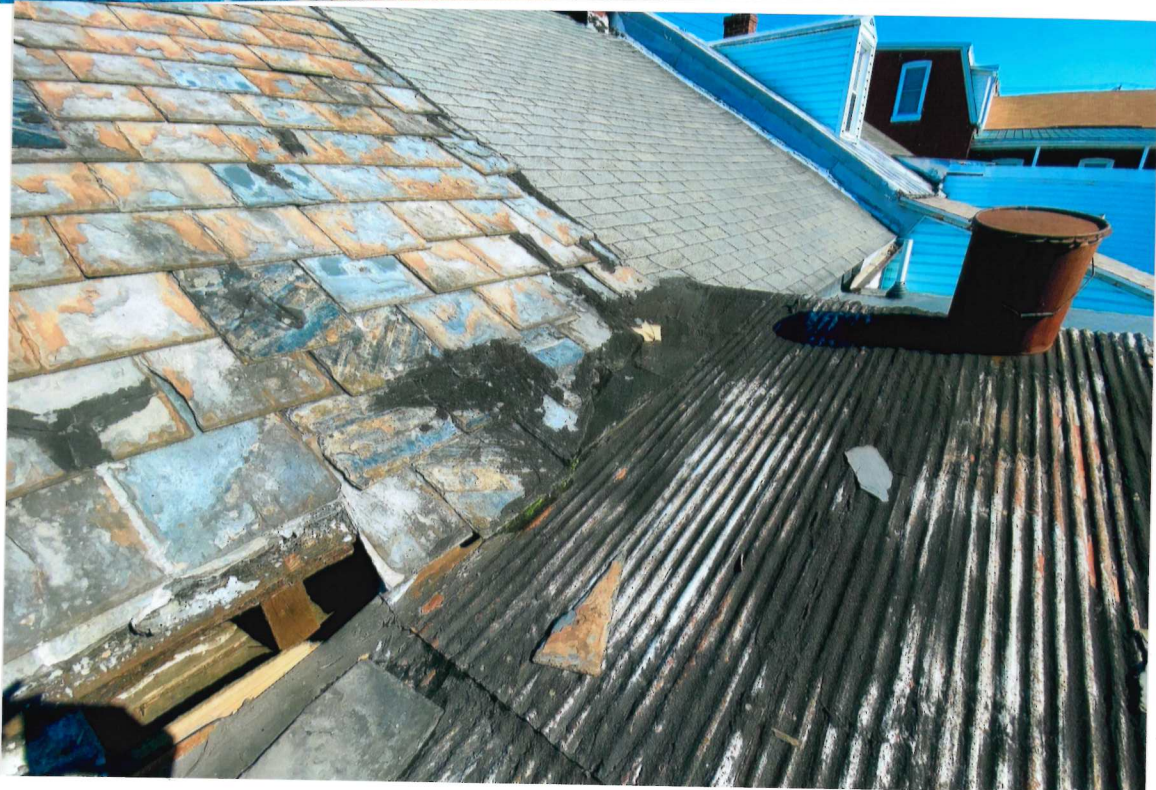
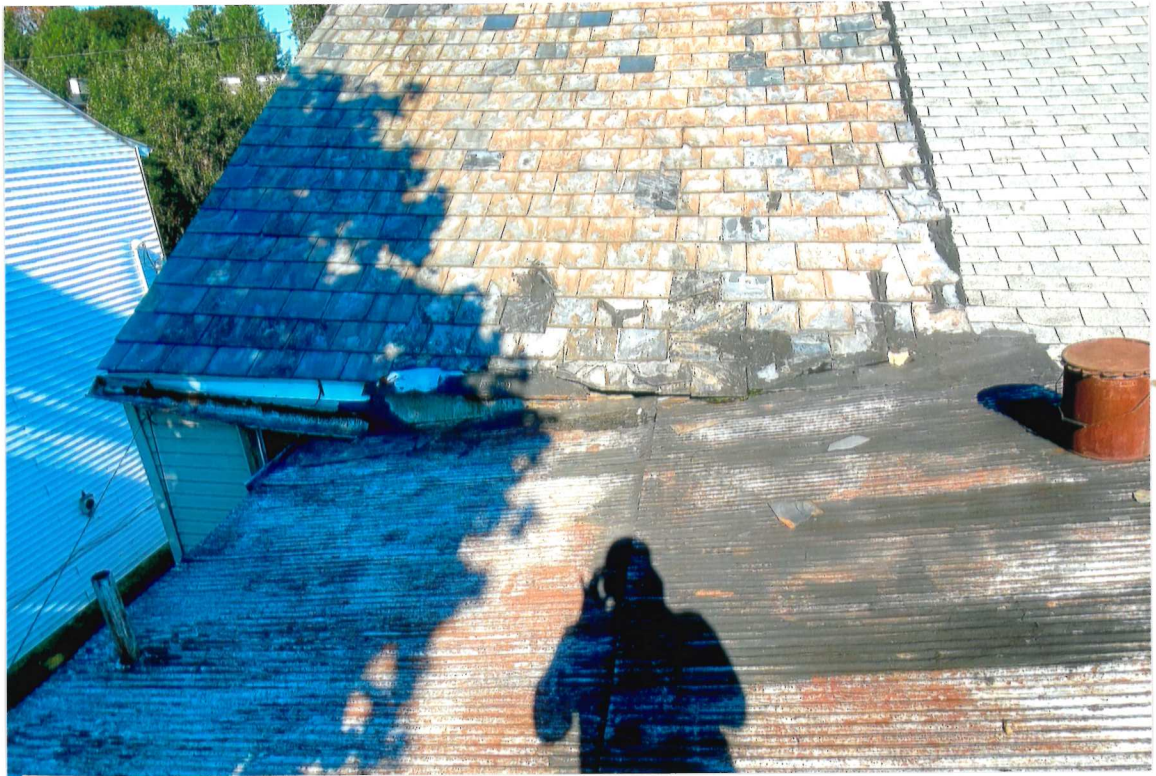
The second alteration to be proposed is 12 new windows. The current windows are made of a metal possibly aluminum and have been randomly installed over the years. I would like to replace them with attractive energy efficient vinyl windows. I also want to wrap any exposed wood around these windows to have a watertight seal from the outside.

