



LEO S. LUTZ Mayor
HEATHER ZINK Borough Council President
EVAN M. GABEL Solicitor
MARK E. STIVERS Borough Manager

COLUMBIA BOROUGH COUNCIL – REGULAR MEETING

OCTOBER 25, 2022 | 7:00 PM

FINAL AGENDA

This meeting will be live streamed to the borough's Facebook page as a convenience and is not meant to replace in-person participation in the meeting.

1. Call to Order and Roll Call
 2. Invocation/Moment of Silence
 3. Pledge to the Flag
 4. Announcement of Executive and Information Session(s)
 5. Additions, deletions, and reorganization of agenda
 - a. Consider approval of Agenda
 6. Citizen Comments (Non - Agenda Items Only – 5 Minute time limit per person)
Civility and Decorum: Borough officials and members of the public are expected to conduct themselves with civility and to accord each other a measure of dignity and respect. Shouting, foul language, personal insults, threats, and attacks or any conduct that disrupts the flow of business is out of order.
 7. Minutes for Approval
 - a. Consider approval of the Borough Council Meeting Minutes for October 11, 202
 8. Presentation & Acceptance of Reports
 - a. Community Development – Eric Kauffman
 - I) Report on the Columbia Market House – Chris Vera
 - b. Finance – Heather Zink
 - I) Acknowledge Finance Report –September 2022
 - c. Personnel – Joanne Price
 - I) Acknowledge resignation of Jordon Corbin from the position of Community Safety Officer
 9. Presentations
 - a. Presentation by Addison Mathias on Community in Schools
 10. Mayor Lutz/Chief Brommer
- For public comment on items on the agenda, there will be a 3-minute time limit per person per topic)
11. Old Business:
 - a. Consider Resolution 2022-39 regarding Makle Park DCED Grant funding
 - b. Consider approval of Ordinance 942 of 2022 - an ordinance to amend Section A225-8 of the Borough Code related to the Police Pension Plan
 - c. Consider free parking on Saturday during the Holiday Season
 - d. Authorization to pay bills

12. New Business:



- a. Consideration of a Certificate of Appropriateness (COA) for 149 N Third Street to install an ADA ramp, remove and install asymmetric French doors to the main entrance, installation of business signs, remove existing lighting and install shield LED lighting, fur out exterior walls and provide new install insulation
 - b. Consideration of a Certificate of Appropriateness (COA) for 218 Walnut Street to replace slate tile with asphalt shingle and replacement of windows.
 - c. Consideration of a Certificate of Appropriateness (COA) for 449 Union Street to replace the front door, install storm door and picture window.
 - d. Consider demolition application – 332 Locust Street, demolition of existing building
 - e. Consider authorizing Columbia Borough to partner with DR1 and the Lancaster EDC and to apply for a SMART grant from the U.S. Department of Transportation for the first phase of developing the drone program at the McGinness Innovation Park.
 - f. Consider Resolution 2022-40 authorizing the land bank to purchase 349 North Second Street
 - g. Consider Resolution 2022-41 authorizing the land bank to purchase 1005 Spruce Street
 - h. Consider Authorizing staff to apply for a 902 Recycling Grant to replace the existing Peterson Grinder with a new model Peterson Model 1700D Grinder
 - i. Consider authorizing staff to hire Joel Hopta as a full-time Community Safety Officer contingent upon successful completion of a background investigation, medical screening, and drug screening
 - j. Consider authorizing staff to hire Clea S. Fry as a part-time (10-20 hours per week) Crossing Guard for the Columbia Borough Police Department beginning at the non-Uniform 2022 Contract rate of \$14.10 per hour and contingent upon successful completion of the required background check, medical exam, and drug screening.
 - k. Consider authorizing staff to contract with a realtor to sell Borough owned property located at 400 Locust Street and 750 South Ninth Street
13. Staff Reports, Comments, and Announcements
- a. Solicitor
 - b. Secretary/Treasurer
 - c. Boards, Commissions and Committees
 - I) Upcoming Meetings-
 - II) Approved Minutes-
14. Borough Council Comments
- a. Council Members
15. Announcement of Next Meeting. At 7:00 PM on November 01, 2022, Council will hold a work session
16. Adjournment.

If you are a person with a disability wishing to attend this meeting and require accommodation to participate in the meeting, please contact the Columbia Borough Office at (717) 684-2467 at least 24 hours prior to the meeting.

COLUMBIA BOROUGH COUNCIL – REGULAR MEETING

October 11, 2022 | 7:00 PM
Paul W. Myers Council Chambers

MINUTES

1. Council President Zink called the meeting to order at 7:00 PM.

Councilpersons present: Burgard, Fisher, Kauffman, Lintner, Price, Stahl, and Zink. Mayor Lutz was also present.

Staff Present: Borough Manager Stivers and Chief Brommer. Solicitor Gabel was also present.

2. Pastor Powers from the Columbia Presbyterian Church provided an invocation.
3. Mayor Lutz led the pledge to the flag
4. Announcement of Executive and Information Session (s) None
5. Additions, deletions, and reorganization of agenda.
 - a. Motion to approve the agenda as published.

Motion by:	Second by:	Voice Vote:
E. Kauffman	P. Stahl	All Favored – Motion Carried

6. Citizen Comments Non-Agenda Items Only (None)

Don Jaco

Discussed the cat issue in his neighborhood and his experience with taking cats to the cat shelter to be neutered. Discussed hunting on Borough Property on Blue Lane. Discussed road work needed on the East side of Blunston Street.

Frank Doutrich

Discussed the last meeting. Discussed recent road work in the Borough. Discussed road work on 462 in front of Columbia Motor Parts.

7. Minutes for Approval

- a. Motion to approve the Borough Council Meeting Minutes for September 27, 2022.

Motion by:	Second by:	Voice Vote:
E. Kauffman	B. Fisher	All Favored – Motion Carried

- b. Motion to approve the Borough Council Meeting Minutes for October 4, 2022.

Motion by:	Second by:	Voice Vote:
J. Price	T. Burgard	All Favored – Motion Carried

8. Presentation & Acceptance of Reports

- a. Community Development– Eric Kauffman

- i) Acknowledge receipt of the Zoning and Planning report for September 2022

Council Person Lintner asked for clarification on information provided in the report. Borough Manager Stivers provided detail.

b. Public Works & Property – Peter Stahl

- I) Acknowledge receipt of Public Works and Property Report for September 2022

Councilperson Stahl announced leaf collection will begin on October 17th and yard waste pick up will end on November 7th.

c. Safety/Communications – Todd Burgard

- I) Acknowledge receipt of the Public Safety Reports for: Penn State Health Life Lion, Columbia Borough Fire Department and Columbia Borough Police Department for September 2022
- II) Acknowledge receipt of the Codes Compliance Report for September 2022
- III) Acknowledge receipt of the EMOC Report for September 2022

Councilperson Burgard commended Codes Manager Diffenderfer on the work being done in the department.

9. Presentations

a) Presentation by Pastor Powers on Homeless in Columbia

Pastor Powers provided history on the current homeless shelter and announced they need to move out of their current space. Provided detail on the need for shelter for the homeless population in Columbia. Discussed an opportunity to purchase the former Sager & Swisher building. Councilperson Lintner asked for clarification on the purchase of the property.

Council discussed ways to financially support the homeless effort in the Borough. Solicitor Gabel discussed limitations on the funds the Borough can legally provide. Mayor Lutz and Solicitor Gabel discussed placing no trespassing signs at the homeless shelter and the enforcement of those signs. Council President Zink read the state guidelines the Borough must follow that limits to whom they can donate taxpayer money.

Keith Williams

Discussed issues with the homeless shelter in his neighborhood. Discussed disruptive behavior at the shelter that adversely affects him and his neighbors. Discussed cameras being placed around the shelter.

Pastor Angel Rodriguez

Discussed his experience with volunteering at the shelter. Discussed the members of the homeless community and the work done at the shelter to transition people out of homelessness.

10. Mayor Lutz/Chief Brommer

Mayor Lutz discussed the homeless community in the Borough. He discussed ways to address the Borough’s homeless population. Reviewed his third quarter wedding report provided in the Council packet.

11. Old Business

a. Motion to authorize staff to pay bills.

Motion by:	Second by:	Voice Vote:
E. Kauffman	P. Stahl	All Favored – Motion Carried

Councilperson Lintner asked for clarification on a YSM invoice. Borough Manager Stivers provided a detailed response.

12. New Business

- a. Motion to authorize staff to apply for a DCNR grant to upgrade Makle Park.

Motion by:	Second by:	Voice Vote:
B. Fisher	J. Price	All Favored – Motion Carried

Borough Manager Stivers provided an executive brief on the motion detailing the information provided. Council discussed ways to fund the Borough’s portion of the grant. Council President Zink asked if there were plans for cameras in the area. Borough Manager Stivers responded he and Chief Brommer are looking at ways to improve security in the area. Mayor Lutz discussed use of the proposed restrooms. Discussed how restroom issues are addressed at the Columbia Crossing Building. Councilperson Fisher discussed posting no trespassing signage in the park. Councilperson Linter asked for clarification on using ARPA funds for the project. Solicitor Gabel provided information

Nate Roach

Asked for clarification on the ARPA funds being proposed to fund the project. President Zink and Manager Stivers provided details.

Keith Williams

Asked for details on the cost of the cameras being considered for the project. Mayor Lutz and Chief Brommer responded.

Frank Doutrich

Asked for detail on the amount of money already spent in this park. Manager Stivers committed to research the issue.

- b. Motion to approve MOU from PennDOT regarding a detour route for the PA 462 reconstruction project.

Motion by:	Second by:	Voice Vote:
P. Stahl	E. Kauffman	All Favored – Motion Carried

Manager Stivers and President Zink discussed the information provided to Council.

Frank Doutrich

Discussed the lack of meetings with the state to discuss the project. Manager Stivers discussed meetings that have been held with PennDOT at the Columbia Crossing building.

Don Jaco

Discussed issues to be addressed with the bridge project.

- c. Motion to approve Facilities Use Request for Cumulus Media/96.1 SOX Radio to host their annual Santa D’s Toy Challenge in the “jug handle” at the entrance of the Rt. 462 Bridge from 12/5/22 through 12/9/22 (set up and tear down to include 12/3, 12/4 and 12/10/22).

Motion by:	Second by:	Voice Vote:
T. Burgard	E. Kauffman	All Favored – Motion Carried

- d. Motion to hire Michelle Weiler for the position of Crossing Guard contingent upon successful completion of health screening and background check.

Motion by:	Second by:	Voice Vote:
E. Kauffman	P. Stahl	All Favored – Motion Carried

13. Staff Reports Comments and Announcements.

a. Solicitor

Provided an update on projects.

b. Borough Engineer

c. Secretary/Treasurer

Discussed recent interview with WGAL. Discussed success of the events held in the Borough this past weekend. Discussed UGI's work on Lancaster Avenue and encourage people to drive safely through the area. Discussed his recent visit to Lancaster County's EOC center.

d. Boards, Commissions and Committees

I) Upcoming Meetings – HARB (10.12.2022) Parks & Rec (10.13.2022) CANCELED Planning Commission (10.18.2022) River Park Advisory & Revitalization Committee (10.20.2022) Budget (10.20.2022) Shade Tree Commission (10.24.2022)

II) Comp Plan Meeting Scheduled for 10.17.2022 CANCELLED

14. Borough Council comments

a. Council Members

Councilperson Kauffman discussed the homeless shelter issues and how it effects the taxpayers of the Borough.

Councilperson Stahl thanked Pastor Powers for his presentation and hopes the Borough and the Community can come together and get involved to address the issue.

President Zink discussed adding to the next agenda providing free parking on Saturdays between Thanksgiving and Christmas. Also announce the PEMA class being offered in Borough Hall.

15. Announcement of next meeting: At 7:00pm on October 25, 2022 Council will hold a regular meeting.

16. Motion to adjourn at 8:37 pm to an executive session to discuss a potential land purchase.

Motion by:	Second by:	Voice Vote:
E. Kauffman	P. Stahl	All Favored – Motion Carried

MOTIONED AND APPROVED this 25th day of October 2022, by the Borough Council of the Borough of Columbia, Lancaster County, Pennsylvania, in lawful session duly assembled.

BOROUGH OF COLUMBIA, LANCASTER COUNTY, PENNSYLVANIA

By:

Heather Zink, Council President

ATTEST:

Mark E. Stivers, Secretary/Treasurer

Range of Accounts: 01-400-000 to 35-492-183 Include Cap Accounts: Yes As Of: 10/20/22
Skip Zero Activity: Yes

NOTE: This report includes ONLY activity originally Budgeted/Charged to Budget Year 2.
Prior Year Budgeted/Encumbered/Payable amounts rolled to Budget Year 2 have been EXCLUDED.

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
01-400-000	ELECTED OFFICIALS CONTROL ACCOUNT:							
01-400-112	Compensation to Council	8,400.00	0.00	0.00	6,000.00	0.00	2,400.00	71
01-400-113	Compensation to Mayor	1,200.00	0.00	0.00	900.00	0.00	300.00	75
01-400-300	Conference & Training	2,000.00	0.00	0.00	698.77	0.00	1,301.23	35
Control: 000	Total	11,600.00	0.00	0.00	7,598.77	0.00	4,001.23	66
01-401-000	ADMINISTRATION CONTROL ACCOUNT A:							
01-401-121	Borough Manager Salary	95,487.00	0.00	0.00	76,210.60	0.00	19,276.40	80
01-401-337	Borough Manager, Mileage Reimbursement	500.00	0.00	0.00	103.90	0.00	396.10	21
Control: 000	Total	95,987.00	0.00	0.00	76,314.50	0.00	19,672.50	80
01-402-000	ADMINISTRATION CONTROL ACCOUNT B:							
01-402-120	Finance Manager Salary	66,950.00	0.00	0.00	53,462.73	0.00	13,487.27	80
01-402-121	Accountant	51,439.00	0.00	0.00	39,864.79	0.00	11,574.21	78
01-402-140	Clerical Salary	47,647.00	0.00	0.00	36,644.82	0.00	11,002.18	77
01-402-141	Clerical Salary Overtime	2,500.00	0.00	0.00	6,140.83	0.00	3,640.83	246
01-402-192	Employee FICA	24,307.00	0.00	0.00	16,153.57	0.00	8,153.43	66
01-402-194	Employee Unemployment Compensation Tax	1,414.00	0.00	0.00	1,114.94	0.00	299.06	79
01-402-195	Employee Workers Compensation Insurance	1,264.00	0.00	0.00	1,311.52	0.00	47.52	104
01-402-196	Employee Insurance Coverage Premiums	86,541.00	0.00	0.00	72,383.78	0.00	14,157.22	84
01-402-197	Employee Pension Contributions	22,843.00	0.00	0.00	0.00	0.00	22,843.00	0
01-402-210	Office Equipment & Supplies	10,000.00	0.00	0.00	10,727.77	0.00	727.77	107
01-402-300	Conference & Training	5,000.00	0.00	0.00	1,075.36	0.00	3,924.64	22
01-402-302	Consulting Services	25,000.00	0.00	0.00	4,180.00	4,000.00	20,820.00	17
01-402-310	Borough Code Maintenance	4,500.00	0.00	0.00	3,344.64	0.00	1,155.36	74
01-402-311	Accounting & Auditing Services	41,000.00	0.00	0.00	39,420.92	0.00	1,579.08	96
01-402-312	IT Contracted Services	65,500.00	0.00	2,592.00	85,113.83	11,342.49	17,021.83	126
01-402-316	Pension Services	12,773.00	0.00	0.00	7,875.00	0.00	4,898.00	62
01-402-317	Contracted Services	15,000.00	0.00	50.00	14,002.98	135.06	1,047.02	93
01-402-318	Paychex Fees	3,000.00	0.00	0.00	2,510.14	0.00	489.86	84
01-402-325	Postage	8,000.00	0.00	0.00	5,723.77	0.00	2,276.23	72
01-402-330	Grant Writing Services	4,000.00	0.00	0.00	0.00	0.00	4,000.00	0
01-402-340	Printing & Advertising	12,000.00	0.00	0.00	15,758.41	1,254.45	3,758.41	131
01-402-350	General Communications	4,000.00	0.00	0.00	54.66	0.00	3,945.34	1
01-402-360	Bank Service Charges	1,000.00	0.00	0.00	435.38	0.00	564.62	44

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
01-402-374	Maint. & Rental Office Equipment	2,500.00	0.00	0.00	18.56	0.00	2,481.44	1
01-402-420	Dues & Publications	3,500.00	0.00	27.90-	5,079.35	27.90	1,551.45-	144
Control: 000	Total	521,678.00	0.00	2,669.90-	422,397.75	16,759.90	101,950.15	80
01-403-000	TAX COLLECTIONS CONTROL ACCOUNT:							
01-403-115	LCTCB Collection Fee - EIT 1.7% LST 1.5%	19,000.00	0.00	0.00	13,952.73	0.00	5,047.27	73
01-403-215	Deed Transfer Tax Collection Fee - 2.0%	3,500.00	0.00	0.00	4,007.70	0.00	507.70-	115
Control: 000	Total	22,500.00	0.00	0.00	17,960.43	0.00	4,539.57	80
01-404-000	SOLICITOR/LEGAL CONTROL ACCOUNT:							
01-404-314	Solicitor Fees	95,000.00	0.00	0.00	102,136.58	18,746.85	7,136.58-	108
01-404-315	Labor Counsel	40,000.00	0.00	0.00	7,530.00	1,456.00	32,470.00	19
01-404-316	Arbitration Services	1,500.00	0.00	0.00	0.00	0.00	1,500.00	0
Control: 000	Total	136,500.00	0.00	0.00	109,666.58	20,202.85	26,833.42	80
01-408-000	ENGINEERING CONTROL ACCOUNT:							
01-408-101	Engineering Services	112,000.00	0.00	0.00	116,636.06	17,570.04	4,636.06-	104
Control: 000	Total	112,000.00	0.00	0.00	116,636.06	17,570.04	4,636.06-	104
01-409-000	BUILDING & PROPERTY CONTROL ACCOUNT:							
01-409-120	Property Management Salaries	61,808.00	0.00	0.00	48,602.50	0.00	13,205.50	79
01-409-122	Property Management - Janitorial PT	20,063.00	0.00	0.00	10,724.65	0.00	9,338.35	53
01-409-192	Employee FICA	6,391.00	0.00	0.00	4,617.58	0.00	1,773.42	72
01-409-194	Employee Unemployment Compensation Tax	2,333.00	0.00	0.00	563.78	0.00	1,769.22	24
01-409-195	Employee Workers Compensation Insurance	570.00	0.00	0.00	94.52	0.00	475.48	17
01-409-196	Employee Insurance Coverage Premiums	4,335.00	0.00	0.00	3,382.35	0.00	952.65	78
01-409-197	Employee Pension Contributions	4,327.00	0.00	0.00	0.00	0.00	4,327.00	0
01-409-226	Cleaning Supplies	3,500.00	0.00	0.00	2,384.64	65.14	1,115.36	68
01-409-239	Clothing Allowance (Janitorial)	600.00	0.00	0.00	442.13	0.00	157.87	74
01-409-321	308 Locust St., Phone - Cell & Landline	6,000.00	0.00	0.00	5,787.73	0.00	212.27	96
01-409-352	Insurance Premium Expenses	119,840.00	0.00	0.00	535.00	0.00	119,305.00	0
01-409-361	Electrical Usage	12,000.00	0.00	0.00	7,411.13	0.00	4,588.87	62
01-409-362	308 Locust St., Natural Gas Usage	4,000.00	0.00	0.00	3,318.56	0.00	681.44	83
01-409-364	137 S Front, Rebillable Prop Expenses	25,000.00	0.00	0.00	21,168.40	526.77	3,831.60	85
01-409-365	Trash Disposal Services	11,000.00	0.00	0.00	5,145.02	0.00	5,854.98	47
01-409-366	Water & Sewer Usage	2,195.00	0.00	0.00	2,017.35	0.00	177.65	92
01-409-370	Maintenance & Repair of Building	8,000.00	0.00	0.00	11,902.87	109.50	3,902.87-	149
01-409-374	Maintenance & Repair of Equipment	3,500.00	0.00	0.00	6,062.67	27.99	2,562.67-	173
01-409-376	137 S Front, Boro Property Expenses	20,000.00	0.00	0.00	426.80	0.00	19,573.20	2
01-409-430	137 S Front & Century Link Pkng-Prop Tax	35,000.00	0.00	0.00	34,875.38	0.00	124.62	100

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
Control: 000	Total	350,462.00	0.00	0.00	169,463.06	729.40	180,998.94	48
01-410-000	POLICE CONTROL ACCOUNT:							
01-410-120	Chief of Police Salary	104,571.00	0.00	0.00	100,188.12	0.00	4,382.88	96
01-410-130	Sergeants Salaries	284,275.00	0.00	0.00	230,902.05	0.00	53,372.95	81
01-410-131	Police Officer Salaries	1,277,254.00	0.00	0.00	909,991.53	0.00	367,262.47	71
01-410-132	Part-Time Police Officer Salaries	32,448.00	0.00	0.00	26,702.00	0.00	5,746.00	82
01-410-133	School Crossing Guard Salaries	32,361.00	0.00	0.00	22,896.81	0.00	9,464.19	71
01-410-134	Officer in Charge (OIC)	15,000.00	0.00	0.00	7,542.45	0.00	7,457.55	50
01-410-136	Enforcement Officer Salaries	54,603.00	0.00	0.00	23,862.10	0.00	30,740.90	44
01-410-137	Administrative Assistant Salary	47,647.00	0.00	0.00	37,096.87	0.00	10,550.13	78
01-410-140	Administrative Coordinator Salary	51,653.00	0.00	0.00	41,115.43	0.00	10,537.57	80
01-410-141	Community Service Aide Salaries	72,272.00	0.00	0.00	44,341.60	0.00	27,930.40	61
01-410-142	Community Service Aide Salaries Overtime	4,000.00	0.00	0.00	0.00	0.00	4,000.00	0
01-410-143	Corporal Salaries	15,000.00	0.00	0.00	34,386.02	0.00	19,386.02	229
01-410-144	Community Safety Officer	20,400.00	0.00	0.00	4,800.00	0.00	15,600.00	24
01-410-174	Conference & Training	10,000.00	0.00	764.00	8,748.57	0.00	487.43	95
01-410-179	Longevity Bonuses	31,000.00	0.00	0.00	15,000.00	0.00	16,000.00	48
01-410-180	Police Degree Bonuses	7,250.00	0.00	0.00	2,375.00	0.00	4,875.00	33
01-410-183	Police Department Overtime	120,000.00	0.00	0.00	47,961.47	0.00	72,038.53	40
01-410-192	Employee FICA	50,000.00	0.00	0.00	35,207.34	0.00	14,792.66	70
01-410-194	Employee Unemployment Compensation Tax	10,900.00	0.00	0.00	8,661.20	0.00	2,238.80	79
01-410-195	Employee Workers Compensation Insurance	75,087.00	0.00	0.00	69,924.86	0.00	5,162.14	93
01-410-196	Employee Insurance Coverage Premiums	606,605.00	0.00	0.00	399,054.30	0.00	207,550.70	66
01-410-197	Employee Pension Contributions (Uniform)	580,742.00	0.00	0.00	0.00	0.00	580,742.00	0
01-410-198	Employee Pension Contributions	10,400.00	0.00	0.00	0.00	0.00	10,400.00	0
01-410-200	Police Equipment & Supplies	18,400.00	0.00	644.83	23,606.04	19.89	5,850.87	132
01-410-201	Police Ammo	5,000.00	0.00	0.00	3,460.30	0.00	1,539.70	69
01-410-204	Officer Equipment Allowance	6,600.00	0.00	0.00	1,778.70	0.00	4,821.30	27
01-410-228	Animal Control & Shelter Fees	2,000.00	0.00	0.00	3,100.00	0.00	1,100.00	155
01-410-229	LiveScan Fees	45,000.00	0.00	0.00	35,000.00	0.00	10,000.00	78
01-410-231	Gasoline, Vehicles	12,000.00	0.00	0.00	13,552.77	0.00	1,552.77	113
01-410-238	Police Uniforms and Dry Cleaning	9,000.00	0.00	0.00	8,476.87	0.00	523.13	94
01-410-239	Enforcement Officers Clothing Allowance	900.00	0.00	0.00	170.47	0.00	729.53	19
01-410-317	Contracted Services	15,000.00	0.00	50.00	28,284.94	0.00	13,334.94	189
01-410-318	Paychex Fees	6,000.00	0.00	0.00	5,513.11	0.00	486.89	92
01-410-319	PD Accreditation Consultant	35,000.00	0.00	0.00	34,900.00	0.00	100.00	100
01-410-321	Police, Phone - Cell, Landline & GPS	10,000.00	0.00	0.00	8,102.46	0.00	1,897.54	81
01-410-327	Maintenance & Repair of Radios	4,000.00	0.00	0.00	305.83	0.00	3,694.17	8
01-410-328	Maint, Repair, & Rents for Camera System	15,000.00	0.00	0.00	1,490.80	0.00	13,509.20	10

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
01-410-351	Police Property Liability Insurance	50,000.00	0.00	0.00	263.00	0.00	49,737.00	1
01-410-375	Maintenance & Repair, Parking Meters	2,400.00	0.00	0.00	4,472.54	47.33	2,072.54	186
01-410-376	Maintenance & Repair, Police Vehicles	4,000.00	0.00	1,624.20	15,378.77	0.00	13,002.97	425
01-410-377	Maintenance & Repair, Police Equipment	20,000.00	0.00	0.00	9,388.55	0.00	10,611.45	47
01-410-384	Equipment Rental	3,000.00	0.00	0.00	1,445.94	0.00	1,554.06	48
01-410-471	Enterprise 2022, Lease Principal -POLICE	68,962.00	0.00	0.00	30,756.87	0.00	38,205.13	45
01-410-530	Lanc. County Drug Task Force, Member Fee	10,400.00	0.00	0.00	10,207.00	0.00	193.00	98
01-410-610	Maintenance & Repair of Building	4,000.00	0.00	0.00	12,332.47	0.00	8,332.47	308
Control: 000	Total	3,860,130.00	0.00	3,083.03	2,322,745.15	67.22	1,534,301.82	60
01-411-000	FIRE CONTROL ACCOUNT:							
01-411-231	CBVFD - Gasoline, Vehicles	8,000.00	0.00	0.00	12,201.92	0.00	4,201.92	153
01-411-352	CBVFD - Automotive Liab Insurance	10,000.00	0.00	0.00	9,282.00	0.00	718.00	93
01-411-363	Fire Hydrant, Water Supply	40,729.00	0.00	0.00	30,781.32	0.00	9,947.68	76
01-411-381	CBVFD - Workers Comp. Ins	41,328.00	0.00	0.00	15,895.00	0.00	25,433.00	38
01-411-500	CBVFD - Fire Co Contributions (Beg.2021)	85,000.00	0.00	0.00	0.00	0.00	85,000.00	0
01-411-501	CBVFD - Vol. Fire Fighter Tax Rebate	3,250.00	0.00	0.00	4,080.27	0.00	830.27	126
01-411-540	CBVFD - Fireman's Relief Fund	41,319.00	0.00	0.00	50,065.38	0.00	8,746.38	121
Control: 000	Total	229,626.00	0.00	0.00	122,305.89	0.00	107,320.11	53
01-413-000	CODE COMPLIANCE CONTROL ACCOUNT:							
01-413-123	Code Compliance Manager	0.00	0.00	0.00	16,498.56	0.00	16,498.56	0
01-413-140	Clerical salary	47,647.00	0.00	0.00	26,905.21	0.00	20,741.79	56
01-413-141	Clerical Salary Overtime	750.00	0.00	0.00	755.70	0.00	5.70	101
01-413-142	Code Compliance Officer (Union)	18,201.00	0.00	0.00	13,143.40	0.00	5,057.60	72
01-413-192	Employee FICA	8,000.00	0.00	0.00	6,747.23	0.00	1,252.77	84
01-413-194	Employee Unemployment Compensation Tax	855.00	0.00	0.00	1,188.99	0.00	333.99	139
01-413-195	Employee Workers Compensation Insurance	462.00	0.00	0.00	139.28	0.00	322.72	30
01-413-196	Employee Insurance Coverage Premiums	39,481.00	0.00	0.00	30,622.72	0.00	8,858.28	78
01-413-197	Employee Pension Contributions	6,590.00	0.00	0.00	0.00	0.00	6,590.00	0
01-413-220	Operating Supplies	5,000.00	0.00	0.00	1,068.12	0.00	3,931.88	21
01-413-231	Gasoline, vehicles	2,000.00	0.00	0.00	1,462.31	0.00	537.69	73
01-413-238	Clothing Allowance (Code Enf)	1,200.00	0.00	0.00	693.80	445.30	506.20	58
01-413-300	Conference & Training	3,000.00	0.00	0.00	1,913.50	0.00	1,086.50	64
01-413-315	Property Inspector F/T	52,291.00	0.00	0.00	16,184.06	0.00	36,106.94	31
01-413-316	Property Inspector P/T	32,966.00	0.00	0.00	8,745.80	0.00	24,220.20	27
01-413-317	Contracted Services - Remedial	3,000.00	0.00	0.00	645.50	0.00	2,354.50	22
01-413-318	Paychex Fees	2,000.00	0.00	31.40	608.81	0.00	1,422.59	29
01-413-321	Code, Phone - Cell, Landline & GPS	2,000.00	0.00	0.00	1,573.67	0.00	426.33	79
01-413-340	Printing	2,000.00	0.00	0.00	0.00	0.00	2,000.00	0

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
01-413-376	Maintenance of Vehicles	1,000.00	0.00	0.00	496.71	0.00	503.29	50
01-413-420	Dues & Subscriptions	500.00	0.00	0.00	2,400.00	2,400.00	1,900.00	480
01-413-425	Fire Inspection Services	3,600.00	0.00	0.00	3,050.00	0.00	550.00	85
01-413-471	Enterprise 2021, Lease Principal - CODES	23,452.00	0.00	0.00	3,305.90	0.00	20,146.10	14
01-413-500	Appeal Reimbursements/Refunds	100.00	0.00	0.00	0.00	0.00	100.00	0
01-413-540	TNR	3,000.00	0.00	0.00	1,042.47	0.00	1,957.53	35
Control: 000	Total	259,095.00	0.00	31.40	139,191.74	2,845.30	119,934.66	54
01-414-000	PLANNING & ZONING CONTROL ACCOUNT:							
01-414-122	Zoning and Planning Manager Salary	70,292.00	0.00	0.00	53,046.43	0.00	17,245.57	75
01-414-140	Clerical Salary	47,647.00	0.00	0.00	36,640.00	0.00	11,007.00	77
01-414-141	Clerical Salary Overtime	1,000.00	0.00	0.00	948.08	0.00	51.92	95
01-414-192	Employee FICA	8,000.00	0.00	0.00	6,937.86	0.00	1,062.14	87
01-414-194	Employee Unemployment Compensation Tax	570.00	0.00	0.00	570.00	0.00	0.00	100
01-414-195	Employee Workers Compensation Insurance	347.00	0.00	0.00	109.44	0.00	237.56	32
01-414-196	Employee Insurance Coverage Premiums	29,391.00	0.00	0.00	22,799.45	0.00	6,591.55	78
01-414-197	Employee Pension Contributions	8,217.00	0.00	0.00	0.00	0.00	8,217.00	0
01-414-220	Operating Supplies	3,000.00	0.00	0.00	503.23	0.00	2,496.77	17
01-414-231	Gasoline, Vehicles	350.00	0.00	0.00	0.00	0.00	350.00	0
01-414-300	Conference & Training	2,000.00	0.00	0.00	398.00	0.00	1,602.00	20
01-414-318	Paychex Fees	450.00	0.00	0.00	376.80	0.00	73.20	84
01-414-321	Zoning, Phone - Cell	800.00	0.00	0.00	270.51	0.00	529.49	34
01-414-376	Maintenance of Vehicles	200.00	0.00	0.00	0.00	0.00	200.00	0
01-414-420	Dues & Subscriptions	600.00	0.00	0.00	2,787.80	1,850.00	2,187.80	465
Control: 000	Total	172,864.00	0.00	0.00	125,387.60	1,850.00	47,476.40	73
01-415-000	EMERGENCY MANAGEMENT CONTROL ACCOUNT:							
01-415-220	Operating Supplies - PPE/Stock Items	1,500.00	0.00	0.00	0.00	0.00	1,500.00	0
01-415-340	Disaster Planning Material	500.00	0.00	0.00	0.00	0.00	500.00	0
01-415-700	Emergency Management, Phone - Cell	850.00	0.00	0.00	759.94	0.00	90.06	89
Control: 000	Total	2,850.00	0.00	0.00	759.94	0.00	2,090.06	27
01-426-000	RECYCLING ACTIVITIES CONTROL ACCOUNT:							
01-426-101	Recycling Marketing/Education	500.00	0.00	0.00	0.00	0.00	500.00	0
01-426-102	Recycling Maintenance of Equip. & Bldgs	12,000.00	0.00	0.00	6,946.60	0.00	5,053.40	58
01-426-103	904 Collection Expenses	1,212.00	0.00	0.00	1,201.45	0.00	10.55	99
01-426-140	Recycling - Staff Salary	53,253.00	0.00	0.00	41,854.00	0.00	11,399.00	79
01-426-231	Recycling - Diesel	2,000.00	0.00	0.00	1,919.04	0.00	80.96	96
01-426-362	Recycling - Utilities	2,000.00	0.00	0.00	582.16	0.00	1,417.84	29
Control: 000	Total	70,965.00	0.00	0.00	52,503.25	0.00	18,461.75	74

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
01-429-000	WASTEWATER ACTIVITIES CONTROL ACCOUNT:							
01-429-188	WWTP, Contracted Services	500.00	0.00	0.00	1,580.86	0.00	1,080.86-	316
01-429-260	WWTP, Maintenance of Equipment	750.00	0.00	0.00	100.00	0.00	650.00	13
01-429-321	WWTP, Phone - Cell & Landline	1,500.00	0.00	0.00	1,425.85	0.00	74.15	95
01-429-361	WWTP, Electrical Usage	1,750.00	0.00	0.00	1,901.82	0.00	151.82-	109
01-429-362	WWTP, Natural Gas Usage	2,750.00	0.00	135.32	1,756.86	0.00	857.82	69
01-429-365	WWTP, Biosolids Management	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0
01-429-366	WWTP, Water Usage	1,800.00	0.00	0.00	2,103.28	0.00	303.28-	117
01-429-367	WWTP, Grit/Material Disposal	2,500.00	0.00	0.00	0.00	0.00	2,500.00	0
01-429-373	WWTP, Building & Property Maintenance	17,436.00	0.00	0.00	18,304.78	0.00	868.78-	105
Control: 000	Total	29,986.00	0.00	135.32	27,173.45	0.00	2,677.23	91
01-430-000	HIGHWAY/PUBLIC WORKS CONTROL ACCOUNT:							
01-430-122	Public Works Manager Salary	79,569.00	0.00	0.00	61,200.00	0.00	18,369.00	77
01-430-140	Highway Personnel Salaries	397,109.00	0.00	0.00	223,741.62	0.00	173,367.38	56
01-430-141	Clerical Salary	47,647.00	0.00	0.00	36,640.00	0.00	11,007.00	77
01-430-142	Street Sweeper Debris Disposal	1,500.00	0.00	0.00	0.00	0.00	1,500.00	0
01-430-143	Storm Water Supplies	5,000.00	0.00	0.00	1,739.71	0.00	3,260.29	35
01-430-144	Highway Employee License Bonus	4,400.00	0.00	0.00	4,000.00	0.00	400.00	91
01-430-165	Employee Certification & Testing	1,200.00	0.00	0.00	302.00	0.00	898.00	25
01-430-183	Employee Salaries Overtime	18,000.00	0.00	0.00	11,791.95	0.00	6,208.05	66
01-430-192	Employee FICA	42,448.00	0.00	0.00	29,179.11	0.00	13,268.89	69
01-430-194	Employee Unemployment Compensation Tax	3,000.00	0.00	0.00	2,750.23	0.00	249.77	92
01-430-195	Employee Workers Compensation Insurance	43,906.00	0.00	0.00	38,548.62	0.00	5,357.38	88
01-430-196	Employee Insurance Coverage Premiums	195,322.00	0.00	0.00	145,444.10	0.00	49,877.90	74
01-430-197	Employee Pension Contributions	35,813.00	0.00	0.00	4,299.91	0.00	31,513.09	12
01-430-200	Operating Supplies	15,000.00	0.00	40.11	4,891.07	0.00	10,068.82	33
01-430-231	Fuel, Vehicles	22,000.00	0.00	0.00	47,412.61	0.00	25,412.61-	216
01-430-238	Highway Uniform Cleaning	5,141.00	0.00	0.00	3,437.67	0.00	1,703.33	67
01-430-239	Employee Clothing Allowance	2,700.00	0.00	0.00	750.82	0.00	1,949.18	28
01-430-245	Highway Supplies	15,000.00	0.00	0.00	6,884.67	170.78	8,115.33	46
01-430-300	Conference & Training	2,000.00	0.00	0.00	0.00	0.00	2,000.00	0
01-430-317	Contracted Services	4,000.00	0.00	0.00	4,208.89	322.44	208.89-	105
01-430-318	Paychex Fees	1,668.00	0.00	31.40	1,651.51	0.00	14.91-	101
01-430-321	Highway, Phone - Cell & Landline & GPS	8,000.00	0.00	21.78	4,975.46	0.00	3,002.76	62
01-430-361	Highway Building Electrical Usage	4,348.00	0.00	0.00	884.49	0.00	3,463.51	20
01-430-363	Highway, Natural Gas Usage	7,668.00	0.00	701.48-	6,218.30	0.00	2,151.18	72
01-430-366	Highway Building Water Usage	1,016.00	0.00	0.00	1,386.20	0.00	370.20-	136
01-430-373	Maintenance & Repair of Building	4,000.00	0.00	0.00	1,304.94	0.00	2,695.06	33
01-430-375	Maintenance & Repairs of Equipment	39,695.00	0.00	27.79	38,754.80	4,695.00	912.41	98

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
01-430-471	Enterprise 2021, Lease Principal - P.W.	39,640.00	0.00	0.00	17,465.10	0.00	22,174.90	44
Control: 000	Total	1,046,790.00	0.00	580.40-	699,863.78	5,188.22	347,506.62	67
01-433-000	TRAFFIC & STREET LIGHTS CONTROL ACCOUNT:							
01-433-260	Street Signs	6,000.00	0.00	0.00	3,020.11	0.00	2,979.89	50
01-433-374	Traffic Lights, Maintenance	14,000.00	0.00	0.00	15,328.28	0.00	1,328.28-	109
01-433-375	Traffic Lights, Electrical Usage	1,500.00	0.00	0.00	0.00	0.00	1,500.00	0
01-433-420	CS Datum Yearly Subscription	2,400.00	0.00	0.00	0.00	0.00	2,400.00	0
01-434-361	Street Lighting, Maint. & Electric Usage	16,000.00	0.00	0.00	0.00	0.00	16,000.00	0
01-434-375	Street Lighting, Maintenance	1,500.00	0.00	0.00	586.28	0.00	913.72	39
Control: 000	Total	41,400.00	0.00	0.00	18,934.67	0.00	22,465.33	46
01-444-000	MARKET HOUSE CONTROL ACCOUNT:							
01-444-120	Market Manager Salary	26,000.00	0.00	0.00	13,937.50	0.00	12,062.50	54
01-444-192	Employee FICA	2,015.00	0.00	0.00	1,121.12	0.00	893.88	56
01-444-194	Employee UC Tax	500.00	0.00	0.00	285.00	0.00	215.00	57
01-444-195	Employee Workers Comp Insurance	200.00	0.00	0.00	7.46	0.00	192.54	4
01-444-196	Employee Insurance Coverage	7,755.00	0.00	0.00	4,361.89	0.00	3,393.11	56
01-444-197	Employee Pension Contributions	910.00	0.00	0.00	0.00	0.00	910.00	0
01-444-226	Supplies	2,000.00	0.00	0.00	92.75	39.50	1,907.25	5
01-444-317	Market House, Contracted Services	7,444.00	0.00	0.00	9,351.82	0.00	1,907.82-	126
01-444-321	Market House, Phone & Internet	2,500.00	0.00	0.00	1,768.85	0.00	731.15	71
01-444-361	Market House, Electrical Usage	6,000.00	0.00	0.00	9,638.69	0.00	3,638.69-	161
01-444-362	Market House, Natural Gas Usage	8,000.00	0.00	566.16	7,358.19	0.00	75.65	99
01-444-366	Market House, Water & Sewer Usage	3,000.00	0.00	0.00	3,075.94	0.00	75.94-	103
01-444-373	Market House, Maintenance of Building	4,000.00	0.00	0.00	14,614.20	55.61	10,614.20-	365
01-444-430	Market House, Property Tax Expense	9,010.00	0.00	0.00	0.00	0.00	9,010.00	0
Control: 000	Total	79,334.00	0.00	566.16	65,613.41	95.11	13,154.43	83
01-450-000	BOARDS & COMMITTEES CONTROL ACCOUNT:							
01-450-101	HARB - Agenda & Minutes Contracted Svcs	1,500.00	0.00	0.00	666.00	0.00	834.00	44
01-450-301	Parks & Recreation - Operational	5,000.00	0.00	245.43	2,063.32	0.00	2,691.25	46
01-450-401	Community Programs - Operational	1,500.00	0.00	0.00	25.95	0.00	1,474.05	2
01-450-601	Zoning Hearing Board - Stenographer	6,000.00	0.00	0.00	2,206.61	0.00	3,793.39	37
01-450-701	Civil Service Commission - Operational	500.00	0.00	0.00	0.00	0.00	500.00	0
01-450-801	Columbia River Front Advisory Committee	500.00	0.00	0.00	0.00	0.00	500.00	0
01-450-901	Planning Commission - Operational	500.00	0.00	0.00	0.00	0.00	500.00	0
Control: 000	Total	15,500.00	0.00	245.43	4,961.88	0.00	10,292.69	34

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
01-452-000	CONTRIBUTIONS CONTROL ACCOUNT:							
01-452-505	Columbia Historic Preservation Society	7,500.00	0.00	0.00	7,500.00	0.00	0.00	100
01-452-541	Mount Bethel Cemetery	5,000.00	0.00	0.00	5,000.00	0.00	0.00	100
01-452-544	Columbia Public Library	5,000.00	0.00	0.00	5,000.00	0.00	0.00	100
01-452-545	Columbia United Veterans Council	500.00	0.00	0.00	500.00	0.00	0.00	100
Control: 000	Total	18,000.00	0.00	0.00	18,000.00	0.00	0.00	100
01-454-000	PARKS & COL. CROSSING CONTROL ACCOUNT:							
01-454-371	Maintenance of Parks - Boroughwide	0.00	0.00	0.00	29.78	14.89	29.78	0
01-454-372	Columbia Crossings, Natural Gas Usage	2,878.00	0.00	0.00	2,063.74	0.00	814.26	72
01-454-373	Columbia Crossings, Land Sale Inst(OCPG)	10,000.00	0.00	0.00	10,000.00	0.00	0.00	100
01-454-374	Columbia Crossings, Electrical Usage	3,500.00	0.00	0.00	2,232.78	0.00	1,267.22	64
01-454-375	Columbia Crossings, Water & Sewer Usage	1,200.00	0.00	0.00	1,605.49	0.00	405.49	134
01-454-376	Columbia Crossings, Phone	3,783.00	0.00	0.00	2,317.11	0.00	1,465.89	61
01-454-377	Columbia Crossings, Contracted Services	3,500.00	0.00	0.00	4,935.96	473.82	1,435.96	141
01-454-378	Columbia Crossings, Building/Prop Maint.	5,000.00	0.00	0.00	2,602.26	21.36	2,397.74	52
01-454-379	Columbia Crossing, Contracted Mgmt Fees	114,863.00	0.00	0.00	114,863.00	0.00	0.00	100
01-454-451	Maintenance of Parks - Makle Park	2,000.00	0.00	0.00	1,156.51	0.00	843.49	58
01-454-452	Maintenance of Parks - River park	3,663.00	0.00	0.00	2,604.36	0.00	1,058.64	71
01-454-453	Maintenance of Parks - Locust Park	6,000.00	0.00	0.00	3,807.52	425.00	2,192.48	63
01-454-454	Maintenance of Parks - Veterans Memorial	2,000.00	0.00	0.00	854.43	0.00	1,145.57	43
01-454-455	Maintenance of Parks - Rotary Park	2,500.00	0.00	0.00	780.00	0.00	1,720.00	31
01-454-456	Maintenance of Parks - Mount Bethel	500.00	0.00	0.00	0.00	0.00	500.00	0
01-454-457	Maintenance of Parks - Town Square	2,000.00	0.00	0.00	215.12	0.00	1,784.88	11
01-454-458	Maintenance of Parks - Zion Hill	500.00	0.00	0.00	0.00	0.00	500.00	0
Control: 000	Total	163,887.00	0.00	0.00	150,068.06	935.07	13,818.94	92
01-491-000	OTHER EXPENSES CONTROL ACCOUNT:							
01-491-001	Refunds of Prior Year Revenues	500.00	0.00	0.00	0.00	0.00	500.00	0
Control: 000	Total	500.00	0.00	0.00	0.00	0.00	500.00	0
Fund: 01	GENERAL FUND BBT Budgeted Total	7,241,654.00	0.00	748.24	4,667,545.97	66,243.11	2,573,359.79	64
Fund: 01	GENERAL FUND BBT Non-Budgeted Total	0.00	0.00	0.00	0.00	0.00	0.00	0
Fund: 01	GENERAL FUND BBT Total	7,241,654.00	0.00	748.24	4,667,545.97	66,243.11	2,573,359.79	64
18-402-000	FINANCIAL ADMINISTRATION:							
18-402-756	Emergency Alert System	5,000.00	0.00	0.00	5,500.00	0.00	500.00	110
Control: 000	Total	5,000.00	0.00	0.00	5,500.00	0.00	500.00	110