Thank you for hearing this proposal to fix and update a home in this District.

Sincerely, Adam K. Rohrer







LANDMARK® COLOR PALETTE



Cobblestone Gray



Colonial Slate



Georgetown Gray



Weathered Wood



Driftwood



Pewterwood



Moire Black



Charcoal Black



Heather Blend



Burnt Sienna



Resawn Shake



Hunter Green

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LEO S. LUTZ Mayor
HEATHER ZINK Borough Council President
EVAN M. GABEL Solicitor
MARK E. STIVERS Borough Manager

AGENDA DATE: October 12, 2022

TO: Historic Architecture Review Board
RE: HARB COA for 449 Union Street
Permit No.220-310 / Account No.
1103169300000

FROM: Sharon Cino, Planning & Zoning Manager
VIA: Mark E Stivers, AICP, Borough Manager

TITLE: Consideration of a Certificate of Appropriateness (COA) for the property located at 449 Union Street for a front door replacement, storm door and replace picture window

OWNER/APPLICANT: Michael Elia
2 Park Lane
Lancaster, PA 17603

CONTRACTOR: Joe Ulrich
P.O Box 716
Columbia, PA 17512

PROJECT DESCRIPTION: The applicant is proposing to replace the front door, install a storm door and replace picture window.

PROPERTY DESCRIPTION: The property is constructed circa 1870 and includes and is a Vernacular historic style 2 ½ story frame rowhome. This includes a gabled roof on a box cornice with transomed entries.

SECRETARY OF THE INTERIOR STANDARDS THAT APPLY: 2

- (2) The historic character of a property will be retained and preserved. The removal of distinctive material or alteration of features spaces, and spatial relationship that characterize a property will be avoided.

STAFF RECOMMENDATION: Staff recommends approval of the COA for 449 Union Street to include a replacement of the front door, new storm door and replacement of the picture window.