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
18-410-000	POLICE:							
18-410-755	PD Body Worn Cameras (BWC ProgramG)	80,000.00	0.00	0.00	83,175.21	0.00	3,175.21-	104
18-410-756	PD Drone Replacement	15,000.00	0.00	0.00	0.00	0.00	15,000.00	0
18-410-759	PD Community Camera System	50,000.00	0.00	0.00	9,827.53	0.00	40,172.47	20
Control: 000	Total	145,000.00	0.00	0.00	93,002.74	0.00	51,997.26	64
18-430-000	HIGHWAY MAINT GENERAL SERVICES:							
18-430-753	Crack Sealing Unit for Paving	55,000.00	0.00	0.00	53,937.38	0.00	1,062.62	98
18-430-754	Zero Turn Lawn Mower	9,500.00	0.00	0.00	0.00	0.00	9,500.00	0
18-430-755	Grinder Replacement	508,000.00	0.00	0.00	0.00	0.00	508,000.00	0
18-438-001	Walnut St Improve./Smart Growth	50,000.00	0.00	0.00	24,495.70	1,108.75	25,504.30	49
Control: 000	Total	622,500.00	0.00	0.00	78,433.08	1,108.75	544,066.92	13
18-444-000	MARKETS:							
18-450-001	McGinness Airport Development Project	1,000,000.00	0.00	0.00	251,837.78	15,883.72	748,162.22	25
18-454-100	Park Improvements/Upgrades	30,000.00	0.00	0.00	1,325.63	1,325.63	28,674.37	4
18-465-001	Columbia River Park - Phase 3	30,000.00	0.00	0.00	38,677.59	0.00	8,677.59-	129
18-471-216	2017 WF Lease, PRIN - Swpr,SnB1r,TLdr	85,702.00	0.00	0.00	85,701.91	0.00	0.09	100
18-471-217	Principal-Fulton Bank Refi 2021	548,343.00	0.00	0.00	475,000.00	0.00	73,343.00	87
18-472-217	Interest-Fulton Bank Bond Refi 2021	145,820.00	0.00	0.00	73,343.28	0.00	72,476.72	50
Control: 000	Total	1,839,865.00	0.00	0.00	925,886.19	17,209.35	913,978.81	50
18-475-000	FISCAL AGENT FEES:							
18-480-400	4th Street Bridge Improvements	70,000.00	0.00	0.00	8,237.79	1,129.23	61,762.21	12
18-480-600	Shawnee/Mill Street Drainage Improv	7,000.00	0.00	0.00	2,490.00	0.00	4,510.00	36
18-480-700	800 Block of Chestnut Street	200,000.00	0.00	0.00	0.00	0.00	200,000.00	0
Fund: 18	CAPITAL FUND Budgeted Total	2,889,365.00	0.00	0.00	1,113,549.80	19,447.33	1,775,815.20	39
Fund: 18	CAPITAL FUND Non-Budgeted Total	0.00	0.00	0.00	0.00	0.00	0.00	0
Fund: 18	CAPITAL FUND Total	2,889,365.00	0.00	0.00	1,113,549.80	19,447.33	1,775,815.20	39
21-463-670	River Front Storm System Improvements	136,000.00	0.00	0.00	7,938.37	0.00	128,061.63	6
21-463-671	Shawnee/Mill St Drainage/Improvements	53,000.00	0.00	0.00	0.00	0.00	53,000.00	0
21-463-672	APPROVED ARPA Fund Exp - per guidelines	100,000.00	0.00	0.00	15,000.00	0.00	85,000.00	15
Control: 000	Total	566,000.00	0.00	0.00	33,666.16	1,129.23	532,333.84	6
Fund: 21	American Rescure Plan FUND Budgeted Total	289,000.00	0.00	0.00	22,938.37	0.00	266,061.63	8
Fund: 21	American Rescure Plan FUND Non-Budgeted Total	0.00	0.00	0.00	0.00	0.00	0.00	0
Fund: 21	American Rescure Plan FUND Total	289,000.00	0.00	0.00	22,938.37	0.00	266,061.63	8

Account No	Description	Budgeted	Transfers	Encumber	Net Expd/Reimb	Payable	Balance YTD	%Used
30-000-000	Bond Capital Expense							
30-400-000	BOND CAPITAL PROJECTS CONTROL ACCOUNT:							
30-401-001	Transfer to Fund Balance Reserves	517,036.00	0.00	0.00	0.00	0.00	517,036.00	0
30-444-375	Market House Improvements (RACP PhaseI)	50,000.00	0.00	0.00	17,527.81	2,700.66	32,472.19	35
30-444-376	Economic Development Improv (RACP P2)	1,182,464.00	0.00	0.00	274.12	0.00	1,182,189.88	0
30-491-001	Refunds of Prior Year Revenues	500.00	0.00	0.00	0.00	0.00	500.00	0
Control: 000	Total	1,750,000.00	0.00	0.00	17,801.93	2,700.66	1,732,198.07	1
Fund: 30	BOND CAPITAL FUND Budgeted Total	1,750,000.00	0.00	0.00	17,801.93	2,700.66	1,732,198.07	1
Fund: 30	BOND CAPITAL FUND Non-Budgeted Total	0.00	0.00	0.00	0.00	0.00	0.00	0
Fund: 30	BOND CAPITAL FUND Total	1,750,000.00	0.00	0.00	17,801.93	2,700.66	1,732,198.07	1
35-430-000	HIGHWAY MAINTENANCE:							
35-432-200	Snow & Ice Removal	15,000.00	0.00	0.00	7,312.36	0.00	7,687.64	49
35-433-001	Traffic Control Devices	12,000.00	0.00	0.00	0.00	0.00	12,000.00	0
35-434-001	Street Lighting - Electrical Usage	96,357.00	0.00	0.00	84,521.48	562.71	11,835.52	88
35-434-002	Traffic Lights - Electrical Usage	9,500.00	0.00	0.00	5,155.36	466.08	4,344.64	54
35-438-245	Highway Supplies/Aggregates	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0
35-438-246	Highway Supplies/Other	3,000.00	0.00	0.00	0.00	0.00	3,000.00	0
35-438-247	Highway Equipment Maintenance	7,500.00	0.00	0.00	0.00	0.00	7,500.00	0
35-439-085	Current Year Street Paving Projects	175,000.00	0.00	0.00	27,295.13	0.00	147,704.87	16
35-454-074	CDBG - Perry and Union (2nd St)	300,000.00	0.00	0.00	0.00	0.00	300,000.00	0
Control: 000	Total	624,357.00	0.00	0.00	124,284.33	1,028.79	500,072.67	20
Fund: 35	HIGHWAY AID FUND Budgeted Total	624,357.00	0.00	0.00	124,284.33	1,028.79	500,072.67	20
Fund: 35	HIGHWAY AID FUND Non-Budgeted Total	0.00	0.00	0.00	0.00	0.00	0.00	0
Fund: 35	HIGHWAY AID FUND Total	624,357.00	0.00	0.00	124,284.33	1,028.79	500,072.67	20
Final Budgeted		12,794,376.00	0.00	748.24	5,946,120.40	89,419.89	6,847,507.36	46
Final Non-Budgeted		0.00	0.00	0.00	0.00	0.00	0.00	0
Final Total		12,794,376.00	0.00	748.24	5,946,120.40	89,419.89	6,847,507.36	46

Account Range: 01-301-001 to 35-395-001 Include Zero Activity Accounts: No
Current Date Range: 01/01/22 to 09/30/22 Year To Date As Of: 09/30/22

Account Id	Description	Adopted	Amended	YTD Revenue	% Realized
01-301-001	Transfer from Fund Balance	568,486.00	16,300.00-	0.00	0.00
01-301-100	Property Taxes - Current Year	3,419,845.00	0.00	3,187,013.93	93.19
01-301-101	RET - Current Year, Uncollectable (5%)	170,992.00-	0.00	0.00	0.00
01-301-200	Property Taxes - Prior Year (Postmarked)	2,000.00	0.00	0.00	0.00
01-301-300	Property Taxes - Delinquent (LCTCB)	132,000.00	0.00	97,686.23	74.00
01-301-400	Property Taxes - KOZ Properties	2,395.00	0.00	5,357.22	223.68
01-310-100	Deed Transfer Tax (DTT) - 0.5%	322,783.00	0.00	200,384.54	62.08
01-310-210	Earned Income Tax (EIT) - 0.5%	994,900.00	0.00	833,465.20	83.77
01-310-430	Local Services Tax (LST) - \$52 per annum	139,200.00	0.00	95,488.92	68.60
01-321-310	Misc License (Pawn, Antique, Tattoo,.)	2,462.00	0.00	1,298.00	52.72
01-321-610	Peddler's License	100.00	0.00	145.00	145.00
01-321-800	Cable TV Franchise	140,115.00	0.00	141,664.24	101.11
01-321-900	Cell Tower (Verizon)	14,373.00	0.00	13,284.12	92.42
01-331-109	State Police & County Fines	9,000.00	0.00	5,281.73	58.69
01-331-112	Ordinance Violations Dist Just	86,128.00	0.00	65,005.08	75.47
01-331-300	Parking Fines	93,559.00	0.00	109,591.00	117.14
01-341-100	Interest Income	10,500.00	0.00	1,880.36	17.91
01-342-200	137 S Front, Lease Proceeds	67,733.00	0.00	50,133.33	74.02
01-342-201	137 S Front, Tenant Exp Reimbursements	24,638.00	0.00	43,556.69	176.79

Account Id	Description	Adopted	Amended	YTD Revenue	% Realized
01-342-202	420,430,434,440 S Front St Lease	12,060.00	0.00	9,000.00	74.63
01-342-203	420,430,434,440 S Front St, Reimburse	15,000.00	0.00	0.00	0.00
01-342-204	Market House Reimbursement	0.00	16,500.00	29,850.39	180.91
01-351-001	Act 205 Pension Subsidy	273,445.00	0.00	290,105.30	106.09
01-354-040	904 Recycling Grant Income	10,001.00	0.00	6,436.82	64.36
01-355-080	Alcoholic Beverage Sales Licenses	3,500.00	0.00	3,200.00	91.43
01-355-990	Firemen's Relief Fund PA Subsidy	41,319.00	0.00	49,902.43	120.77
01-357-030	Police Department Grants	3,000.00	0.00	0.00	0.00
01-361-200	Tax Certifications & Copies	9,222.00	0.00	10,255.00	111.20
01-361-310	Subdivision/Land Development Fees	1,800.00	0.00	0.00	0.00
01-361-330	Building & Zoning Permits	59,848.00	0.00	76,462.72	127.76
01-361-340	Zoning Hearings	3,296.00	0.00	3,620.00	109.83
01-361-510	Sale of Materials & Equipment	5,000.00	0.00	227.75	4.56
01-361-620	County Tax Collection Commission Revenue	2,968.00	0.00	2,730.00	91.98
01-362-100	Police Dept Misc Services & Refunds	7,153.00	0.00	16,882.37	236.02
01-362-110	Sale of Accident Reports	2,988.00	0.00	1,680.00	56.22
01-362-140	Crossing Guard Wage Reimbursement (CBSD)	15,000.00	0.00	14,957.86	99.72
01-362-150	SRO Officer Reimbursement (CBSD)	96,447.00	0.00	0.00	0.00
01-362-160	Lanc. County Task Force, Reimbursement	80,000.00	0.00	75,820.05	94.78
01-362-170	LiveScan Revenue	42,000.00	0.00	35,000.00	83.33

Account Id	Description	Adopted	Amended	YTD Revenue	% Realized
01-362-200	Animal Control & Shelter Reimbursement	204.00	0.00	370.00	181.37
01-362-300	Bike Patrol Unit, Bike Sale	0.00	0.00	357.00	0.00
01-362-400	Code Dept Misc Services & Refunds	500.00	0.00	0.00	0.00
01-362-401	Rental Registration	89,760.00	0.00	73,800.00	82.22
01-362-402	Borough Rental Revenue	14,284.00	0.00	10,900.00	76.31
01-362-423	Quick Ticket Revenue	41,988.00	0.00	25,700.00	61.21
01-362-424	Rental Inspections Revenue	27,240.00	0.00	30,975.00	113.71
01-362-425	Fire Inspections Revenue	5,640.00	360.00	5,275.00	87.92
01-362-426	Home Inspections Revenue	11,400.00	11,100.00-	325.00	108.33
01-362-427	New Tenant Walkthrough Inspections	3,480.00	0.00	2,000.00	57.47
01-362-428	Voluntary Home Inspections Rev	0.00	500.00	0.00	0.00
01-362-450	Certificate of Occupancy	11,760.00	0.00	200.00	1.70
01-362-460	Lien Recovery	9,704.00	0.00	15,050.29	155.09
01-362-470	Condemnation Revenue	0.00	2,000.00	300.00	15.00
01-362-480	Appeals Revenue	500.00	0.00	100.00	20.00
01-363-100	Street Opening Permits	8,356.00	0.00	26,871.99	321.59
01-363-210	Meter Receipts	41,455.00	0.00	43,590.57	105.15
01-363-220	Contractor Parking Permits	15,000.00	0.00	7,188.00	47.92
01-363-400	Yard Waste Revenue	93,798.00	0.00	109,536.55	116.78
01-363-500	Highway Dept Misc Services & Refunds	500.00	0.00	0.00	0.00

Account Id	Description	Adopted	Amended	YTD Revenue	% Realized
01-372-400	Electric Generation Revenue (LCSWMA)	50,016.00	0.00	37,512.00	75.00
01-380-001	Miscellaneous Revenue	5,000.00	0.00	2,517.06	50.34
01-380-002	Insurance Rebates, Refunds, & Reimburtmt	100,000.00	22,064.00	263,250.28	215.67
01-380-005	Police Misc Revenue (BB&T Donations)	500.00	0.00	12,665.00	2,533.00
01-380-006	NonDepartmentalized Services & Refunds	500.00	0.00	0.00	0.00
01-380-007	Spring Cleanup Revenue	0.00	0.00	705.00	0.00
01-380-008	Recreational Revenue CODE 190-36.E	5,000.00	0.00	5,000.00	100.00
01-380-150	WWTP Sewage Revenue (A/R & Lien)	250.00	0.00	69,564.90	27,825.96
01-387-001	Contributions - Private Sources	500.00	0.00	0.00	0.00
01-387-002	Contributions - In Lieu of (ALL)	12,000.00	0.00	12,000.00	100.00
01-387-005	Employee Health Insurance Share (NonPol)	28,879.00	0.00	18,007.04	62.35
01-387-006	Employee Health Insurance Share (Pol)	37,486.00	0.00	19,508.38	52.04
01-389-001	IRS/Treasury Refunds	1,500.00	0.00	1,478.00	98.53
01-391-100	Sales of General Fixed Assets	54,700.00	0.00	107,800.00	197.07
01-395-001	Refund of Prior Yr Expenditure	500.00	0.00	1,362.94	272.59
Anticipated Total		7,082,854.00	4,976.00-	6,143,526.20	86.80
Unanticipated Total		132,818.00	19,000.00	237,750.08	0.00
Fund Total		7,215,672.00	14,024.00	6,381,276.28	84.98
18-301-001	Transfer from Fund Balance	2,442,365.00	61,579.00-	0.00	0.00
18-341-100	Interest	0.00	0.00	11,116.32	0.00

Account Id	Description	Adopted	Amended	YTD Revenue	% Realized
18-354-076	N ParkSvc-Columbia River Park PIII Grant	30,000.00	0.00	30,794.00	102.65
18-354-100	DEP Recycling Grant	350,000.00	0.00	0.00	0.00
18-389-001	Reimbursement SHAWNEE from Cath Housing	0.00	121,579.00	121,579.09	100.00
Anticipated Total		2,442,365.00	61,579.00-	11,116.32	0.47
Unanticipated Total		380,000.00	121,579.00	152,373.09	0.00
Fund Total		2,822,365.00	60,000.00	163,489.41	0.39
21-341-100	Interest Income	0.00	0.00	214.71	0.00
21-351-101	Transfer to Fund Balance	352,952.00-	100,000.00	0.00	0.00
21-351-102	ARPA - American Rescue Plan Funds 2022	541,952.00	0.00	545,351.69	100.63
Anticipated Total		0.00	0.00	0.00	0.00
Unanticipated Total		189,000.00	100,000.00	545,566.40	0.00
Fund Total		189,000.00	100,000.00	545,566.40	0.00
30-354-010	RACP - Market House Grant Phase I	1,158,768.00	0.00	0.00	0.00
30-354-015	RACP - Parking Improv. Grant Phase II	591,232.00	0.00	0.00	0.00
30-395-001	Refund Prior Year Expenditures	0.00	0.00	28,280.35	0.00
Anticipated Total		1,158,768.00	0.00	0.00	0.00
Unanticipated Total		591,232.00	0.00	28,280.35	0.00
Fund Total		1,750,000.00	0.00	28,280.35	0.00
35-301-001	Transfer from Fund Balance	164,480.00	0.00	0.00	0.00
35-341-100	Interest Income	1,500.00	0.00	6,495.22	433.01

Account Id	Description	Adopted	Amended	YTD Revenue	% Realized
35-354-030	Highway Liquid Fuels	252,657.00	0.00	250,071.74	98.98
35-354-031	Turnback Program	5,720.00	0.00	5,720.00	100.00
35-354-074	CDBG - Perry and Union (2nd St)	200,000.00	0.00	0.00	0.00
Anticipated Total		424,357.00	0.00	262,286.96	61.81
Unanticipated Total		200,000.00	0.00	0.00	0.00
Fund Total		624,357.00	0.00	262,286.96	42.01
Final Total		12,601,394.00	174,024.00	7,380,899.40	50.23

DCNR-C2P2

Applicant Information (* indicates required information)

Applicant/Grantee Legal Name: **BOROUGH OF COLUMBIA**

Web Application ID: **2005894**

Project Title: **Makle Park - Phase 1 Park Improvements**

WHEREAS, **BOROUGH OF COLUMBIA** ("Applicant") desires to undertake the project, "**Makle Park - Phase 1 Park Improvements**"; and

WHEREAS, the applicant desires to receive from the Department of Conservation and Natural Resources ("Department") a grant for the purpose of carrying out this project; and

WHEREAS, the application package includes a document entitled "Terms and Conditions of Grant" and

WHEREAS, the applicant understands that the contents of the document entitled "Terms and Conditions of Grant," including appendices referred to therein, will become the terms and conditions of a Grant Agreement between the applicant and the Department **if the applicant is awarded a grant**; and

NOW THEREFORE, it is resolved that:

1. The grant application may be electronically signed on behalf of the applicant by "**Mark E. Stivers, AICP**" who, at the time of signing, has a **TITLE** of "**Borough Manager**" and the email address of "**MStivers@columbiapa.net**".
2. If this Official signed the Grant Application Electronic Authorization prior to the passage of this Resolution, this grant of authority applies retroactively to the date of signing.
3. If the applicant is awarded a grant, the Grant Application Electronic Authorization, signed by the above Official, will become the applicant/grantee's **executed** signature page for the Grant Agreement, and the applicant/grantee will be bound by the Grant Agreement.
4. Any amendment to the Grant Agreement may be signed on behalf of the grantee by the Official who, at the time of signing of the amendment, has the "**TITLE**" specified in paragraph 1 and the grantee will be bound by the amendment.

I hereby certify that this Resolution was adopted by the

Borough Council of the Borough of Columbia, Lancaster County PA

(Identify the governing body of the applicant, e.g. city council, borough council, board of supervisors, board of directors)

of this applicant, this 25th day of October, 2022.

(signature of the governing body)

Heather Zink, Council President

BOROUGH OF COLUMBIA, LANCASTER COUNTY, PENNSYLVANIA

ORDINANCE NO. 942

INTRODUCED BY COUNCIL – September 27, 2022

ADOPTED BY COUNCIL – October 25, 2022

AN ORDINANCE OF THE BOROUGH OF COLUMBIA, LANCASTER COUNTY, PENNSYLVANIA, AMENDING SECTION A225-8 OF THE CODE OF THE BOROUGH OF COLUMBIA TO RE-ADOPT THE BOROUGH OF COLUMBIA POLICE PENSION PLAN RESTATED AS OF JANUARY 1, 2008, TO AUTHORIZE AN AMENDMENT TO SUCH PENSION PLAN; PROVIDING FOR THE REPEAL OF INCONSISTENT ORDINANCES; PROVIDING FOR THE SEVERABILITY OF THE ORDINANCE; AND PROVIDING THAT THE ORDINANCE SHALL TAKE EFFECT IN ACCORDANCE WITH PENNSYLVANIA LAW.

NOW, THEREFORE, BE AND IT IS HEREBY ORDAINED AND ENACTED by the Borough Council of the Borough of Columbia, Lancaster County, Pennsylvania, as follows:

SECTION 1. The Code of the Borough of Columbia, Section A225-8 - Establishment (of a Police Pension Plan) be and hereby is amended to read as follows:

“This Ordinance establishes the Borough of Columbia Police Pension Plan restated January 1, 2008, for the uniformed employees of Columbia Borough through the adoption of the Borough of Columbia Police Pension Plan restated January 1, 2008, attached hereto and incorporated herein as Exhibit “A,” effective January 1, 2008, as amended from time to time.”

SECTION 2. The Borough Manager and other appropriate officers of the Borough of Columbia be and hereby are authorized to execute Amendment No. 4 to the Borough of Columbia Police Pension Plan, a copy of which is attached hereto and incorporated herein as Exhibit “B” and to direct that the same be incorporated into the Columbia Borough Police Pension Plan.

SECTION 3. All actions taken by the Borough of Columbia, its elected officials and officers, with respect to the Columbia Police Pension Plan reinstated January 1, 2008 for the Uniformed Employees of the Borough of Columbia prior to the adoption of this Ordinance be and hereby are ratified and affirmed.

SECTION 4. All ordinances or resolutions or parts of ordinances or resolutions insofar as they are inconsistent herewith are hereby repealed and rescinded.

SECTION 5. In the event any provision, section, sentence, clause or part of this Ordinance shall be held to be invalid, such invalidity shall not affect or impair any of the remaining provisions, sections, sentences, clauses or parts of this Ordinance; it being the intent of the Borough of Columbia that the remainder of the Ordinance shall be and shall remain in full force and effect.

SECTION 6. This Ordinance shall become effective as provided by the laws of the Commonwealth of Pennsylvania.

DULY ORDAINED AND ENACTED this 25th day of October 2022, by the Borough Council of the Borough of Columbia, Lancaster County, Pennsylvania, in lawful session duly assembled.

BOROUGH OF COLUMBIA
LANCASTER COUNTY, PENNSYLVANIA

By: _____
Heather Zink,
President of Borough Council

ATTEST:

Mark E. Stivers, AICP
Borough Manager/Secretary

Examined and approved this 25th day of October 2022.

Leo S. Lutz, Mayor

ATTACHMENT B

AMENDMENT NO. 4

BOROUGH OF COLUMBIA POLICE PENSION PLAN

The Plan named above gives the Employer the right to amend it at any time. According to that right, the plan is amended effective 25th day of October 2022, as follows:

ARTICLE IV(A) COST OF LIVING ADJUSTMENT

Section 4A.01 IMPORTANT TERMS

For purposes of determining the cost-of-living adjustment of benefits, the following terms are defined.

Adjustment Date means each Yearly Date occurring on or after January 1 of any year on the last preceding date Yearly Date as of which the monthly retirement benefits under this Plan were changed in accordance with this Article.

Adjustment Factor means, as of the Adjustment Date, the quotient of (a) divided by (b):

- (a) The Price Index as of such Adjustment Date.
- (b) The Price Index as of the last Adjustment Date.

Annuitant means an inactive participant whose *NORMAL RETIREMENT DATE* has commenced and who is receiving a monthly retirement benefit payment from the pension plan.

Section 4A.02 2019 COST-OF-LIVING ADJUSTMENT (COLA)

The Act 111 Award dated July 11, 2015 provides that the Pension Board may approve a cost-of-living adjustment (COLA) by appropriate vote in any one year in accordance with the following factors and eligibility requirements:

- (a) An actuarial study has been prepared showing the impact of the COLA on the plan's contribution requirements.
- (b) Members eligible for a COLA must have retired after January 1, 2015 and after their Normal Retirement Date and have been retired for at least one full year on the Adjustment Date. No member shall be eligible for a COLA before January 1 after the first anniversary of the member's normal retirement date.

- (c) The measure used for the determining the COLA will be the CPI-U, U.S. City Average-All Urban Consumers based on the CPI percentage effective yearly every September.
- (d) Any COLA approved by the Board in any one year shall not be in excess of the increase in the CPI in the most recent year and may be less that the increase in the CPI in the most recent year.

Section 4A.03 CHANGE IN MONTHLY RETIREMENT BENEFIT

As of each Adjustment Date as to an Annuitant, the amount of monthly retirement benefit payments payable to such Annuitant will be increased by an amount determined by multiplying such payments by the Adjustment Factor as of such Adjustment Date. Any such amount shall not be in excess of the increase in the CPI in the most recent year and may be less that the increase in the CPI in the most recent year.

- (a) If such change results in an increase in the amount of monthly retirement benefit payments to an Annuitant, an amount of monthly retirement benefit will be provided for he/she under the retirement benefit in the amount of such increase with payments consistent with the payments being made as to the monthly retirement annuity provided under the retirement benefit on the Participant's Retirement Date.

In no event will the amount of monthly retirement benefit payments for an Annuitant after the date of the increase be more than 130% of the amount, he would have received had the provisions of this article not been in effect.

- (b) No cost-of-living increase will result in a monthly retirement benefit which exceeds 75% of the Annuitant's Average Compensation as determined on the date his monthly retirement benefit was first calculated.
- (c) No cost-of-living increase will be made if such increase would impair the actuarial soundness of the Plan.

This amendment is made an integral part of the aforesaid plan and is controlling over the terms of said plan with the respect to particular items addressed expressly herein. All other provisions of the Plan remain unchanged and controlling.

Unless otherwise stated on any page of this amendment, eligibility for benefits and the amounts of any benefits payable to or on behalf of an individual who is an Active Participant on the effective date(s) stated above, shall be determined according to the provisions of the aforesaid Plan as in effect on the date before he/she became an Inactive Participant.

Signing this amendment, the undersigned has made the decision to adopt this plan amendment. The undersigned is acting in reliance on their own discretion and on the legal and tax advice of their own advisors, and not that of any member of Principal Financial Group or any representative of a member company of Principal Financial Group.

Approved On: October 25, 2022.

BOROUGH OF COLUMBIA

LANCASTER COUNTY, PENNSYLVANIA

Approved By

Seconded By

Attest

July 1 - Sept 30

Account Number	Account Description	Date	Tran Type	Description	Credit	Ref Num	User
01-100-104	Cash In Bank - Reg	07/07/22	Expenditure	COMCAST 440 s front st 8993112890103570	179.62	254	LGERFIN
01-100-104	Cash In Bank - Reg	07/07/22	Expenditure	COMCAST 41 walnut st 8993112890112282	277.02	254	LGERFIN
01-100-104	Cash In Bank - Reg	07/07/22	Expenditure	COMCAST 308 locust st 8993112890026029	342.27	254	LGERFIN
01-100-104	Cash In Bank - Reg	07/07/22	Expenditure	COMCAST 420 s front st 8993112890103588	99.84	254	LGERFIN
01-100-104	Cash In Bank - Reg	07/07/22	Expenditure	COMCAST 308 locust st adnl bsns 8993112890154821	125.66	254	LGERFIN
01-100-104	Cash In Bank - Reg	07/07/22	Expenditure	COMCAST 431 s front st 8993112890108447	267.69	254	LGERFIN
01-100-104	Cash In Bank - Reg	07/07/22	Expenditure	COMCAST 15 s 3rd st 8993112890155828	200.66	254	LGERFIN
01-100-104	Cash In Bank - Reg	07/14/22	Manual Entry	Net Payroll	102,281.22	4261	LGERFIN
01-100-104	Cash In Bank - Reg	07/14/22	Manual Entry	Tax Protion	38,947.03	4261	LGERFIN
01-100-104	Cash In Bank - Reg	07/14/22	Manual Entry	Garnishment	1,419.75	4261	LGERFIN
01-100-104	Cash In Bank - Reg	07/18/22	Manual Entry	475B Emp Contribut.	2,989.04	4257	LGERFIN
01-100-104	Cash In Bank - Reg	07/28/22	Manual Entry	Net Payroll	81,738.68	4264	LGERFIN
01-100-104	Cash In Bank - Reg	07/28/22	Manual Entry	Tax Protion	27,913.15	4264	LGERFIN
01-100-104	Cash In Bank - Reg	07/28/22	Manual Entry	Garnishment	1,419.75	4264	LGERFIN
01-100-104	Cash In Bank - Reg	07/28/22	Manual Entry	475B Emp Contribut.	2,785.31	4265	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	UGI col wwtp 411000642404	28.66	255	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	UGI col wwtp 411006753577	31.73	255	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	UGI 137 s front st 411000209568	88.04	255	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	UGI 15 s 3rd st 411000981927	26.37	255	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	UGI 308 locust st 411000713759	25.99	255	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	UGI columbia market 411001631141	116.77	255	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	UGI 431 s front st 411001174845	29.43	255	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL s front st 300359947	266.50	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL 429 s front st 300416106	94.94	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL 11 s 3rd st market house 301279238	1,498.81	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL11 front st security camera 300251879	33.11	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL 550 ave n makel park 300412194	51.03	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL 308 locust st 300269611	896.45	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL 21 WALNUT ST 300417646	223.30	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL 254 BLUE LN GATE 300254898	30.02	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL BLUE LN wr 62638 300405497	37.76	256	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	PPL 137 S FRONT ST 300610070	1,861.97	257	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COMCAST COL POLICE 8993112890107043	286.85	258	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	VERIZON cell phone boro 9895797201	215.95	259	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	VERIZON cell phone police 9895797201	298.15	259	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	VERIZON cell phone codes 9895797201	136.57	259	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	VERIZON cell phone public works 9895797201	84.38	259	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	VERIZON cell phone ema 9895797201	84.38	259	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	VERIZON cell phone planning mng 9895797201	42.19	259	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 157 hydrants	10,260.44	260	LGERFIN

Account Number	Account Description	Date	Tran Type	Description	Credit	Ref Num	User
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 480 Locust st 00002079	1.49	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER fire service/sprinkler 440 s front	402.91	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER fire service/sprinkler 15 s 3rd	402.91	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 15 s 3rd 13017100	163.58	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 137 s front st 12001501	148.92	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 420 s front st 12000610	56.80	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 430 s front st 12000600	148.92	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 41 walnut st 06006410	151.71	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 308 locust st 06002900	152.59	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 431 s front st 00007607	20.07	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	COL WATER 137 s front st 12001500	51.67	260	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	LASA 137A front st 7/1/22-9/30/22 045237	105.15	261	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	LASA 41 walnut st 3/1/22-5/31/22 048634	105.15	261	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	LASA 1020 manor st 7/1/22-9/30/22 047973	105.15	261	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	LASA 137 front st 3/1/22-5/31/22 044913	105.15	261	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	LASA 15 s 3rd st 3/1/22-5/31/22 045653	105.15	261	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	LASA 400 locust 3/1/22-5/31/22 043330	105.15	261	LGERFIN
01-100-104	Cash In Bank - Reg	07/31/22	Expenditure	LASA 308 locust 7/1/22-9/30/22 051741	105.15	261	LGERFIN
01-100-104	Cash In Bank - Reg	08/11/22	Manual Entry	Net Payroll	80,488.79	4270	LGERFIN
01-100-104	Cash In Bank - Reg	08/11/22	Manual Entry	Tax Protion	27,408.25	4270	LGERFIN
01-100-104	Cash In Bank - Reg	08/11/22	Manual Entry	Garnishment	1,419.75	4270	LGERFIN
01-100-104	Cash In Bank - Reg	08/11/22	Manual Entry	475B Emp Contribut.	2,816.43	4271	LGERFIN
01-100-104	Cash In Bank - Reg	08/25/22	Manual Entry	475B Emp Contribut.	2,852.34	4282	LGERFIN
01-100-104	Cash In Bank - Reg	08/25/22	Manual Entry	Net Payroll	80,550.39	4283	LGERFIN
01-100-104	Cash In Bank - Reg	08/25/22	Manual Entry	Tax Protion	27,528.15	4283	LGERFIN
01-100-104	Cash In Bank - Reg	08/25/22	Manual Entry	Garnishment	1,419.75	4283	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	UGI col wwtp 411000642404	25.99	262	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	UGI col wwtp 411006753577	30.97	262	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	UGI 137 s front st 411000209568	63.15	262	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	UGI 15 s 3rd st 411000981927	26.37	262	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	UGI 308 locust st 411000713759	25.99	262	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	UGI columbia market 411001631141	26.37	262	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	UGI 431 s front st 411001174845	25.99	262	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL s front st 300359947	205.65	263	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL 429 s front st 300416106	111.64	263	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL 11 s 3rd st market house 301279238	1,270.86	263	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL11 front st security camera 300251879	32.16	263	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL 550 ave n makel park 300412194	60.35	263	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL 308 locust st 300269611	954.99	263	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL 21 WALNUT ST 300417646	269.73	263	LGERFIN

July 1 - Sept 30

Account Number	Account Description	Date	Tran Type	Description	Credit	Ref Num	User
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL 254 BLUE LN GATE 300254898	28.35	263	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	PPL BLUE LN wr 62638 300405497	37.63	263	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COMCAST 41 walnut st 8993112890112282	277.37	264	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COMCAST 420 s front st 8993112890103588	101.42	264	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COMCAST 308 locust st adnl bsns 8993112890154821	126.64	264	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COMCAST 431 s front st 8993112890108447	268.24	264	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COMCAST 15 s 3rd st 8993112890155828	201.21	264	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COMCAST 308 locust st 8993112890026029	343.40	266	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	VERIZON cell phone boro 9911891118	174.12	267	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	VERIZON cell phone police 9911891118	298.69	267	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	VERIZON cell phone codes 9911891118	336.83	267	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	VERIZON cell phone public works 9911891118	84.56	267	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	VERIZON cell phone ema 9911891118	84.56	267	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	VERIZON cell phone planning mng 9911891118	42.28	267	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	VERIZON cell phone market mng 9911891118	242.27	267	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COMCAST COL POLICE 8993112890107043	286.49	268	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 480 Locust st 00002079	18.60	269	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 15 s 3rd 13017100	163.58	269	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 137 s front st 12001501	148.92	269	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 420 s front st 12000610	73.66	269	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 430 s front st 12000600	148.92	269	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 41 walnut st 06006410	194.57	269	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 308 locust st 06002900	153.32	269	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 431 s front st 00007607	22.27	269	LGERFIN
01-100-104	Cash In Bank - Reg	08/31/22	Expenditure	COL WATER 137 s front st 12001500	51.67	269	LGERFIN
01-100-104	Cash In Bank - Reg	09/07/22	Expenditure	Pitney Bowes-Postage Meter Lease September 2022	293.10	277	TBENNETT
01-100-104	Cash In Bank - Reg	09/08/22	Manual Entry	Net Payroll	79,054.66	4284	LGERFIN
01-100-104	Cash In Bank - Reg	09/08/22	Manual Entry	Tax Protion	26,949.67	4284	LGERFIN
01-100-104	Cash In Bank - Reg	09/08/22	Manual Entry	Garnishment	1,419.75	4284	LGERFIN
01-100-104	Cash In Bank - Reg	09/08/22	Manual Entry	475B Emp Contribut.	3,185.31	4285	LGERFIN
01-100-104	Cash In Bank - Reg	09/22/22	Manual Entry	475B Emp Contribut.	3,262.31	4289	LGERFIN
01-100-104	Cash In Bank - Reg	09/22/22	Manual Entry	Net Payroll	84,706.70	4290	LGERFIN
01-100-104	Cash In Bank - Reg	09/22/22	Manual Entry	Tax Protion	29,352.96	4290	LGERFIN
01-100-104	Cash In Bank - Reg	09/22/22	Manual Entry	Garnishment	1,419.75	4290	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	VERIZON cell phone boro 9914222381	174.12	270	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	VERIZON cell phone police 9914222381	298.69	270	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	VERIZON cell phone codes 9914222381	136.84	270	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	VERIZON cell phone public works 9914222381	84.56	270	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	VERIZON cell phone ema 9914222381	84.56	270	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	VERIZON cell phone planning mng 9914222381	42.28	270	LGERFIN

Account Number	Account Description	Date	Tran Type	Description	Credit	Ref Num	User
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	VERIZON cell phone market mng 9914222381	42.28	270	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST 440 s front st 8993112890103570	11.11	271	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST 41 walnut st 8993112890112282	277.32	271	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST 308 locust st 8993112890026029	343.36	271	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST 420 s front st 8993112890103588	101.37	271	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST 308 locust st adnl bsns 8993112890154821	126.65	271	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST 431 s front st 8993112890108447	268.15	271	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST 15 s 3rd st 8993112890155828	201.12	271	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL s front st 300359947	228.04	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL 429 s front st 300416106	130.30	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL 11 s 3rd st market house 301279238	1,331.95	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL11 front st security camera 300251879	31.44	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL 550 ave n makel park 300412194	52.78	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL 130 N 2ND ST SHED 300334715	39.79	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL 308 locust st 300269611	1,085.20	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL 21 WALNUT ST 300417646	320.11	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL 137 S FRONT ST 300610070	1,334.29	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL 254 BLUE LN GATE 300254898	26.87	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	PPL BLUE LN wr 62638 300405497	37.25	272	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	UGI col wwtp 411000642404	25.99	273	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	UGI col wwtp 411006753577	30.59	273	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	UGI 137 s front st 411000209568	113.66	273	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	UGI 15 s 3rd st 411000981927	26.37	273	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	UGI 308 locust st 411000713759	25.99	273	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	UGI columbia market 411001631141	26.37	273	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	UGI 431 s front st 411001174845	25.99	273	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST 440 s front st 8993112890103570	71.95	274	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COMCAST COL POLICE 8993112890107043	287.56	274	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	UGI 15 s 3rd st restaurant 411012916192	387.15	275	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 480 Locust st 00002079	19.33	276	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 15 s 3rd 13017100	156.25	276	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 137 s front st 12001501	148.92	276	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 420 s front st 12000610	78.06	276	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 430 s front st 12000600	156.25	276	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 41 walnut st 06006410	151.73	276	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 308 locust st 06002900	151.85	276	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 431 s front st 00007607	20.80	276	LGERFIN
01-100-104	Cash In Bank - Reg	09/30/22	Expenditure	COL WATER 137 s front st 12001500	53.87	276	LGERFIN
					\$ 750,111.05		

Range of Checking Accts: First to Last Range of Check Dates: 10/25/22 to 10/25/22
Report Type: All Checks Report Format: Detail Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num
PO #	Item	Description					Ref Seq Acct
01 GENERAL FUND GENERAL FUND							
41076	10/25/22	AXISI005 AXIS Insurance Company					624
22-01183	1	GAP Health Ins -ADMIN	1,178.73	01-402-196	Expenditure		99 1
				Employee Insurance Coverage	Premiums		
22-01183	2	GAP Health Ins -CODES	713.25	01-413-196	Expenditure		100 1
				Employee Insurance Coverage	Premiums		
22-01183	3	GAP Health Ins -ZONING	198.42	01-414-196	Expenditure		101 1
				Employee Insurance Coverage	Premiums		
22-01183	4	GAP Health Ins -MRKT HOUSE	115.45	01-444-196	Expenditure		102 1
				Employee Insurance Coverage			
22-01183	5	GAP Health Ins -HWY PW	1,496.51	01-430-196	Expenditure		103 1
				Employee Insurance Coverage	Premiums		
22-01183	6	GAP Health Ins -POLICE	6,145.70	01-410-196	Expenditure		104 1
				Employee Insurance Coverage	Premiums		
			<u>9,848.06</u>				
41077	10/25/22	BTSP005 B&T Sportswear					624
22-01168	3	logoed shirts	110.36	01-402-340	Expenditure		20 1
				Printing & Advertising			
22-01168	4	logoed shirts	445.30	01-413-238	Expenditure		21 1
				Clothing Allowance (Code Enf)			
22-01168	5	logoed shirts	553.96	01-402-340	Expenditure		22 1
				Printing & Advertising			
			<u>1,109.62</u>				
41078	10/25/22	CAPIT020 Capital Electric					624
22-01155	1	case of light bulbs	109.50	01-409-370	Expenditure		1 1
				Maintenance & Repair of Building			
41079	10/25/22	CGALA005 CGA Law Firm, PC					624
22-01175	1	code 3 ems correspondence	28.00	01-404-314	Expenditure		33 1
				Solicitor Fees			
22-01175	2	prep for bid opening boro prop	388.50	01-404-314	Expenditure		34 1
				Solicitor Fees			
22-01175	3	review park rules meet attenda	777.00	01-404-314	Expenditure		35 1
				Solicitor Fees			
22-01175	4	meeting prep & attendance	1,591.00	01-404-314	Expenditure		36 1
				Solicitor Fees			
22-01175	5	deed research @ lanc county	703.00	01-404-314	Expenditure		37 1
				Solicitor Fees			
22-01175	6	draft brief denial rtk	1,332.00	01-404-314	Expenditure		38 1
				Solicitor Fees			
22-01175	7	prep & att mcginness team mtg	777.00	18-450-001	Expenditure		39 1
				McGinness Airport Development Project			
22-01175	8	revisions mkt house lease agre	610.50	30-444-375	Expenditure		40 1
				Market House Improvements (RACP PhaseI)			
22-01175	9	emails & calls ref prop purcha	148.00	01-404-314	Expenditure		41 1
				Solicitor Fees			
22-01175	10	draft docs ref sale of prop	629.00	01-404-314	Expenditure		42 1
				Solicitor Fees			

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
01	GENERAL FUND	GENERAL FUND		Continued					
41079	CGA Law Firm, PC			Continued					
22-01175	11	meeting prep & attendance	888.00	01-404-314 Solicitor Fees	Expenditure		43	1	
22-01175	12	phone call re prop purchase	148.00	01-404-314 Solicitor Fees	Expenditure		44	1	
22-01175	13	bios grant	296.00	18-450-001 McGinness Airport Development Project	Expenditure		45	1	
22-01175	14	clg grant agreement	388.50	01-404-314 Solicitor Fees	Expenditure		46	1	
22-01175	15	rtk request issue	92.50	01-404-314 Solicitor Fees	Expenditure		47	1	
22-01175	16	mcginness site development	111.00	18-450-001 McGinness Airport Development Project	Expenditure		48	1	
22-01175	17	mcginness team mtg prep & atte	629.00	18-450-001 McGinness Airport Development Project	Expenditure		49	1	
22-01175	18	meeting prep & attendance	777.00	01-404-314 Solicitor Fees	Expenditure		50	1	
22-01175	19	bios loan review	259.00	18-450-001 McGinness Airport Development Project	Expenditure		51	1	
22-01175	20	prep & att mtg prop purchase	832.50	01-404-314 Solicitor Fees	Expenditure		52	1	
22-01175	21	demolition issues mcginness	259.00	18-450-001 McGinness Airport Development Project	Expenditure		53	1	
22-01175	22	1st amendment issues	203.50	01-404-314 Solicitor Fees	Expenditure		54	1	
22-01175	23	rtk issue	148.00	01-404-314 Solicitor Fees	Expenditure		55	1	
22-01175	24	rtk issue	148.00	01-404-314 Solicitor Fees	Expenditure		56	1	
22-01175	25	potential land purchase	573.50	01-404-314 Solicitor Fees	Expenditure		57	1	
22-01175	26	invocation issue	259.00	01-404-314 Solicitor Fees	Expenditure		58	1	
22-01175	27	mcginness prop issues	259.00	18-450-001 McGinness Airport Development Project	Expenditure		59	1	
22-01175	28	a/r & credit card policy	592.00	01-404-314 Solicitor Fees	Expenditure		60	1	
22-01175	29	832 blunston st issue	388.50	01-404-314 Solicitor Fees	Expenditure		61	1	
22-01175	30	police pension issue	666.00	01-404-314 Solicitor Fees	Expenditure		62	1	
22-01175	31	market house agreements	425.50	30-444-375 Market House Improvements (RACP PhaseI)	Expenditure		63	1	
22-01175	32	market house issues	444.00	30-444-375 Market House Improvements (RACP PhaseI)	Expenditure		64	1	
22-01175	33	sale of boro properties	259.00	01-404-314 Solicitor Fees	Expenditure		65	1	
22-01175	34	meeting prep & attendance	1,036.00	01-404-314 Solicitor Fees	Expenditure		66	1	
22-01175	35	ada regulations	296.00	01-404-314 Solicitor Fees	Expenditure		67	1	