Borough of Columbia
ZONING /HARB REVIEW

9/27/22

Date of Application

Check List: Your completed application should include:

- HARB Letter of Intent (LOI)
Plot Plan Drawings
Elevation Drawings
Photographs
Brochure or Catalog Cut
Material Sample
Other (specify):

PLEASE PRINT OR WRITE LEGIBLY

1. Owner's Name: Michael Elia

If applicant is not the equitable owner of the property, indicate:

- Owner's Agent/Representative
Other
Letter Submitted by Property Owner, authorizing Agent/Representative to act:

Street Address: 2 Park Lane

Mailing Address (if different):

City: Lancaster State: PA Zip: 17603

Phone (daytime): 717-341-0136 Email: Benelioproperties@gmail.com

2. Street Address of Property to be Reviewed (if different): 449 Union St.

3. Contractor's Name: Joel Ulrich

Street Address: P.O. Box 716

Mailing Address (if different):

City: Columbia State: PA Zip: 17512

Phone (daytime): 717-710-6562 Email: rjchomeservices11c18@gmail.com

4. Architect/Engineer (if applicable):

Street Address:

Mailing Address (if different):

City: State: Zip:

Phone (daytime): Email:

5. Property Use (Check all that apply):

- Single Family Residence
Multi-Family Residence
Office
Commercial/Retail
Industrial
Institutional
Vacant

Particular Building Type:

- single, detached
duplex
row
apartment building
warehouse
other:

Property Data (if unknown, leave blank)

1. Date building constructed:

2. Date of additions/alterations:

6. **Proposed Alteration(s), Demolition or New Construction (list each item separately):**

Example: 1. replace existing front door with wood four-panel door
2. install storm door

- Replace existing front door

- install new storm door

- Replace picture window

7. **Costs**

Estimate the total cost of the alteration(s): \$ 3,600

8. **Date of Review**

Date of meeting at which application will be reviewed: 10/9/22

I, the undersigned, understand that any work affecting existing ordinances must be in compliance with those ordinances, that major work is subject to inspection, that new structures require a Certificate of Occupancy upon completion, that any misrepresentation of the proposed work is cause for withdrawal of the work permit, and any work beyond the scope of the work permit is cause for a Civil Action Complaint. The minimum penalty as prescribed by the Pennsylvania Municipalities Planning Code is \$500.00.

9. Signature of Owner: Mick Yu

Date: 9/27/22

10. Signature of Zoning Official: Sharon Cino

Date: 10/5/22

Applicant was given:

Pink Placard (to be prominently displayed by applicant on the property where the alterations are proposed)

Meeting Notice (provides applicant with date, time, and location of meeting at which application will be reviewed)

Official Use Only

Date of site visit: _____

Property Description (building inventory data sheet)

Historic Function: _____ Particular Type: _____ Current Function: _____

Architectural Style: _____

Exterior Materials: _____

Structural System: _____ Foundation: _____

Bays: _____ Stories: _____

Roof Pitch: _____ Roof Materials: _____ Roof/Wall Junction: _____

Dormers: _____ Chimney: _____

Porch: _____ Porch Support: _____

General Condition: _____ Integrity: _____



YOUR PROFESSIONAL-CLASS PRODUCT

Heritage Woodgrain Textured Fiberglass Entry Door



717-710-6562
115 South 5th St.
Columbia, PA 17512



OUTSIDE VIEW



INSIDE VIEW

QUOTE INFORMATION

Job: Joel/Benneli

Tag: Front Door

Order #9138683-1

DETAILS

Heritage Single Entry Door in FrameSaver Frame

36" x 80" Nominal Size

Unit Size: 37 9/16" x 81 11/16"

Frame Depth: 5 5/16"

2" Standard Brickmold

With Storm Door - Sized to Fit on Brickmold

Left Hand Inswing - Inside Looking Out

Entry Door

006 Style Heritage Woodgrain Textured Fiberglass Door

Snow Mist White Inside / Forest Green Outside

Hardware

Georgian Lockset - Prep Only

Thumbturn Deadbolt - Prep Only

Bright Chrome 7/8" Peepsite (At 58" from floor)

Frame

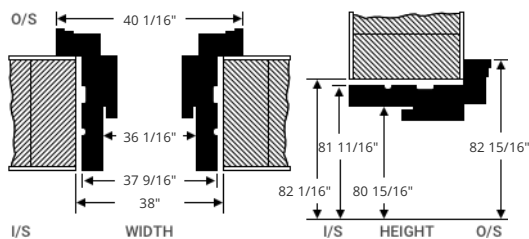
Snow Mist White Inside Frame

Mill Finish ZAl Adjustable Threshold (6 3/8" Depth)

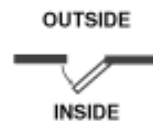
Satin Nickel Ball Bearing Hinges

Security Plate

SIZING



HANDING



ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P) Solar Heat Gain Coefficient

0.13 0.00

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance

0.00 -



ENERGY STAR® Certified
In All 50 States.