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
01	GENERAL FUND	GENERAL FUND		Continued					
41079	CGA Law Firm, PC			Continued					
22-01175	36	finalize document for recordin	28.00	01-404-314	Expenditure		68	1	
				Solicitor Fees					
22-01175	37	rec notice from recorder of de	42.00	01-404-314	Expenditure		69	1	
				Solicitor Fees					
22-01175	38	emails ref mcginness	92.50	18-450-001	Expenditure		70	1	
				McGinness Airport Development Project					
22-01175	39	1200 locust st st john's ld	259.00	01-250-300	G/L		71	1	
				Escrow, Development					
22-01175	40	re ridge ave prop	148.00	01-404-314	Expenditure		72	1	
				Solicitor Fees					
22-01175	41	re blue ln prop	74.00	01-404-314	Expenditure		73	1	
				Solicitor Fees					
22-01175	42	deed work mkt house /boro hall	425.50	01-404-314	Expenditure		74	1	
				Solicitor Fees					
22-01175	43	mayor email ref park signs	111.00	01-404-314	Expenditure		75	1	
				Solicitor Fees					
22-01175	44	legal notice public sale	70.00	01-404-314	Expenditure		76	1	
				Solicitor Fees					
22-01175	45	sale of prop to CEDC draft	888.00	01-404-314	Expenditure		77	1	
				Solicitor Fees					
22-01175	46	sale of boro prop	240.50	01-404-314	Expenditure		78	1	
				Solicitor Fees					
22-01175	47	police pension ordinance	148.00	01-404-314	Expenditure		79	1	
				Solicitor Fees					
22-01175	48	blue ln settlement	259.00	01-404-314	Expenditure		80	1	
				Solicitor Fees					
22-01175	49	stormwater mgmt ordinance	240.50	01-404-314	Expenditure		81	1	
				Solicitor Fees					
22-01175	50	a/r & credit card policy	92.50	01-404-314	Expenditure		82	1	
				Solicitor Fees					
22-01175	51	meeting prep & attendance	999.00	01-404-314	Expenditure		83	1	
				Solicitor Fees					
22-01175	52	market house lease agreements	240.50	30-444-375	Expenditure		84	1	
				Market House Improvements (RACP PhaseI)					
22-01175	53	mou 462 bridge	203.50	01-404-314	Expenditure		85	1	
				Solicitor Fees					
22-01175	54	a/r & credit card policy	185.00	01-404-314	Expenditure		86	1	
				Solicitor Fees					
22-01175	55	bios grant	111.00	18-450-001	Expenditure		87	1	
				McGinness Airport Development Project					
22-01175	56	blue lane prop closing	647.50	01-404-314	Expenditure		88	1	
				Solicitor Fees					
22-01175	57	rec action item for meeting	28.00	01-404-314	Expenditure		89	1	
				Solicitor Fees					
22-01175	58	od col public grounds issue	222.00	01-404-314	Expenditure		90	1	
				Solicitor Fees					
22-01175	59	832 blunston st issue	240.50	01-404-314	Expenditure		91	1	
				Solicitor Fees					
22-01175	60	sign ordinance	74.00	01-404-314	Expenditure		92	1	
				Solicitor Fees					

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Num Acct
01	GENERAL FUND	GENERAL FUND		Continued					
41079	CGA Law Firm, PC	Continued							
22-01175	61	notary fee	5.00	01-404-314	Expenditure		93		1
				Solicitor Fees					
22-01175	62	recorder of deeds	82.85	01-404-314	Expenditure		94		1
				Solicitor Fees					
			<u>23,519.85</u>						
41080	10/25/22	CSDAV005 CS Davidson Inc							624
22-01156	1	boro public works facility	3,440.50	01-408-101	Expenditure		2		1
				Engineering Services					
22-01156	2	general services	914.58	01-408-101	Expenditure		3		1
				Engineering Services					
22-01156	3	meeting attendance 9/13/22	65.00	01-408-101	Expenditure		4		1
				Engineering Services					
22-01156	4	mcginness homestead demolition	2,730.70	18-450-001	Expenditure		5		1
				McGinness Airport Development Project					
22-01156	5	2nd st phase II cdbg improveme	879.42	01-408-101	Expenditure		6		1
				Engineering Services					
22-01156	6	100-200 walnut streetscape	1,108.75	18-438-001	Expenditure		7		1
				Walnut St Improve./Smart Growth					
22-01156	7	wwtp entrance modification	81.38	01-408-101	Expenditure		8		1
				Engineering Services					
22-01156	8	mcginness airport development	1,169.84	18-450-001	Expenditure		9		1
				McGinness Airport Development Project					
22-01156	9	2020 racp grant	980.16	30-444-375	Expenditure		10		1
				Market House Improvements (RACP PhaseI)					
22-01156	10	cola wrightsville 462 bridge	62.32	01-408-101	Expenditure		11		1
				Engineering Services					
22-01176	1	permit manager annual sup/main	1,850.00	01-414-420	Expenditure		95		1
				Dues & Subscriptions					
22-01176	2	csdatum annual subscription	2,400.00	01-413-420	Expenditure		96		1
				Dues & Subscriptions					
22-01176	3	2020 comp plan update	12,126.84	01-408-101	Expenditure		97		1
				Engineering Services					
22-01176	4	nbis bridge	1,129.23	18-480-400	Expenditure		98		1
				4th Street Bridge Improvements					
			<u>28,938.72</u>						
41081	10/25/22	ECKER005 Eckert Seamans Cherin & Mellot							624
22-01171	1	labor attorney services	1,456.00	01-404-315	Expenditure		28		1
				Labor Counsel					
41082	10/25/22	ECSMI005 ECS Mid Atlantic, LLC							624
22-01159	1	3rd quarter groundwater sampli	1,779.00	18-450-001	Expenditure		14		1
				McGinness Airport Development Project					
22-01161	1	data eval rpt intent to remedi	4,514.00	18-450-001	Expenditure		16		1
				McGinness Airport Development Project					
			<u>6,293.00</u>						
41083	10/25/22	ELAGR005 ELA Group Inc							624
22-01170	1	mcginness infrastrucur improv	2,585.00	18-450-001	Expenditure		27		1
				McGinness Airport Development Project					

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
01	GENERAL FUND	GENERAL FUND	Continued						
41084	10/25/22	EXECU005 Executive Image Solutions					624		
	22-01158	1 domain renewal	17.67	01-402-312	Expenditure		13	1	
				IT Contracted Services					
	22-01167	1 annual activtrak adv 17 users	2,500.00	01-402-312	Expenditure		18	1	
				IT Contracted Services					
	22-01167	2 monthly service contract	6,232.82	01-402-312	Expenditure		19	1	
				IT Contracted Services					
			<u>8,750.49</u>						
41085	10/25/22	GORMA005 Gorman Distributors, Inc					624		
	22-01173	1 paper towels	39.50	01-444-226	Expenditure		30	1	
				Supplies					
	22-01173	2 paper towels floor & toilet cl	65.14	01-409-226	Expenditure		31	1	
				Cleaning Supplies					
			<u>104.64</u>						
41086	10/25/22	INTER055 Interware Development					624		
	22-01174	1 annual swap out fee	60.00	01-402-317	Expenditure		32	1	
				Contracted Services					
41087	10/25/22	LNPME005 LNP Media Group, Inc					624		
	22-01157	1 notice of intent to remediate	311.68	18-450-001	Expenditure		12	1	
				McGinness Airport Development Project					
	22-01162	1 janitor position	590.13	01-402-340	Expenditure		17	1	
				Printing & Advertising					
			<u>901.81</u>						
41088	10/25/22	MONIT005 Monitronics					624		
	22-01169	1 308 locust st	75.06	01-402-317	Expenditure		23	1	
				Contracted Services					
	22-01169	2 137 s front st	526.77	01-409-364	Expenditure		24	1	
				137 S Front, Rebillable Prop Expenses					
	22-01169	3 41 walnut st	473.82	01-454-377	Expenditure		25	1	
				Columbia Crossings, Contracted Services					
	22-01169	4 431 s front st	322.44	01-430-317	Expenditure		26	1	
				Contracted Services					
			<u>1,398.09</u>						
41089	10/25/22	OLDCO005 Old Columbia Public Grounds Co					624		
	22-01172	1 mowing 4 times	425.00	01-454-453	Expenditure		29	1	
				Maintenance of Parks - Locust Park					
41090	10/25/22	TRACY005 Tracy Appraisal Services Inc					624		
	22-01160	1 1110 & 1120 ridge ave	4,000.00	01-402-302	Expenditure		15	1	
				Consulting Services					
41093	10/25/22	APEX Apex Advertising					626		
	22-01149	1 6' Tablecloth	230.00	01-450-301	Expenditure		6	1	
				Parks & Recreation - Operational					

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Num Acct
01		GENERAL FUND		Continued					
41093		Apex Advertising		Continued					
22-01149	2	Shipping & Handling Charge	15.43	01-450-301	Expenditure		7		1
				Parks & Recreation - Operational					
			<u>245.43</u>						
41094	10/25/22	ART Art Printing							626
22-01146	1	Parking Meter Stickers	270.00	01-410-200	Expenditure		3		1
				Police Equipment & Supplies					
41095	10/25/22	CHEVR025 whitmoyer Chevrolet							626
22-01153	1	Repairs/PD#5	1,353.00	01-410-376	Expenditure		12		1
				Maintenance & Repair, Police Vehicles					
41096	10/25/22	COLUM005 Columbia Motor Parts							626
22-01140	1	Whl/Kit to remov veh. stickers	57.62	01-410-200	Expenditure		1		1
				Police Equipment & Supplies					
41097	10/25/22	EMHER005 EM Herr Ace Hardware							626
22-01150	1	Fasteners	4.00	01-430-200	Expenditure		8		1
				Operating Supplies					
41098	10/25/22	GSSAF005 G & S Safety Products							626
22-01151	1	24" Tine Steel Rake wood handl	63.90	01-430-200	Expenditure		9		1
				Operating Supplies					
41099	10/25/22	LANCA015 Lancaster General Health							626
22-01148	1	Pre-Employ Test-Corbin/Leaman	180.00	01-410-200	Expenditure		5		1
				Police Equipment & Supplies					
41100	10/25/22	LANCA025 Lancaster Avenue Garage & Tire							626
22-01147	1	Repairs/PD #7	271.20	01-410-376	Expenditure		4		1
				Maintenance & Repair, Police Vehicles					
41101	10/25/22	PENNS010 Pennsylvania One Call System,							626
22-01152	2	Monthly Activity Fee	21.12	01-430-321	Expenditure		10		1
				Highway, Phone - Cell & Landline & GPS					
22-01152	3	E-Mail Delivery Charge	0.66	01-430-321	Expenditure		11		1
				Highway, Phone - Cell & Landline & GPS					
			<u>21.78</u>						
41102	10/25/22	PENNS100 Penn State University							626
22-01142	1	C-JED 5014-085/David Souders	764.00	01-410-174	Expenditure		2		1
				Conference & Training					
41103	10/25/22	YSMLA005 YSM Landscape Architects							626
22-01163	1	makle park grant assistance	1,325.63	18-454-100	Expenditure		13		1
				Park Improvements/Upgrades					

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num
PO #	Item	Description					Ref Seq Acct

01 GENERAL FUND GENERAL FUND		Continued			
Checking Account Totals		Paid	Void	Amount Paid	Amount Void
	Checks:	26	0	94,056.34	0.00
	Direct Deposit:	0	0	0.00	0.00
	Total:	26	0	94,056.34	0.00

35 LIQUID FUELS PLGIT LIQUID FUELS						Reconciled/Void Contract	Ref Num
573	10/25/22	PPLEL005 PPL Electric Utilities Corp				10/25/22 VOID	0
574	10/25/22	PPLEL005 PPL Electric Utilities Corp					625
22-01177	1	3rd & linden traffic signal	32.63	35-434-002	Expenditure		1 1
				Traffic Lights - Electrical Usage			
22-01177	2	5th & chestnut street lights	27.60	35-434-001	Expenditure		2 1
				Street Lighting - Electrical Usage			
22-01177	3	s 4th & locust traffic light	34.05	35-434-002	Expenditure		3 1
				Traffic Lights - Electrical Usage			
22-01177	4	rt 30 @ 441 street lights	46.34	35-434-001	Expenditure		4 1
				Street Lighting - Electrical Usage			
22-01177	5	318 ave i street lights	26.52	35-434-001	Expenditure		5 1
				Street Lighting - Electrical Usage			
22-01177	6	lanc ave traffic signal	35.37	35-434-002	Expenditure		6 1
				Traffic Lights - Electrical Usage			
22-01177	7	15th & lanc ave traffic lights	32.79	35-434-002	Expenditure		7 1
				Traffic Lights - Electrical Usage			
22-01177	8	9th & locust st traffic lights	24.23	35-434-002	Expenditure		8 1
				Traffic Lights - Electrical Usage			
22-01177	9	n 9th st & walnut street light	24.69	35-434-001	Expenditure		9 1
				Street Lighting - Electrical Usage			
22-01177	10	1027 walnut st rear st light	13.34	35-434-001	Expenditure		10 1
				Street Lighting - Electrical Usage			
22-01177	11	ironville pk street lights	24.43	35-434-001	Expenditure		11 1
				Street Lighting - Electrical Usage			
22-01177	12	locust st street lights	65.26	35-434-001	Expenditure		12 1
				Street Lighting - Electrical Usage			
22-01177	13	cherry & lanc ave traffic ligh	37.77	35-434-002	Expenditure		13 1
				Traffic Lights - Electrical Usage			
22-01177	14	s 3rd & locust traffic light	94.11	35-434-002	Expenditure		14 1
				Traffic Lights - Electrical Usage			
22-01177	15	walnut st traffic signal	47.92	35-434-002	Expenditure		15 1
				Traffic Lights - Electrical Usage			
22-01177	16	132 n 2nd st street lights	45.15	35-434-001	Expenditure		16 1
				Street Lighting - Electrical Usage			
22-01177	17	locust & 4th traffic light	93.66	35-434-002	Expenditure		17 1
				Traffic Lights - Electrical Usage			
22-01177	18	market & locust street lights	31.24	35-434-001	Expenditure		18 1
				Street Lighting - Electrical Usage			
22-01177	19	3rd & chestnut traffic lights	33.55	35-434-002	Expenditure		19 1
				Traffic Lights - Electrical Usage			
22-01177	20	400 blk s front street lights	152.73	35-434-001	Expenditure		20 1
				Street Lighting - Electrical Usage			

Check #	Check Date	Vendor	Amount Paid	Charge Account	Account Type	Reconciled/Void Contract	Ref Num	Ref Seq	Acct
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35		LIQUID FUELS		Continued					
		574 PPL Electric Utilities Corp		Continued					
22-01177	21	129 walnut st street lights	105.41	35-434-001	Expenditure			21	1
				Street Lighting - Electrical Usage					
			<u>1,028.79</u>						

Checking Account Totals	Paid	Void	Amount Paid	Amount Void
Checks:	<u>1</u>	<u>1</u>	1,028.79	0.00
Direct Deposit:	<u>0</u>	<u>0</u>	0.00	0.00
Total:	<u>1</u>	<u>1</u>	<u>1,028.79</u>	<u>0.00</u>

Report Totals	Paid	Void	Amount Paid	Amount Void
Checks:	<u>27</u>	<u>1</u>	95,085.13	0.00
Direct Deposit:	<u>0</u>	<u>0</u>	0.00	0.00
Total:	<u>27</u>	<u>1</u>	<u>95,085.13</u>	<u>0.00</u>

Totals by Year-Fund Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND BBT	2-01	71,649.35	0.00	259.00	71,908.35
CAPITAL FUND	2-18	19,447.33	0.00	0.00	19,447.33
BOND CAPITAL FUND	2-30	2,700.66	0.00	0.00	2,700.66
HIGHWAY AID FUND	2-35	1,028.79	0.00	0.00	1,028.79
Total of All Funds:		<u>94,826.13</u>	<u>0.00</u>	<u>259.00</u>	<u>95,085.13</u>

Totals by Fund Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND BBT	01	71,649.35	0.00	259.00	71,908.35
CAPITAL FUND	18	19,447.33	0.00	0.00	19,447.33
BOND CAPITAL FUND	30	2,700.66	0.00	0.00	2,700.66
HIGHWAY AID FUND	35	1,028.79	0.00	0.00	1,028.79
Total of All Funds:		<u>94,826.13</u>	<u>0.00</u>	<u>259.00</u>	<u>95,085.13</u>

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
GENERAL FUND BBT	2-01	71,649.35	0.00	0.00	0.00	71,649.35
CAPITAL FUND	2-18	19,447.33	0.00	0.00	0.00	19,447.33
BOND CAPITAL FUND	2-30	2,700.66	0.00	0.00	0.00	2,700.66
HIGHWAY AID FUND	2-35	1,028.79	0.00	0.00	0.00	1,028.79
Total of All Funds:		94,826.13	0.00	0.00	0.00	94,826.13

EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: 10/25/22

DEPARTMENT: Community Development

TITLE: Consideration of exterior façade renovations of the property located at 149 N Third Street

SUMMARY: Consideration of a Certificate of Appropriateness (COA) the property located at 149 N Third Street for exterior and interior renovations to include the removal and installation of French doors, ADA ramp, installation of business signs, LED shielded lighting, fur out exterior walls and install new insulation.

BACKGROUND AND JUSTIFICATION:

On October 12th the HARB provided their recommendation of approval for the property located at 149 N Third Street for exterior and interior renovations (new office, bathroom, checkout area, service counters, refrigeration) to include the removal and installation of French doors, ADA ramp, installation of business signs, LED lights, fur out exterior walls and install new insulation.

MOTION: To consider approval of the Certificate of Appropriateness (COA) for the property located at 149 N Third Street to include exterior and interior renovations to include the removal and installation of French doors, ADA ramp, installation of business signs, LED shielded lights, fur out exterior walls and install new insulation.

ATTACHMENT(S):

HARB Application for 149 N Third Street



LEO S. LUTZ
Mayor

EVAN M. GABEL
Solicitor

HEATHER ZINK
Borough Council President

MARK E. STIVERS
Borough Manager

AGENDA DATE: October 12, 2022

TO: Historic Architecture Review Board
RE: HARB COA for 149 N Third Street
Permit No.220-299 / Account No.
1102891900000

FROM: Sharon Cino, Planning & Zoning Manager
VIA: Mark E Stivers, AICP, Borough Manager

TITLE: Consideration of a Certificate of Appropriateness (COA) the property located at 149 N Third Street for exterior and interior renovations to include the removal and installation of French doors, ADA ramp, installation of business signs, fur out exterior walls and install new insulation.

OWNER/APPLICANT: Joseph Crouse
150 S Donerville Rd
Lancaster, PA 17603

LEASED TO: ARY, 786, LLC

ARCHITECT: CGA Architects, Inc.
Ian Norman
134 W Main Street
Leola, PA 17540

CONTRACTOR: TBD

PROJECT DESCRIPTION: The applicant is proposing to renovate and the old Subway for the operation of a new convenience store with interior and exterior renovations. The aspects of the project concerning the exterior renovations include the following:

- Removal of existing entry door and widening of existing opening to make room for new asymmetric French storefront doors. Existing finishes and trim to be modified to conform to new opening and match existing style.
- Removal and replacement of existing exterior floodlighting to better illuminate the building for security purposes. New lighting to be shielded and directed downward. The proposed lighting specification is attached.



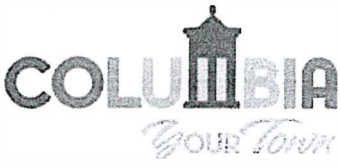
- Removal and replacement of existing curb to make room for a new ADA compliant sidewalk and curb cut ramp for the accessible route from parking space to entry door. Existing macadam to be graded as necessary to ensure no portion of new curbing is greater than 8" above finished grade.

PROPERTY DESCRIPTION: The commercial fast-food building (old Subway) was constructed in 1970 and is located in the Downtown Commercial (DC) zoning district and is also located in the historic district.

SECRETARY OF THE INTERIOR STANDARDS THAT APPLY: 1 and 9

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (9) New additions, exterior alterations or related new construction will not destroy historic materials, features, and spatial relations that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic material features, site scale and proportion and massing to protect the integrity of the property and its environment.

STAFF RECOMMENDATION: Staff recommends approval of the COA for 149 N Third Street to include exterior and interior renovations to include the removal and installation of French doors, ADA ramp, and installation of business sign with new shielded lighting.



Borough of Columbia
ZONING /HARB REVIEW

COPY

22-299

9/26/22
Date of Application

Check List: Your completed application should include:
HARB Letter of Intent (LOI)
Plot Plan Drawings
Elevation Drawings
Photographs
Brochure or Catalog Cut
Material Sample
Other (specify):

PLEASE PRINT OR WRITE LEGIBLY

1. Owner's Name: Joseph L & Bette J Crouse
If applicant is not the equitable owner of the property, indicate:
Owner's Agent/Representative
Other
Letter Submitted by Property Owner, authorizing Agent/Representative to act:

Street Address: 150 S. Donerville Rd.
Mailing Address if different:
City: Lancaster State: PA Zip: 17603
Phone (daytime): N.A Email: N/A

2. Street Address of Property to be Reviewed (if different): 149 N. 3RD ST. COLUMBIA, PA 17512

3. Contractor's Name: TBD
Street Address:
Mailing Address (if different):
City: State: Zip:
Phone (daytime): Email:

4. Architect/Engineer (if applicable): CGA ARCHITECTS INC.
Street Address: 134 W. MAIN ST.
Mailing Address (if different):
City: LEOLA State: PA Zip: 17540
Phone (daytime): 717-656-4183 EX 42 Email: IAN@CGAARCHITECTS.COM

5. Property Use (Check all that apply):
Single Family Residence
Multi-Family Residence
Office
Commercial/Retail
Industrial
Institutional
Vacant
Particular Building Type:
single, detached
duplex
row
apartment building
warehouse
other:
Property Data (if unknown, leave blank)
1. Date building constructed:
2. Date of additions/alterations:

6. **Proposed Alteration(s), Demolition or New Construction (list each item separately):**

Example: 1. replace existing front door with wood four-panel door
2. install storm door

DEMOLISH EXISTING ENTRY DOOR AND WIDEN OPENING FOR NEW ASYMMETRIC FRENCH DOOR

INSTALL NEW BACK-LIT ILLUMINATED SIGNS IN EXISTING BUILDING SIGN FRAMES

INSTALL NEW BACK-LIT ILLUMINATED SIGNS IN EXISTING FREE-STANDING SIGN FRAME

DEMO EXISTING INTERIOR WALLS AND CONSTRUCT NEW CHECKOUT AREA, ADA BATHROOM AND OFFICE

FUR OUT EXTERIOR WALLS AND INSTALL NEW BATT INSULATION

DEMOLISH INTERIOR FINISHES AND REPLACE WITH NEW FLOOR TILE THROUGHOUT

DEMO INTERIOR CEILING GRID AND TILE AND REPLACE WITH NEW. INSTALL NEW LED LIGHTING.

CONSTRUCT NEW CEILING BULKHEAD AND INSTALL NEW COOLER UNIT

INSTALL NEW DISPLAY RACKS, SHELVING AND SERVICE COUNTERS

DEMO EXISTING NON-ADA COMPLIANT CURB AND INSTALL NEW ADA COMPLIANT SIDEWALK AND CURB RAMP

7. **Costs**

Estimate the total cost of the alteration(s): \$50,000

8. **Date of Review**

Date of meeting at which application will be reviewed: 10/12/22

I, the undersigned, understand that any work affecting existing ordinances must be in compliance with those ordinances, that major work is subject to inspection, that new structures require a Certificate of Occupancy upon completion, that any misrepresentation of the proposed work is cause for withdrawal of the work permit, and any work beyond the scope of the work permit is cause for a Civil Action Complaint. The minimum penalty as prescribed by the Pennsylvania Municipalities Planning Code is \$500.00.

9. Signature of Owner: [Signature] Date: 9/26/22

10. Signature of Zoning Official: _____ Date: _____

Applicant was given:

Pink Placard (to be prominently displayed by applicant on the property where the alterations are proposed)

Meeting Notice (provides applicant with date, time, and location of meeting at which application will be reviewed)

Official Use Only

Date of site visit: _____

Property Description (building inventory data sheet)

Historic Function: _____ Particular Type: _____ Current Function: _____

Architectural Style: _____

Exterior Materials: _____

Structural System: _____ Foundation: _____

Bays: _____ Stories: _____

Roof Pitch: _____ Roof Materials: _____ Roof/Wall Junction: _____

Dormers: _____ Chimney: _____

Porch: _____ Porch Support: _____

General Condition: _____ Integrity: _____

Field Notes: _____



PROJECT: 149 N. 3RD STREET

PROJECT #: 220864

RE: HARB SUBMISSION NARRATIVE

On behalf of our Client, Amir Paracha and his company ARY 786 LLC, CGA Architects, Inc wishes to submit to the Columbia Borough HARB the proposed changes to the property located at 149 N. 3rd St, Columbia, PA 17512. The property is located within the Historic District and requires your review. CGA Architects, Inc. delineates these changes below:

- The interior of the building shall be gutted down to existing structural members for construction of new interior partitions and finishes inline with the established aesthetic of our client's brand.
- The existing exterior front door with incompatible hinging for ADA access shall be demolished, and the opening widened to allow the installation of a new asymmetric French door to allow ADA access with proper clearances as well as facilitate the ingress of products needed to stock the store.
- The existing curbing in front of the building shall be demolished for the construction of a new ADA compliant sidewalk and curb ramp into an otherwise inaccessible building. The site macadam shall be graded as required next to the new curbing for tie in and clearance purposes.
- The existing flood lamps on the building will be removed and replaced with new LED shielded flood lights to both illuminate the building for security as well as cut down on light pollution caused by the previous lights.
- The existing illuminated sign boxes present on the building and free-standing sign are to be refaced with new back-lit illuminated signs displaying the store name.

These changes are all requested and in CGA's opinion, necessary for the operation of a new convenience store at the project location.

Please let us know if you have any questions or comments. I can be reached at 717-656-4183, ext. 42 or by email at Ian@cgaarchitects.com.

CGA ARCHITECTS, INC.

Ian Norman
Project Coordinator

File/copy
Owner/copy

Enclosure

s:\cgaprojects\1493rdStreet\HARB9.26.22

JOE & PAUL
CROUSE USED CARS

5-2172-1

SUBWAY

SUBWAY
OPEN

EAT FRESH
REFRESH
WITH A WHOLE LOT

149

REFRESH





REVISIONS	NO.	DATE	REMARKS
△	-	-	-

APPLICABLE CODES

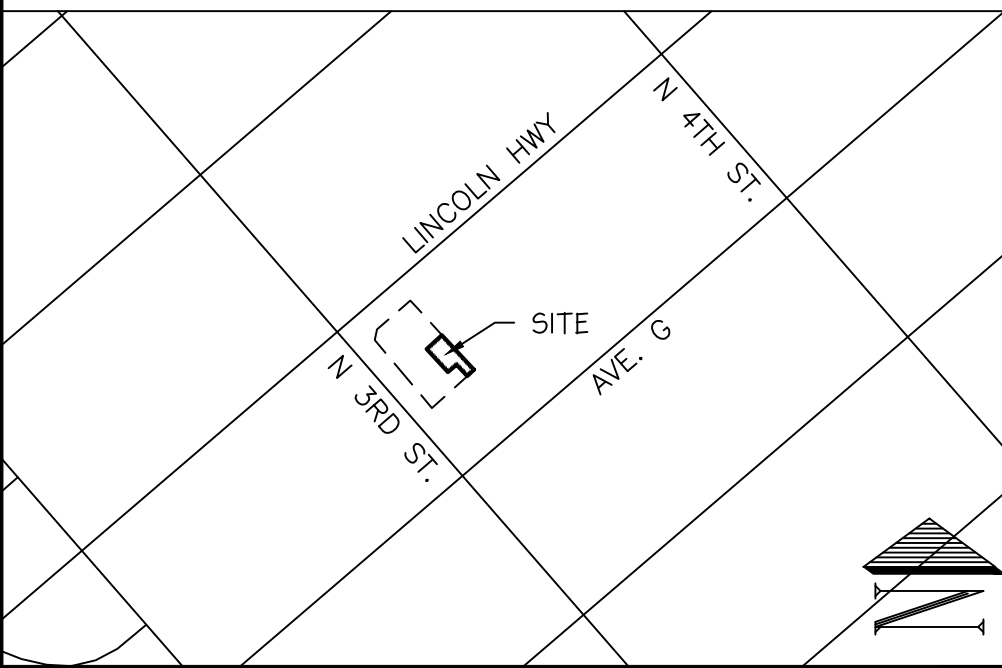
PA UNIFORM CONSTRUCTION CODE (UCC)
 2018 INTERNATIONAL BUILDING CODE (IBC)
 2018 INTERNATIONAL BUILDING CODE: CHAPTER 11 & APPENDIX E (ACCESSIBILITY)
 2017 ANSI A117.1 (ACCESSIBILITY)
 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) NOTE: SEE PA AMENDMENTS FOR MODIFICATIONS & EXCLUSIONS.
 2018 INTERNATIONAL ENERGY CONSERVATION CODE: SECTION 102.1.1 (ABOVE CODE PROGRAMS), 104.3 (FINAL INSPECTION), & 403.2.3 (BUILDING CAVITIES).
 2018 INTERNATIONAL ENERGY CONSERVATION CODE: SECTION R403.3.6 (DUCTS BURIED WITHIN CEILING INSULATION), R403.3.7 (DUCTS IN CONDITIONED SPACE), & R406.4 FOOTNOTE "a" (MAX ENERGY RATING INDEX).
 NFPA 70-2014 NATIONAL ELECTRICAL CODE (NEC)

PROJECT OVERVIEW

INTERIOR RENOVATIONS TO EXISTING BUILDING TO CONVERT RESTAURANT TO CONVENIENCE STORE INCLUDING REFACING 2 EXISTING BUILDING SIGNS AND 1 EXISTING FREESTANDING SIGN.

DEFERRED SUBMITTALS

SITE LOCATION MAP



OWNER

PAK786LLC
 481 WHEATFIELD DR.
 LITITZ, PA. 17543
 717-513-0082

CODE OFFICIALS

COLUMBIA BOROUGH
 308 LOCUST STREET
 COLUMBIA, PA 17512
 (717) 684-2467

DRAWING INDEX

DWG #	DESCRIPTION	DATE
CS	COVER SHEET	08/31/22
SP1.1	SITE PLAN	08/31/22
A1.1	PROPOSED FLOOR PLAN	08/31/22
A1.2	PROPOSED REFLECTED CEILING PLAN	08/31/22
A2.1	BUILDING ELEVATIONS	08/31/22

CONSULTANTS

GENERAL NOTES

- SILL PLATES ON A CONCRETE MASONRY SLAB WHICH IS IN DIRECT CONTACT WITH EARTH SHALL BE OF APPROVED NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
- SAFETY GLAZING SHALL BE PROVIDED AT ALL HAZARDOUS LOCATIONS.
- FIRE BLOCKING IS REQUIRED AT THE CONNECTION OR JUNCTURE BETWEEN HORIZONTAL SPACES THAT OCCUR AT SOFFITS, OVER CABINETS, DROOP CEILING (i.e. ACOUSTICAL TILE CEILINGS), COVE CEILING AND SIMILAR LOCATIONS.
- ALL CONTROLS, OPERATING MECHANISMS AND HARDWARE SUCH AS FAUCET HANDLES FOR SINKS (EXCEPT UTILITY / MOP SINKS), VENTILATION SYSTEMS CONTROLS, ELECTRICAL OUTLETS ETC., SHALL BE HANDICAP ACCESSIBLE WHEN LOCATED ALONG ACCESSIBLE ROUTES AND / OR WHEN THEY ARE LOCATED IN ACCESSIBLE SPACES.
- ALL DOORS SHALL BE EQUIPPED WITH APPROVED HARDWARE FOR USE BY THE PHYSICALLY HANDICAPPED.
- NO SIGNS ARE INCLUDED IN THIS APPROVAL. ALL SIGNS SHALL BE INSTALLED UNDER A SEPARATE SIGN PERMIT ISSUED AND APPROVED BY TOWNSHIP.
- PROVIDE A CONVENIENCE OUTLET ON THE SAME LEVEL, WITHIN 25 FEET OF ALL MECHANICAL EQUIPMENT.
- PROVIDE A DISCONNECTING MEANS AT ALL MOTORS, APPLIANCES AND HEATING EQUIPMENT.
- ALL WATER CLOSETS SEATS SHALL BE OF THE HINGED OPEN FRONT TYPE.
- THE WATER CLOSETS SHALL BE OF THE ELONGATED TYPE.
- JOINTS FORMED WHERE PLUMBING FIXTURES COME IN CONTACT WITH WALL OR FLOORS SHALL BE SEALED.
- OUTSIDE ABOVE GRADE GAS PIPING SHALL BE SECURELY SUPPORTED AND PROTECTED FROM PHYSICAL DAMAGE.
- THE POTABLE WATER SYSTEM PIPING IS REQUIRED TO BE PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. THE TOWNSHIP REQUIRES EVIDENCE OF SATISFACTORY DISINFECTION PRIOR TO GIVING FINAL PLUMBING / BUILDING APPROVAL.
- AIR DISTRIBUTION SYSTEMS WITH A CAPACITY GREATER THAN 2,000 CFM ARE REQUIRED TO BE EQUIPPED WITH APPROVED SMOKE DETECTORS IN THE RETURN AIR DUCT OF PLENUM UPSTREAM OF ANY FILTERS OR DECONTAMINATION EQUIPMENT. SMOKE DETECTORS MUST BE SUPERVISED BY A FIRE ALARM CONTROL PANEL AND COMPATIBLE WITH THE FIRE ALARM SYSTEM.
- A CLEARANCE OF 1" SHALL BE PROVIDED AROUND ALL PIPES PASSING THROUGH CONCRETE SLABS AND WALL. A SUITABLE MATERIAL SHALL BE USED TO SEAL THE ANNULAR SPACE AROUND THE PIPE. THE MATERIAL USED SHALL ALLOW PIPE MOVEMENT WHEN THE BUILDING STRUCTURE MOVES INDEPENDENTLY OF THE PIPING.
- CONTRACTOR TO PROVIDE SIGNED AND SEALED COPIES OF THE TRUSS DRAWINGS WITH THE DESIGN LOADS FOR EACH TRUSS. THESE SHALL BE SUBMITTED A MINIMUM OF 2 WEEKS IN ADVANCE OF THE EXPECTED ROOF FRAMING INSPECTION.
- GAS PIPING, OUTSIDE AND ABOVE GROUND SHALL BE SECURELY SUPPORTED AND PROTECTED FROM PHYSICAL DAMAGE. ALL GAS PIPING THAT PENETRATES A FOUNDATION WALL MUST BE ABOVE GRADE.
- THE HVAC SYSTEM DESIGN SHALL MEET ALL REQUIREMENTS OF THE 2009 INTERNATIONAL MECHANICAL CODE.
- ALL WORK WITHIN DEMISED PREMISES TO COMPLY WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (ADA), ALL STATE AND LOCAL CODES AND LANDLORD'S CRITERIA.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES.
- ALL NECESSARY PERMITS TO BE OBTAINED BY CONTRACTOR AND SUBCONTRACTOR AS REQUIRED.
- FIRE EXTINGUISHERS TO BE INSTALLED AS REQUIRED.
- ALL INSIDE LOCKS, LATCHES, PULLS, ECT, SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE THE DEVICE. KEYS OR THUMB TURNED DEAD BOLTS ARE PROHIBITED TO BE USED ON EGRESS SIDE OF REQUIRED EXIT DOORS.
- ALL EXIT SIGNS SHALL BE INTERNALLY ILLUMINATED AND CONNECTED TO A NORMAL POWER SOURCE AND CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM IN ACCORDANCE WITH NEC ARTICLE 700.
- ALL EMERGENCY EXIT AND MEANS OF EGRESS LIGHTING SHALL BE CONNECTED TO THE SAME BRANCH CIRCUITS SERVING THE NORMAL AREA LIGHTING AND CONNECTED AHEAD OF ANY LOCAL SWITCHES AS PER NEC ARTICLE 700-12(E).
- ALL JOINTS FORMED WHERE PLUMBING FIXTURES COME IN CONTACT WITH WALLS OF FLOORS SHALL BE SEALED.
- ALL WATER HEATER PRESSURE RELIEF VALVES DISCHARGES SHALL DISCHARGE INTO DRAIN PAN OR BE PIPED TO WITHIN 6" OF THE FLOOR.

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	INT	INTERIOR
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
ALUM	ALUMINUM	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MTL	METAL
BLKG	BLOCKING	MEZZ	MEZZANINE
BSMT	BASEMENT	MIN	MINIMUM
CLG	CEILING	MTD	MOUNTED
CLR	CLEAR	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	PART	PARTITION
CONST	CONSTRUCTION	PLAM	PLASTIC LAMINATE
CONT	CONTINUOUS	PLYWD	PLYWOOD
DEMO	DEMOLITION	QTY	QUANTITY
DET	DETAIL	RAD	RADIUS
DIA	DIAMETER	REQ'D	REQUIRED
DIM	DIMENSION	REV	REVISION
DWG	DRAWING	RM	ROOM
DF	DRINKING FOUNTAIN	SCHED	SCHEDULE
EA	EACH	SECT	SECTION
ELEC	ELECTRIC	SHT	SHEET
ELEV	ELEVATION	SIM	SIMILAR
EQ	EQUAL	SC	SOLID CORE
EXIST	EXISTING	SF	SQUARE FEET
EXP	EXPOSED	STL	STEEL
EXT	EXTERIOR	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURE
FIN	FINISH	SUSP	SUSPENDED
FLR	FLOOR	TBD	TO BE DETERMINED
FND	FOUNDATION	TEMP	TEMPERED
FURN	FURNISH	T & G	TONGUE AND GROOVE
GWB	GYPSUM WALL BOARD	TYP	TYPICAL
HC	HOLLOW CORE	VCT	VINYL COMPOSITION TILE
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HR	HOUR	VERT	VERTICAL
HWH	HOT WATER HEATER	WD	WOOD
INSUL	INSULATION	WDW	WINDOW

CODE ANALYSIS

	2018 IBC AND IEBC	SECTION	REMARKS
CLASSIFICATION OF WORK: "LEVEL 3 ALTERATIONS"			
CHAPT 3	USE & OCCUPANCY	M (MERCANTILE)	302
CHAPT 4	SPECIAL REQUIREMENTS		
	N/A	N/A	-
CHAPT 5	BLDG HEIGHTS & AREAS		
	ALLOWABLE BUILDING HEIGHT	40'	TABLE 504.3
	ACTUAL BUILDING HEIGHT	±14'-6"	
	ALLOWABLE STORIES (ABOVE GRADE PLANE)	1	TABLE 504.4
	ACTUAL STORIES (ABOVE GRADE PLANE)	1	
	ALLOWABLE AREA PER FLOOR	9,000 SF	TABLE 506.2
	AREA MODIFICATIONS (USE & STORIES)	N/A	506.2.1-506.2.4
	AREA MODIFICATIONS (FRONTAGE)	N/A	506.3
	ACTUAL AREA PER FLOOR	±1,414 SF	
	MIXED USE AND OCCUPANCY (METHOD OF COMPLIANCE)	N/A	508
CHAPT 6	TYPES OF CONSTRUCTION		
	TYPE OF CONSTRUCTION	VB	602
	STRUCTURAL FRAME	0-HR	TABLE 601
	EXTERIOR BEARING WALLS	0-HR	TABLE 601
	INTERIOR BEARING WALLS	0-HR	TABLE 601
	EXTERIOR WALLS (FIRE SEPARATION DISTANCE)	0-HR	TABLE 602
	INTERIOR NON-BEARING WALLS	0-HR	
	FLOOR CONSTRUCTION	0-HR	TABLE 601
	ROOF CONSTRUCTION	0-HR	
CHAPT 7	FIRE & SMOKE PROTECTION		
	STRUCTURAL MEMBERS	0-HR	704
	EXTERIOR WALLS (OPENINGS)	N/A	705
	FIRE WALLS	N/A	706
	FIRE BARRIERS	N/A	707
	FIRE PARTITIONS	N/A	708
	SMOKE BARRIERS	N/A	709
	SMOKE PARTITIONS	N/A	710
	FLOOR & ROOF ASSEMBLIES	N/A	711
	VERTICAL OPENINGS	N/A	712
	SHAFT ENCLOSURES	N/A	713
	PENETRATIONS	N/A	714
	JOINT SYSTEMS	N/A	715
	OPENING PROTECTIVES	N/A	716
	DUCT & TRANSFER OPENINGS	N/A	717
	CONCEALED SPACES	N/A	718
CHAPT 8	INTERIOR FINISHES		
	INT EXIT STAIRS/RAMPS & EXIT PASSAGEWAYS	N/A	
	CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRS/RAMPS	N/A	TABLE 803.1.1
	ROOMS & ENCLOSED SPACES	C	
CHAPT 9	FIRE PROTECTION SYSTEMS		
	AUTOMATIC SPRINKLER SYSTEM	NOT REQUIRED	903
	ALTERNATIVE AUTO FIRE EXTINGUISHING SYSTEM	N/A	904
	STANDPIPE SYSTEM	N/A	905
	PORTABLE FIRE EXTINGUISHERS	REQUIRED*	906 *MAX 75' TRAVEL DISTANCE
	FIRE ALARM & DETECTION SYSTEM	NOT REQUIRED	907
	EMERGENCY ALARM SYSTEM	N/A	908
	SMOKE CONTROL SYSTEM	N/A	909
	SMOKE AND HEAT VENTS	N/A	910
	FIRE PUMP PROTECTION	N/A	913
	CARBON MONOXIDE DETECTION	N/A	915

CODE ANALYSIS CONTINUED

CHAPT 10	MEANS OF EGRESS	M (MERCANTILE)	SECTION	REMARKS
	OCCUPANT LOAD	MERCANTILE: 660/60 = 11 OCC STORAGE: 784/300 = 3 OCC TOTAL: = 14 OCC	TABLE 1004.1.2	-
	EGRESS SIZING	MIN 36" AISLE WIDTH	1005	-
	NUMBER OF EXITS & EXIT ACCESS DOORWAYS	1	1006	-
	EGRESS ILLUMINATION (EMERGENCY)	REQUIRED	1008	-
	EXIT SIGNS	REQUIRED	1013	-
	EXIT ACCESS TRAVEL DISTANCE	200' (MAX)*	1017	*W/O SPRINKLER
	EXIT ACCESS STAIRS & RAMPS	N/A	1019	-
	CORRIDORS	N/A	TABLE 1020.1	-
	INTERIOR EXIT STAIRS & RAMPS	N/A	1023	-
	EXIT PASSAGEWAYS	N/A	1024	-
	HORIZONTAL EXITS	N/A	1026	-
	EXTERIOR EXIT STAIRS & RAMPS	N/A	1027	-
CHAPT 29	PLUMBING			
	WATER CLOSETS @ 1:500	(1) PROVIDED*	TABLE 2902.1	*SEPARATE FACILITIES SHALL NOT BE REQ'D IN MERCANTILE OCCUPANCIES IN WHICH THE MAX OCCUPANT LOAD IS 100 OR LESS.
	LAVATORIES @ 1:750	(1) PROVIDED*	TABLE 2902.1	
	DRINKING FOUNTAINS @ 1:1000	(1) PROVIDED*	TABLE 2902.1	*VA WATER DISPENSER IN SODA FOUNTAIN.
	SERVICE SINKS @ 1 REQ'D	(1) PROVIDED*	TABLE 2902.1	

SYMBOLS

(S) SMOKE DETECTOR	(I) ILLUMINATED EXIT SIGN	# PARTITION TYPE	1-HR FIRE RATED ASSEMBLY	EXIST PARTITION TO REMAIN
(H) HEAT DETECTOR	(I) ILLUMINATED EXIT SIGN WITH LIGHTS	# SECTION NUMBER	2-HR FIRE RATED ASSEMBLY	EXIST PARTITION TO BE DEMO'D
(CO) CARBON MONOXIDE DETECTOR	(NI) NON-ILLUMINATED EXIT SIGN	# SHEET NUMBER	# GENERAL KEYNOTE	MASONRY
(FE) FIRE EXTINGUISHER (SURFACE MOUNT)	(DL) DUAL HEAD EMERGENCY LIGHT	ELEV #/SHT #	(DH) DOOR KEYNOTE (REFER TO SCHED)	CONCRETE
(FC) FIRE EXTINGUISHER (CABINET)	(DL) DUAL HEAD EMERGENCY LIGHT	DESCRIPTION HEIGHT	(WH) WINDOW KEYNOTE (REFER TO SCHED)	BRICK
(F) MANUAL PULL FIRE ALARM STATION	(A) EXIT ACCESS TRAVEL PATH		# REVISION KEYNOTE (REFER TO TITLE BLOCK)	MTL STUD PARTITION
(H) HORN-STROBE				WD STUD PARTITION

ISSUE FOR PERMIT

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THESE DRAWINGS HAVE BEEN PREPARED AS DESIGN/BUILD DOCUMENTS FOR USE BY THE DESIGN/BUILD CONTRACTOR AND ARE NOT COMPLETE IN SCOPE AND DETAIL FOR USE AS A SET OF CONSTRUCTION DOCUMENTS. DESIGNER ACKNOWLEDGES AND AGREES THAT THE DRAWINGS ARE INCOMPLETE AND SHALL BE RESPONSIBLE TO OBTAIN CLARIFICATION OF THE INTENDED SCOPE OF WORK FROM THE DESIGN/BUILD CONTRACTOR AND PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM FOR THEIR RESPECTIVE TRADES.

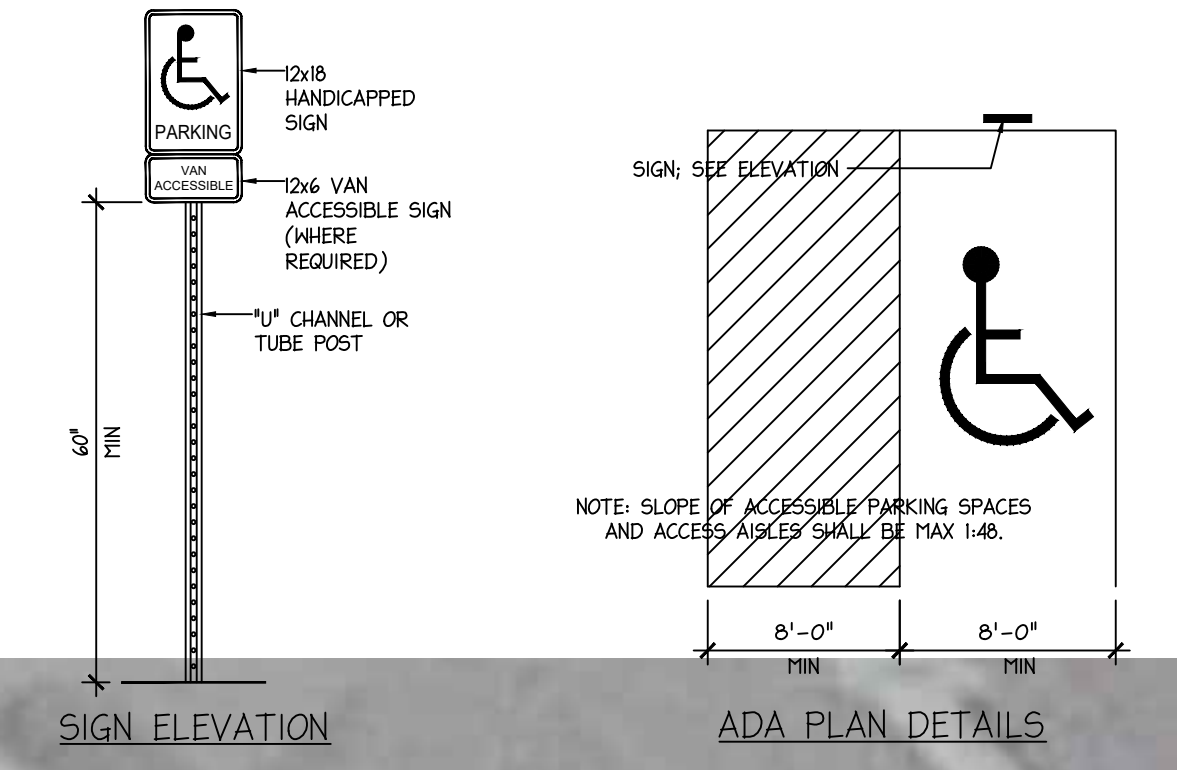
DRAWN BY: NORMAN GOOD
 CHECKED BY: CALABRESE
 APPROVED BY: CALABRESE
 JOB NO.: 220864
 SCALE: AS NOTED
 DATE: 08/31/22

DRAWING TITLE: COVER SHEET
 DRAWING NO.: CS

RENOVATIONS FOR:
SMOKE & CHILL
 COLUMBIA BOROUGH
 149 N. 3RD ST. COLUMBIA, PA. 17512



REVISIONS	NO.	DATE	REMARKS
△	-	-	-



ADA PARKING DETAIL
SCALE: NTS



SITE PLAN

SCALE: 1/8" = 1'-0"

RENOVATIONS FOR:
SMOKE & CHILL
COLUMBIA BOROUGH
149 N. 3RD ST. COLUMBIA, PA. 17512

ISSUE FOR PERMIT

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DRAWN BY: NORMAN
CHECKED BY: GOOD
APPROVED BY: CALABRESE
JOB NO.: 220864
SCALE: AS NOTED
DATE: 08/31/22

DRAWING TITLE
SITE PLAN

DRAWING NO.
SP1.1



ACCESSIBILITY NOTES

- NO DRINKING FOUNTAIN IS PROVIDED DUE TO ADA COMPLIANT WATER DISPENSERS LOCATED IN SODA FOUNTAIN
- SEE SHEET A1.0 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- ALL ACCESSIBLE DEVICES (THERMOSTATS, FIRE EXTINGUISHERS, MICROWAVE, TIMECLOCKS, SWITCHES, FIRE ALARM PULL STATIONS, ETC. SHALL BE WITHIN THE REQUIRED REACH RANGE AS SPECIFIED ON SHEET CC.
- PROVIDE TACTILE SIGNAGE AS REQUIRED PER SECTION 703 OF THE ICC A117.1-2009. DOOR HARDWARE HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (865 MM) MINIMUM AND 48 INCHES (1220 MM) MAXIMUM ABOVE THE FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

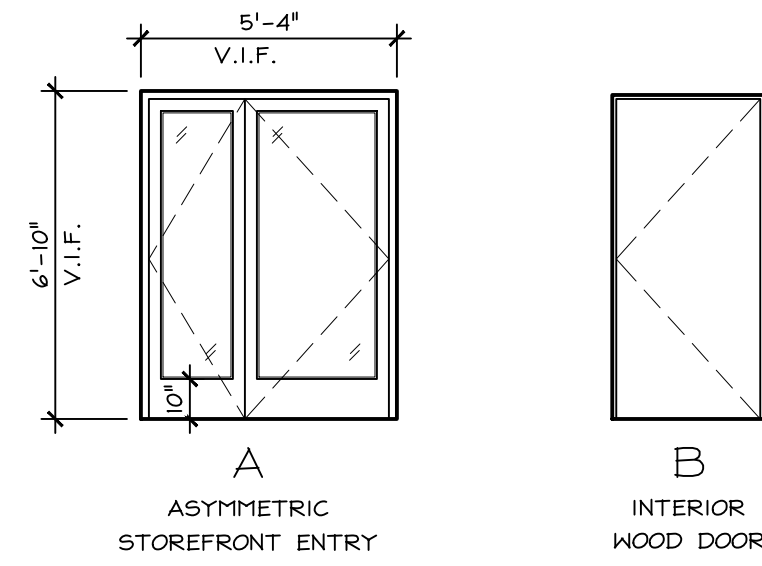
DOOR SCHEDULE

NO	SIZE	DOOR								REMARKS	
		TYPE	LABEL	MAT'L	FIN	LOCK	CLOSER	MAT'L	FIN		TYPE
D1	5'-0" x 6'-8"	A		ALUM	ANOD	YES	YES	METAL	ANOD	1	ASYMMETRIC EXTERIOR DOUBLE DOOR, FULL LITE
D2	3'-0" x 6'-8"	B		WOOD	PAINT	YES	NO	METAL	PAINT	2	INTERIOR WOOD DOOR
D3	3'-0" x 6'-8"	B		WOOD	PAINT	YES	NO	METAL	PAINT	2	INTERIOR WOOD DOOR

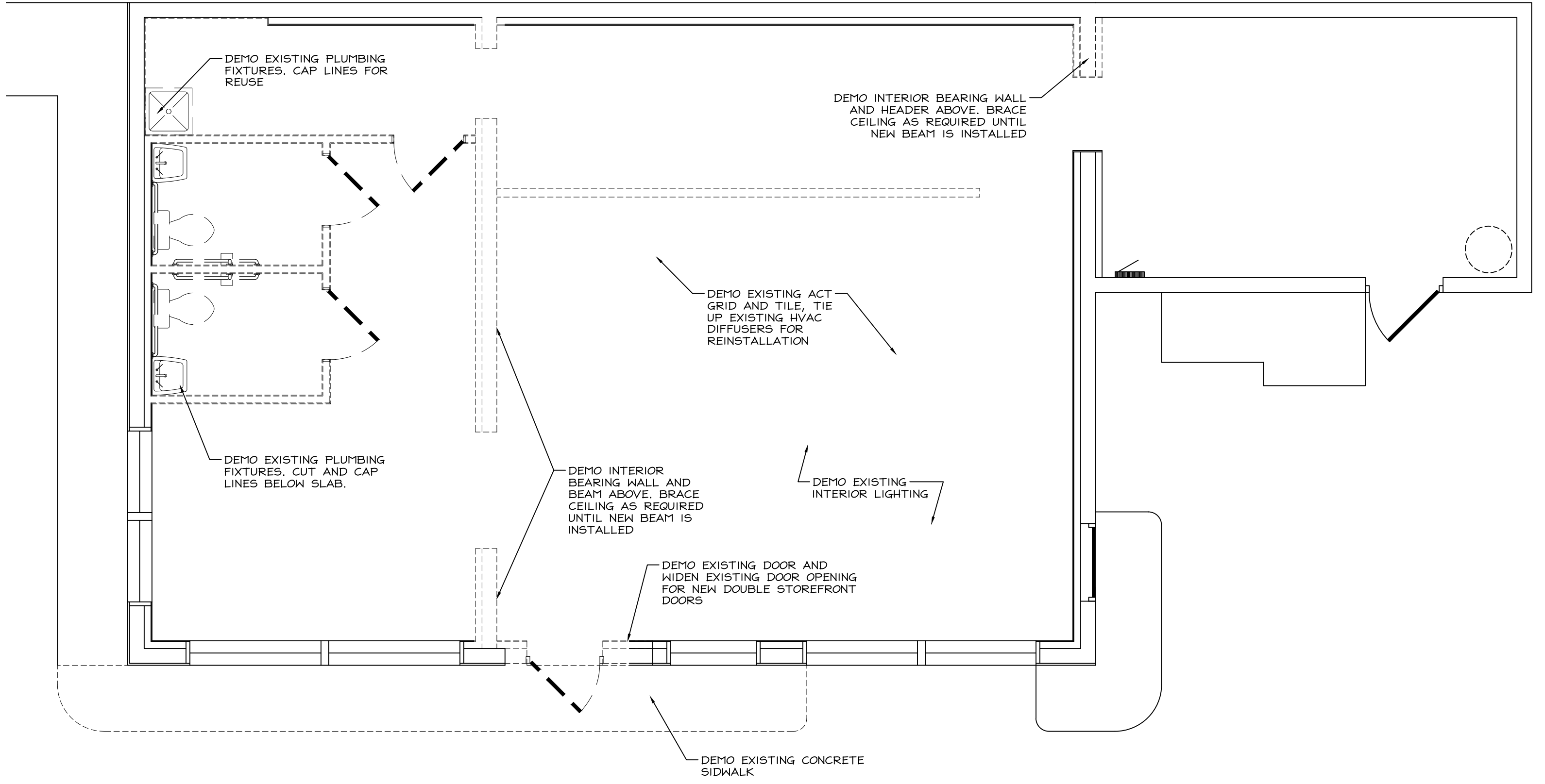
HARDWARE SCHEDULE

1	KEYED LEVER LOCKSET, CLOSER, HINGES, SILENCERS, FLOOR DOOR BUMPER
2	PRIVACY LEVER LOCKSET, CLOSER, HINGES, WALL DOOR BUMPER

DOOR TYPES



DURING DEMOLITION, CONTRACTOR TO VERIFY LOCATION AND CONDITION OF ALL STRUCTURAL MEMBERS. REPORT ANY DISCREPANCIES TO ARCHITECT.



DEMO PLAN

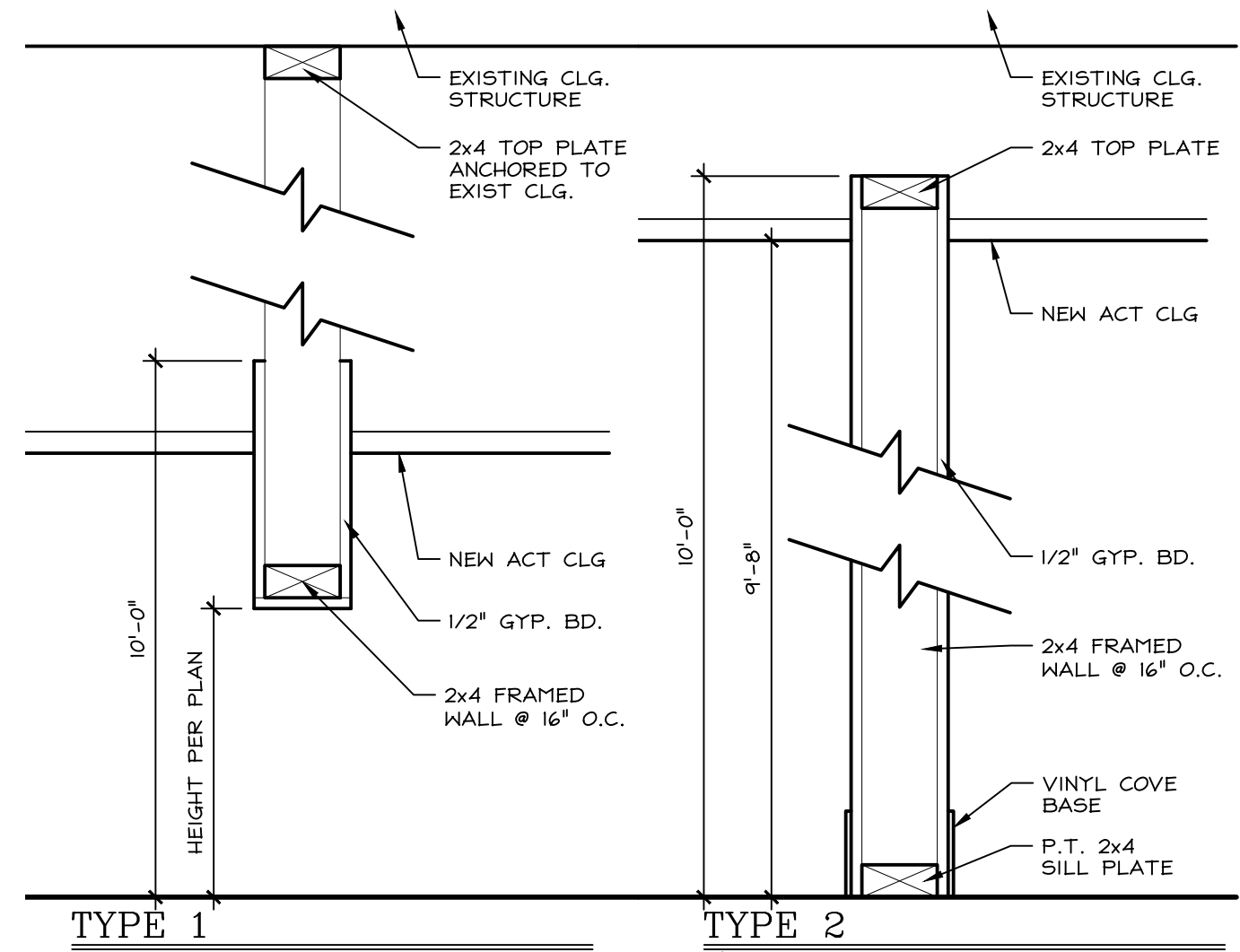
SCALE: 1/4" = 1'-0"

1
A1.1

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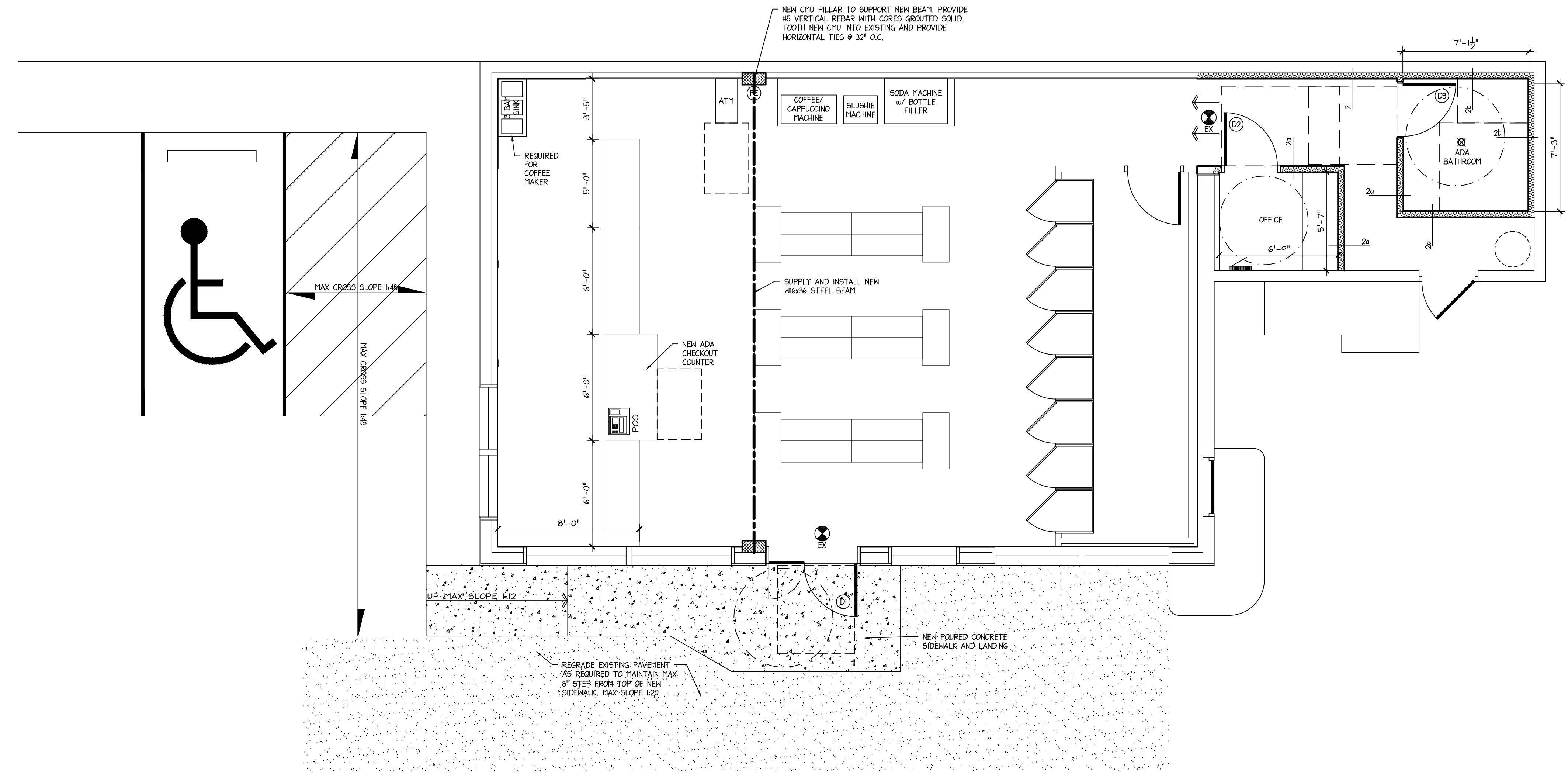
REVISIONS	NO.	DATE	REMARKS
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- 2a PROVIDE SOUND ATTENUATING BATTS IN BATHROOM HALLS. SUBSTITUTE 1/2\"/>
- 2b SIMILAR 2a. INSTALL FRP TO 48\"/>

WALL TYPES

SCALE: 1/2" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

2
A1.1

RENOVATIONS FOR:
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COLUMBIA BOROUGH
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DRAWN BY: **NORMAN GOOD**
CHECKED BY: **GOOD**
APPROVED BY: **CALABRESE**
JOB NO.: **220864**
SCALE: **AS NOTED**
DATE: **08/31/22**

DRAWING TITLE
PLAN

DRAWING NO.
A1.1

REVISIONS	NO.	DATE	REMARKS
△			

RENOVATIONS FOR:
SMOKE & CHILL
 COLUMBIA BOROUGH
 149 N. 3RD ST. COLUMBIA, PA. 17512

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DRAWN BY: NORMAN GOOD
 CHECKED BY: CALABRESE
 APPROVED BY: 220864
 JOB NO.: AS NOTED
 SCALE: 08/31/22
 DATE:

DRAWING TITLE: REFLECTED CEILING PLAN
 DRAWING NO.: A1.2

ELECTRICAL SPECIFICATIONS

- GENERAL REQUIREMENTS**
- AN ELECTRICAL INSPECTION CERTIFICATE SHALL BE PROVIDED FROM A STATE LICENSED AND AUTHORITY APPROVED INSPECTION AGENCY. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE ELECTRICAL INSPECTION.
 - UPON COMPLETION OF WORK, ELECTRICAL CONTRACTOR SHALL FURNISH TO OWNER A CERTIFICATE OF APPROVAL, ISSUED BY LOCAL AUTHORITIES OR BY AN ELECTRICAL INSPECTION AGENCY LICENSED BY LOCAL AUTHORITIES TO PERFORM SUCH INSPECTIONS.
 - CONDUIT SHALL BE CONCEALED WHERE POSSIBLE AND SHALL RUN PARALLEL OR PERPENDICULAR TO WALLS OR FLOORS.
 - PROVIDE IDENTIFICATION OF ALL BRANCH CIRCUITS ON A TYPED/PRINTED DIRECTORY CARD, PERMANENTLY ATTACHED TO THE DOOR OF EACH LIGHTING AND DISTRIBUTION PANEL.
 - CLEAN EQUIPMENT, LIGHT FIXTURES, AND CONSTRUCTION SITE AT COMPLETION OF PROJECT. REMOVE TEMPORARY WORK WHEN CONSTRUCTION IS COMPLETE.
 - CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS, PRIOR TO SUBMISSION OF BID. ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND BE INCLUDED IN FINAL BID.
 - MATERIALS AND EQUIPMENT SHALL BE GUARANTEED FREE FROM DEFECTS FOR ONE (1) YEAR FROM DATE OF OWNER ACCEPTANCE, AND BE REPAIRED, IF REQUIRED, AT NO EXPENSE TO OWNER, DURING 1ST YEAR.
 - SIGN CONTRACTOR SHALL INSTALL ALL SIGNS. ELECTRICAL CONTRACTOR SHALL PROVIDE FINAL HOOK-UP OF SIGNS FROM SIGN TO JUNCTION BOX. SIGN CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING OPERATION OF SIGNS, AFTER FINAL HOOK-UP BY ELECTRICIAN.
 - SIZE AND LOCATION OF ALL EQUIPMENT SHOWN ON DRAWINGS IS FOR SCHEMATIC PURPOSES TO SHOW GENERAL ORIENTATION ONLY. DRAWINGS SHALL NOT BE USED FOR FINAL DIMENSIONING UNLESS DIMENSIONS ARE SPECIFICALLY NOTED ON DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE FOR DETERMINING LOCATION & SUPPORT OF ELECTRICAL RACEWAY AND EQUIPMENT. CONTRACTOR SHALL COORDINATE WITH OTHERS TO VERIFY SIZE/LOCATION AND ASSOCIATED ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT.
 - WORK SHALL ADHERE TO THE 2014 NEC.
 - ALL EQUIPMENT SHALL BE UL LISTED AND LABELED WHERE APPLICABLE.
 - ALL POWER BRANCH CIRCUITS SHALL INCLUDE A GROUNDING CONDUCTOR SIZED PER NEC TABLE 250-122, MINIMUM #12 AWG.
 - INTERCONNECTING WIRING AND SWITCH SHALL BE #12 AWG, #12/20, 3/4" (OR EQUAL MC CABLE) UNLESS NOTED OTHERWISE.

WORKMANSHIP, RESPONSIBILITY AND WARRANTIES

- ENTIRE INSTALLATION SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATING AND BALANCED ACROSS ALL THREE PHASES.
- ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL OWNER ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THERE BY.
- ELECTRICAL CONTRACTOR SHALL WEDGER TEST ALL MOTORS AND FEEDERS PRIOR TO ENERGIZING. REPLACE DEFECTIVE FEEDERS AND NOTIFY OWNER OF ANY DEFECTIVE MOTORS.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE PROJECT WORK.

UNDERGROUND WORK

- BURIAL DEPTH FOR CONDUIT SHALL BE 24 INCHES MINIMUM EXCEPT ELECTRIC SERVICE CONDUIT BURIAL DEPTH SHALL BE THE MINIMUM DEPTH REQUIRED BY THE UTILITY. PROVIDE ALL TRENCHING AND BACKFILL. BACKFILL SHALL BE PLACED IN LOOSE LAYERS NOT EXCEEDING 8" AND THOROUGHLY COMPACTED. REMOVE 2" OR LARGER STONES AND FOREIGN MATERIAL FROM BACKFILL. MATCH EXISTING GRADE.
- ENCASE AND REINFORCE ALL CONDUITS IN CONCRETE IN ROAD CROSSING AND AREAS SUBJECT TO VEHICULAR TRAFFIC. REINFORCEMENT SHALL CONSIST OF:
 - #5 (MINIMUM) TRANSVERSE REINFORCING BARS (U-BARS) AT 12-INCH MAXIMUM SPACING ALONG LENGTH OF DUCT BANK.
 - #6 (MINIMUM) LONGITUDINAL REINFORCING BARS AT 12-INCH MAXIMUM SPACING TOP AND BOTTOM AND ON EACH SIDE OF THE DUCT BANK SECTION.
 - REINFORCING CONCRETE COVER SHALL BE A MINIMUM OF 3-INCHES BOTTOM AND SIDES. REINFORCING CONCRETE COVER SHALL BE A MINIMUM OF 2-INCHES TOP.

MOUNTING HEIGHTS

- UNLESS OTHERWISE SPECIFICALLY INSTRUCTED, LOCATE MOUNTING HEIGHTS FROM FINISHED FLOOR OR GRADE TO CENTERING OF BOX, CABINET OR APPARATUS.
 - LIGHTING FIXTURES: COORDINATE AS REQUIRED.
 - EMERGENCY LIGHT UNIT & EXIT SIGNS - 7'-6" AFF.
 - LIGHTING SWITCHES: 3'-6" AFF. NOMINAL. MAXIMUM 3'-9" AFF (COMPLY W/ ADA REQUIREMENTS)
 - RECEPTACLES: 18" AFF. NOMINAL - COORDINATE AS REQUIRED.
 - CONTROL PANELS, DISC. SWITCHES, PANELBOARDS: 4'-6" NOMINAL. TOP OF EQUIPMENT 6'-6" MAX.

AREA CLASSIFICATION

- EQUIPMENT RATINGS, RACEWAY, AND INSTALLATION SHALL MEET THE FOLLOWING AREA CLASSIFICATION REQUIREMENTS, UNLESS NOTED OTHERWISE.
 - OUTDOOR ABOVE GRADE - WET LOCATION: ENCLOSURES - NEMA 3R. CONDUITS - EMT, RIGID GALVANIZED STEEL OR SCHEDULE 40 RIGID PVC (MIN).
 - OUTDOOR BELOW GRADE: CONDUITS - SCHEDULE 40 RIGID PVC.
 - BUILDING INTERIOR LOCATIONS: ENCLOSURES - NEMA 1. CONDUITS - EMT, RIGID GALVANIZED STEEL, SCHEDULE 40 RIGID PVC.

RACEWAY

- REFER TO THE ABOVE AREA CLASSIFICATION FOR RACEWAY REQUIREMENTS IN EACH AREA.
- FLEXIBLE CONDUIT, IF REQUIRED 4 FEET MAX LENGTH.

WIRE KEY	CONDUCTORS	CONDUIT
A2	2 #12, #12 GND	3/4"
A3	3 #12, #12 GND	3/4"
B2	2 #10, #10 GND	3/4"
B3	3 #10, #10 GND	3/4"
C2	2 #8, #10 GND	3/4"
C3	3 #8, #10 GND	3/4"
D2	2 #6, #10 GND	1"
D3	3 #6, #10 GND	1"
E2	2 #4, #8 GND	1 1/4"
E3	3 #4, #8 GND	1 1/4"
F2	2 #3, #8 GND	1 1/4"
F3	3 #2, #8 GND	1 1/4"
G2	2 #2, #8 GND	1 1/4"
G3	3 #2, #8 GND	1 1/4"
G4	4 #2, #8 GND	1 1/2"
S4	#500 MCW, #3 GND	4"

PANEL SCHEDULE															
PANEL: P		VOLTS: 120/240V			PHASE: 3			WIRE: 4			LOCATION: BASEMENT				
TYPE: EXISTING		AMPS: 200			POLES: 40			MOUNTING: SURFACE MOUNT							
DESCRIPTION	POL	L1	L2	LOAD			#	LOAD			POL	DESCRIPTION			
				A	B	C		A	B	C					
COFFEE BREWER #20	2	50	D2	14.5	-	-	3	4	-	-	50	3	EXISTING A.C./HEATING UNIT		
SLUSHIE DISPENSER	-	-	-	-	-	9.6	5	6	-	-	-	-	-		
CONVENIENCE RECEPT	1	20	A2	-	4.5	-	1	2	-	1.9	-	-	COOLER DOOR LIGHTS (DL)		
POS. RECEPTACLE	1	20	A2	-	-	-	3	11	-	-	25	A2	20	1	COOLER DEFROST FAN (CDF)
(CCU) COOLER CONDENSER UNIT	2	50	C3	17	-	-	13	14	-	-	-	-	-		
EXTERIOR BUILDING SIGNS	1	20	A2	-	-	-	15	16	-	1.79	-	A2	20	1	EXTERIOR LIGHTING
FREESTANDING SIGN	1	20	A2	-	2.5	-	21	22	-	7.5	-	A2	20	1	INTERIOR LIGHTING
SODA FONTAIN	-	-	-	-	-	-	5.7	23	24	-	20	B2	30	1	(H42) KWICKSHOT TEF024V20
-	-	-	-	-	-	-	-	25	26	-	-	-	-	-	-
-	-	-	-	-	-	-	-	27	28	-	-	-	-	-	-
-	-	-	-	-	-	-	-	29	30	-	-	-	-	-	-
-	-	-	-	-	-	-	-	31	32	-	-	-	-	-	-
-	-	-	-	-	-	-	-	33	34	-	-	-	-	-	-
-	-	-	-	-	-	-	-	35	36	-	-	-	-	-	-
-	-	-	-	-	-	-	-	37	38	-	-	-	-	-	-
-	-	-	-	-	-	-	-	39	40	-	-	-	-	-	-
PHASE SUBTOTAL				31.5			38.5			23.3					
TOTAL PHASE A				31.5											
TOTAL PHASE B (HIGH LEG)				41.4											
TOTAL PHASE C				50.0											
GRAND TOTAL				134.58											

NOTE: ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CIRCUITRY AND RECONFIGURE AS REQUIRED. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.

- COORDINATE RECEPTACLE/DISCONNECT WITH GASWORKS
- COORDINATE COOLER WIRING WITH REQUIREMENTS AND EQUIPMENTS LOCATIONS WITH COOLER SUPPLIER
- CONTRACTOR TO VERIFY ALL EXISTING LOADS AND BALANCE PANEL WITHIN 10% OF EACH LEG

GROUNDING

- GROUNDING SHALL BE IN ACCORDANCE WITH NEC ARTICLE 250.
 - ALL CIRCUITS SHALL INCLUDE A DEDICATED GREEN GROUNDING CONDUCTOR SIZED PER NEC TABLE 250-122, MINIMUM #12 AWG. RACEWAY SYSTEMS SHALL NOT BE PERMITTED TO SERVE AS THE EQUIPMENT GROUND.
 - GROUND RODS SHALL BE INSTALLED IN A WETTED LOCATION (NOT BELOW PAVING OR CONCRETE TO GREATEST EXTENT POSSIBLE).
 - GROUND RODS SHALL BE 5/8" x 8' COPPER/CLAD.
 - ALL BELOW GRADE CONNECTIONS SHALL BE UL LISTED SUITABLE FOR BELOW GRADE INSTALLATIONS OR EXTERNALLY WELDED/DIRECT BURIED GROUNDING ELECTRODES CONDUCTORS SHALL BE BASE, SOFT-DRAWN, COPPER.
 - GROUNDING TYPE BUSHINGS SHALL BE USED AS REQUIRED BY CODE.
 - CONDUCTORS ALL EXISTING ABANDONED CONDUCTORS SHALL BE REMOVED.
1. MATERIAL: ALL CONDUCTORS SHALL BE COPPER UNDO. COMPACT ALUMINUM OF EQUAL OR LARGER AMPACITY RATING PERMITTED FOR SERVICE ENTRANCE CONDUCTORS AND FEEDERS TO PANELBOARDS #2 AWG AND LARGER.
2. INSULATION RATINGS: MINIMUM RATING 75 DEG C. HIGHER RATING AS INDICATED BELOW.
- A. INTERIOR BRANCH CIRCUITS: TYPE THW OR THHN/THWN IN RACEWAY.
 - TYPE MC CABLE, EQUIVALENT WIRE SIZE PER WIRING, AS PERMITTED BY CODE.
- B. MINIMUM WIRE SIZES - POWER CONDUCTORS:
 - SOLID CONDUCTOR FOR #10 AWG AND #12 AWG (STRANDED ACCEPTABLE).
 - STRANDED CONDUCTOR FOR #8 AWG AND LARGER.
3. WIRE CONNECTORS AND SPLICES:
 A. #10 AWG & SMALLER SOLID CONDUCTORS: WIRE NUTS SPLICES IN SOLID CONDUCTORS (#12 AWG OR #10 AWG). WIRE NUTS NOT ACCEPTABLE ON SPLICES IN STRANDED CONDUCTORS.
 B. #10 AWG AND SMALLER STRANDED CONDUCTORS: UL LISTED, COMPRESSION BUTT SPLICES OR BOLTED RING TONGUE TERMINALS. UTILIZE MANUFACTURER APPROVED CRIMP TOOL.
 C. #8 AWG & LARGER CONDUCTORS: POWER CONDUCTORS LARGER THAN #10 AWG, UL LISTED, SPLIT BOLT OR SUITABLE COMPRESSION TYPE CONNECTORS.
 D. PROVIDE COMPANION PREFORMED PLASTIC INSULATING COVERS OR TAPE INSULATION CONFORMING TO NEC REQUIREMENTS FOR ALL UNSULATED CONNECTIONS.
4. WIRES SHALL BE COLOR CODED AS FOLLOWS:
 A. AC UNGROUNDED PHASE A: 208V-BLACK
 B. AC UNGROUNDED PHASE B: 208V-RED
 C. AC UNGROUNDED PHASE C: 208V-BLUE
 D. AC GROUNDED NEUTRAL (GROUNDED): WHITE OR GRAY

ARC FLASH HAZARD WARNING LABELS

- 2014 NEC ARTICLE 110.16 FLASH PROTECTION: SWITCHBOARDS, PANELBOARDS, INDUSTRIAL CONTROL PANELS, AND MOTOR CONTROL CENTERS THAT ARE IN OTHER THAN DWELLING OCCUPANCIES AND ARE LIKELY TO REQUIRE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE WHILE ENERGIZED SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRICAL ARC FLASH HAZARDS.
- INFORMATIONAL NOTE 1: NFPA 70E-2012, ELECTRICAL SAFETY REQUIREMENTS FOR EMPLOYEE WORKPLACES, PROVIDES GUIDANCE, SUCH AS DETERMINING SEVERITY OF POTENTIAL EXPOSURE, PLANNING SAFE WORK PRACTICES, ARC FLASH LABELING AND SELECTING PERSONAL PROTECTIVE EQUIPMENT.
- CONTRACTOR SHALL PROVIDE A WARNING LABEL SIMILAR TO THE LABEL SHOWN ON THE DRAWINGS ALL PANELBOARDS AND DISCONNECT SWITCHES. COMPLY WITH NEC ARTICLE 110.21(B) FOR ALL LABELS.

EQUIPMENT, COMPONENTS, & WIRING DEVICES

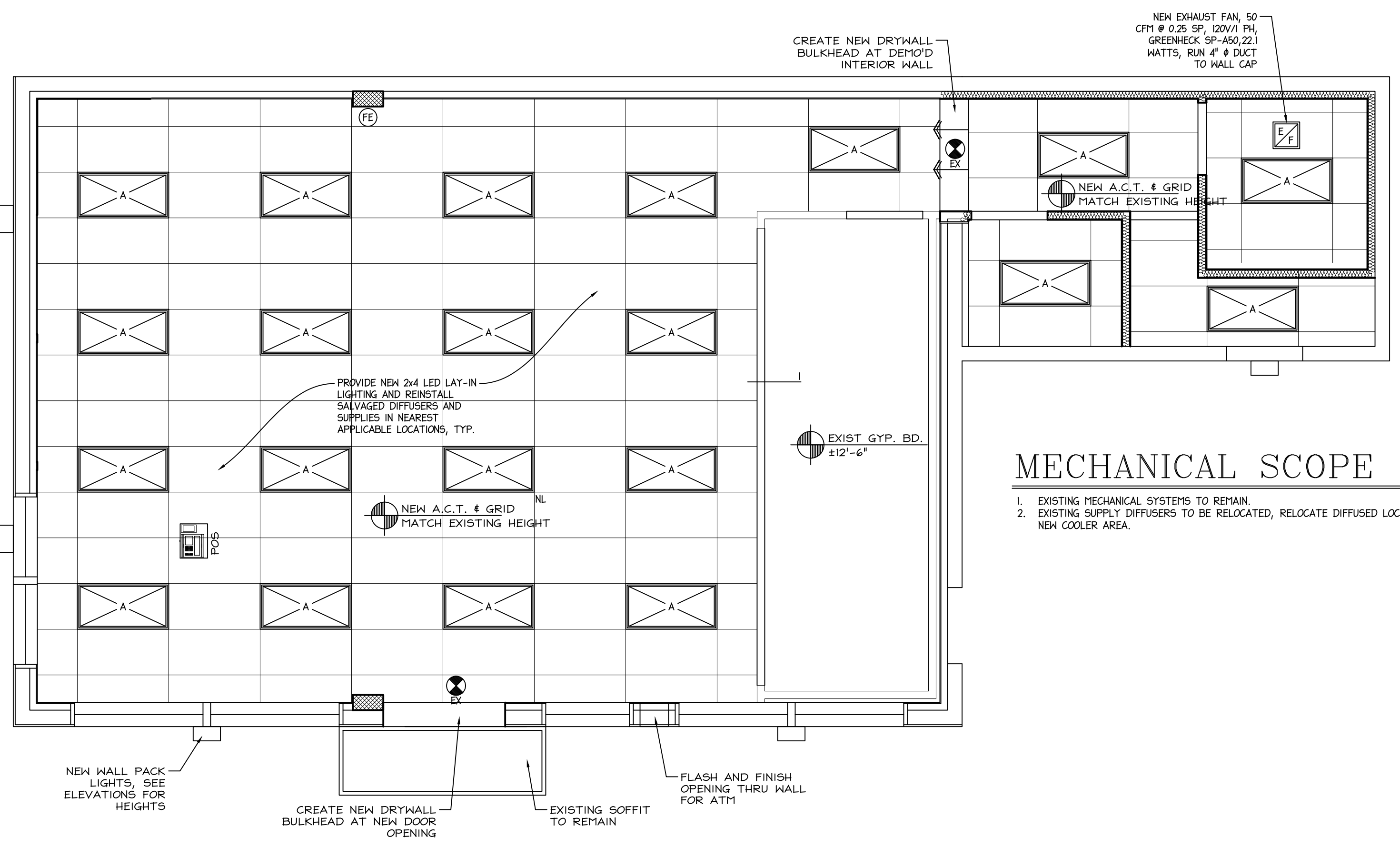
- RECEPTACLES: 20 AMP, 120 VOLTS, SPEC-GRADE, PWS #5361 (SINGLE) #5362 (DUPLIC) OR EQUAL. OUT DOOR, PWS #2091 OR EQUAL. GFI (TYPE W) OUTDOOR, PWS #2092TRW OR EQUAL WITH WEATHERPROOF WHILE-IN-USE COVER. COORDINATE COLOR OF DEVICE AND COVER PLATE W/OWNER.
- LIGHTING FIXTURES: REFER TO FIXTURE SCHEDULE (SELECTION BY ARCHITECT/OWNER)
- LIGHTING SWITCHES: 20 AMP, 120/277 VOLTS, CONVENTIONAL, 3-WAY, 4-WAY. SPEC-GRADE, PWS #20A OR EQUAL.
- PHOTOCELL: INTERMATIC K4221C (OR EQUAL)
- DISCONNECT SWITCHES: ENCLOSURE NEMA RATING AS REQUIRED. NONFUSED UNLESS NOTED OTHERWISE.
- 240V GENERAL DUTY SAFETY SWITCH: SQUARE D, CUTLER HAMMER, OR SIEMENS.
- MANUAL MOTOR STARTER DISCONNECTS: 2-POLE, 240V (MAX 1HP/50A), SQUARE D CLASS 2510 (OR EQUAL CUTLER HAMMER & SIEMENS), NEMA 1, TYPE K01 OR K02 (SURFACE MOUNT) OR TYPE K01 OR K02 (WALL BOX).
- PANELBOARD & DISTRIBUTION: SQUARE D, TYPE I/O PANELBOARD (EQUAL CUTLER HAMMER OR SIEMENS). REFER TO PANEL SCHEDULE FOR ADDITIONAL REQUIREMENTS. 208/120V, 3φ, 4W.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT, LANDLORD, OR TENDANT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK. THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS AND DEVICES AS REQUIRED BY STATE AND LOCAL CODES WHETHER INDICATED OR NOT ON CONTRACT DOCUMENTS. THE SUBMISSIONS OF A BID SHALL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN, HAD AN EXAMINATION AND CODE REVIEW BEEN MADE, WILL NOT BE ALLOWED.

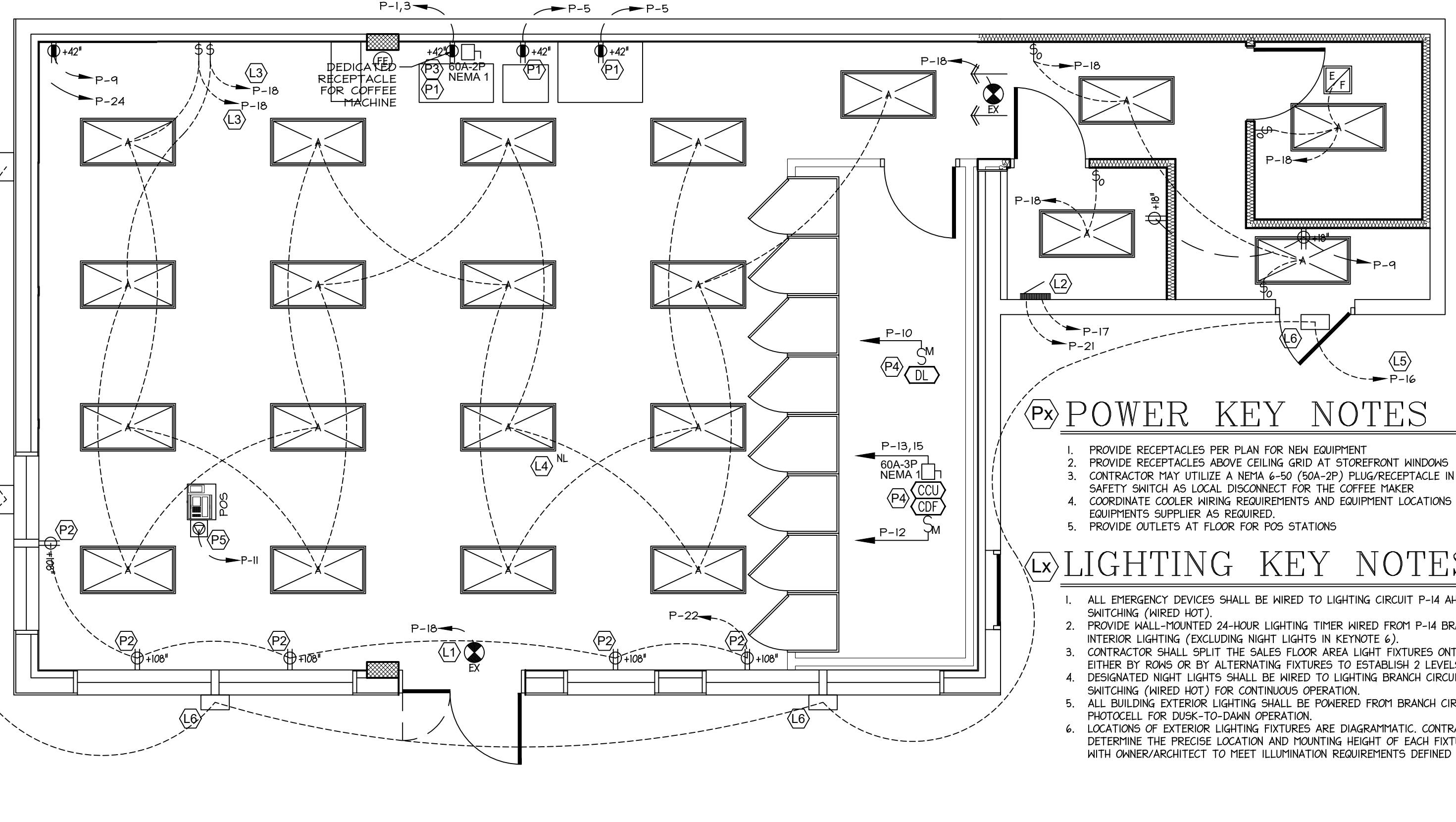
PLAN SYMBOLS LEGEND

- (ALL SYMBOLS LISTED MAY NOT PERTAIN TO EVERY PROJECT)
- WIRING DEVICES**
- - DISCONNECT SWITCH, NONFUSED, 30A-3P, NEMA 1 (UNO)
 - S_M - MANUAL STARTER SWITCH, 2-POLE, 30A, 2HP 6030VAC, SQUARE D, CAT. 2510K01 (OR EQUAL).



REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



(Px) POWER KEY NOTES

- PROVIDE RECEPTACLES PER PLAN FOR NEW EQUIPMENT
- PROVIDE RECEPTACLE ABOVE CEILING GRID AT STOREFRONT WINDOWS
- CONTRACTOR MAY UTILIZE A NEMA 6-50 (50A-2P) PLUG/RECEPTACLE IN LIEU OF 60A-2P SWITCH AS LOCAL DISCONNECT FOR THE COFFEE MAKER
- COORDINATE COOLER WIRING REQUIREMENTS AND EQUIPMENT LOCATIONS WITH THE COOLER EQUIPMENTS SUPPLIER AS REQUIRED
- PROVIDE OUTLETS AT FLOOR FOR POS STATIONS

(Lx) LIGHTING KEY NOTES

- ALL EMERGENCY DEVICES SHALL BE WIRED TO LIGHTING CIRCUIT P-14 AHEAD OF ALL SWITCHING (WIRED HOT).
- PROVIDE WALL-MOUNTED 24-HOUR LIGHTING TIMER WIRED FROM P-14 BRANCH CIRCUIT TO ALL EXTERIOR LIGHTING (EXCLUDING NIGHT LIGHTS IN KEYNOTE 6).
- CONTRACTOR SHALL SPLIT THE SALES FLOOR AREA LIGHT FIXTURES ONTO TWO (2) SWITCHES EITHER BY ROMS OR BY ALTERNATING FIXTURES TO ESTABLISH 2 LEVELS OF LIGHTING. DESIGNATED NIGHT LIGHTS SHALL BE WIRED TO LIGHTING BRANCH CIRCUIT P-14 AHEAD OF ALL SWITCHING (WIRED HOT) FOR CONTINUOUS OPERATION.
- ALL BUILDING EXTERIOR LIGHTING SHALL BE POWERED FROM BRANCH CIRCUIT P-12 VIA A PHOTOCELL FOR DUSK-TO-DAWN OPERATION.
- LOCATIONS OF EXTERIOR LIGHTING FIXTURES ARE DIAGNOSTIC. CONTRACTOR SHALL DETERMINE THE PRECISE LOCATION AND MOUNTING HEIGHT OF EACH FIXTURE. COORDINATE WITH OWNER/ARCHITECT TO MEET ILLUMINATION REQUIREMENTS DEFINED BY OTHERS.

ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0"

DIVISION 15 - MECHANICAL

SECTION 1 - GENERAL CONDITIONS

1.1 SCOPE

The mechanical contractor shall be responsible for the following installations but is not necessarily limited by the summary:

1. Sanitary Waste, Vent and Domestic Water Piping.
2. Valves
3. Diffusers, Registers & Grilles
4. Ductwork and Accessories
5. HVAC equipment
6. Gas Piping

1.2 RULES AND REGULATIONS

This entire installation shall be installed in strict accordance with all national, state and local codes or agencies having jurisdiction.

The contractor shall provide for installation, all new equipment, and materials of the best quality as herein specified or illustrated on the accompanying drawings; or equals as approved by mechanical engineer.

The contractor shall be responsible for all fees and permits necessary for all installation. He shall also prepare any specific plans and/or isometric drawings required by proper authorities before acceptance of work.

It shall be the responsibility of this contractor to furnish all required labor, materials, and supervision necessary for a complete installation.

1.3 WORK BY OTHERS

The mechanical contractor shall supply all electrical controls including starters as well as controlling wiring for HVAC equipment. The electrical contractor shall provide power wiring from the electrical distribution system through the controller to the electrical load and test for proper rotation.

1.4 SHOP DRAWINGS

The contractor shall submit with a letter of transmittal to the architect (3) sets of shop drawings containing all capacities, features, options, accessories, and technical data of all materials and equipment listed herein. No work involving any materials and equipment covered by a shop drawing shall be started until the respective shop drawings are approved.

Provide cleanouts were shown and where required by code or for maintenance service.

Install piping with closed cell flexible elastomeric thermal insulation utilizing appropriate adhesive for joints install per manufacturer's recommendations and requirements.

1.5 VISIT TO THE SITE

Prior to the submission of his bid, the contractor shall visit to the site to acquaint himself with the existing conditions. Bids as submitted will be interpreted to include all costs and changes made necessary by such conditions.

1.6 COORDINATION OF WORK

The contractor shall coordinate his work with that of all other trades to ensure proper system operation and complete building system as desired by the architect and mechanical engineer. In case of interference or problems the architect shall decide which work is to be relocated regardless of which is installed first.

If any changes are required in the installation of electrical services to any mechanical equipment accepted as approved equals the mechanical contractor shall be responsible for any additional costs incurred or coordination required.

1.7 PROTECTION OF EQUIPMENT

The contractor shall protect all materials and equipment from damage until final acceptance as installed. He shall close all the openings during construction with temporary plugs and replace all damaged items with ones of exact sameness at his expense.

After completion of the work this contractor shall instruct the employees who have charge of the facility in the care, adjustment, and operation of all parts of the system.

1.8 OPERATING AND MAINTENANCE INSTRUCTIONS

The contractor shall prepare for the owner 3 bound volumes each containing all information necessary for the care and maintenance of the installed systems.

After completion of the work this contractor shall instruct the employees who have charge of the facility in the care, adjustment, and operation of all parts of the system.

1.9 CLEAN AND FINISH

After all tests have been made in the system proven satisfactory the contractor shall go over the entire project clean all materials installed by him and leave it in a clean and working condition. At the completion of the project the contractor shall disinfect the domestic water system.

1.10 TESTING, ADJUSTING, AND BALANCING

The mechanical contractor shall test and adjust all systems to assure the proper air flow heating output capacities and automatic operations as outlined on the drawings and specifications. Balancing and test reports shall be in accordance with the AABC or NEBB standards.

1.11 GUARANTEE

All work done under this contract shall be guaranteed by the respective contractor against effective materials and faulty workmanship for a period of one year from date of acceptance by owner.

During such period and before the expiration of each such guarantee contractors shall agree to make any and all repairs adjustments and replacements which may become necessary owing to failure of equipment under guarantee.

SECTION 2 - MATERIALS

2.1 DUCTWORK

Ductwork shall be fabricated from galvanized sheets steel in accordance with ASHRAE and SMACNA standards. All supply and return duct work shall be externally insulated with a 1" thick fiberglass duct wrap, 1-1/2 lb per cubic foot density.

Steel gauges shall be as follows:

Largest Duct	Steel U.S.
Dimension	Std. Gauge
Up through 12"	26
13" through 30"	24
30" through 54"	22

All ductwork seams and joints shall be caulked and taped.

Hangers for ducts up to 20 in shall be galvanized band or strap. Hangers for larger ducts shall be angled iron with threaded rod.

Flexible ductwork can be used for connection to diffusers and registers in concealed areas only (Max 8 ft length)

2.2 PIPING INSTALLATION

Domestic water piping shall be type "K" copper for underground and type "L" copper with wrought copper fittings and 1/2" fiberglass insulation with all surface jacket for above ground. All solder shall be 95-5 non lead.

All sanitary waste and vent lines shall be standard weight cast iron or schedule 40 PVC if approved by local code.

Provide cleanouts were shown and where required by code or for maintenance service.

Install piping with closed cell flexible elastomeric thermal insulation utilizing appropriate adhesive for joints install per manufacturer's recommendations and requirements.

2.3 VALVES

Valves for domestic water lines shall be ball-type similar to Nibco-scott S-580

2.4 MISCELLANEOUS MATERIALS

All pipes with pass-through walls, ceilings, or floors shall be provided with escutcheon plates securely fastened in place.

Hangers and supports for piping shall allow for expansion. Fly with M55 SP-69 and M55 SP-89 for clamps and rods.

SECTION 3 HVAC EQUIPMENT

3.1 DIFFUSERS REGISTERS DAMPERS

Furnish and install all diffusers, registers, grills, and air control devices indicated shown and/or scheduled on the drawings. Verify exact locations.

Provide edge gaskets, and securely fasten all surface mounted flange type diffusers, registers, and grills to ductwork or ceiling. Draw the air devices tight to the finished surface to prevent leakage and smudging.

All diffusers and register shall be furnished in color selected by architect.

Ceiling diffusers shall be scheduled or accepted substitute.

3.2 EXHAUST FANS

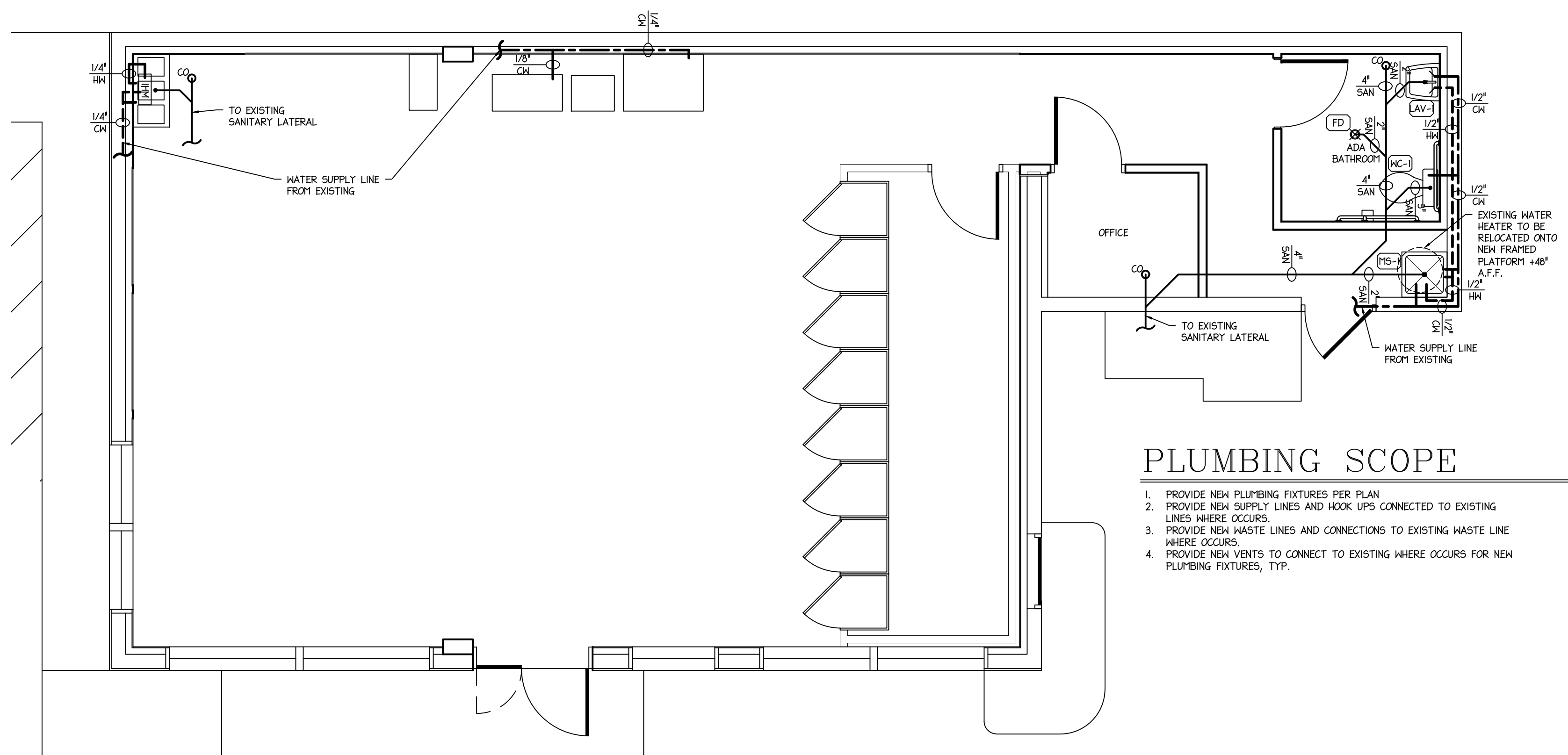
Exhaust fan shall be roof-mounted or ceiling mounted as specified on drawings.

Exhaust fan shall be Greenheck or approved equal. Provide fans with backdraft dampers and curbs.

3.3 ROOFTOP UNITS

All rooftop units shall be specified on drawings and as scheduled.

Supply rooftop units with all accessories for complete installation. This shall be included but not restricted to thermostats, roof curb, outside air dampers, condensate drains.



PLUMBING SCOPE

1. PROVIDE NEW PLUMBING FIXTURES PER PLAN
2. PROVIDE NEW SUPPLY LINES AND HOOK UPS CONNECTED TO EXISTING LINES WHERE OCCURS.
3. PROVIDE NEW WASTE LINES AND CONNECTIONS TO EXISTING WASTE LINE WHERE OCCURS.
4. PROVIDE NEW VENTS TO CONNECT TO EXISTING WHERE OCCURS FOR NEW PLUMBING FIXTURES, TYP.

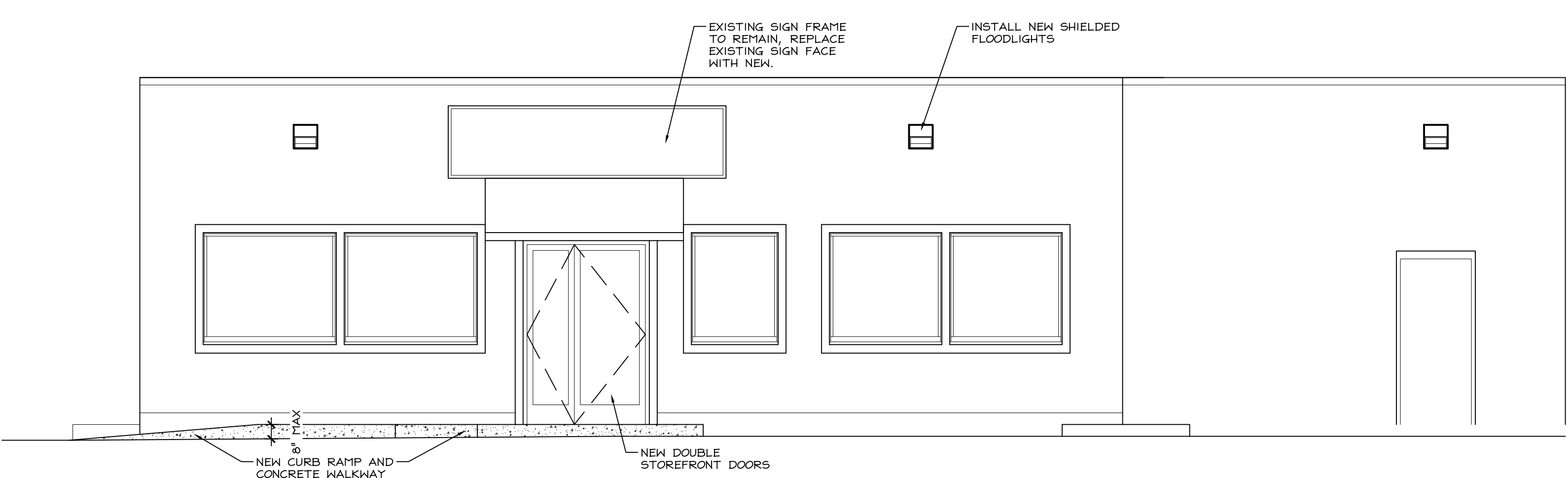


REVISIONS	NO.	DATE	REMARKS
△	-	-	-

ID	DESCRIPTION	WASTE	VENT	HOT	COLD	NOTE
WC-1	WATER CLOSET	4"	2"	-	1/2"	FLOOR MOUNTED PRESSURE ASSIST FLUSH TANK (ADA), GERBER GUL38 (WHITE), WITH BOWIS HESC SEAT (WHITE- OPEN FRONT)
LAV-1	LAVATORY	1 1/2"	1 1/4"	1/2"	1/2"	WALL MOUNTED (ADA), GERBER G007234 (WHITE) w/ SINGLE HANDLE MOEN ADA FAUCET, SCALDGAURD BY TRUEDRO, INSTALL THERMOSTATIC MIXING VALVE UNDER LAVE
MS-1	MOP SINK	2	1 1/4"	1/2"	1/2"	FIAT MODEL MSB2424, WITH SERVICE FAUCET #B30-AA WITH VACUUM BREAKER, WALL BRACE AND PAIL HOOK

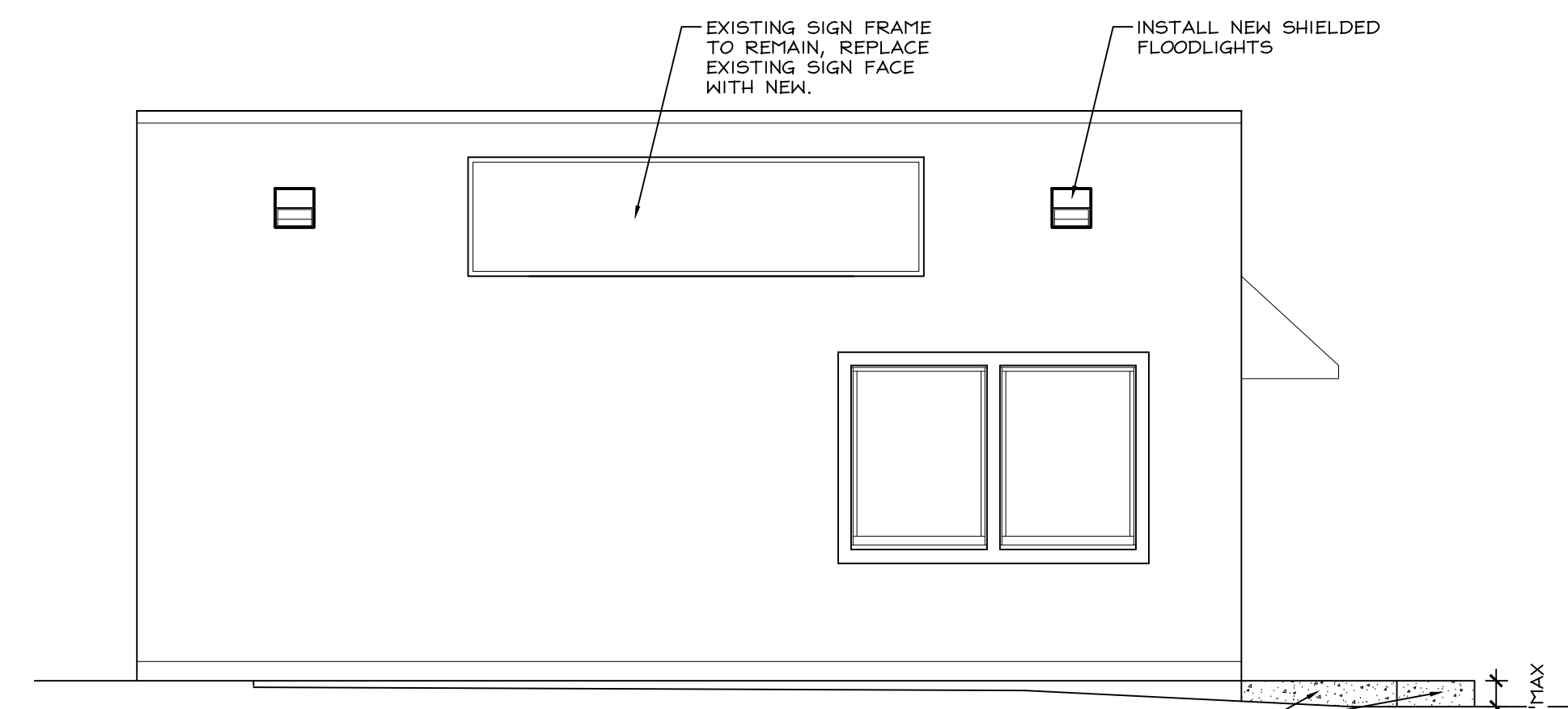
PLUMBING WASTE/SUPPLY PLAN

SCALE: 1/4" = 1'-0"



ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION

SCALE: 1/4" = 1'-0"

RENOVATIONS FOR:
SMOKE & CHILL
 COLUMBIA BOROUGH
 149 N. 3RD ST. COLUMBIA, PA. 17512

ISSUE FOR PERMIT

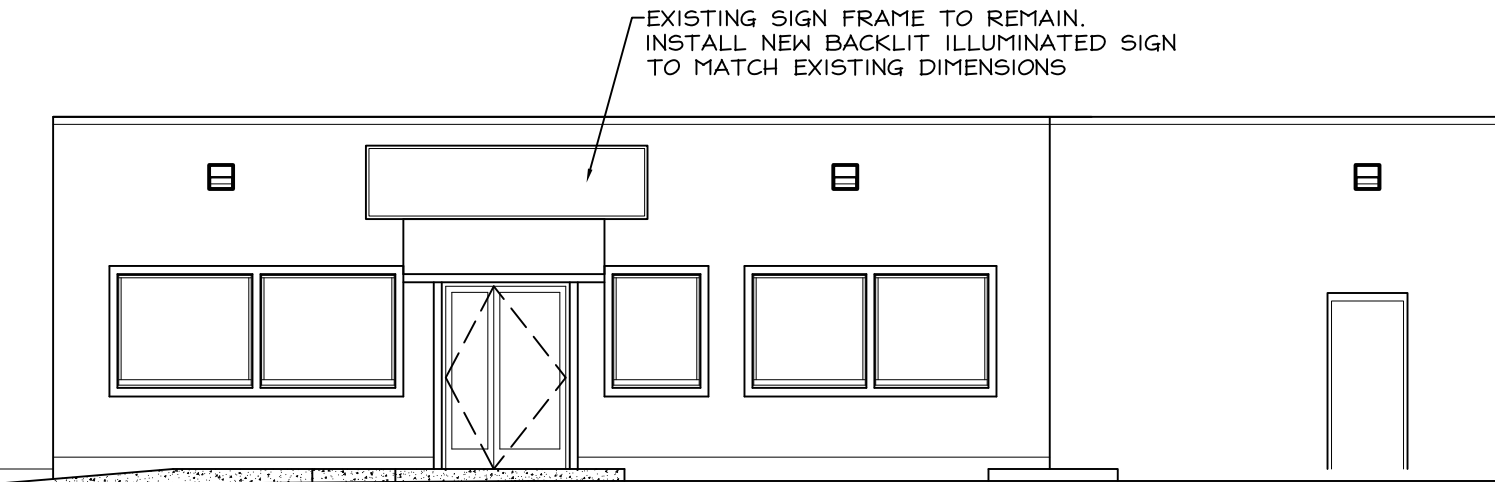
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THESE DRAWINGS HAVE BEEN PREPARED AS DESIGN/BUILD DOCUMENTS FOR USE BY THE DESIGN/BUILD CONTRACTOR AND ARE NOT COMPLETE IN SCOPE AND DETAIL FOR USE AS A SET OF CONCEPTUAL OR PRELIMINARY DRAWINGS. THE DESIGN/BUILD CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN CLARIFICATION OF THE INTENDED SCOPE OF WORK FROM THE DESIGN/BUILD CONTRACTOR AND PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM FOR THEIR RESPECTIVE TRADES.

DRAWN BY **NORMAN**
 CHECKED BY **GOOD**
 APPROVED BY **CALABRESE**
 JOB NO. **220864**
 SCALE **AS NOTED**
 DATE **08/31/22**

DRAWING TITLE
ELEVATIONS

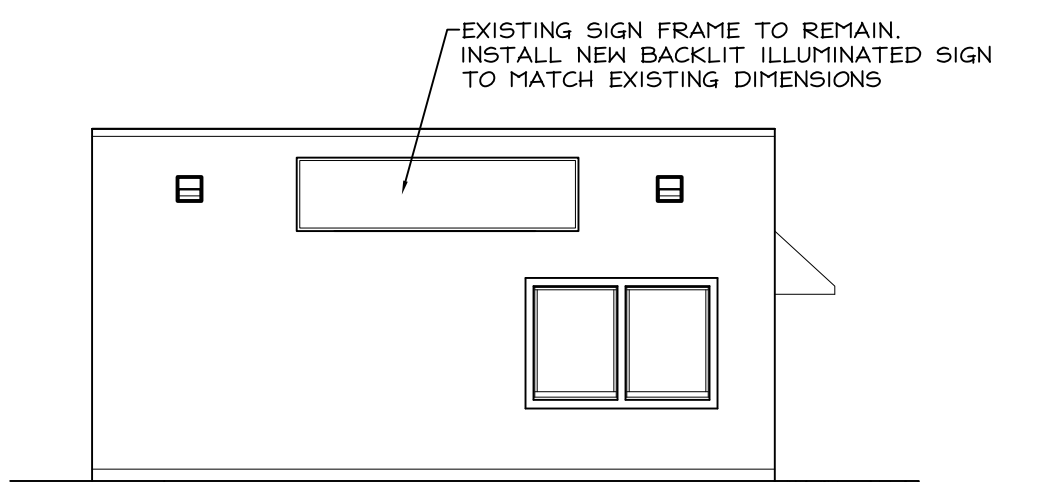
DRAWING NO.
A2.1



SIGN ELEVATION

SCALE: 1/8" = 1'-0"

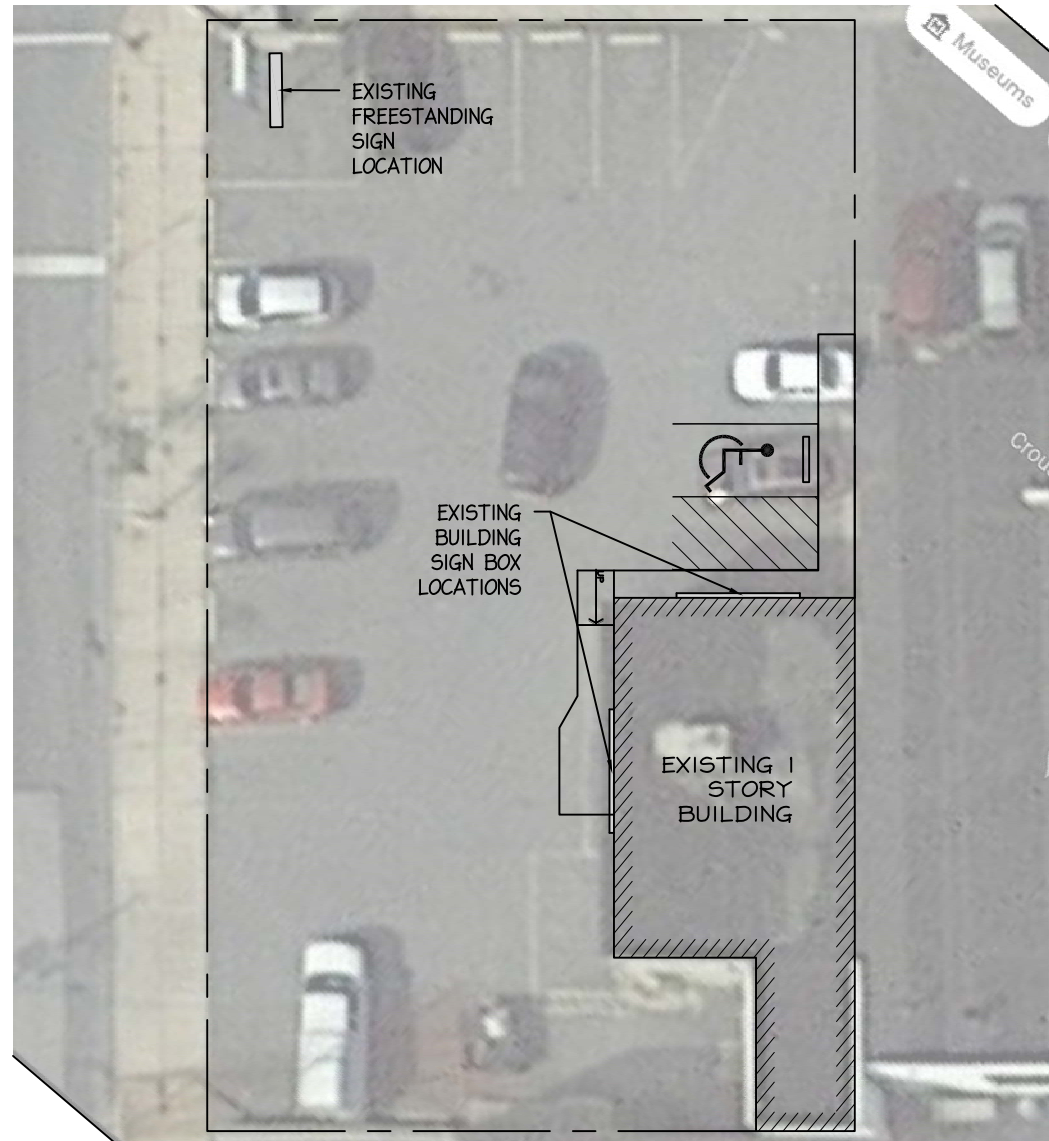
2
SDI.1



SIGN ELEVATION

SCALE: 1/8" = 1'-0"

1
SDI.1



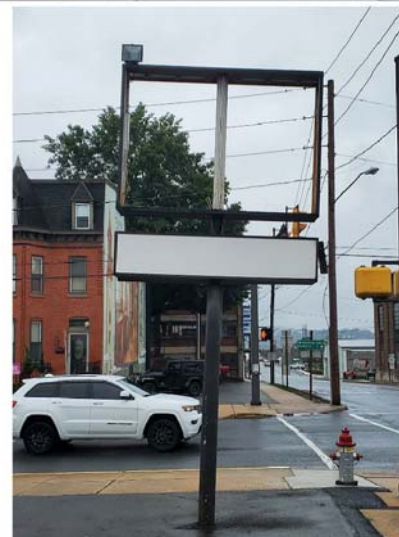
SIGN LOCATION PLAN

SCALE: N.T.S.

4
SDI.1



149 N 3erd St
Columbia PA

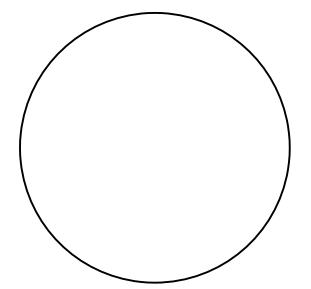


SIGN DIMENSIONS AND DESIGN

SCALE: N.T.S.



3
SDI.1



PROPOSED EXTERIOR SIGNAGE FOR:
SMOKE & CHILL
COLUMBIA BOROUGH
149 N. 3RD ST. COLUMBIA, PA. 17512

DRAWN BY NORMAN
CHECKED BY GOOD
JOB NO. 220864
DATE 09/23/22

SIGNAGE ELEVATIONS

DRAWING NO.
SD1.1



Color: Bronze

Weight: 3.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.13A
208V	0.07A
240V	0.06A
277V	0.05A
Input Watts	14.2/14/14.2W

LED Info

Watts	15W
Color Temp	3000K/4000K/5000K
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	1761/1904/1852
Efficacy	124/136.2/130.3 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PL0MVJOV62Q3

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.13A, 208V: 0.07A, 240V: 0.06A, 277V: 0.05A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V Integrated button photocell included.

Note:

All values are typical (tolerance +/- 10%)

Construction

IP Rating:

Ingress protection rating of IP65 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Technical Specifications (continued)

Construction

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Adjustable from 0° (full cutoff) to 90°. 7 settings at 15° each.

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

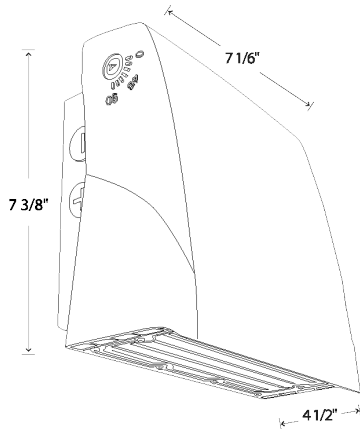
Equivalency:

Equivalent to 70W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Selectable CCT
- Adjustable cutoff
- Integrated photocell
- 0-10V dimming standard

Ordering Matrix

Family	Wattage	Style
SLIM17FA	15	ADJ

15 = 15W ADJ = Angle Adjustable
30 = 30W

EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: 10/25/22

DEPARTMENT: Community Development

TITLE: Consideration of a Certificate of Appropriateness (COA) the property located at 218 Walnut Street

SUMMARY: HARB COA to replacement of existing asphalt shingle, slate tile, and metal roof with all asphalt shingle and replacement of windows.

BACKGROUND AND JUSTIFICATION: During the October 12th HARB meeting the board provided a recommendation for approval of replacing existing asphalt shingle on the front porch, slate tile located on front and rear slope and metal located on the rear of the property (*changes that occur in the rear of the property are not managed by the HARB*) with all asphalt shingle and replacement of wood windows to vinyl. The HARB made a motion to approve the application with the exemption of the “in kind” requirement to replace slate tile with slate and to allow for asphalt shingle.

MOTION: To consider approval of the Certificate of Appropriateness (COA) for the property located at 218 Walnut Street to approve replacement of metal and slate tile with asphalt shingle and replacement of windows.

ATTACHMENT(S):

HARB Application for 218 Walnut Street



LEO S. LUTZ Mayor
HEATHER ZINK Borough Council President
EVAN M. GABEL Solicitor
MARK E. STIVERS Borough Manager

AGENDA DATE: October 12, 2022

TO: Historic Architecture Review Board
RE: HARB COA for 218 Walnut Street
Permit No.220-302 / Account No.
1102960600000

FROM: Sharon Cino, Planning & Zoning Manager
VIA: Mark E Stivers, AICP, Borough Manager

TITLE: Consideration of a Certificate of Appropriateness (COA) the property located at 218 Walnut Street to include a roof replacement from metal to asphalt shingle, and slate to asphalt shingle, and vinyl windows.

OWNER/APPLICANT: Adam K. Rohrer
1252 Breneman Road
Conestoga, PA 17516

CONTRACTOR: Helm Construction Co.
1321 Byerland Church Rd.
Willow, PA 17584

PROJECT DESCRIPTION: The applicant is proposing to remove the existing metal roof with asphalt shingles, slate tiles with slate style asphalt shingle and installation of vinyl window.

PROPERTY DESCRIPTION: The property is constructed circa 1860 and includes a Victorian Vernacular, 2 ½ story double house style. This includes a 2-bay frame surface with a composite material and 6/6 sashed windows with simple architraves in the second story along with paired 1/1 sashed windows and a square headed door with the main fenestration to include a rectangular transom. A late 19th century, pedimented dormer with paired 1/1 sashed windows projects from a steep roof. A full porch with squared wooden posts is shared by with the neighboring property.

SECRETARY OF THE INTERIOR STANDARDS THAT APPLY: 6 and 9

(6) Deteriorated historic features will be repaired rather than replaced. Where the severity



of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible materials. Replacement of missing features will be substantiated by documentary and physical evidence.

- (9) New addition, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationship that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size scale and proportion and massing to p

STAFF RECOMMENDATION: Staff recommends approval of the COA for 218 Walnut Street to include a metal roof replacement with asphalt shingles, and vinyl windows.

SEP 27 2022

09-26-2022

Date of Application

Check List: Your completed application should include:	
<input checked="" type="checkbox"/> HARB Letter of Intent (LOI)	<input checked="" type="checkbox"/> Brochure or Catalog Cut
<input type="checkbox"/> Plot Plan Drawings	<input type="checkbox"/> Material Sample
<input type="checkbox"/> Elevation Drawings	<input type="checkbox"/> Other (specify):
<input checked="" type="checkbox"/> Photographs	

PLEASE PRINT OR WRITE LEGIBLY

1. **Owner's Name:** Adam K. Rohrer

If applicant is not the equitable owner of the property, indicate:

Owner's Agent/Representative Other _____

Letter Submitted by Property Owner, authorizing Agent/Representative to act: _____

Street Address: 1252 Breneman Road

Mailing Address (if different): _____

City: Conestoga State: PA Zip: 17516

Phone (daytime): 717-419-7986 Email: rohrrsrentalpropertiesllc@gmail.com

2. **Street Address of Property to be Reviewed** (if different): 218 Walnut St. Columbia, PA 17512

3. **Contractor's Name:** Helm Construction Co.

Street Address: 1321 Byerland Church Rd.

Mailing Address (if different): _____

City: Willow Street State: PA Zip: 17584

Phone (daytime): 717-584-3598 Email: cody.helm@helmconstructionco.com

4. **Architect/Engineer** (if applicable): NA

Street Address: _____

Mailing Address (if different): _____

City: _____ State: _____ Zip: _____

Phone (daytime): _____ Email: _____

5. **Property Use** (Check all that apply):

<input checked="" type="checkbox"/> Single Family Residence	Particular Building Type:	1. Date building constructed: 2. Date of additions/alterations:
<input type="checkbox"/> Multi-Family Residence		
<input type="checkbox"/> Office		
<input type="checkbox"/> Commercial/Retail		
<input type="checkbox"/> Industrial		
<input type="checkbox"/> Institutional		
<input type="checkbox"/> Vacant	<input type="checkbox"/> single, detached	
	<input type="checkbox"/> duplex	
	<input checked="" type="checkbox"/> row	
	<input type="checkbox"/> apartment building	
	<input type="checkbox"/> warehouse	
	<input type="checkbox"/> other: _____	

6. **Proposed Alteration(s), Demolition or New Construction (list each item separately):**

- Example: 1. replace existing front door with wood four-panel door
 2. install storm door

A. Replace all existing Asphalt Shingle, Slate Tile, Metal roof with new Asphalt Shingles.

B. Replace Flashing and Gutters with new working ones.

C. Replace existing Metal Windows with new Vinyl Windows.

7. **Costs**

Estimate the total cost of the alteration(s): \$20,000

8. **Date of Review**

Date of meeting at which application will be reviewed:

I, the undersigned, understand that any work affecting existing ordinances must be in compliance with those ordinances, that major work is subject to inspection, that new structures require a Certificate of Occupancy upon completion, that any misrepresentation of the proposed work is cause for withdrawal of the work permit, and any work beyond the scope of the work permit is cause for a Civil Action Complaint. The minimum penalty as prescribed by the Pennsylvania Municipalities Planning Code is \$500.00.

9. Signature of Owner: [Signature] Date: 09-26-2022

10. Signature of Zoning Official: Sharon Cino Date: 10/7/22

Applicant was given:

- Pink Placard (to be prominently displayed by applicant on the property where the alterations are proposed)
- Meeting Notice (provides applicant with date, time, and location of meeting at which application will be reviewed)

Official Use Only

Date of site visit: _____

Property Description (building inventory data sheet)

Historic Function: _____ Particular Type: _____ Current Function: _____

Architectural Style: _____

Exterior Materials: _____

Structural System: _____ Foundation: _____

Bays: _____ Stories: _____

Roof Pitch: _____ Roof Materials: _____ Roof/Wall Junction: _____

Dormers: _____ Chimney: _____

Porch: _____ Porch Support: _____

General Condition: _____ Integrity: _____

Letter of Intent

To All at HARB and the Borough of Columbia,

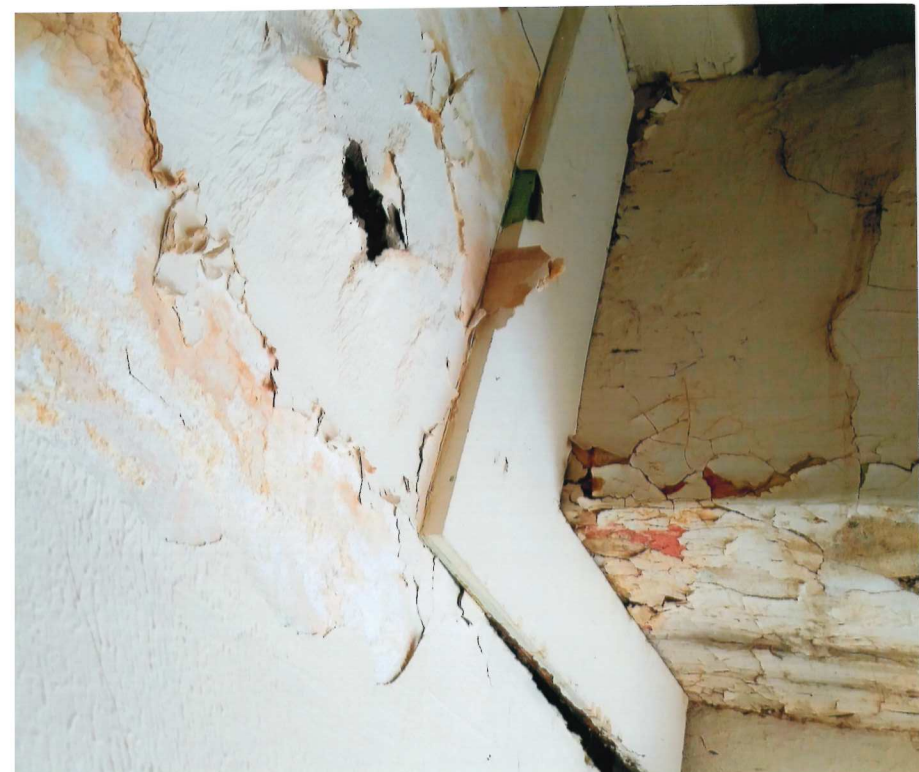
I am proposing alterations to 218 Walnut St. Columbia, PA 17512. The first being a new Asphalt Shingled roof on front and rear of building, flashing, and gutters. The current roof is Asphalt Shingle on the front porch, Slate Tile on the front and rear slope, and Metal Sheets on the rear portion. The Slate and Metal roofs are also currently leaking in multiple areas. Leaks are on and around the dormer, around the brick chimney, and on the back side of the roof where the slate and metal meet. I would like to replace all of the current material with new Asphalt Shingle, Ice and Water Shield, and Sheathing as required. The house will need new flashing installed in most areas to protect the structure further. The gutters are rusted through and no longer working. I would like to replace those as well to protect the structure. I would like to match the new roof, flashing, and gutters to create a seamless and safe look.

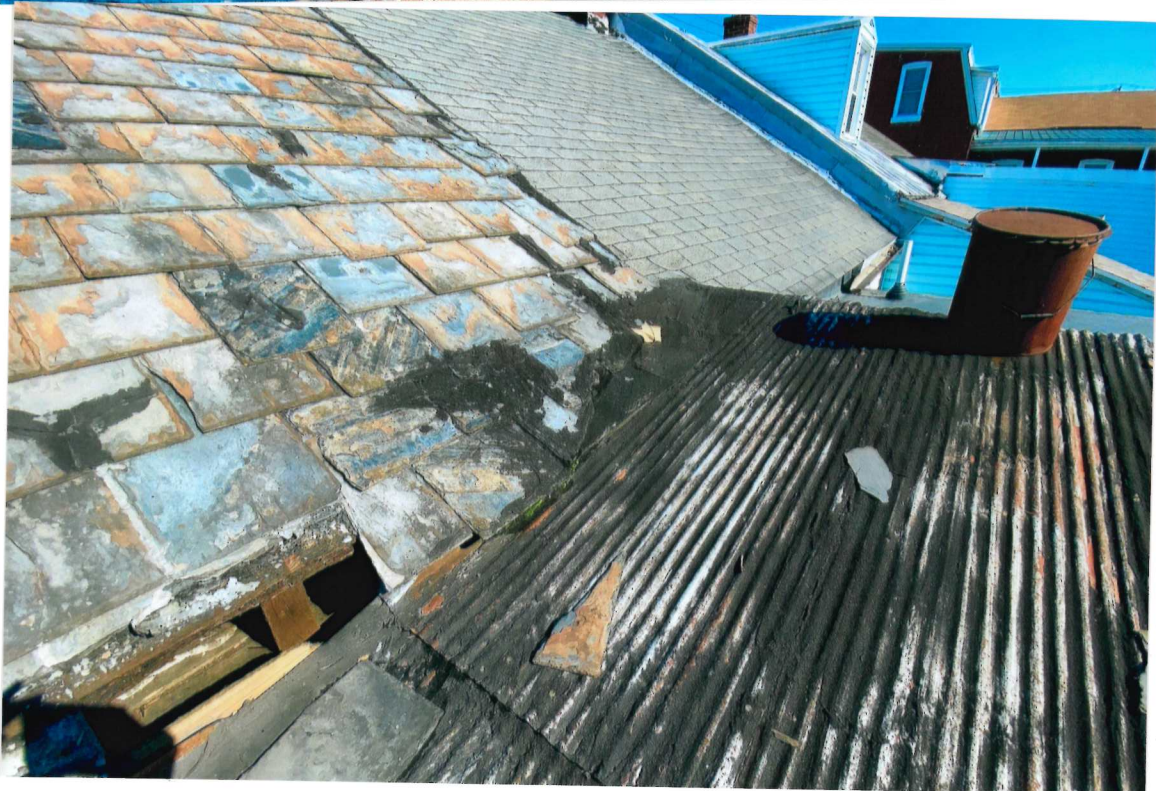
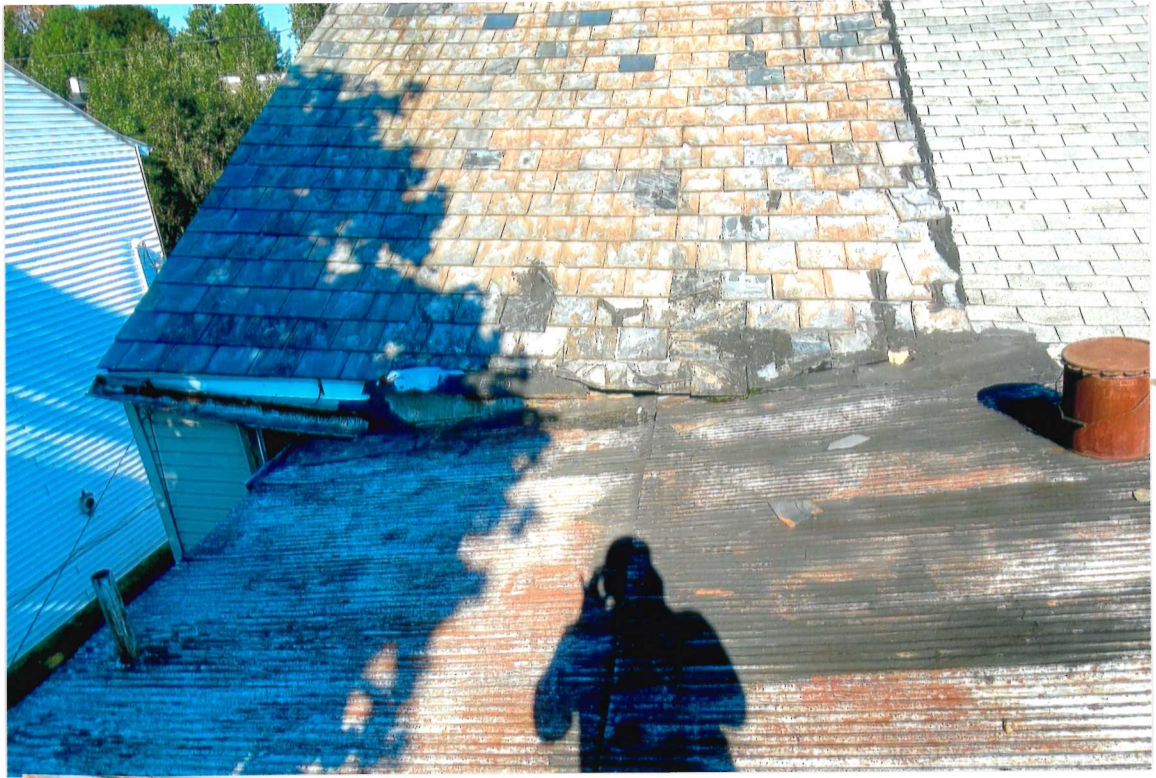
The second alteration to be proposed is 12 new windows. The current windows are made of a metal possibly aluminum and have been randomly installed over the years. I would like to replace them with attractive energy efficient vinyl windows. I also want to wrap any exposed wood around these windows to have a watertight seal from the outside.