YOUR PROFESSIONAL-CLASS PRODUCT

Deluxe Series Storm Door - Model 399 Self-Storing



717-710-6562
115 South 5th St.
Columbia, PA 17512



OUTSIDE VIEW



INSIDE VIEW

QUOTE INFORMATION

Job: Joel/Benneli

Tag: Front Door

Order #9138683-2

DETAILS

Deluxe 399 Self-Storing
36" x 80" Standard Size
Forest Green
Standard Z-Bar
Pre-Hung
Color Matched Piano Hinge
Hinge on Left (Viewed from Outside)
1" Color Matched Bottom Expander
Pebble Grain Kick Panel
Black Push Button with Closer (DH192)
Assign a Random Key Number
Handleset Prep at Standard Location (39") on Right (Viewed from Outside)
Black Closer Included with Handle
Clear Glass
Full Screen with BetterVue Screen Mesh
With Screen Stabilizer Bar

SIZING

Custom Opening Size: 36" x 80"
Minimum Opening Size: 35 3/4" x 79 13/16"
Maximum Opening Size: 36 1/8" x 80 11/16"
Unit Size (Inside Z-Bar): 35 5/8" x 79 3/4"
Tip-to-Tip (Outside Z-Bar): 38" x 80 7/8"
Slab Size: 35 1/8" x 79 1/8"

HANDING

Hinge on the Left
Outside Looking In

ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P) Solar Heat Gain Coefficient

1.04 0.86

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance Total UV

0.90 0.73

YOUR PROFESSIONAL-CLASS PRODUCT

Aspect AP500 Series 509 - Picture Window



OUTSIDE VIEW



INSIDE VIEW

SIZING

Opening Width Range: 32" to 32 1/4"
Opening Height Range: 10 1/4" to 10 1/2"
Window Size: 31 3/4" x 10"
United Inches: 42
Fixed Glass Size: 27 9/16" x 5 15/16" x 3/4"
Fixed Glass Viewable Size: 26 11/16" x 5"

Air/Water/Structural

N/A

ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P)	Solar Heat Gain Coefficient
0.26	0.30

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance	Condensation Resistance
0.55	60.00

ENERGY STAR

Northern/North-Central Regions



717-710-6562
115 South 5th St.
Columbia, PA 17512

QUOTE INFORMATION

Job: Joel/Benneli

Order #9138683-3

DETAILS

Aspect Window - AP500 Series

509 - Picture Window

White

Opening Size: 32 1/4" x 10 1/2"

Unit Size: 31 3/4" x 10"

Installation Holes

Sill Extender

ComforTech DLA

Single Strength Glass

Finish:

1. To clean doors, wash with mild soap and water, rinse with clear water and wipe dry.
2. Keep weatherstrip clean of dirt and grit for proper seal. Wash with mild soap and water, rinse with clear water and wipe dry. Apply a light coat of wax and wipe off excess.
3. For scuff marks on painted finishes, use mild liquid cleanser, rinse with clear water and wipe dry.
4. If finish is accidentally scratched or chipped, clean as recommended above and use touch-up paint supplied or standard wood finish repair crayon.

Hardware:

1. Much like sterling silver even the finest brass will react naturally to the elements surrounding it. To maintain, polish with a nonabrasive automotive or furniture wax. By keeping your hardware cleaned and maintained you will be rewarded with a long-lasting finish.
2. Tighten screws on lockset and hinges when necessary.
3. Lightly oil hinges as needed. Wipe off excess.

Caution:

DO NOT USE paint thinners, lacquer thinner, gasoline, kerosene or any other harsh chemical to clean surfaces of door or hardware.



DOORS | WINDOWS
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Entry Systems & Patio Doors

Lifetime Limited Transferable
WARRANTY



MAINTENANCE & CARE FOR YOUR PROVIA ENTRY SYSTEM

Aluminum Paint Finish:

1. To clean, wash with mild soap and water and treat like your new car finish.
2. If finish is accidentally scratched or chipped, use touch-up paint available from your dealer.
3. To protect finish, spray with vinyl protector or use a high quality auto wax and polish the surface.