Thank you for hearing this proposal to fix and update a home in this District.

Sincerely, Adam K. Rohrer







LANDMARK® COLOR PALETTE



Cobblestone Gray



Colonial Slate



Georgetown Gray



Weathered Wood



Driftwood



Pewterwood



Moire Black



Charcoal Black



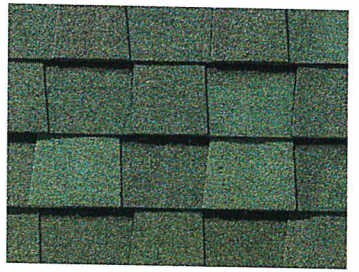
Heather Blend



Burnt Sienna



Resawn Shake



Hunter Green

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EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: 10/25/22

DEPARTMENT: Community Development

TITLE: Consideration of a Certificate of Appropriateness (COA) the property located at 449 Union Street

SUMMARY: HARB COA to include replacement of the front entry door, installation of storm door and replacement of picture window.

BACKGROUND AND JUSTIFICATION: During the October 12th HARB meeting the HARB provided a recommendation for approval to replace the existing wood front door, install a storm door and replace picture window.

MOTION: To consider approval of the Certificate of Appropriateness (COA) for the property located at 449 Union Street to include a front door replacement, installation of storm door and replacement of picture window.

ATTACHMENT(S):

HARB Application for 449 Union Street Chestnut Street



LEO S. LUTZ
Mayor

EVAN M. GABEL
Solicitor

HEATHER ZINK
Borough Council President

MARK E. STIVERS
Borough Manager

AGENDA DATE: October 12, 2022

TO: Historic Architecture Review Board
RE: HARB COA for 449 Union Street
Permit No.220-310 / Account No.
1103169300000

FROM: Sharon Cino, Planning & Zoning Manager
VIA: Mark E Stivers, AICP, Borough Manager

TITLE: Consideration of a Certificate of Appropriateness (COA) for the property located at 449 Union Street for a front door replacement, storm door and replace picture window

OWNER/APPLICANT: Michael Elia
2 Park Lane
Lancaster, PA 17603

CONTRACTOR: Joe Ulrich
P.O Box 716
Columbia, PA 17512

PROJECT DESCRIPTION: The applicant is proposing to replace the front door, install a storm door and replace picture window.

PROPERTY DESCRIPTION: The property is constructed circa 1870 and includes and is a Vernacular historic style 2 ½ story frame rowhome. This includes a gabled roof on a box cornice with transomed entries.

SECRETARY OF THE INTERIOR STANDARDS THAT APPLY: 2

- (2) The historic character of a property will be retained and preserved. The removal of distinctive material or alteration of features spaces, and spatial relationship that characterize a property will be avoided.

STAFF RECOMMENDATION: Staff recommends approval of the COA for 449 Union Street to include a replacement of the front door, new storm door and replacement of the picture window.





Borough of Columbia ZONING /HARB REVIEW

9/27/22

Date of Application

Check List: Your completed application should include:

- HARB Letter of Intent (LOI)
- Plot Plan Drawings
- Elevation Drawings
- Photographs
- Brochure or Catalog Cut
- Material Sample
- Other (specify):

PLEASE PRINT OR WRITE LEGIBLY

1. Owner's Name: Michael Elia

If applicant is not the equitable owner of the property, indicate:

- Owner's Agent/Representative
- Other
- Letter Submitted by Property Owner, authorizing Agent/Representative to act:

Street Address: 2 Park Lane

Mailing Address (if different): _____

City: Lancaster State: PA Zip: 17603

Phone (daytime): 717-341-0136 Email: Benelioproperties@gmail.com

2. Street Address of Property to be Reviewed (if different): 449 Union St.

3. Contractor's Name: Joel Ulrich

Street Address: P.O. Box 716

Mailing Address (if different): _____

City: Columbia State: PA Zip: 17512

Phone (daytime): 717-710-6562 Email: rjchomeservices11c18@gmail.com

4. Architect/Engineer (if applicable): _____

Street Address: _____

Mailing Address (if different): _____

City: _____ State: _____ Zip: _____

Phone (daytime): _____ Email: _____

5. Property Use (Check all that apply):

- Single Family Residence
- Multi-Family Residence
- Office
- Commercial/Retail
- Industrial
- Institutional
- Vacant

Particular Building Type:

- single, detached
- duplex
- row
- apartment building
- warehouse
- other: _____

Property Data (if unknown, leave blank)

1. Date building constructed:

2. Date of additions/alterations:

6. **Proposed Alteration(s), Demolition or New Construction (list each item separately):**

Example: 1. replace existing front door with wood four-panel door
2. install storm door

- Replace existing front door

- Install new storm door

- Replace picture window

7. **Costs**

Estimate the total cost of the alteration(s): \$ 3,600

8. **Date of Review**

Date of meeting at which application will be reviewed: 10/9/22

I, the undersigned, understand that any work affecting existing ordinances must be in compliance with those ordinances, that major work is subject to inspection, that new structures require a Certificate of Occupancy upon completion, that any misrepresentation of the proposed work is cause for withdrawal of the work permit, and any work beyond the scope of the work permit is cause for a Civil Action Complaint. The minimum penalty as prescribed by the Pennsylvania Municipalities Planning Code is \$500.00.

9. Signature of Owner: Mick Yu

Date: 9/27/22

10. Signature of Zoning Official: Sharon Cino

Date: 10/5/22

Applicant was given:

Pink Placard (to be prominently displayed by applicant on the property where the alterations are proposed)

Meeting Notice (provides applicant with date, time, and location of meeting at which application will be reviewed)

Official Use Only

Date of site visit: _____

Property Description (building inventory data sheet)

Historic Function: _____ Particular Type: _____ Current Function: _____

Architectural Style: _____

Exterior Materials: _____

Structural System: _____ Foundation: _____

Bays: _____ Stories: _____

Roof Pitch: _____ Roof Materials: _____ Roof/Wall Junction: _____

Dormers: _____ Chimney: _____

Porch: _____ Porch Support: _____

General Condition: _____ Integrity: _____



YOUR PROFESSIONAL-CLASS PRODUCT

Heritage Woodgrain Textured Fiberglass Entry Door



717-710-6562
115 South 5th St.
Columbia, PA 17512



OUTSIDE VIEW



INSIDE VIEW

QUOTE INFORMATION

Job: Joel/Benneli

Tag: Front Door

Order #9138683-1

DETAILS

Heritage Single Entry Door in FrameSaver Frame

36" x 80" Nominal Size

Unit Size: 37 9/16" x 81 11/16"

Frame Depth: 5 5/16"

2" Standard Brickmold

With Storm Door - Sized to Fit on Brickmold

Left Hand Inswing - Inside Looking Out

Entry Door

006 Style Heritage Woodgrain Textured Fiberglass Door

Snow Mist White Inside / Forest Green Outside

Hardware

Georgian Lockset - Prep Only

Thumbturn Deadbolt - Prep Only

Bright Chrome 7/8" Peepsite (At 58" from floor)

Frame

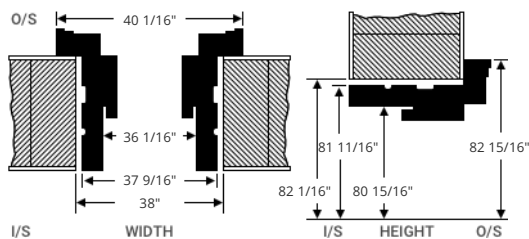
Snow Mist White Inside Frame

Mill Finish ZAl Adjustable Threshold (6 3/8" Depth)

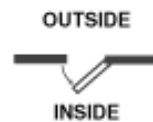
Satin Nickel Ball Bearing Hinges

Security Plate

SIZING



HANDING



ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P) Solar Heat Gain Coefficient

0.13 0.00

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance

0.00 -



ENERGY STAR® Certified
In All 50 States.

YOUR PROFESSIONAL-CLASS PRODUCT

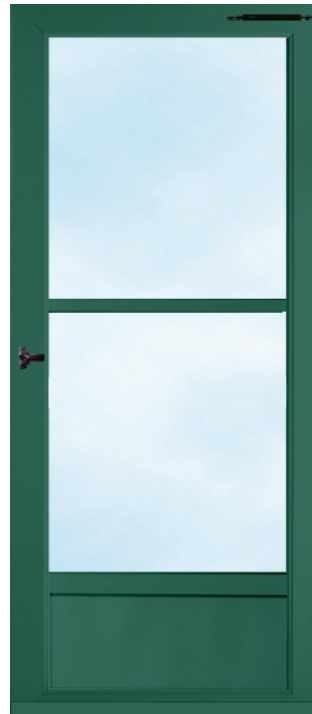
Deluxe Series Storm Door - Model 399 Self-Storing



717-710-6562
115 South 5th St.
Columbia, PA 17512



OUTSIDE VIEW



INSIDE VIEW

QUOTE INFORMATION

Job: Joel/Benneli

Tag: Front Door

Order #9138683-2

DETAILS

Deluxe 399 Self-Storing
36" x 80" Standard Size
Forest Green
Standard Z-Bar
Pre-Hung
Color Matched Piano Hinge
Hinge on Left (Viewed from Outside)
1" Color Matched Bottom Expander
Pebble Grain Kick Panel
Black Push Button with Closer (DH192)
Assign a Random Key Number
Handleset Prep at Standard Location (39") on Right (Viewed from Outside)
Black Closer Included with Handle
Clear Glass
Full Screen with BetterVue Screen Mesh
With Screen Stabilizer Bar

SIZING

Custom Opening Size: 36" x 80"
Minimum Opening Size: 35 3/4" x 79 13/16"
Maximum Opening Size: 36 1/8" x 80 11/16"
Unit Size (Inside Z-Bar): 35 5/8" x 79 3/4"
Tip-to-Tip (Outside Z-Bar): 38" x 80 7/8"
Slab Size: 35 1/8" x 79 1/8"

HANDING

Hinge on the Left
Outside Looking In

ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P) Solar Heat Gain Coefficient

1.04 0.86

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance Total UV

0.90 0.73

YOUR PROFESSIONAL-CLASS PRODUCT

Aspect AP500 Series 509 - Picture Window



OUTSIDE VIEW



INSIDE VIEW

SIZING

Opening Width Range: 32" to 32 1/4"
Opening Height Range: 10 1/4" to 10 1/2"
Window Size: 31 3/4" x 10"
United Inches: 42
Fixed Glass Size: 27 9/16" x 5 15/16" x 3/4"
Fixed Glass Viewable Size: 26 11/16" x 5"

Air/Water/Structural

N/A

ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P)	Solar Heat Gain Coefficient
0.26	0.30

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance	Condensation Resistance
0.55	60.00

ENERGY STAR

Northern/North-Central Regions



717-710-6562
115 South 5th St.
Columbia, PA 17512

QUOTE INFORMATION

Job: Joel/Benneli

Order #9138683-3

DETAILS

Aspect Window - AP500 Series

509 - Picture Window

White

Opening Size: 32 1/4" x 10 1/2"

Unit Size: 31 3/4" x 10"

Installation Holes

Sill Extender

ComforTech DLA

Single Strength Glass

Finish:

1. To clean doors, wash with mild soap and water, rinse with clear water and wipe dry.
2. Keep weatherstrip clean of dirt and grit for proper seal. Wash with mild soap and water, rinse with clear water and wipe dry. Apply a light coat of wax and wipe off excess.
3. For scuff marks on painted finishes, use mild liquid cleanser, rinse with clear water and wipe dry.
4. If finish is accidentally scratched or chipped, clean as recommended above and use touch-up paint supplied or standard wood finish repair crayon.

Hardware:

1. Much like sterling silver even the finest brass will react naturally to the elements surrounding it. To maintain, polish with a nonabrasive automotive or furniture wax. By keeping your hardware cleaned and maintained you will be rewarded with a long-lasting finish.
2. Tighten screws on lockset and hinges when necessary.
3. Lightly oil hinges as needed. Wipe off excess.

Caution:

DO NOT USE paint thinners, lacquer thinner, gasoline, kerosene or any other harsh chemical to clean surfaces of door or hardware.



DOORS | WINDOWS
SIDING | STONE | ROOFING
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P-MK-65005-22 | 12/21



Entry Systems & Patio Doors

Lifetime Limited Transferable
WARRANTY



MAINTENANCE & CARE FOR YOUR PROVIA ENTRY SYSTEM

Aluminum Paint Finish:

1. To clean, wash with mild soap and water and treat like your new car finish.
2. If finish is accidentally scratched or chipped, use touch-up paint available from your dealer.
3. To protect finish, spray with vinyl protector or use a high quality auto wax and polish the surface.

Hardware:

1. All hardware will function better if it is cleaned properly.
2. Much like sterling silver, even the finest brass will react naturally to the elements surrounding it. To maintain, polish with a nonabrasive automotive or furniture wax. You may have to clean with brass cleaner if the brass tarnishes. By keeping your hardware cleaned and maintained you will be rewarded with a long lasting finish.
3. Tighten screws when necessary.
4. Clean out the interlocks on double hung windows after exposure to dust.
5. Wipe heavy dust off balance rods on double hung windows. WD-40® should not be used to lubricate balances.
6. Oil hinges on storm doors as needed with a light sewing machine oil.
7. Keep weatherstripping clean of dirt and grit for proper sealing. Wash with mild soap and water. Vinyl and rubber seals can be treated with vinyl protector.

Glass Sash(es):

To Clean the Glass Area that Contains Clear Glass or a Sungate 500® Low-E Coating:

1. Use a soft, clean, high-absorbent, lint-free cloth.
2. Utilize a 50/50 mixture of isopropyl alcohol (rubbing alcohol) and water. This evaporates more slowly than typical cleaners and will keep streaking to a minimum.
3. Spray the cleaning solution on the glass surface to be cleaned. Important! do not wash the glass in direct sunlight.
4. Wipe the cleaning solution off the glass using a circular motion applying light to moderate pressure to remove dirt residue.
5. If this solution does not remove the dirt as desired, any household cleaner can be used.
6. If the household cleaners are used, reduce the area to be cleaned to more easily allow removal of the solution prior to evaporation (which is the cause of streaking). If streaks occur, reduce the area further.
7. Products which foam or lather will help slow the evaporation of the cleaning solution and allow time to remove the residue. They may help 'lubricate' the surface which will give the cleaning cloth a more familiar feel, similar to uncoated glass.



DOORS | WINDOWS
SIDING | STONE | ROOFING

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S-MK-90024-22 | 12/21

Aluminum Storm Doors & Windows

Lifetime Limited Transferable
WARRANTY



MAINTENANCE & CARE FOR YOUR VINYL WINDOW OR PATIO DOOR

KEY POINTS TO REMEMBER

1. Small scratches and nicks in the vinyl can occur. These small imperfections can be buffed out with a fine buffing compound suitable for vinyl surfaces.
2. Water can enter into the sill area of several different styles of windows. These windows are designed to capture this water before it enters your home and drain it to the outside. The presence of water in the sill of the window does not indicate a problem unless it has overflowed the window sill and into your interior sill or wall. If this has happened, check to make sure there is no debris in the window sill preventing water to drain through the drainage holes.
3. Condensation is often a result of high humidity in the home. If you have found condensation on your window or patio door, you must take steps to reduce the humidity level in your home by either adding a dehumidifier or using a kitchen exhaust fan to remove water vapors from cooking.

CARE AND MAINTENANCE

Maintenance of your window or patio door is important to keep it operating at its full potential. Here are some important steps to take throughout the year to keep your windows and doors looking beautiful.

1. Keep sill track clean of dirt and debris so water can flow freely to outside.
2. Keep all weep holes free of obstructions so water can flow freely to outside.
3. Inspect exterior caulking regularly and replace when necessary.
4. Clean and check operation of hardware and weather-stripping regularly and repair if necessary.
5. Keep weatherstrip clean of dirt and grit for proper seal. Wash with mild soap and water, rinse with water and wipe dry. Apply a light coat of wax (Lemon Pledge®) and wipe off excess.
6. Determine the source of any moisture that you see around your windows or doors and stop its entry and accumulation.
7. Immediately dry out any areas around your windows or doors that you observe are wet (immediate action is necessary to mitigate any damage to your home). The use of a dehumidifier, fan, or any warm air source will help dry out affected area.
8. Maintain relative humidity at moderate levels.

Vinyl Finish:

1. To clean, wash with mild soap and water. Heavy dirt and stains may require stronger cleaning compounds such as a vinyl siding cleaner. The surface can be wiped down with solvents such as turpentine, naphtha, nail polish remover (acetone) and alcohol. CAUTION: as some cleaners may mar or scratch vinyl.
2. Abrasive cleaners will scratch the surface and are not recommended.

Hardware:

1. Much like sterling silver even the finest brass will react naturally to the elements surrounding it. To maintain, polish with a nonabrasive automotive or furniture wax. By keeping your hardware cleaned and maintained you will be rewarded with a long-lasting finish.
2. Tighten screws when necessary.
3. Lightly oil as needed. Wipe off excess.

CAUTION: DO NOT USE paint thinners, lacquer thinner, gasoline, kerosene or any other harsh chemical to clean surfaces or hardware.



DOORS | WINDOWS
SIDING | STONE | ROOFING

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S-MK-03055-22 | 12/21

Endure™ & Aspect™ Windows & Patio Doors

Lifetime Limited Transferable
WARRANTY



EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: 10/25/22

DEPARTMENT: Community Development

TITLE: Consideration of a demolition of the property located at 332 Locust Street

SUMMARY: Demolition of the property located at 332 Locust Street to provide for outdoor seating for the café.

BACKGROUND AND JUSTIFICATION:

- On June 22, 2021, Borough Council approval a Memorandum of Understanding (MOU) between the PA State Historic Preservation Office (SHPO), and Lancaster County Redevelopment Authority for the property located at 332 Locust Street
- A condition of the MOU was for the Borough to receive certification as a Certified Local Government (CLG) within a five-year timeframe.
- On August 8, 2022, the Borough received CLG approval, and the condition was met.
- The LCRA received SHPO approval for the use of CDBG funding for the demolition of the building.
- On September 14, 2022, the HARB provided a recommendation of approval for the demolition of the building located at 332 Locust Street
- On October 18, 2022, the CBPC provided approval for the demolition of the building located at 332 Locust Street to provide for an outdoor seating courtyard for the café.
- Before demolition of the structure located at 332 Locust Street begins, the LCRA will sign a purchase agreement with developer, Nelson Shertzer, the owner of the adjacent property and café located at 336 Locust Street. LCRA will maintain ownership of the property during demolition, and after it is completed and the site is cleared, the LCRA will go to settlement, and officially complete a sale of the property with Nelson Shertzer. Mr. Shertzer will return to Planning Commission to obtain approval to develop the empty lot as outdoor seating as shown in the "site plan renderings" and "elevation" included in the demolition application materials. The adjacent lot and café located at 336 Locust Street will also be combined with 332 Locust Street in order to support the outdoor seating area.

ATTACHMENT(S):

Demolition Application for 332 Locust Street

BOROUGH OF COLUMBIA, PA
DEMOLITION PERMIT APPLICATION

APPENDIX A
APPLICATION FOR CONSIDERATION OF ZONING PERMIT

ZONING PERMIT APPLICATION # TBD
DATE OF RECEIPT/FILING: 9/13/2022

The undersigned hereby applies for approval under the Borough of Columbia Demolition Permit Ordinance, Chapter 105, of the demolition permit request contained herein:

1. BUILDING/STRUCTURE/VEGETATIVE SCREENING/IMPERVIOUS SURFACE TO BE DEMOLISHED:
332 Locust Street, Columbia, PA 17512

2. DATE WHEN DEMOLITION TO COMMENCE: December 1, 2022
3. TIME DEMOLITION TO OCCUR: December 1, 2022 - January 30, 2023
4. INTENDED USE OF PROPERTY FOLLOWING DEMOLITION:
 - A. VACANT LOT: _____
 - B. SINGLE FAMILY HOME: _____
 - C. MULTI-FAMILY HOME: _____
 - D. MOBILE HOME: _____
 - E. COMMERCIAL: _____
 - F. INDUSTRIAL: _____
 - G. INSTITUTIONAL: _____
 - H. OTHER (PLEASE SPECIFY): Outdoor commercial eatery seating area

5. CUBIC FOOTAGE OF BUILDING/STRUCTURE/VEGETATIVE SCREENING/IMPERVIOUS SURFACE: _____

6. NAME OF APPLICANT: Lancaster County Redevelopment Authority
ADDRESS: 28 Penn Square, Lancaster, PA 17603
PHONE NUMBER: 717-394-0793 x 232
FAX: 717-394-7635
E-MAIL ADDRESS: skrumpe@lchra.com

7. NAME OF OWNER (IF DIFFERENT FROM APPLICANT): _____
ADDRESS: _____
PHONE: _____

8. NAME OF COMPANY TO PERFORM DEMOLITION: D.H. Funk & Sons LLC
ADDRESS: 3995 Continental Drive
Columbia, PA 17512
PHONE: 717-684-0708 FAX: _____ E-MAIL: info@dhfunk.com
CONTACT PERSON: Jordan D. Funk

9. HAS A PLAN BEEN SUBMITTED PURSUANT TO THE BOROUGH OF COLUMBIA SUB-DIVISION AND LAND DEVELOPMENT ORDINANCE?

YES: _____

NO (PLEASE EXPLAIN): A waiver for the Subdivision and Land Development plan has been submitted

10. HAS A PLAN FOR PROPOSED USE BEEN SUBMITTED TO THE ZONING OFFICER FOR APPROVAL?

YES: ✓

NO (PLEASE EXPLAIN): _____

11. HAS A PLAN BEEN SUBMITTED TO PA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR APPROVAL (COMMERCIAL BUILDINGS ONLY)?

YES: ✓

NO (PLEASE EXPLAIN): _____

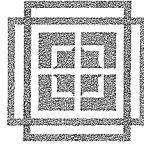
The undersigned hereby represents that, to the best of his knowledge, information and belief, all information listed above is true, correct and complete.

By signing this application, the undersigned hereby agrees to abide by the Columbia Borough Demolition Ordinance, Chapter 105, and any and all other applicable local, state and federal regulations and ordinances.

DATE: 9/13/22



SIGNATURE OF LANDOWNER OR REPRESENTATIVE



LANCASTER COUNTY
**Redevelopment
Authority**

October 11, 2022

Columbia Borough
308 Locust Street
Columbia, PA 17512

Subject: 332 Locust Street – Land Development Plan Waiver

Dear Columbia Borough:

The Lancaster County Redevelopment Authority, the current owners of the property at 332 Locust Street in Columbia, shall complete a demolition project of the blighted building on the site. After this demolition work is complete, the Redevelopment Authority will sell the cleared site to Nelson Shertzer, who will work with a development team to transform the property into an outdoor seating area for the adjacent café. Because the site will simply be cleared and only minorly developed by Nelson Shertzer with no new structure placed on the site, we would like to formally request a waiver for the Land Development Plan requirement for this project.

Thank you for your consideration.

Sincerely,

Sean Krumpé
Program Coordinator

From: [Sean Krumpe](#)
To: [Sharon Cino](#)
Subject: Re: 332 Locust Street
Date: Friday, September 9, 2022 9:58:45 AM
Attachments: [image001.png](#)
[image.png](#)
[MOA LCRA DEMO of 332 LOCUST ST COLUMBIA.doc](#)

Good morning Sharon,

After reviewing the preapproved demolition activities document, here is a new scope of work description. Additionally, I have included a copy of the MOA I mentioned for reference.

"After signing a Memorandum of Agreement with Columbia Borough, the HARB, and the State Historic Preservation Office, establishing a Certified Local Government in Columbia, the Lancaster County Redevelopment Authority (LCRA) was approved to proceed with the demolition project at 332 Locust Street, despite its location in the Columbia Borough Historic District. In May of 2022, LCRA released a Request for Proposals for the construction of a new residential structure on the site of the building to be razed at 332 Locust, but after receiving no responses based on high cost of building materials and lack of interest from developers, LCRA began to seek alternative projects for the site. LCRA eventually identified Nelson Shertzer as the best project candidate based on realistic development costs, timeline, and desired use.

Before demolition of the structure at 332 Locust Street begins, the Lancaster County Redevelopment Authority will sign a legally binding purchase agreement with Nelson Shertzer, the owner of the adjacent property at 336 Locust Street. LCRA will maintain ownership of the property while demolition is underway, and after it is completed and the site is cleared, will go to settlement and officially complete the sale of the property with Nelson Shertzer. Nelson will develop the empty lot as shown in the "Site Plan Renderings" included in the demolition permit application materials. After the development is completed, the developed site will be used for an outdoor seating area for the attached café."

Please let me know if you have any questions.

Sean Krumpe
Acquisition and Rehabilitation Program Coordinator

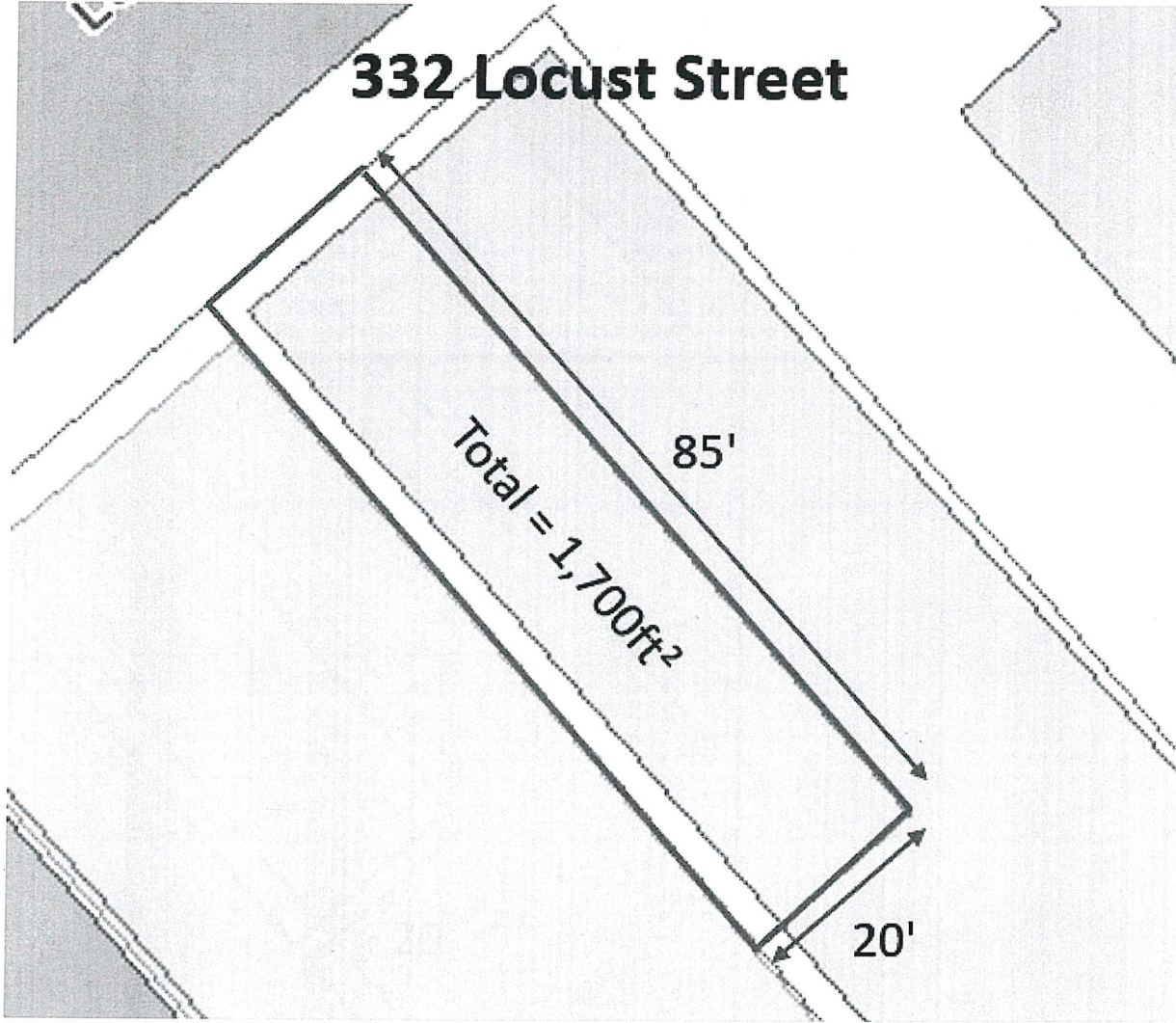


Phone: 717.394.0793 x 232

Email: skrumpe@lchra.com

28 Penn Square, Suite 200 | Lancaster, PA 17603

332 Locust Street





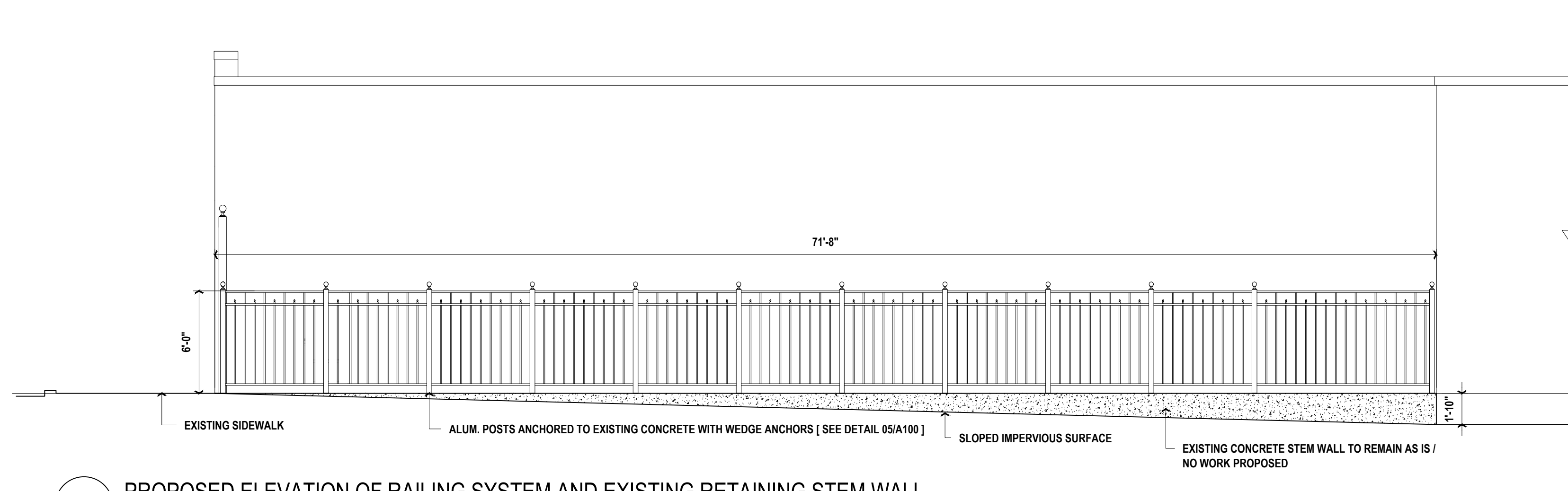
LINE OF WALL TO BE DEMOLISHED

01 EXISTING WALL LOCATED ON TOP OF RETAINING STEM WALL
NO SCALE

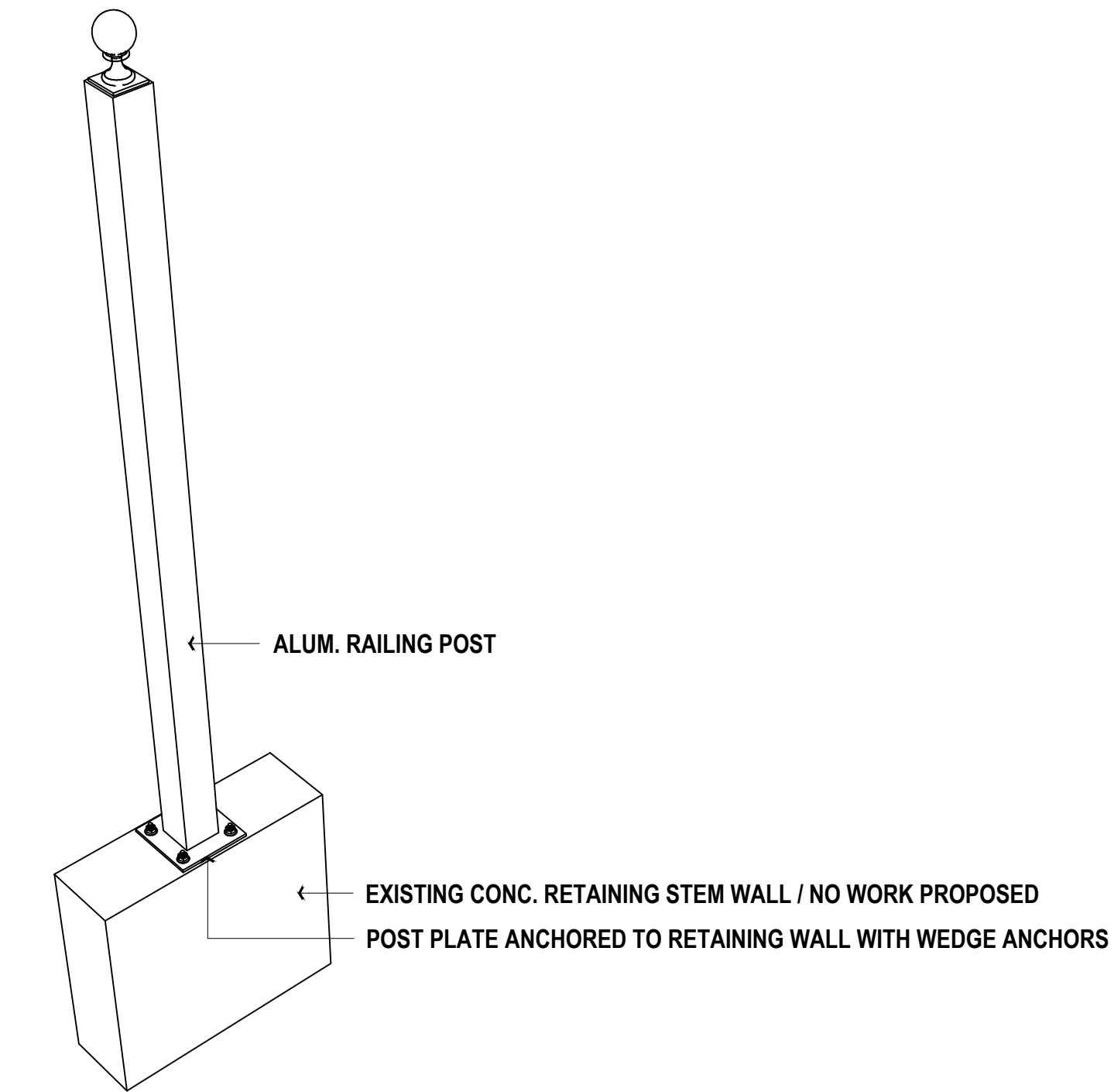


EXISTING RETAINING STEM WALL TO REMAIN / NO WORK PROPOSED

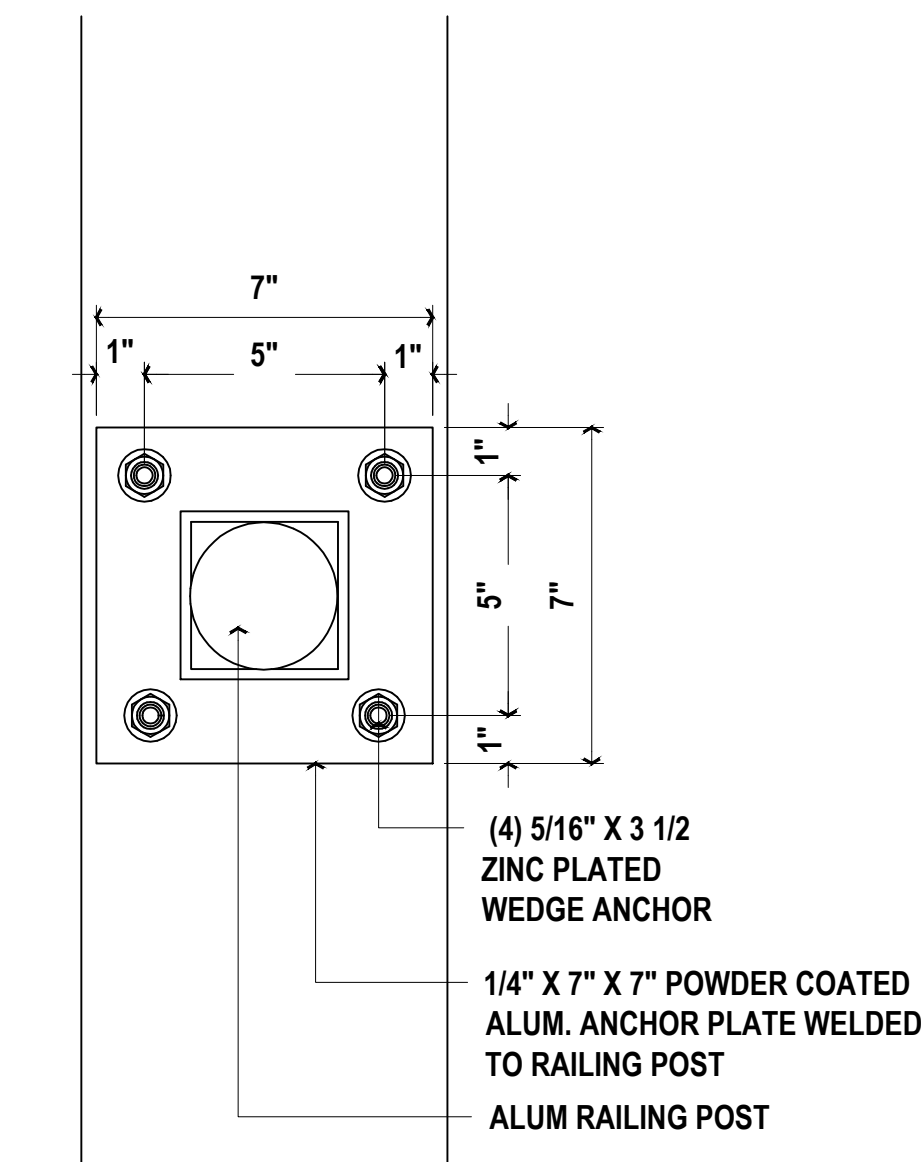
02 PROPOSED FIRST FLOOR PLAN
NO SCALE



03 PROPOSED ELEVATION OF RAILING SYSTEM AND EXISTING RETAINING STEM WALL
SCALE: 3/16"=1'



04 RAILING POST ANCHORED TO EXISTING RETAINING WALL (TYP.)
SCALE: 3/4"=1'



05 ANCHOR PLATE TO WALL DETAIL
SCALE: 3"=1'



DOUGLAS CHARLES PHILLIPS, AIA, NCARB
BOX 724, BROWNSTOWN, PA. 17508
717-808-0332
www.dcparchitect.com
dphillips@dcparchitect.com

PLANS ISSUED FOR
BUILDING PERMIT

REVISIONS:

NELSON SHERTZER
336 LOCUST STREET, COLUMBIA, PA.
PROPOSED RAILING SYSTEM

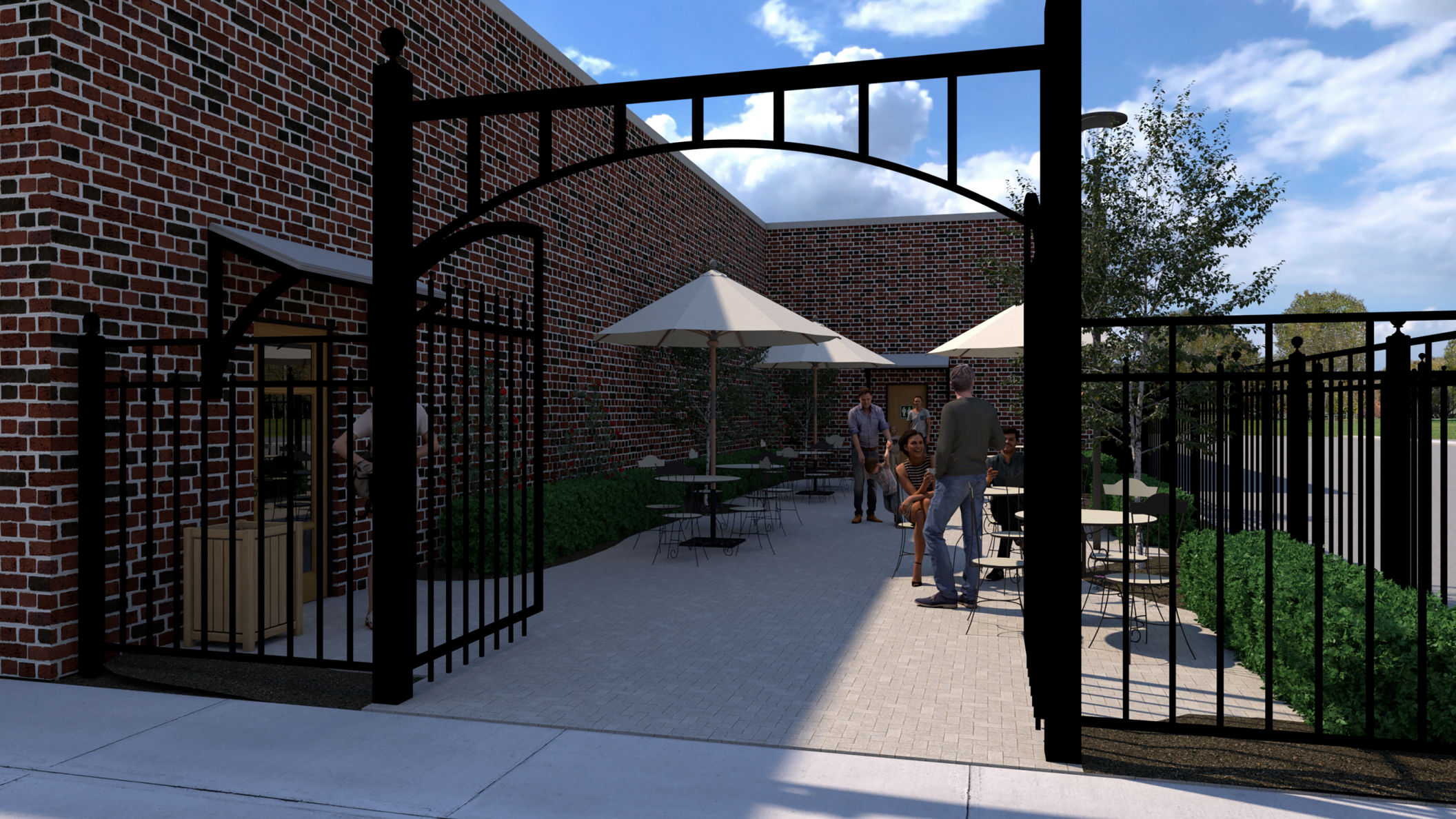
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SHEET NO.

A100

DATE: 10-10-22 SCALE: AS NOTED













August 20, 2021

Ms. Michaela Allwine
Lancaster County Redevelopment Authority
23 Penn Square, Suite 200
Lancaster, PA 17603

RE: Phase I Environmental Site Assessment
Columbia - 332 Locust Street
332 Locust Street
Columbia, Pennsylvania 17512
BL Project No. 2101261

Dear Ms. Allwine,

BL Companies, Inc. ("BL Companies") has performed a Phase I Environmental Site Assessment (ESA) of the property(ies) located at 332 Locust Street, Columbia, Lancaster County, PA ("Site"). This ESA was conducted in general accordance with the scope and limitations of ASTM International (ASTM) E1527-13, "Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process", and in accordance with BL Companies' contract dated June 23, 2021.

Attached is BL Companies' report ("Report") detailing the methods, findings, opinions, and conclusions of the assessment.

This Phase I ESA was conducted under the supervision/responsible charge of an Environmental Professional (EP), as defined by ASTM E1527-13. The interviews and Site reconnaissance portions of this assessment were performed by a person possessing sufficient training and experience necessary to conduct the interviews and Site reconnaissance, and having the ability to identify issues relevant to recognized environmental conditions (RECs) in connection with the Site. The attached Report includes documentation to support the analysis, opinions, and conclusions as presented.

Based on the findings of this ESA, no further environmental investigation of the Site appears warranted at this time.

Columbia - 332 Locust Street
BL Project No. 2101261
August 20, 2021
Page 2 of 2

BL Companies appreciates the opportunity to provide our environmental services to you.
Should there be any questions regarding this Report, please do not hesitate to contact us.

Sincerely,
BL Companies, Inc.



Devin Radel
Staff Scientist



Charles Wolf III
Senior Project Scientist II



ASBESTOS ABATEMENT AND DEMOLITION/RENOVATION NOTIFICATION FORM

<p>For Official Use Only</p> <p>Postmark Date: <u>PM 9/8/22</u></p> <p>Project ID#: _____</p> <p>Permit #: _____</p> <p>Other #: _____</p> <p>Inspector: _____ <i>No ck.</i></p>	<p>Date Received 1</p> <div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="font-size: 1.2em; font-weight: bold; margin: 0;">RECEIVED</p> <p style="font-size: 1.1em; margin: 5px 0 0 0;">SEP 19 2022</p> <p style="font-size: 0.8em; margin: 0;">DEP SOUTHCENTRAL REGION AIR QUALITY</p> </div>	<p>Date Received 2</p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div>
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REFER TO THE ATTACHED INSTRUCTIONS FOR INFORMATION AND REQUIREMENTS.

1.	<p>TYPE OF NOTIFICATION (check one):</p> <p><input type="checkbox"/> Revision (highlight here, and changes)</p> <p><input type="checkbox"/> Postponement</p>	<p><input checked="" type="checkbox"/> Initial</p> <p><input type="checkbox"/> Phase of Annual Notification</p> <p><input type="checkbox"/> Cancellation</p> <p><input type="checkbox"/> Annual Notification</p>
Date of Initial Notification or, if previously revised, date of last revision: _____		
2.	<p>PROJECT LOCATION (check one):</p> <p><input type="checkbox"/> Allegheny County <input type="checkbox"/> City of Philadelphia <input checked="" type="checkbox"/> Other Location in PA (specify county): <u>Lancaster</u></p>	
3.	<p>For Allegheny County and City of Philadelphia projects only:</p> <p>A. Does this project require a permit? <input type="checkbox"/> Yes <input type="checkbox"/> No (If Yes is checked, a permit application must be submitted along with this notification and approved prior to the start of the project.)</p> <p>B. For City of Philadelphia projects requiring a permit:</p> <p>Asbestos project inspector: _____ Certification #: _____</p> <p>Company name: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____ Phone: _____</p>	
4.	<p>WILL ALTERNATIVE METHODS TO ANY OF THE APPLICABLE REGULATIONS BE USED? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>(If Yes is checked, approval must be obtained prior to the start of the project. Please contact the appropriate DEP regional office or local government agency (see reverse of Instruction Sheet for contact list).)</p>	
5.	<p>TYPE OF OPERATION (check one):</p> <p><input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Ordered Demolition <input type="checkbox"/> Abatement prior to Demolition <input type="checkbox"/> Renovation <input type="checkbox"/> Emergency Renovation</p>	
6.	<p>FACILITY DESCRIPTION: Job No.: _____ (see instructions)</p> <p>Facility Name: _____</p> <p>Street/Rural Address: <u>332 Locust St</u></p> <p>City: <u>Columbia</u> State: <u>PA</u> Zip Code: <u>17512</u></p> <p>Present use: <u>Condemned</u> Prior use: _____</p> <p>Will the facility be occupied during the abatement activity? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Facility size in square feet: <u>1,725sf</u> # of floors: <u>2</u> Age in years: <u>90+</u></p>	
7.	<p>ABATEMENT CONTRACTOR:</p> <p>Company name: _____</p> <p>Allegheny County or City of Philadelphia License # (if applicable): _____</p> <p>Street/Rural/POB Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Contact: _____ Telephone No. (between 8:00 & 4:30): _____</p>	

8. DEMOLITION CONTRACTOR:
 Company name: DH Funk & Sons
 Street/Rural/POB Address: 3995 Continental Dr.
 City: Columbia State: PA Zip: 17512
 Contact: Jordan Funk Telephone No. (between 8:00 & 4:30): 717-475-7485

9. FACILITY OWNER:
 Owner name: Lancaster County Redevelopment Authority
 Street/Rural/POB Address: 28 Penn Square, Suite 200 17603
 City: Lancaster State: PA Zip: 7173940793 x232
 Contact: Sean Krumpe Telephone No. (between 8:00 & 4:30): _____

10. FACILITY INSPECTION (required for renovation and demolition projects):
 Building inspector: Charles R. Wolf III Certification # 050115
 Date of inspection: August 3, 2021 Is any material assumed to be asbestos? Yes No
 Procedure, including analytical method, if appropriate, used to detect the presence of asbestos material:
Site traversed on foot by Environmental Professional to evaluate for conditions indicative to recognized environmental conditions in connection with the Site. Age of structure also used to verify no ACMs on site.

Building is ID and in danger of collapse. An asbestos investigator will be on site during demolition. (Philadelphia only)

11. IS ANY TYPE OF ASBESTOS PRESENT Yes No If Yes, please list in #12

12. TYPE OF ACM, DESCRIPTION & LOCATION OF MATERIAL, APPROXIMATE AMOUNT OF ACM, TYPE OF ABATEMENT AND FINAL AIR CLEARANCE METHOD.
 PROVIDE INFORMATION IN THE SPACES BELOW, THEN CONTINUE ON ANOTHER SHEET, IF NECESSARY, USING THE SAME FORMAT.

Code *	Description of material	Location of material (room/floor/area)	Amount of ACM	Code **	Code ***	Code ****

Code *	Code **	Code ***	Code ****
Type of ACM	Units	Type of abatement	Final Clearance
FRI - Friable ACM	LF - Linear ft.	REM - Removal	PCM - Phase contrast microscopy
NF1 - Cat I nonfriable ACM	SF - Square ft.	CAP - Encapsulation	TEM - Transmission electron microscopy
NF2 - Cat II nonfriable ACM	CF - Cubic ft.	CLO - Enclosure	
(Note: Allegheny County treats all ACM as friable)		NON - None	

13. Is this project regulated by NESHAP Yes No
 A project that includes the demolition of any defined "facility" is regulated by NESHAP. A renovation project is also regulated by NESHAP when the amounts of friable ACM, or ACM that may be rendered friable, are as follows: 260 LF or 160 SF or 35 CF.

14. OPERATION SCHEDULE(S) (as applicable)

- A. Asbestos abatement: Start Date: _____ Completion Date: _____
Daily hours of operation: _____ am _____ pm to _____ am _____ pm
Days of week (check) Mo Tu We Th Fr Sa Su
- B. Demolition: Start Date: December 1st Completion Date: January 31st
Daily hours of operation: 7:00 am am pm to 5:00 pm am pm
Days of week (check) Mo Tu We Th Fr Sa Su
- C. Renovation: Start Date: _____ Completion Date: _____
Daily hours of operation: _____ am _____ pm to _____ am _____ pm
Days of week (check) Mo Tu We Th Fr Sa Su

COMMENTS:

15. DESCRIPTION OF PLANNED DEMOLITION OR RENOVATION WORK:

Take down, separate from existing structures, and
remove building. Backfill basement and temporary
seed and straw mulch

16. DESCRIPTION OF WORK PRACTICES AND ENGINEERING CONTROLS TO BE USED TO REMOVE ACM AND TO PREVENT EMISSIONS OF ASBESTOS AT THE DEMOLITION AND RENOVATION SITE:

17. WASTE TRANSPORTER(S)

- A. Transporter #1 name: _____
Street/Rural Address: _____
City: _____ State: _____ Zip: _____
Contact: _____ Telephone: _____
- B. Transporter #2 name: _____
Street/Rural Address: _____
City: _____ State: _____ Zip: _____
Contact: _____ Telephone: _____

18. WASTE DISPOSAL SITE(S): (any asbestos containing material)

- A. Landfill name: _____ DEP permit #: _____
Street/Rural Address: _____
City: _____ State: _____ Zip: _____
Contact: _____ Telephone: _____
- B. Landfill name: _____ DEP permit #: _____
Street/Rural Address: _____
City: _____ State: _____ Zip: _____
Contact: _____ Telephone: _____

19. AIR MONITORING FIRM(S)

- A. Company name/individual: _____
Street/Rural Address: _____
City: _____ State: _____ Zip: _____
Contact: _____ Telephone: _____
- B. Final clearance firm: (if different than 19A) _____
Street/Rural Address: _____
City: _____ State: _____ Zip: _____
Contact: _____ Telephone: _____
- Final clearance firm was hired by (check one) Contractor Owner
 Other Explain _____

20. AIR SAMPLE FIRM(S) (City of Philadelphia projects only)

- A. PCM company name/individual: _____ Certification #: _____
Street/Rural Address: _____
City: _____ State: _____ Zip: _____
Contact: _____ Telephone: _____
- B. TEM company name: _____ Certification #: _____
Street/Rural Address: _____
City: _____ State: _____ Zip: _____
Contact: _____ Telephone: _____

21. FOR EMERGENCY RENOVATIONS:

Date of emergency (mm/dd/yy): _____ Hour of emergency: _____ am pm

Description of the sudden, unexpected event:

Explanation of how the event caused unsafe conditions or would cause equipment damage or an unreasonable financial burden as a consequence of complying with the 10 working day notification requirement:

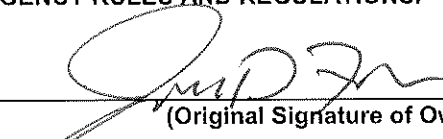
22. FOR ORDERED DEMOLITIONS (attach copy of order):
Government agency that ordered: _____
Name of individual who ordered: _____ Title: _____
Date of order (mm/dd/yy): _____ Date ordered to begin (mm/dd/yy): _____

23. DESCRIPTION OF PROCEDURES TO BE FOLLOWED IN THE EVENT THAT UNEXPECTED ASBESTOS IS FOUND OR PREVIOUSLY NONFRIABLE ASBESTOS MATERIAL BECOMES CRUMBLLED, PULVERIZED, OR REDUCED TO POWDER:

24. PENNSYLVANIA CERTIFICATIONS/LICENSES:
Project designer: _____ Certification #: _____
Contractor (Individual): _____ Certification #: _____
Supervisor: _____ Certification #: _____
Contractor (Firm) _____ Certification #: _____

******* SIGN BOTH STATEMENTS *******

25. I HEREBY CERTIFY THAT AN INDIVIDUAL TRAINED IN THE PROVISIONS OF 40 CFR PART 61 SUBPART M (if applicable) WILL BE ON-SITE DURING THE DEMOLITION OR RENOVATION AND EVIDENCE THAT THE REQUIRED TRAINING HAS BEEN ACCOMPLISHED BY THIS PERSON WILL BE AVAILABLE FOR INSPECTION DURING ALL WORKING HOURS, AND I CERTIFY THAT ALL WORK WILL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY RULES AND REGULATIONS.




(Original Signature of Owner/Operator) 9/8/2022

(Date)

Printed Name of Owner/Operator: Jordan D. Funk Title: President

26. I HEREBY CERTIFY THAT THE FOREGOING STATEMENTS AND THE INFORMATION CONTAINED IN THIS NOTIFICATION FORM ARE TRUE. THIS CERTIFICATION IS MADE SUBJECT TO THE PENALTIES SET FORTH IN 18 PA C.S. §4904 RELATING TO UNSWORN FALSIFICATION TO AUTHORITIES.



(Original Signature of Owner/Operator) 9/8/2022

(Date)

Printed Name of Owner/Operator: Jordan D. Funk Title: President

FOR OFFICIAL USE ONLY

Instructions



ASBESTOS ABATEMENT AND DEMOLITION/RENOVATION NOTIFICATION FORM

Complete all applicable sections of the notification. Fax copies are not accepted, as the notification must be certified with an **original signature**. To avoid a violation by failure to report, it would be prudent to submit a notification regardless of friability of materials. This form is used to satisfy the notification requirements of the following agencies:

- PA Department of Environmental Protection
- PA Department of Labor and Industry
- Allegheny County Health Department
- City of Philadelphia Department of Public Health
- US Environmental Protection Agency

Questions relative to specific filing requirements and enforcement regulations should be directed to the governing agency. Addresses and phone numbers are listed on the reverse. **Do not mail original notifications to the Department of Labor and Industry.**

Special Notations:

- All REVISIONS to a previous notification should be highlighted
- Item #5 - Check the box that best describes the entire project
- Item #6 - The "Job No." portion of this Item is provided for those contractors who assign a unique job # to their projects
- Item #12 - Please provide the information in the format requested
- If additional space is needed for any descriptive text, please continue on a blank sheet, and attach

For projects in **all areas except Allegheny County and the City of Philadelphia**, this Notification and subsequent revisions (one original only, **no copies**) must be submitted to the following address.

Regular Mail
 ASBESTOS NOTIFICATION
 DEP BUREAU OF AIR QUALITY
 PO BOX 8468
 HARRISBURG, PA 17105-8468

Overnight/Express Mail/Hand Delivery
 ASBESTOS NOTIFICATION
 DEP BUREAU OF AIR QUALITY
 400 MARKET STREET
 HARRISBURG, PA 17101

For projects in **Allegheny County or the City of Philadelphia**, this form must be submitted to the appropriate address, directly following. Allegheny County requires two copies, the City of Philadelphia, three. If this project requires a permit application, it must be approved prior to the start of the project, and 2 copies must be included with the notification. A copy of the facility inspection survey must also be included for all demolition projects. Do not send these documents directly to Harrisburg.

Allegheny County Health Department
 Air Quality Program
 Building 7
 301 39th Street
 Pittsburgh, PA 15201-1891
 Attn: Asbestos Abatement Permitting

City of Philadelphia
 Department of Public Health
 Air Management Services
 Asbestos Control Unit
 321 University Avenue
 Philadelphia, PA 19104-4597

Allegheny County - A permit is required if the project involves at least 260 linear feet or 160 square feet of any asbestos containing material. For Item #10, the survey must be included for demolition projects. Item #25 should be signed by the Contractor. Item #26 should be signed by the Facility Owner. Information can be obtained by calling 412-578-8133.

City of Philadelphia - A permit is required if the project involves 80 or more square feet or 40 or more linear feet of friable asbestos containing material and does not involve an exempted private residence. Information can be obtained by calling 215-685-7576.

If this project is regulated by the Asbestos **NESHAP**, a photocopy of this notification must be sent to EPA Region III at the address directly following. EPA's telephone number is 215-814-2164/215-814-2135.

Asbestos NESHAP Coordinator (3WC32)
 US EPA Region III
 1650 Arch Street
 Philadelphia, PA 19103

Questions regarding completion of the notification form should be directed to 717-772-3993/717-787-9257 or the appropriate enforcement agency listed on the reverse.

REMINDER: Notifications must contain original signatures for items 25 and 26 or they will be returned to the sender, unprocessed. If a notification is returned for original signature, the ten-day reporting period will begin with the postmark date of the resubmitted notification with original signature. -- SEE REVERSE FOR LIST OF CONTACTS --

Commonwealth Of PA
Clean Air Fund
909 Elmerton Avenue
Harrisburg, PA 17110-8200

Check: 119321
Date: 9/20/2022
Vendor: COMMPAWA

Invoice	P.O. Num.	Invoice Amt	Prior Balance	Retention	Discount	Amt. Paid
022-0920		300.00	300.00	0.00	0.00	300.00
332 Locust St. Demo Permit						
		<u>300.00</u>	<u>300.00</u>	<u>0.00</u>	<u>0.00</u>	<u>300.00</u>

ORIGINAL DOCUMENT PRINTED ON CHEMICAL RESISTIVE PAPER WITH MICROPRINTED BORDER

119321



3995 CONTINENTAL DRIVE
COLUMBIA, PA 17512
(717) 684-0708
www.dhfunk.com



60-142/313

DATE AMOUNT 119321

9/20/2022 *****300.00

PAY TO THE ORDER OF THE SUM OF THREE HUNDRED DOLLARS AND NO CENTS *****

THIS CHECK IS PROTECTED BY POSITIVE PAY

Commonwealth Of PA
Clean Air Fund
909 Elmerton Avenue
Harrisburg, PA 17110-8200

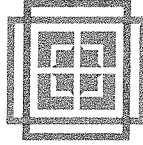


[Handwritten Signature]



THIS DOCUMENT CONTAINS HEAT SENSITIVE INK TOUCH OR PRESS HERE RED IMAGE DISAPPEARS WITH HEAT

PM 9/20/22
RECEIVED
SEP 22 2022
DEP SOUTH CENTRAL REGION
AIR QUALITY



LANCASTER COUNTY
**Redevelopment
Authority**

July 12, 2022

Subject: Demolition of Building – Utility Notification

Property to be Demolished:

- 332 Locust Street, Columbia, PA 17512

Dear Utility Provider,

This is to advise you that we will be performing demolition work on the above property. We are notifying you because you have been listed as having a utility connected to this property. We are asking that you disconnect the utility and send a release to the contact listed below stating that the utility's service connections have been disconnected, and that all appurtenant equipment has been removed, sealed, and plugged in a safe manner. If you need assistance accessing the property to do this, please reach out to the contact listed below.

If you have any questions, please contact:

Sean Krumpe

Phone: 717.394.0793 x 232

Email: skrumpe@lchra.com

Thank you,

Lancaster County Redevelopment Authority

332 Locust Demolition Release



Megan Stiffey <MStiffey@columbiawater.net>

To: Sean Krumpe



Wed 8/3/2022 10:30 AM

Hi Sean,

Yes, yesterday at 1:00pm The meter was removed from 332 Locust St, and the water was turned off at the curb.

Thank you,

Megan

Megan Stiffey
Customer Service
(717) 684-2188
(717) 684-4566 (fax)
Email: mstiffey@columbiawater.net

Columbia Water Company
220 Locust Street
P.O. Box 350
Columbia, PA 17512





LANCASTER COUNTY
Redevelopment
 Authority

28 Penn Square • Suite 200 • Lancaster, PA 17603-4297

CERTIFIED MAIL



7021 1970 0001 2094 3446

CenturyLink
 1201 Walnut Bottom Road
 Carlisle, PA 17013-7688

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 CenturyLink
 1201 Walnut Bottom Road
 Carlisle, PA 17013-7688



9590 9402 6630 1028 7906 19

2. Article Number (Transfer from service label)
 7021 1970 0001 2094 3446

PS Form 3811, July 2020 PSN 7530-02-000-9063

COMPLETE THIS SECTION ON DELIVERY

- A. Signature Agent Addressee
- B. Received by (Printed Name) _____ C. Date of Delivery _____
- D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below: _____

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ _____
- Return Receipt (electronic) \$ _____
- Certified Mail Restricted Delivery \$ _____
- Adult Signature Required \$ _____
- Adult Signature Restricted Delivery \$ _____

Postmark
 Here

Postage \$ _____

Total Postage and Fees \$ _____

Sent To
 CenturyLink
 Street and Apt. No., or PO Box No.
 1201 Walnut Bottom Road
 City, State, ZIP+4®
 Carlisle, PA 17013-7688

944E 4602 T000 026T T202



LANCASTER COUNTY
Redevelopment
 Authority

28 Penn Square • Suite 200 • Lancaster, PA 17603-4297

7021 1970 0001 2094 3293



CERTIFIED MAIL

Columbia Water Company
 P.O. Box 350
 Columbia, PA 17512

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Columbia Water Company
 P.O. Box 350
 Columbia, PA 17512



9590 9402 4021 8079 1352 19

2. Article Number (Transfer from service label)

7021 1970 0001 2094 3293

PS Form 3811, July 2015 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent
 Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery Restricted Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark
 Here

Postage

\$

Total Postage and Fees

\$

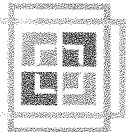
Sent To

Columbia Water Company
 Street and Apt. No., or PO Box No.
 P.O. Box 350
 City, State, ZIP+4®
 Columbia, PA 17512

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

EB2E 4602 T000 066T T20L



LANCASTER COUNTY
Redevelopment
 Authority

28 Penn Square • Suite 200 • Lancaster, PA 17603-4297

7021 1970 0001 2094 3439



CERTIFIED MAIL

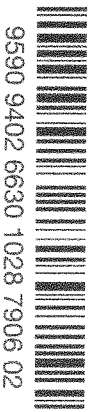
Comcast
 1131 South Duke Street
 Lancaster, PA 17602-4660

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Comcast
 1131 South Duke Street
 Lancaster, PA 17602-4660



9590 9402 6630 1028 7906 02

2. Article Number (Transfer from service label)

7021 1970 0001 2094 3439

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

- A. Signature Agent Addressee
- B. Received by (Printed Name) _____ C. Date of Delivery _____
- D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below: _____

3. Service Type
- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |
| <input type="checkbox"/> Insured Mail | |
| <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500) | |

Domestic Return Receipt

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark Here

Sent To
Comcast
 Street and Apt. No., or PO Box No.
1131 South Duke Street
 City, State, ZIP+4®
Lancaster, PA 17602-4660

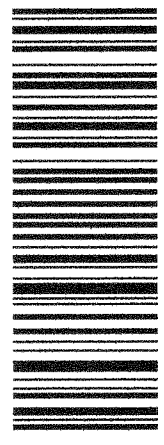
6E4E 4502 T000 046T T202



LANCASTER COUNTY
**Redevelopment
 Authority**

28 Penn Square • Suite 200 • Lancaster, PA 17603-4297

CERTIFIED MAIL



7021 1970 0001 2094 3309

Lancaster Area Sewer Authority
 130 Centerville Road
 Lancaster, PA 17603-4007

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 Lancaster Area Sewer Authority
 130 Centerville Road
 Lancaster, PA 17603-4007



9590 9402 6630 1028 7905 10

2. Article Number (Transfer from service label)
 7021 1970 0001 2094 3309

PS Form 3811, July 2020 PSN 7530-02-000-9063

COMPLETE THIS SECTION ON DELIVERY

- A. Signature Agent Addressee
- B. Received by (Printed Name) _____ C. Date of Delivery _____
- D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below: _____

3. Service Type
- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | <input type="checkbox"/> Insured Mail (over \$500) |
| <input type="checkbox"/> Insured Mail | <input type="checkbox"/> Insured Mail Restricted Delivery |

Domestic Return Receipt

**U.S. Postal Service™
 CERTIFIED MAIL® RECEIPT
 Domestic Mail Only**

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

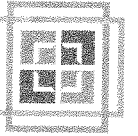
Postage \$ _____

Total Postage and Fees \$ _____

Postmark
 Here

Sent To
 Lancaster Area Sewer Authority
 Street and Apt. No., or PO Box No.
 130 Centerville Road
 City, State, ZIP+4®
 Lancaster, PA 17603-4007

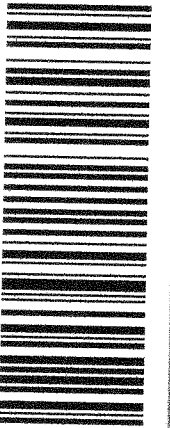
603E 4602 T000 046T T20L



LANCASTER COUNTY
**Redevelopment
 Authority**

28 Penn Square • Suite 200 • Lancaster, PA 17603-4297

CERTIFIED MAIL



7021 1970 0001 2094 3354

PPL Electric Utilities
 651 Delp Road
 Lancaster, PA 17601-3034

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

PPL Electric Utilities
 651 Delp Road
 Lancaster, PA 17601-3034



9590 9402 6630 1028 7906 26

2. Article Number (Transfer from service label)

7021 1970 0001 2094 3354

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

Agent
 Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?

If YES, enter delivery address below:

Yes
 No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

**U.S. Postal Service™
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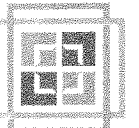
OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
 Here

Sent to
 PPL Electric Utilities
 Street and Apt. No., or PO Box No.
 651 Delp Road
 City, State, ZIP+4®
 Lancaster, PA 17601-3034

45EE 4602 T000 046T 7202



LANCASTER COUNTY
Redevelopment Authority

28 Penn Square • Suite 200 • Lancaster, PA 17603-4297

7021 1970 0001 2094 3316



CERTIFIED MAIL

UGI Utilities Inc.
 262 Conestoga Street
 Lancaster, PA 17603-5304

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

UGI Utilities Inc.
 262 Conestoga Street
 Lancaster, PA 17603-5304



9590 9402 6630 1028 7906 64

2. Article Number (Transfer from service label)

7021 1970 0001 2094 3316

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

- A. Signature Agent Addressee
- B. Received by (Printed Name) _____ C. Date of Delivery _____

D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |
| <input type="checkbox"/> Insured Mail (over \$500) | |
| <input type="checkbox"/> Insured Mail Restricted Delivery | |

Domestic Return Receipt

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

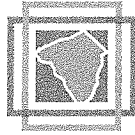
OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark Here

Sent To
 UGI Utilities Inc.
 Street and Apt. No., or PO Box No.
 262 Conestoga Street
 City, State, ZIP+4®
 Lancaster, PA 17603-5304

9TEE 4602 T000 026T T202



LANCASTER COUNTY

**Land Bank
Authority**

SUPPORTED BY THE LANCASTER COUNTY
REDEVELOPMENT AUTHORITY

August 2, 2022

Subject: Demolition of Structure

Property to be Demolished:

- 332 Locust Street, Columbia, PA 17512

Dear Resident,

This is to advise you that from October 1, 2022, to November 30, 2022, we will be performing demolition work on the above property, located near yours.

If you have any questions, please contact:

Sean Krumpe

Phone: 717.394.0793 x 232

Email: skrumpe@lchra.com

Thank you,

Lancaster County Land Bank Authority



October 1, 2022

Subject: Demolition of Structure

Property to be Demolished:

332 Locust Street, Columbia, PA 17512

Resident,

We wish to advise you that from October 1, 2022, to November 30, 2022, we will be performing demolition work on the above property, located at 332 Locust Street, Columbia, PA 17512.

If you have any questions, please contact:

Mr. Peter

Phone: 717.394.0793 x 232

Email: skrumpe@lchra.com

Sincerely,

Director, Lancaster County Land Bank Authority

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 Current Resident
 327 Locust Street
 Columbia, PA 17512-1120

2. Article Number (Transfer from service label)
 7021 1970 0001 2094 3422



9590 9402 6630 1028 7904 97

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X _____ Agent
 Addressee

B. Received by (Printed Name) _____ C. Date of Delivery _____

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™ Restricted Delivery
<input type="checkbox"/> Collect on Delivery Restricted Delivery	
<input type="checkbox"/> Insured Mail	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

7021 1970 0001 2094 3422

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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postage \$ _____

Postmark Here

Total Postage and Fees \$ _____

Sent To: Current Resident
 Street and Apt. No., or PO Box No. 327 Locust Street
 City, State, ZIP+4® Columbia, PA 17512-1120

PS Form 3800, April 2015 PSN 7530-00-000-9047 See Reverse for Instructions



August 2, 2022

Subject: Demolition of Structure

Property to be Demolished:

• 332 Locust Street, Columbia, PA 17512

Dear Resident,

We wish to advise you that from October 1, 2022, to November 30, 2022, we will be performing demolition work on the above property, located near yours.

If you have any questions, please contact:

Sharon Krumpe


Phone: 717.394.0793 x 232

Email: skrumpe@lchra.com

Thank you,

Lancaster County Land Bank Authority

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>X</p> <p>B. Received by (<i>Printed Name</i>) C. Date of Delivery</p>	
<p>1. Article Addressed to:</p> <p style="font-size: 1.2em;">Current Resident 331 Locust Street Columbia, PA 17512-1120</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
 9590 9402 6630 1028 7862 92	<p>3. Service Type <input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Registered Mail™</p> <p> <input type="checkbox"/> Adult Signature <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500) </p>	
<p>2. Article Number (<i>Transfer from service label</i>)</p> <p style="font-size: 1.2em;">7021 1970 0001 2094 3415</p>		

7021 1970 0001 2094 3415

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Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Post to: Current Resident
Street and Apt. No., or PO Box No. 331 Locust Street
City, State, ZIP+4® Columbia, PA 17512-1120



August 2, 2022

Subject: Demolition of Structure

Property to be Demolished:

332 Locust Street, Columbia, PA 17512

Current Resident,

We wish to advise you that from October 1, 2022, to November 30, 2022, we will be performing demolition work on the above property, located at 332 Locust Street, Columbia, PA 17512. This work is for the benefit of the community and is necessary for the development of the area. We appreciate your understanding and cooperation.

If you have any questions, please contact:

John Krumpke


Phone: 717.394.0793 x 232

Email: skrumpe@lchra.com

Thank you,

Lancaster County Land Bank Authority

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY																	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>X</p>																	
<p>1. Article Addressed to:</p> <p style="font-size: 1.2em; margin-left: 20px;">Current Resident 336 Locust Street Columbia, PA 17512-1121</p>	B. Received by (Printed Name)	C. Date of Delivery																
	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>																	
<p>2. Article Number (Transfer from service label)</p> <p style="font-size: 1.2em; margin-left: 20px;">7021 1970 0001 2095 3650</p>	<p>3. Service Type</p> <table style="width: 100%; border: none;"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>		<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Collect on Delivery Restricted Delivery		<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
	<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®																
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™																	
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery																	
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™																	
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery																	
<input type="checkbox"/> Collect on Delivery Restricted Delivery																		
<input type="checkbox"/> Insured Mail																		
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)																		
 9590 9402 6630 1028 7864 69																		

7021 1970 0001 2095 3650

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Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Postmark
Here

Sent To: Current Resident

Street and Apt. No., or P.O. Box No. 336 Locust Street

City, State, ZIP+4® Columbia PA 17512-1121

PS Form 3800, April 2015 PSN 7530-02-100-9049 See Reverse for Instructions



August 2, 2022

Subject: Demolition of Structure

Property to be Demolished:

332 Locust Street, Columbia, PA 17512

Current Resident,

We wish to advise you that from October 1, 2022, to November 30, 2022, we will be performing demolition work on the above property, located near your property.

If you have any questions, please contact:

Tim Krumpe

Phone: 717.394.0793 x 232

Email: skrumpe@lchra.com

Thank you,

Lancaster County Land Bank Authority

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>X</p> <p>B. Received by (<i>Printed Name</i>) C. Date of Delivery</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to:</p> <p style="font-size: 1.2em;">Current Resident 340 Locust Street Columbia, PA 17512-1121</p>	<p>3. Service Type <input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Registered Mail™</p> <p><input type="checkbox"/> Adult Signature <input type="checkbox"/> Registered Mail Restricted Delivery</p> <p><input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail Restricted Delivery</p> <p><input type="checkbox"/> Certified Mail® <input type="checkbox"/> Signature Confirmation™</p> <p><input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery</p> <p><input type="checkbox"/> Collect on Delivery</p> <p><input type="checkbox"/> Collect on Delivery Restricted Delivery</p> <p><input type="checkbox"/> Insured Mail</p> <p><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p>
<p>2. Article Number (<i>Transfer from service label</i>)</p> <p>7021 1970 0001 2094 3408</p>	<p>Postmark Here</p>



9590 9402 6630 1028 7906 40

7021 1970 0001 2094 3408

OFFICIAL USE

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CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com

SENT TO: Current Resident
Street and Apt. No. or PO Box No. 340 Locust Street
City, State, ZIP+4® Columbia, PA 17512-1121

PS Form 3800, April 2015 PSN 7530-02-000-9017 See Reverse for Instructions

Certified Mail Fee \$ _____

Extra Services & Fees (check box and fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____



October 2, 2022

Subject: Demolition of Structure

Property to be Demolished:

332 Locust Street, Columbia, PA 17512

Current Resident,

We wish to advise you that from October 1, 2022, to November 30, 2022, we will be performing demolition work on the above property, located at 332 Locust Street, Columbia, PA 17512. If you have any questions, please contact:

For information, please contact:

Mr. Skrumpe

Phone: 717.394.0793 x 232

Email: skrumpe@lchra.com

Thank you,

Lancaster County Land Bank Authority

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 Current Resident
 341 Locust Street
 Columbia, PA 17512-1120

2. Article Number (Transfer from service label)
 7021 1970 0001 2094 3392

9590 9402 6630 1028 7862 54

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X Agent
 Addressee

B. Received by (Printed Name) _____ C. Date of Delivery _____

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery
<input type="checkbox"/> Collect on Delivery Restricted Delivery	
<input type="checkbox"/> Insured Mail	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

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OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To _____
 Street and Apt. No., or PO Box No. _____
 City, State, Zip+4 _____
 Columbia, PA 17512-1120

Postmark Here _____

7021 1970 0001 2094 3392



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

09/29/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER The Rigg Darlington Group 14 East Welsh Pool Road Exton PA 19341		CONTACT NAME: Melissa Phillips, CISR Elite PHONE (A/C, No, Ext): (484) 876-2222 E-MAIL ADDRESS: mphillips@rdgins.com FAX (A/C, No): (484) 876-3120	
		INSURER(S) AFFORDING COVERAGE	
		INSURER A: Penn National Mutual Casualty Ins Co	NAIC # 14990
		INSURER B:	
		INSURER C:	
		INSURER D:	
		INSURER E:	
		INSURER F:	
INSURED D.H. Funk & Sons, LLC 3995 Continental Drive Columbia PA 17512-9710			

COVERAGES

CERTIFICATE NUMBER: 22-23 MISC


REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Contractual Liability <input checked="" type="checkbox"/> XCU Included GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			CL90713818	10/06/2022	10/06/2023	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
							MED EXP (Any one person)	\$ 10,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			AU90713818	10/06/2022	10/06/2023	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 0			UL90713818	10/06/2022	10/06/2023	EACH OCCURRENCE	\$ 10,000,000
							AGGREGATE	\$ 10,000,000
								\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	WC90713818	10/06/2022	10/06/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER	
							E.L. EACH ACCIDENT	\$ 100,000
							E.L. DISEASE - EA EMPLOYEE	\$ 100,000
							E.L. DISEASE - POLICY LIMIT	\$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

Lancaster County Redevelopment Authority 28 Penn Square Suite 200 Lancaster PA 17603	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: 10/25/22

DEPARTMENT: Administration

TITLE: Authorize Staff to partner with DR1 and the Lancaster EDC to apply for a SMART Grant for the McGinness Innovation Park.

SUMMARY: US Department of Transportation has opened up a round of grants that is focused on funding demonstration projects to improve transportation efficiency and safety. DR1 has requested that the Borough serve as the applicant for this grant. If awarded, Lancaster EDC will manage the grant. For Stage 1, there is no required match.

BACKGROUND AND JUSTIFICATION: The purpose of the SMART Grants Program is to conduct demonstration projects focused on advanced smart city or community technologies and systems in a variety of communities to improve transportation efficiency and safety. The program funds projects that are focused on using technology interventions to solve real-world challenges and build data and technology capacity and expertise in the public sector.

The SMART Grants Program includes two stages: Stage 1 Planning and Prototyping Grants (Stage 1 grants) and Stage 2 Implementation Grants (Stage 2 grants). The program structure is based on a belief that planning, prototyping, and partnership are critical to advancing the state of the practice for data and technology projects in the public sector. USDOT anticipates that only recipients of Stage 1 Planning and Prototyping Grants will be eligible for Stage 2 Implementation Grants and anticipates funding projects of up to \$2,000,000 per project for Stage 1 and up to \$15,000,000 per project for Stage 2.

For our project, Phase 1 will include the following:

- Initial planning and assessment, project development, FAA permitting (BVLOS Waiver, etc.) and test of equipment required for a corridor system. Lines of Effort include:
 - Formulate Stage 2 implementation plan (i.e., feasibility study) (DR1/Padina)
 - Development of Concept of Operation (OneSky)
 - Acquisition/installation of 1 sensor pack on fiber optic line along river (Columbia/DR1)
 - Acquisition/Installation temporary shelter within MIP footprint (Columbia/DR1)
 - Acquisition of drone system (DR1)
 - Conduct flight testing to support BVLOS waiver application (performed VLOS)(Argos)

MOTION: Authorize Staff to partner with DR1 to submit a grant application to the US DOT for a SMART grant for the McGinness Innovation Park.

ATTACHMENT(S):

- FY 2022 SMART Grant Notice of Funding Opportunity

SMART Grants Notice of Funding Opportunity

AGENCY: Office of the Assistant Secretary for Research and Technology (OST-R), U.S. Department of Transportation (DOT or the Department)

ACTION: Notice of Funding Opportunity (NOFO), Assistance Listing #20.941

SUMMARY: The purpose of this notice is to solicit applications for Strengthening Mobility and Revolutionizing Transportation (SMART) grants. Funds for the fiscal year (FY) 2022 SMART Grants Program are to be awarded on a competitive basis to conduct demonstration projects focused on advanced smart city or community technologies and systems to improve transportation efficiency and safety.

DATES: Applications must be submitted by 5:00 PM EST on Friday, November 18, 2022. Late applications will not be accepted.

ADDRESSES: Applications must be submitted via Valid Eval, an online submission proposal system used by USDOT, at https://usg.valideval.com/teams/USDOT_SMART_2022/signup.

FOR FURTHER INFORMATION: Please contact SMART Grant Program staff via email at smart@dot.gov, or call Roxanne Ledesma at 202-774-8003. A telecommunications device for the deaf (TDD) is available at 202-366-3993. In addition, USDOT will regularly post answers to questions and requests for clarifications, as well as schedule information regarding webinars providing additional guidance, on USDOT's website at <https://www.transportation.gov/smart>. The deadline to submit technical questions is Friday, November 4, 2022.

SUPPLEMENTARY INFORMATION: Each section of this notice contains information and instructions relevant to the application process for SMART grants. All applicants should read this notice in its entirety so that they have the information they need to submit eligible and competitive applications.

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Office of the Assistant Secretary for Research and Technology (OST-R), USDOT. Notice of Funding Opportunity for the Strengthening Mobility and Revolutionizing Transportation (SMART) Grants Program

A. Program Description

1. Overview

Section 25005 of the Infrastructure Investment and Jobs Act (Pub. L. 117–58, November 15, 2021; also referred to as the “Bipartisan Infrastructure Law” or “BIL”) authorized and appropriated \$100 million to be awarded by the Department of Transportation (DOT) for FY 2022 for the SMART Grants Program. This NOFO solicits applications for activities to be funded under the SMART Grants Program. The FY22 funding will be implemented, as appropriate and consistent with law, in alignment with the priorities in Executive Order 14052, Implementation of the Infrastructure Investment and Jobs Act (86 FR 64355).¹

The purpose of the SMART Grants Program is to conduct demonstration projects focused on advanced smart city or community technologies and systems in a variety of communities to improve transportation efficiency and safety. The program funds projects that are focused on using technology interventions to solve real-world challenges and build data and technology capacity and expertise in the public sector.²

2. Program Structure

The SMART Grants Program includes two stages: *Stage 1 Planning and Prototyping Grants (Stage 1 grants)* and *Stage 2 Implementation Grants (Stage 2 grants)*. The program structure is based on a belief that planning, prototyping, and partnership are critical to advancing the state of the practice for data and technology projects in the public sector. USDOT anticipates that only recipients of Stage 1 Planning and Prototyping Grants will be eligible for Stage 2 Implementation Grants and anticipates funding projects of up to \$2,000,000 per project for Stage 1 and up to \$15,000,000 per project for Stage 2.

Stage 1 recipients should build internal buy-in and partnerships with stakeholders to refine and prototype their concepts, and report on results. Stakeholders can include public, private, academic, and nonprofit organizations; organized labor and workforce organizations; and community organizations and networks. At the conclusion of Stage 1, recipients should have the information to either create a fully realized implementation plan with robust performance metrics; or to make an informed decision not to proceed with the concept. Stage 1 results may uncover previously unknown institutional barriers, technical limitations, or poor performance relative to conventional solutions. The SMART Grants Program expects to document lessons learned from Stage 1 projects, knowing that these findings will be broadly beneficial to the transportation sector.

¹ The priorities of Executive Order 14052, “Implementation of the Infrastructure Investments and Jobs Act” are as follows: to invest efficiently and equitably, promote the competitiveness of the U.S. economy, improve job opportunities by focusing on high labor standards and equal employment opportunity, strengthen infrastructure resilience to hazards including climate change, and to effectively coordinate with State, local, Tribal, and territorial government partners. <https://www.federalregister.gov/documents/2021/11/18/2021-25286/implementation-of-the-infrastructure-investment-and-jobs-act>

² For more information and illustrative use cases, please see www.transportation.gov/SMART.

Stage 2 implementation projects should result in a scaled-up demonstration of the concept, integrating it with the existing transportation system and refining the concept such that it could be replicated by others. If demonstration at scale identifies critical challenges, gaps, or negative impacts, they should be clearly stated and documented so that other communities that take on similar projects can learn from them and adapt.

This NOFO solicits applications only for Stage 1 grants. USDOT anticipates that an FY23 SMART Grants Program NOFO will solicit applications for both Stage 1 and Stage 2 grants.

3. Departmental Priorities

The *FY 2022-2026 U.S. Department of Transportation Strategic Plan* establishes USDOT's strategic goals: safety, economic strength and global competitiveness, equity, climate and sustainability, transformation, and organizational excellence.³ The USDOT Innovation Principles guide Departmental actions related to innovation generally as well as the transformation strategic goal.⁴ Applicants are encouraged to review the Innovation Principles, along with other resources accessible on the SMART Grants website⁵ and to incorporate them into the design of applications for the SMART Grants Program.

4. SMART Grants Program Priorities

As established in BIL, projects funded by the SMART Grants Program use advanced data, technology, and applications to provide significant benefits to a local area, a State, a region, or the United States. These benefits are identified in BIL and align to the following categories:

- **Safety and reliability:** Improve the safety of systems for pedestrians, bicyclists, and the broader traveling public. Improve emergency response.
- **Resiliency:** Increase the reliability and resiliency of the transportation system, including cybersecurity and resiliency to climate change effects.
- **Equity and access:** Connect or expand access for underserved or disadvantaged populations. Improve access to jobs, education, and essential services.
- **Climate:** Reduce congestion and/or air pollution, including greenhouse gases. Improve energy efficiency.
- **Partnerships:** Contribute to economic competitiveness and incentivize private sector investments or partnerships, including technical and financial commitments on the proposed solution. Demonstrate committed leadership and capacity from the applicant, partners, and community.
- **Integration:** Improve integration of systems and promote connectivity of infrastructure, connected vehicles, pedestrians, bicyclists, and the broader traveling public.

The Department will prioritize SMART grants funding applications that demonstrate the following characteristics, identified in BIL:

³ See: FY 2022-26 USDOT Strategic Plan (<https://www.transportation.gov/dot-strategic-plan>), page 6. Last updated April 7, 2022.

⁴ See: USDOT Innovation Principles (<https://www.transportation.gov/priorities/innovation/us-dot-innovation-principles>). Released January 6, 2022; last updated July 14, 2022.

⁵ Other resources can be found at www.transportation.gov/SMART, and include the USDOT Strategic Plan, the USDOT Equity Action Plan, and the National Roadway Safety Strategy.

- **Fit, scale, and adoption:** Right-size the proposed solution to population density and demographics, the physical attributes of the community and transportation system, and the transportation needs of the community. Confirm technologies are capable of being integrated with existing transportation systems, including transit. Leverage technologies in repeatable ways that can be scaled and adopted by communities.
- **Data sharing, cybersecurity, and privacy:** Promote public and private sharing of data and best practices and the use of open platforms, open data formats, technology-neutral requirements, and interoperability. Promote industry best practices regarding cybersecurity and technology standards. Safeguard individual privacy.
- **Workforce development:** Promote a skilled and inclusive workforce.
- **Measurement and validation:** Allow for the measurement and validation of the cost savings and performance improvements associated with the installation and use of smart city or community technologies and practices.

To accomplish these objectives, the SMART Grants Program will fund projects that focus on using technology interventions to solve real-world challenges facing communities.

SMART will focus on building data and technology capacity and expertise for State, local, and Tribal governments. Technology investment is most beneficial when tailored to the needs of the community. SMART recognizes that many public sector agencies are challenged to find the resources and personnel to engage with new technologies; this is reflected in the program design, which builds in the time and support needed for projects to succeed. SMART will support and grow a strong, diverse, and local workforce.

Successful projects will seek to build sustainable partnerships across sectors and levels of government as well as collaborate with industry, academia, nonprofits, and other traditional and non-traditional partners. **Successful projects will also support the creation of good-paying jobs with the free and fair choice to join a union.**

See Section E.1.i for more detail on merit criteria that implement priorities outlined above.

B. Federal Award Information

1. Total Funding Available

The BIL established the SMART Grants Program with \$500,000,000 in advanced appropriations, including \$100,000,000 for FY 2022. Therefore, this Notice makes available up to \$100,000,000 for FY 2022 grants under the SMART Grants Program. USDOT anticipates using up to 2% of this funding for administrative costs. Refer to Section D for greater detail on additional funding considerations and Section D.7 for funding restrictions.