Hardware:

1. All hardware will function better if it is cleaned properly.
2. Much like sterling silver, even the finest brass will react naturally to the elements surrounding it. To maintain, polish with a nonabrasive automotive or furniture wax. You may have to clean with brass cleaner if the brass tarnishes. By keeping your hardware cleaned and maintained you will be rewarded with a long lasting finish.
3. Tighten screws when necessary.
4. Clean out the interlocks on double hung windows after exposure to dust.
5. Wipe heavy dust off balance rods on double hung windows. WD-40® should not be used to lubricate balances.
6. Oil hinges on storm doors as needed with a light sewing machine oil.
7. Keep weatherstripping clean of dirt and grit for proper sealing. Wash with mild soap and water. Vinyl and rubber seals can be treated with vinyl protector.

Glass Sash(es):

To Clean the Glass Area that Contains Clear Glass or a Sungate 500® Low-E Coating:

1. Use a soft, clean, high-absorbent, lint-free cloth.
2. Utilize a 50/50 mixture of isopropyl alcohol (rubbing alcohol) and water. This evaporates more slowly than typical cleaners and will keep streaking to a minimum.
3. Spray the cleaning solution on the glass surface to be cleaned. Important! do not wash the glass in direct sunlight.
4. Wipe the cleaning solution off the glass using a circular motion applying light to moderate pressure to remove dirt residue.
5. If this solution does not remove the dirt as desired, any household cleaner can be used.
6. If the household cleaners are used, reduce the area to be cleaned to more easily allow removal of the solution prior to evaporation (which is the cause of streaking). If streaks occur, reduce the area further.
7. Products which foam or lather will help slow the evaporation of the cleaning solution and allow time to remove the residue. They may help 'lubricate' the surface which will give the cleaning cloth a more familiar feel, similar to uncoated glass.



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Aluminum Storm Doors & Windows

Lifetime Limited Transferable
WARRANTY



MAINTENANCE & CARE FOR YOUR VINYL WINDOW OR PATIO DOOR

KEY POINTS TO REMEMBER

1. Small scratches and nicks in the vinyl can occur. These small imperfections can be buffed out with a fine buffing compound suitable for vinyl surfaces.
2. Water can enter into the sill area of several different styles of windows. These windows are designed to capture this water before it enters your home and drain it to the outside. The presence of water in the sill of the window does not indicate a problem unless it has overflowed the window sill and into your interior sill or wall. If this has happened, check to make sure there is no debris in the window sill preventing water to drain through the drainage holes.
3. Condensation is often a result of high humidity in the home. If you have found condensation on your window or patio door, you must take steps to reduce the humidity level in your home by either adding a dehumidifier or using a kitchen exhaust fan to remove water vapors from cooking.

CARE AND MAINTENANCE

Maintenance of your window or patio door is important to keep it operating at its full potential. Here are some important steps to take throughout the year to keep your windows and doors looking beautiful.

1. Keep sill track clean of dirt and debris so water can flow freely to outside.
2. Keep all weep holes free of obstructions so water can flow freely to outside.
3. Inspect exterior caulking regularly and replace when necessary.
4. Clean and check operation of hardware and weather-stripping regularly and repair if necessary.
5. Keep weatherstrip clean of dirt and grit for proper seal. Wash with mild soap and water, rinse with water and wipe dry. Apply a light coat of wax (Lemon Pledge®) and wipe off excess.
6. Determine the source of any moisture that you see around your windows or doors and stop its entry and accumulation.
7. Immediately dry out any areas around your windows or doors that you observe are wet (immediate action is necessary to mitigate any damage to your home). The use of a dehumidifier, fan, or any warm air source will help dry out affected area.
8. Maintain relative humidity at moderate levels.

Vinyl Finish:

1. To clean, wash with mild soap and water. Heavy dirt and stains may require stronger cleaning compounds such as a vinyl siding cleaner. The surface can be wiped down with solvents such as turpentine, naphtha, nail polish remover (acetone) and alcohol. CAUTION: as some cleaners may mar or scratch vinyl.
2. Abrasive cleaners will scratch the surface and are not recommended.

Hardware:

1. Much like sterling silver even the finest brass will react naturally to the elements surrounding it. To maintain, polish with a nonabrasive automotive or furniture wax. By keeping your hardware cleaned and maintained you will be rewarded with a long-lasting finish.
2. Tighten screws when necessary.
3. Lightly oil as needed. Wipe off excess.

CAUTION: DO NOT USE paint thinners, lacquer thinner, gasoline, kerosene or any other harsh chemical to clean surfaces or hardware.



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