2. Availability of Funds

Grant funding obligation occurs when a selected applicant and USDOT enter into a written grant agreement after the applicant has satisfied applicable administrative requirements. Any costs incurred prior to USDOT's obligation of funds for activities ("pre-award costs") are ineligible for reimbursement. SMART Program Grant funds are available until expended. USDOT retains the right to prioritize projects for selection that are most likely to achieve an efficient timeline and be completed within the expected period of performance (18 months).

3. Award Size and Anticipated Quantity

USDOT expects to award between 30 and 50 Stage 1 grants of up to \$2,000,000 per award. The Department reserves the right to make more, or fewer, awards. USDOT reserves the discretion to alter maximum award sizes upon receiving the full pool of applications and assessing the needs of the program in relation to the priorities in Section A.3 and A.4. USDOT also reserves the right not to award the full funding amount requested by an applicant.

4. Start Dates and Period of Performance

USDOT expects to obligate SMART award funding via a signed grant agreement between the Department and the recipient, as flexibly and expeditiously as possible, within 12 months after project selections have been announced. The expected period of performance for Stage 1 SMART grant agreements is up to 18 months.

5. Data Collection Requirements

i. Data Management

To fulfill the reporting requirements and in accordance with the [USDOT Public Access Plan](#), award recipients must consider, budget for, and implement appropriate data management for data and information outputs acquired or generated during the grant. Applicants are expected to account for data and performance reporting in their budget submission. Requirements include a project:

- Defaulting to open access when appropriate (exceptions include protecting personally identifiable information [PII], Indigenous data sovereignty, or confidential business information [CBI]);
- Protecting PII, intellectual property rights, and CBI;
- Utilizing, when possible, open licenses and protecting USDOT's non-exclusive copyright to data and corresponding outputs;
- Making the source code or tools necessary to analyze the data available to the public, if relevant;
- Providing relevant metadata (in a DCAT-US file, and, optionally, a discipline-appropriate metadata standard file), and data documentation (README.txt files, data dictionaries, code books, supporting files, imputation tables, etc.); and
- Where applicable, considering contributing data to voluntary resources such as [NHTSA's AV TEST Initiative](#).

Projects should implement data management best practices including, but not limited to, implementation of published data specifications and standards (formal and informal); increasing data discoverability and data sharing; and enabling interaction of systems, interoperability, and integration of data systems.

C. Eligibility Information

1. Eligible Applicants

Eligible applicants for the SMART Grants Program include:

- A. a State⁶;
- B. a political subdivision of a State⁷;
- C. a federally recognized Tribal government;
- D. a public transit agency or authority;
- E. a public toll authority;
- F. a metropolitan planning organization; or
- G. a group of two or more eligible entities listed above in Section C.1 applying through a single lead applicant (Group Application).

Collaborative Applications

Eligible entities may choose to collaborate across different regions or geographies on projects with similar characteristics, addressing similar problems and with similar technologies, potentially sharing common resources such as partnerships with industry, nonprofits, academic institutions, or community foundations. If these entities choose not to apply as a group with a single lead applicant, they should identify their application as a collaborative application.

- Each organization in a collaborative application must submit an individual application.
- Collaborative applications can include any type of eligible entity.
- Each individual application in a collaborative application will be evaluated on its own merits and USDOT reserves the right to fund all, some, or none of the associated applications, with the same anticipated funding (i.e., up to \$2,000,000 per individual award).

2. Cost Sharing or Matching

Cost sharing or matching is not required for Stage I: Planning and Prototyping.

3. Eligible Activities

The SMART Grants Program funds multiple technology areas, as listed below. Projects *must* demonstrate at least one technology area and *may* demonstrate more than one technology area. USDOT will evaluate each application on its merits, and there is no expectation that applications demonstrate more than one technology area.

As stated in BIL Section 25005 (e)(1), the following technology areas are eligible projects under SMART.

Technology Area	Definition
Coordinated Automation	Use of automated transportation and autonomous vehicles while working to minimize the impact on the accessibility of any other user group or mode of travel.

⁶ U.S. territories are eligible applicants.

⁷ For the purposes of the SMART Grants Program Notice of Funding Opportunity, a political subdivision of a State is defined as a unit of government created under the authority of State law. This includes cities, towns, counties, special districts, and similar units of local government, such as public port or airport authorities, if created under State law.

Technology Area	Definition
Connected Vehicles	Vehicles that send and receive information regarding vehicle movements in the network and use vehicle-to-vehicle and vehicle-to-everything communications to provide advanced and reliable connectivity.
Intelligent, Sensor-Based Infrastructure	Deployment and use of a collective intelligent infrastructure that allows sensors to collect and report real-time data to inform everyday transportation-related operations and performance.
Systems Integration	Integration of intelligent transportation systems with other existing systems and other advanced transportation technologies.
Commerce Delivery and Logistics	Innovative data and technological solutions supporting efficient goods movement, such as connected vehicle probe data, road weather data, or global positioning data to improve on-time pickup and delivery, improved travel time reliability, reduced fuel consumption and emissions, and reduced labor and vehicle maintenance costs.
Leveraging Use of Innovative Aviation Technology	Leveraging the use of innovative aviation technologies, such as unmanned aircraft systems, to support transportation safety and efficiencies, including traffic monitoring and infrastructure inspection.
Smart Grid	Developing a programmable and efficient energy transmission and distribution system to support the adoption or expansion of energy capture, electric vehicle deployment, or freight or commercial fleet fuel efficiency.
Smart Technology Traffic Signals	<p>Improving the active management and functioning of traffic signals, including through:</p> <ul style="list-style-type: none"> • Use of automated traffic signal performance measures; • Implementing strategies, activities, and projects that support active management of traffic signal operations, including through optimization of corridor timing; improved vehicle, pedestrian, and bicycle detection at traffic signals; or the use of connected vehicle technologies; • Replacement of outdated traffic signals; or • For an eligible entity serving a population of less than 500,000, paying the costs of temporary staffing hours dedicated to updating traffic signal technology.

Projects must comply with relevant federal, state, and local laws and regulations to be eligible. These vary by technology area, and it is the responsibility of the applicant to understand the requirements for their application. This section briefly discusses a few notable examples and is not comprehensive.

Innovative aviation projects must show understanding and awareness of, and comply with, all FAA and other federal, state, and local regulations relevant to the technologies and usages thereof. For instance, in the case of innovative aviation projects involving small, unmanned aircraft systems (UAS), applicants are responsible for complying with regulations which may include, and are not limited to the following, as necessary to achieve desired outcomes:⁸

- 14 CFR Part 91 General Operating and Flight Rules⁹
- 14 CFR Part 107 small UAS rule; Small UAS¹⁰
- UAS Operations over People rule; Operations Over People General Overview¹¹
- UAS Remote identification rule; UAS Remote Identification Overview¹²

Proponents of innovative aviation projects are also responsible for using U.S. government tools and resources which may include, and are not limited to the following, as necessary to fulfill requirements to operate technologies and achieve desired outcomes:

- FAA DroneZone, used to register UAS¹³
- FAA Low Altitude Authorization and Notification Capability (LAANC), used to obtain airspace authorization to fly in controlled airspace¹⁴
- Part 107 Waiver Resources,¹⁵ used to enable more complex UAS operations¹⁶

Projects that use communications technologies must either 1) use Vehicle-to-Everything (V2X) services that utilize Cellular Vehicle-to-Everything (C-V2X) based technology designed to operate within the 30 MHz of spectrum (5.895 - 5.925 GHz) that are consistent with the final rules established in relation to Federal Communications Commission (FCC) ET Docket No. 19-138 and future Report and Orders effective at the time when the Department selects projects for funding under the FY22 SMART Grants Program, or 2) leverage other communications technologies that can support V2X services and operate in spectrum outside of the 5.895 -5.925 GHz range.

Projects that involve equipping or retrofitting motor vehicles with additional technologies are only eligible if the vehicles are publicly owned, leased or used in a contracted service; equipping privately owned and operated vehicles outside of a leased or contracted service is not an eligible activity. Projects involving motor vehicles must involve only vehicles that comply with all applicable Federal Motor Vehicle Safety Standards (FMVSSs) and Federal Motor Carrier Safety Regulations (FMCSRs), or vehicles

⁸ Other terminologies exist, using the FAA terminology “unmanned aircraft systems” for simplicity;

⁹14 CFR Part 91 <https://www.ecfr.gov/current/title-14/chapter-I/subchapter-F/part-91>.

¹⁰ 14 CFR Part 107 <https://www.ecfr.gov/current/title-14/chapter-I/subchapter-F/part-107>

¹¹FAA Operations Over People General Overview

https://www.faa.gov/uas/commercial_operators/operations_over_people. Last updated November 17, 2021.

¹²FAA Final Rule on Remote ID

https://www.faa.gov/uas/getting_started/remote_id#:~:text=Remote%20ID%20will%20provide%20information,drone's%20owner%20from%20the%20FAA. Last updated July 13, 2022.

¹³ FAA DroneZone; <https://faadronezone.faa.gov/>.

¹⁴ FAA UAS Data Exchange (LAANC); https://www.faa.gov/uas/programs_partnerships/data_exchange.

¹⁵ Part 107 Waiver resources; https://www.faa.gov/uas/commercial_operators/part_107_waivers.

¹⁶ For additional questions or information, please contact the FAA UAS Support Center at https://www.faa.gov/uas/contact_us.

that are exempt from the requirements in a manner that allows for the legal acquisition and operation of the vehicles in the proposed project.

For all technology areas, if an exemption, waiver, permit, or other special permission is required in order to conduct the proposed project, it will strengthen a Stage 1 application if the applicant can affirm that it has already received such permission. If the project is selected for award, the lack of a required exemption, waiver, permit, or special permission may impact the Department's funding timeline or result in special conditions in the grant agreement. For future rounds of SMART that include Stage 2 applications, Stage 2 applicants will be required to obtain all necessary exemptions, waivers, permits, or special permissions before submitting an application and provide such affirmation. The selection of a project to receive a SMART grant is not a determination of the merit of any waiver or exemption.

4. Eligible Costs

Broadly, eligible activity costs must comply with the cost principles set forth in 2 CFR Part 200, Subpart E (i.e., 2 CFR § 200.403 and § 200.405). USDOT reserves the right to make cost eligibility determinations on a case-by-case basis. Eligible development and construction activities for grant funding are the following:

- planning;
- feasibility analyses;
- revenue forecasting;
- environmental review;
- permitting;
- preliminary engineering and design work;
- systems development or information technology work;
- acquisition of real property (including land and improvements to land relating to an eligible project);
- construction;
- reconstruction;
- rehabilitation;
- replacement;
- environmental mitigation;
- construction contingencies; and
- acquisition of equipment, including vehicles.

The following are not eligible costs for SMART Grants Program funding:

- reimbursement of any pre-award costs or application preparation costs of the SMART grant application;
- traffic or parking enforcement activity; or
- purchase or lease of a license plate reader.

Federal funds may not be used to support or oppose union organizing, whether directly or as an offset for other funds.

For grant recipients receiving an award, project evaluation costs are allowable costs (either as direct or indirect), unless prohibited by statute or regulation, and such costs may include the personnel and equipment needed for data infrastructure and expertise in data analysis, performance, and evaluation. (2 CFR Part 200). For more information on required reporting, see Section F.3. An eligible entity may not use more than 3 percent of the amount of a SMART grant for each fiscal year to achieve compliance with applicable planning and reporting requirements.

D. Application and Submission Information

1. Address to Request Application Package

All grant application materials can be accessed at grants.gov under the Notice of Funding Opportunity Number DOT-SMART-FY22-01. Applicants must submit their applications via Valid Eval at https://usg.valideval.com/teams/USDOT_SMART_2022/signup. Potential applicants may also request paper copies of materials at:

Telephone: 202-366-4114

Mail: U.S. Department of Transportation
1200 New Jersey Avenue SE
W84-322
Washington, DC 20590

2. Content and Form of Application Submission

The application must include the following: Standard Forms (SF); Key Information Questions; Project Narrative and Summary Budget Narrative. This information must be submitted via Valid Eval at https://usg.valideval.com/teams/USDOT_SMART_2022/signup. More detailed information about each application material is provided below.

- i. **Standard Forms:** All applicants must submit the following Standard Forms: Application for Federal Assistance (SF-424), Budget Information for Non-Construction Programs (SF-424A), Assurances for Non-Construction Programs (SF-424B). If applicable, also include Assurances for Construction Programs (SF-424D), Budget Information for Construction Programs (SF-424C) and/or Disclosure of Lobbying Activities (SF-LLL).
- ii. **Key Information Questions:** This is a preview list of the questions that are asked on USDOT’s automated proposal website at https://usg.valideval.com/teams/USDOT_SMART_2022/signup. After registering in the system, the applicant will be prompted to answer these questions on the website.

Title	Instructions
1. Project Name	Enter a concise, descriptive title for the project. This should be the same title used in the Grants.gov SF-424 submission and the application narrative.
2. Lead Applicant Name	This should be consistent with Q. 8.a. of the SF-424.

Title	Instructions
3. Lead Applicant Unique Entity Identifier (UEI)	See Section D.3 below for more information about obtaining a UEI from SAM.gov.
4. Eligible Entity Type	Indicate the eligible entity type for your application: A. a State; B. a political subdivision of a State; C. a federally recognized Tribal government; D. a public transit agency or authority; E. a public toll authority; F. a metropolitan planning organization; or G. A group application of 2 or more eligible entities described in (A) through (F).
5. Was a similar application submitted in the past two years, or do you anticipate a similar application will be submitted for funding in the coming year for this project under any other USDOT discretionary grant programs?	(If yes, please include the name of the discretionary grant program, the project title of similar grant application, and the name of the lead applicant, if different than the lead applicant on this application.)
6. Was federal funding previously received for this project?	(If yes, indicate the amount of federal funding received and the relevant grant number
7. Is this a group application, through a single, lead-applicant?	(If yes, please provide organizational name(s) of sub-recipient(s) that will receive funds and other key partners.)
8. Is this a collaborative application, with each applicant applying separately?	(If yes, please indicate the organizational name(s) of the other eligible applicant(s) with which you are collaborating.)
9. What additional organizations will be considered partners on this project?	(List all critical project partners, including partners that are not eligible applicants. This could include industry, academia, nonprofits, and other traditional and non-traditional partners.) ¹⁷
10. Brief Project Description	Describe the project in plain language, using no more than 100 words. Please do not describe the project's benefits, background, or alignment with the selection criteria in this description field. A longer, narrative description will be provided in the Project Narrative. The Brief Project Description of successful applicant may be published by

¹⁷ Letters of Commitment should be written for critical partners only. For a Letter of Commitment template, see www.transportation.gov/SMART.

Title	Instructions
	USDOT and, therefore, must not contain classified, proprietary or confidential information.
11. Primary Project Location	Indicate the primary location at which the project will take place. If more than one location, please list additional locations in the next question.
12. Other Project Locations	Identify additional project locations, if applicable.
13. Community Size	Indicate the size of the community to be supported (large community; midsized community; regional partnership; or rural community). See definitions in Section F.1 that your project primarily benefits.
14. Project Location Primary Census Tract	Identify the primary anticipated census tract number(s) of the planned project.
15. Other Project Census Tracts	Identify Census tract information for other anticipated areas of the planned project location, if applicable.
16. Is the project located (entirely or partially) in an Historically Disadvantaged Community?	<p>Indicate yes or no, and which one one of the following tools two designation methods you are using:</p> <p>1) DOT’s Historically Disadvantaged Community (HDC) Status Tool via https://usdot.maps.arcgis.com/apps/dashboards/d6f90dfcc8b44525b04c7ce748a3674a. Provide a screenshot of the location of the proposed project using the HDC Status Tool.¹⁸</p> <p>2) Federally designated community development zones (for example: Opportunity Zones, Empowerment Zones, Promise Zones, Choice Neighborhoods, or Rural Partners Network-designated Community Networks).</p> <p>3) The Climate and Economic Justice Screening Tool (CEJST) via screeningtool.geoplatform.gov. Provide a screenshot of the location of the proposed project using CEJST.</p>
17. Project Cost: Amount Requested	Total dollar amount requested
18. Project Cost: Total Project Cost	Total project cost, including dollar amount requested and other funding contributions
19. Proposed Duration of Stage 1 Project (in months)	May be up to 18 months
20. Technology area(s)	<p>Select the primary technology area with which your project aligns and, if applicable, any secondary technology areas:</p> <ul style="list-style-type: none"> A. coordinated automation; B. connected vehicles; C. intelligent, sensor-based infrastructure; D. systems integration;

¹⁸ For technical assistance using the tool, please contact GMO@dot.gov.

Title	Instructions
	<p>E. commerce delivery and logistics; F. leveraging use of innovative aviation technology; G. smart grid; or H. smart technology traffic signals</p> <p><i>Note that applications are not scored on the number of technology areas indicated, so it is important to only select the area(s) with which your project aligns.</i></p>
<p>21. Does this project relate to traffic or parking enforcement; or license plate reader activities?</p>	<p>Indicate “Yes” or “No.” Note that SMART grants shall <u>not</u> be used for any traffic or parking enforcement activity, or to purchase or lease a license plate reader.</p>
<p>22. Is an exemption, waiver, permit, or special permission required to conduct the proposed project?</p>	<p>(If yes, indicate the exemption, waiver, permit, or special permission obtained. If waiver has not been obtained, please indicate the plan or process for obtaining it in your Project Narrative.)</p>

iii. **Project Narrative:** The primary purpose of the Narrative is for the applicant to state their case for meeting the merit criteria laid out in Section E. The Narrative should not exceed seven pages; this does not include the Appendices. The Narrative should be in PDF format, with font size of no less than 12-point Times New Roman, single spaced, minimum 1-inch margins on all sides, and with page numbers. Suggested approximate lengths for each subsection are noted in parentheses.

a. Overview/Project Description (1-2 pages)

This section should provide a clear, concise description of the project, the real-world issues and challenges to be addressed, and the proposed technology(ies) to be used. Include a brief discussion of desired outcomes for a potential Stage 2 grant. Applicants should also briefly discuss how the proposed project addresses the goals of the SMART program and how the project plans to improve upon the status quo of the transportation system.

b. Project Location (1 paragraph)

This section should provide a description of the geographic area or jurisdiction the project will service, including whether or not the area in question is considered a large, midsized or rural community; whether or not the applicant is a regional partnership; and to what extent the project is located (entirely or partially) in an Historically Disadvantaged Community.¹⁹ Note that while applicants are asked to

¹⁹ In support of Executive Order 14008, USDOT has been developing a geographic definition of Disadvantaged Communities as part of its implementation of the Justice40 Initiative. Consistent with OMB’s Interim Guidance for

provide exact locations for each project in the key information table above, if selected for an award, the exact location may be adjusted during the Stage 1 planning process; therefore this section should explain and identify which geographic locations are under consideration for projects to be implemented and what analysis will be used in a final determination. Refer to Section D.2.ii of the Notice to provide specific location data.

c. Community Impact (1 paragraph)

This section should provide a description of how the project anticipates it will provide and measure benefits to the Historically Disadvantaged Communities detailed in the Project Location Section (If applicable). This section may also outline benefits that would accrue to Historically Disadvantaged Communities outside of the specific project location. Applicants should also briefly discuss potential negative externalities of the proposed projects, who would experience them, and how they might be measured over time.

d. Technical Merit Overview (2 pages)

This section should provide an overview of the technical merit of the proposed project, responding to the criteria for evaluation and selection in Section E.1.i of this Notice and including a compelling narrative to highlight how the application addresses the following Technical Merit criteria:

- Identification and Understanding of the Problem to Be Solved
- Appropriateness of Proposed Solution
- Expected Benefits

e. Project Readiness Overview (2 pages)

This section should provide an overview of the project readiness, responding to the criteria for evaluation and selection in Section E.1.ii of this Notice and including a compelling narrative to highlight how the application addresses the following Project Readiness criteria:

- Feasibility of Workplan
- Community Engagement and Partnerships
- Leadership and Qualifications.

iv. Appendices

a. Appendix I – Resumes

Applicants should submit the abbreviated resumes of the key individuals involved in the project. This appendix should be no more than three pages.

b. Appendix II – Summary Budget Narrative

Applicants shall provide a summary budget narrative that corresponds to and describes information contained in the applicant's SF-424A. The narrative should describe all planned project costs for Stage 1

the Justice40 Initiative, Disadvantaged Communities include (a) certain qualifying Census tracts, (b) any Tribal land, or (c) any territory or possession of the United States.

(i.e., direct labor, travel, equipment, supplies, contractual, construction, and other) and how these planned costs relate to the project scope. The summary budget narrative must be sufficiently clear, concise, and detailed to describe how funds will be spent on the project. Applicants are expected to account for data and performance reporting in their budget submission, consistent with section B.5.i of this NOFO.

c. Appendix III- Letters of Commitment

Applicants should submit letters of commitment for critical partners involved in the project. This appendix should be no more than 10 pages, and each letter should be no more than 2 pages.

3. Unique Entity identifier and System for Award Management (SAM)

Each applicant is required to: (i) be registered in SAM (<https://sam.gov/content/home>) before submitting its application; (ii) provide a valid unique entity identifier in its application; and (iii) continue to maintain an active SAM registration with current information at all times during which it has an active federal award or an application or plan under consideration by a federal awarding agency. USDOT may not make a Federal award to an applicant until the applicant has complied with all applicable unique entity identifier and SAM requirements and, if an applicant has not fully complied with the requirements by the time USDOT is ready to make an award, USDOT may determine that the applicant is not qualified to receive an award and use that determination as a basis for making an award to another applicant.

4. Submission Date and Time

Applications must be submitted by 5:00 PM EST on Friday, November 18, 2022.

5. Funding Restrictions

Per BIL requirements, of the funds awarded each fiscal year for the SMART Grants Program, not more than 40 percent shall be used to provide SMART grants for eligible projects that primarily benefit large communities; not more than 30 percent shall be provided for eligible projects that primarily benefit midsized communities; and not more than 30 percent shall be used to provide SMART grants for eligible projects that primarily benefit rural communities or regional partnerships.

In addition, an eligible entity may not use more than three percent of the amount of a SMART grant for each fiscal year to achieve compliance with applicable planning and reporting requirements.

6. Other Submission Requirements

The complete application must be submitted via Valid Eval, an online submission proposal system used by USDOT at https://usg.valideval.com/teams/USDOT_SMART_2022/signup.

E. Application Review Information

1. Criteria

This section specifies the criteria USDOT will use to evaluate and select applications for Stage 1 SMART grant awards. These include Technical Merit Criteria, Project Readiness and Other Considerations.

i. Technical Merit Selection Criteria

Stage 1 Grants will be evaluated against three technical merit criteria:

- Technical Merit Criterion #1: Identification and Understanding of the Problem to Be Solved
 - The applicant demonstrates a thorough understanding of existing conditions
 - The proposed solution addresses a documented and critical problem or need
 - Technical Merit Criterion #2: Appropriateness of Proposed Solution
 - Technologies proposed are sufficiently developed such that there is good reason to anticipate public benefits from their use
 - The proposed solution is repeatable and could rapidly be scaled
 - The proposed solution represents a demonstrable improvement over the status quo
 - The proposed solution is appropriate for the location’s population density and existing transportation system, including public transportation
 - Technical Merit Criterion #3: Expected Benefits
 - The application clearly explains the rationale for expecting that the proposed project will use advanced data, technology, and applications to provide significant benefits in alignment with Departmental and Program Priorities in Section A.3 and A.4.
 - Departmental Priorities include the FY22-26 Strategic Goals and Innovation Principles and Program Priorities include safety, reliability, and resiliency; equity and access; climate; partnerships; and integration
- ii. Project Readiness Selection Criteria

Project Readiness focuses on the extent to which the applicant will be able to substantially execute and complete the full scope of work in the Stage 1 Grant application within 18 months of when the grant is executed.

- Project Readiness Criterion #1: Feasibility of Workplan
 - The application clearly describes a thorough and realistic workplan and timeline. The application should also demonstrate the ability to complete the project in the proposed period of performance.
 - The application identifies and understands the legal, policy, and regulatory requirements and identifies and accounts for any relevant exemptions, waivers, permits, or special permissions required to conduct the proposed project.
 - The application identifies ways to measure and validate the project’s expected benefits and community impacts, as well as performance improvements and cost savings.
 - ~~○ The application identifies a practical approach to developing internal workforce capacity regarding data and technology projects, including a plan for an appropriately skilled and trained workforce to carry out the project.~~
 - **The application describes how the project will use training and education programs and activities to meet workforce capacity needs and promote inclusion in the workforce.**
 - **The application identifies the necessary planning and engagement activities that, as projects are fully implemented during Stage 2, will ensure high-quality job creation by supporting good-paying jobs with a free and fair choice to join a union, incorporating strong labor standards (e.g., wages and benefits at or above prevailing, use of project labor agreements, registered apprenticeship programs, pre-apprenticeships tied to**

registered apprenticeships, etc.), and/or providing workforce opportunities for historically underrepresented groups (e.g., workforce development program, etc.).

- Project Readiness Criterion #2: Community Engagement and Partnerships
 - The proposed solution demonstrates a community-centered approach that includes meaningful, continuous, accessible engagement with a diverse group of public and private stakeholders. The proposed solution articulates strategies to provide access to persons with disabilities and limited English proficient individuals.
 - The application shows plans to build sustainable partnerships across sectors and governmental jurisdictions and collaborate with industry, academia, and nonprofits, such as community, workforce development, and labor organizations.
 - The applicant engages relevant private sector stakeholders and technical experts and elicits their perspective on implementation of the proposed solution.
 - The application establishes commitment of one or more key partner(s), if relevant, as identified in the project narrative. This should be demonstrated by a Letter of Commitment submitted as an attachment to the proposal, as well as a Memorandum-of-Understanding signed prior to any Grant Agreement. A key partner may be a public agency, utility company, private sector company, or some other entity that is central, and critical, to the project.
- Project Readiness Criterion #3: Leadership and Qualifications
 - The application demonstrates relevant and necessary technical expertise of the project team.
 - The application details relevant experience of leadership in managing multi-stakeholder projects.
 - The application shows continuity of committed leadership and the applicant's functional capacity to carry out the proposed project and, where applicable, to maintain and operate the project after the conclusion of Stage 2.

iii. Additional Consideration: Benefit to Historically Disadvantaged Communities

The Department seeks to award projects under the SMART Grants Program that address environmental justice, particularly for communities that disproportionately experience climate change-related consequences. Environmental justice, as defined by the Environmental Protection Agency, is the fair treatment and meaningful involvement of all people regardless of race, color, national origin, or income, with respect to the development, implementation, and enforcement of environmental laws, regulations, and policies.²⁰ As part of the Department's implementation of Executive Order 14008, Tackling the Climate Crisis at Home and Abroad (86 FR 7619), the Department seeks to fund projects that, to the extent possible, target at least 40 percent of resources and benefits towards low-income communities, disadvantaged communities, communities underserved by affordable transportation, or overburdened communities. Projects that have not sufficiently considered climate change and environmental justice in their planning, as determined by the Department, will be required to do so before receiving funds.

2. Review and Selection Process

²⁰ Environmental Justice at the EPA, <http://www.epa.gov/environmentaljustice/>

This section addresses the BIL requirement to include a full description in the NOFO of the method by which applicants will be evaluated. The SMART Grant Program review and selection process consists of eligibility reviews, Technical Merit and Project Readiness criteria review, and Senior Review Team review. The Secretary will make the final selections for award.

i. Eligibility Review

For each application, an initial review will assess whether the applicant is eligible (based on eligibility information in Section C) and contains all of the information requested in Section D for a complete application. Eligible and complete applications received by the deadline will be reviewed for their merit based on the selection criteria in Section E.1.i and E.1.ii.

ii. Technical Merit and Project Readiness Criteria Ratings

Teams comprising USDOT staff, Federal inter-agency partner staff, and contractor staff review all eligible and complete applications received by the deadline for a Technical Merit and Project Readiness Review and assign ratings as described in the table below. For each criterion, USDOT will consider whether the application narrative is responsive to the selection criterion focus areas which will result in a rating of ‘High,’ ‘Medium,’ ‘Low,’ or ‘Non-Responsive:’

Rating Scale	High	Medium	Low	Non-Responsive
Description	The application is substantively and comprehensively responsive to the criterion. It makes a strong case about advancing the program goals as described in the criterion descriptions.	The application is moderately responsive to the criterion. It makes a moderate case about advancing the program goals as described in the criterion descriptions.	The application is minimally responsive to the criterion. It makes a weak case about advancing the program goals as described in the criterion descriptions.	The application is counter to the criterion or does not contain sufficient information. It does not advance or may negatively impact criterion goals.

Based on the criteria ratings, an overall application merit rating of ‘Highly Recommended,’ ‘Recommended,’ ‘Not Recommended,’ or ‘Ineligible’ will be assigned as a result of evaluation team consensus discussion. Only applications rated as ‘Highly Recommended’ or ‘Recommended’ will be reviewed by a Senior Review Team (SRT). Applications rated ‘Not Recommended’ or ‘Ineligible’ will not be evaluated further and will not be considered for award.

iii. Senior Review Team (SRT) Phase

Once every eligible and complete application has been assigned an overall rating based on the methodology above, all “Highly Recommended” applications will be included in a list of Applications for Consideration. The SRT will review whether the list of “Highly Recommended” applications is sufficient to ensure that of the funds awarded each fiscal year for the SMART Grants Program, not more than 40 percent will be used to provide SMART grants for eligible projects that primarily benefit large communities; not more than 30 percent will be used to provide SMART grants for eligible projects that

primarily benefit midsized communities; and not more than 30 percent will be used to provide SMART grants for eligible projects that primarily benefit rural communities or regional partnerships. “Recommended” applications may be added to the proposed list of Applications for Consideration until a sufficient number of applications are on the list to ensure that all the legislative requirements can be met. The Department will consider the diversity of technology areas across all applications when reviewing recommendations.

iv. Highly Rated Applications for USDOT Secretary’s Review

The SRT will present the list of Applications for Consideration to the Secretary, either collectively or through a representative of the SRT. The SRT may advise the Secretary on any application on the list of Applications for Consideration, including options for reduced or increased awards, and the Secretary will make final selections. The Secretary’s selections identify the applications that best address program requirements and are most worthy of funding. The Secretary will consider contributions to geographic diversity among grant recipients, including the need for balancing the needs of rural communities, midsized communities, and large communities. The Secretary also may consider benefits to economically disadvantaged communities, Federally Recognized Tribes, and geographic and organizational diversity when selecting SMART Grants Program awards.

3. Additional Information

Prior to entering into a grant agreement, each selected applicant will be subject to a risk assessment as required by 2 CFR § 200.206. The Department must review and consider any information about the applicant that is in the designated integrity and performance system accessible through SAM (currently the Federal Awardee Performance and Integrity Information System [FAPIIS]). An applicant may review information in FAPIIS and comment on any information about itself that a Federal awarding agency previously entered. The Department will consider comments by the applicant, in addition to the other information in FAPIIS, in making a judgment about the applicant’s integrity, business ethics, and record of performance under Federal awards when completing the review of risk posed by applicants. Because award recipients under this program may be first-time recipients of Federal funding, USDOT is committed to implementing the program as flexibly as permitted by statute and to providing assistance to help award recipients through the process of securing a grant agreement and delivering SMART Grant projects. Award recipients are encouraged to identify any needs for assistance in delivering the projects and strategies so that USDOT can provide directly, or through a third party, sufficient support and technical assistance to mitigate potential execution risks.

F. Federal Award Administration Information

1. Federal Award Notices

Following the evaluation outlined in Section E, the Secretary will announce awarded applications by posting a list of selected recipients at www.transportation.gov/smart. The posting of the list of selected award recipients will not constitute an authorization to begin performance. Following the announcement, the Department will contact the point of contact listed in the applicant SF-424 to initiate negotiation of a grant agreement.

2. Administrative and National Policy Requirements

i. Critical Infrastructure Security, Cybersecurity, and Resilience

It is U.S. policy to strengthen the security and resilience of its critical infrastructure against both physical and cyber threats. Each applicant selected for Federal funding under this notice must demonstrate, prior to the signing of the grant agreement, effort to consider and address physical and cybersecurity risks relevant to the transportation mode and type and scale of the project. Projects that have not appropriately considered and addressed physical and cybersecurity and resilience in their planning, design, and project oversight, as determined by USDOT and the Department of Homeland Security, will be required to do so before receiving funds for deployment, consistent with Presidential Policy Directive 21 - Critical Infrastructure Security and Resilience and the National Security Presidential Memorandum on Improving Cybersecurity for Critical Infrastructure Control Systems.

ii. Prohibited Telecommunications Equipment and Services

Federal award recipients and sub-recipients are prohibited from obligating or expending grant funds to procure or obtain; extend or renew a contract to procure or obtain; or enter into a contract (or extend or renew a contract) to procure or obtain equipment, services, or systems that use “covered telecommunications equipment or services” as a substantial or essential component of any system, or as critical technology as part of any system. “Covered telecommunications equipment or services” means telecommunications and video surveillance equipment or services produced by Huawei Technologies Company, ZTE Corporation, Hytera Communications Corporation, Hangzhou Hikvision Digital Technology Company, or Dahua Technology Company (or any subsidiary or affiliate of such entities). “Covered telecommunications equipment or services” also includes telecommunications or video surveillance equipment or services provided by an entity that the Secretary of Defense, in consultation with the Director of the National Intelligence or the Director of the Federal Bureau of Investigation, reasonably believes to be an entity that is owned or controlled by the government of the People’s Republic of China. Entities added to this list will be incorporated into the excluded parties list in the System for Award Management (SAM) (www.sam.gov). When a user conducts a search of the excluded parties list, a record will appear describing the nature of the exclusion for any entity identified as covered by this prohibition. See Section 889 of [Public Law 115-232](#) (National Defense Authorization Act for Fiscal Year 2019) and [2 CFR 200.216](#) & [200.471](#).

iii. Domestic Preference Requirements

As expressed in Executive Order 14005, Ensuring the Future Is Made in All of America by All of America’s Workers (86 FR 7475)²¹, it is the policy of the Executive Branch to maximize, consistent with law, the use of goods, products, and materials produced in, and services offered in, the United States. Projects under this notice will be subject to the domestic preference requirements at § 70914 of the Build America, Buy America Act, as implemented by OMB and USDOT, and any awards will contain the award terms specified in OMB Memorandum M-22-11, Initial Implementation Guidance on Application of Buy America Preference in Federal Financial Assistance Programs for Infrastructure²².

Applicants should note that the Department has proposed a Build America, Buy America Act waiver for Stage 1 grants awarded in FY 2022 of the SMART Grants Program for the limited cases where the Buy America would apply for planning and prototyping activities. Data will be collected for Stage 1 FY 2022

²¹ <https://www.federalregister.gov/documents/2021/01/28/2021-02038/ensuring-the-future-is-made-in-all-of-america-by-all-of-americas-workers>

²² <https://www.whitehouse.gov/wp-content/uploads/2022/04/M-22-11.pdf>

awards that will help inform the application of Buy America requirements to the funding of implementation activities under the program and identify any current gaps in the domestic availability of products that could potentially be filled by American suppliers. The Department anticipates finalizing the waiver during the open period. Please consult www.transportation.gov/smart for the most up-to-date information.

iv. Civil Rights and Title VI

SMART award recipients should demonstrate compliance with civil rights obligations and nondiscrimination laws, including Titles VI of the Civil Rights Act of 1964, the Americans with Disabilities Act (ADA), and Section 504 of the Rehabilitation Act, and accompanying regulations. Recipients of Federal transportation funding will also be required to comply fully with regulations and guidance for the ADA, Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, and all other civil rights requirements. The Department's and the applicable Operating Administrations' Offices of Civil Rights may work with awarded grant recipients as appropriate to ensure full compliance with Federal civil rights requirements.

Recipients of Federal transportation funding will be required to comply fully with regulations and guidance for the ADA, Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, and all other civil rights requirements. The Department's and the applicable Operating Administration's Offices of Civil Rights will be providing resources and technical assistance to ensure full and sustainable compliance with Federal civil rights requirements.

v. National Environmental Policy Act of 1969 (NEPA)

Funding recipients must comply with NEPA under 42 U.S.C. §§ 4321 et seq. and the Council on Environmental Quality's NEPA implementing regulations at 40 CFR §§ 1500-1508, where applicable.

3. Reporting

This section discusses reporting requirements for SMART.²³ USDOT will provide additional information and detail regarding reporting requirements and formats to recipients. All final reports under this agreement will be made publicly available. All publications resulting from this program shall follow USDOT publication guidelines and comply with the current USDOT Public Access Plan. In addition, data from these efforts are expected to be made widely available where appropriate, also in accordance with the USDOT Public Access Plan²⁴.

i. Progress Reporting on Grant Activities

Each applicant selected for a Stage 1 Grant must submit quarterly progress reports and Federal Financial Reports (SF-425) to monitor project progress and ensure accountability and financial transparency in the SMART grant program. A standard reporting form for the quarterly progress reports will be provided for

²³ Title I of the Foundations for Evidence-Based Policymaking Act of 2018 (Evidence Act), Pub. L. No. 115-435 (2019) urges federal awarding agencies and federal assistance recipients and subrecipients to use program evaluation as a critical tool to learn, to improve equitable delivery, and to elevate program service and delivery across the program lifecycle.

²⁴ <https://www.transportation.gov/sites/dot.gov/files/docs/Official%20DOT%20Public%20Access%20Plan.pdf>

grantees to summarize status updates including activities accomplished during the quarter, financial and schedule reporting, anticipated activities for the next quarter, and a description of project challenges and lessons learned.

ii. Evaluation and Data Management Plan

Recipients and subrecipients are required to incorporate program evaluation including associated data collection activities, from the outset of their program design and implementation to meaningfully document and measure their progress towards meeting agency priority goals.²⁵

Each applicant selected for a Stage 1 Grant must submit an evaluation and data management plan no later than three months after receiving the grant that provides an overview of how the project will be evaluated and how the data being collected will be managed and stored.²⁶ The plan must describe the anticipated impact areas (i.e., goals) of the project if implemented at scale and the methods that will be used to estimate the anticipated benefits and costs associated with implementation. Based on these project goals, the plan must include robust performance metrics and measurable targets to inform whether the proof-of-concept or prototype meets expectations and whether full implementation would meet program goals. The applicants selected for a Stage 2 Grant must update this evaluation and data management plan to include robust performance metrics and targets for the at-scale implementation, a detailed description of the evaluation methods that will be used to measure the anticipated impacts, and an overview of data sharing opportunities.²⁷ The updated plan must also provide more detailed information on the types of data being collected and how that data will be managed and stored (e.g., cybersecurity practices, how privacy is protected, the entities that have access to the data).

iii. Implementation Report

Each applicant selected for a Stage 1 Grant must submit an implementation report that assesses the anticipated costs and benefits of the project and demonstrates the feasibility of at-scale implementation. A draft report shall be submitted no later than one year after receiving the grant, and the final report shall be submitted by the end of the period of performance. This timeline may be adjusted for projects with a period of performance that differs from 18 months.

Per BIL requirements, grant recipients must submit implementation reports that describe the deployment and operational costs of each project as compared to the benefits and savings from the project. The reports must also describe:

1. the means by which the project has met the original expectation, as projected in the grant application, including data describing the means by which the project met the specific goals.

Examples include:

- a. reducing traffic-related fatalities and injuries;
- b. reducing traffic congestion or improving travel-time reliability;

²⁵ Evaluation means “an assessment using systematic data collection and analysis of one or more programs, policies, and organizations intended to assess their effectiveness and efficiency.” 5 U.S.C. § 311.

²⁶ Credible program evaluation activities are implemented with relevance and utility, rigor, independence and objectivity, transparency, and ethics (OMB Circular A-11, Part 6 Section 290).

²⁷ Data sharing opportunities may include either interagency data sharing or open data sharing with the public.

- c. the effectiveness of providing to the public real-time integrated traffic, transit, and multimodal transportation information to make informed travel decisions; and
 - d. reducing barriers or improving access to jobs, education, or various essential services;
2. lessons learned and recommendations for future deployment strategies to optimize transportation efficiency and multimodal system performance.

For the implementation reports during Stage 1, grant recipients will provide an analysis of the anticipated costs and benefits and address project expectations by providing:

1. data on the performance metrics for the proof-of-concept or prototype;
2. preliminary baseline data for an evaluation of an at-scale implementation;²⁸
3. a detailed description of the communities that would be impacted by at scale implementation and the anticipated distribution of benefits;
4. additional quantitative data to substantiate key assumptions;
5. anticipated and/or estimated impact and effectiveness of the project based on the performance metrics; and
6. anticipated and/or estimated distribution of benefits within the community being served.

During Stage 1, grant recipients may uncover previously unknown institutional barriers or technical limitations. In the implementation report, grantees will describe the requirements for successful deployment and assess the feasibility of an at-scale implementation. The assessment will include identified strategies or demonstrated progress in addressing the following implementation feasibility and readiness factors by the end of the Stage 2 Grant.

- a. Legal, Policy, and Regulatory Requirements (e.g., environmental permits and reviews; public outreach; State and local approvals; equity and accessibility requirements)
- b. Procurement and Budget (e.g., availability of suppliers and equipment; an analysis of the cost differential to comply with Build America Buy America; reliability of cost estimates; critical property acquisition)
- c. Partnerships (e.g., MOUs for stakeholder coordination; private sector and user adoption and acceptance)
- d. Technology Suitability (e.g., systems engineering including Concept of Operations [ConOps] and Detailed Design; reliability and maturity of technology; compatibility with existing infrastructure, procurement processes)
- e. Data Governance (e.g., storage capability; database analytic capability; integration requirements; sharing agreements; cybersecurity and privacy protocols)
- f. Workforce Capacity (e.g., availability of workforce **workers for** from development, and installation, to operations and maintenance; availability of workforce training; agency capacity for deployment, operation, and evaluation; and **an assessment of how full implementation at the conclusion of Stage 2, if funded, would harness beneficial impacts and mitigate negative impacts of new technologies on the availability of good-paying jobs with a free and fair choice to join a union**)

²⁸ For applicants selected for a Stage 2 Grant, refined or updated baseline data may be required for the project evaluation.

- g. Sustainability (e.g., agency/institutional capacity for continued operations following the grant funded period; revenue needs for continued operations)
- h. Community Impact (e.g., distribution of benefits and negative impacts across the community, including Historically Disadvantaged Communities; meaningful community engagement efforts, including strategies to provide access to persons with disabilities and limited English proficient individuals)
- i. Other Relevant Factors.

The final implementation report must also describe initial project goals, challenges and lessons learned related to implementation. It should include an analysis of the success, challenges and validity of the initial approach; any changes or improvements they would make in Stage 2, if recommended for award; and any anticipated challenges to continued maintenance and operations (i.e., after the Stage 2 grant funds have been expended).

iv. Program Evaluation

As a condition of grant award, grant recipients may be required to participate in an evaluation undertaken by USDOT or another agency or partner. The evaluation may take different forms such as an implementation assessment across grant recipients, an impact and/or outcomes analysis of all or selected sites within or across grant recipients, or a benefit/cost analysis or assessment of return on investment. USDOT may require applicants to collect data elements to aid the evaluation. As a part of the evaluation, as a condition of award, grant recipients must agree to: (1) make records available to the evaluation contractor or USDOT staff; (2) provide access to program records, and any other relevant documents to calculate costs and benefits; (3) in the case of an impact analysis, facilitate the access to relevant information as requested; and (4) follow evaluation procedures as specified by the evaluation contractor or USDOT staff.

v. Reporting of Matters Related to Recipient Integrity and Performance

If the total value of a selected applicant's currently active grants, cooperative agreements, and procurement contracts from all Federal awarding agencies exceeds \$10,000,000 for any period of time during the period of performance of this Federal award, then the applicant during that period of time must maintain the currency of information reported to the SAM that is made available in the designated integrity and performance system (currently FAPIIS) about civil, criminal, or administrative proceedings described in paragraph 2 of this award term and condition. This is a statutory requirement under section 872 of Public Law 110-417, as amended (41 U.S.C. 2313). As required by section 3010 of Public Law 111-212, all information posted in the designated integrity and performance system on or after April 15, 2011, except past performance reviews required for Federal procurement contracts, will be publicly available.

vi. Knowledge Transfer Activities

In order to disseminate lessons learned to the public and to encourage collaboration between recipients, USDOT will coordinate various knowledge transfer activities which may include webinars, peer exchanges or attendance at conferences and meetings. The activities will be tailored to address the needs and interests of the grantees and serve as a resource for connecting grantees facing similar

technical and institutional challenges. Recipients will share status updates and technical knowledge, and exchange information about their progress, challenges, and lessons learned. The SF-424A should include travel costs, assuming two in-person meetings in Washington, D.C.

G. Federal Awarding Agency Contacts

For further information concerning this notice, please contact the Office of the Assistant Secretary for Research and Technology via email at smart@dot.gov no later than ten business days prior to the NOFO closing. In addition, up to the application deadline, the Department will post answers to common questions and requests for clarifications on the Department’s website at www.transportation.gov/smart. To ensure applicants receive accurate information about eligibility or the program, the applicant is encouraged to contact the Department directly with questions, rather than through intermediaries or third parties. Department staff may also conduct briefings on the SMART grant selection and award process upon request. On request of an eligible entity that submitted an application per Section D with respect to a project that is not selected for a SMART grant, Department staff will provide to the eligible entity technical assistance and briefings relating to the project.

H. Other Information

User-friendly information and resources regarding USDOT’s discretionary grant programs relevant to rural applicants can be found on the Rural Opportunities to Use Transportation for Economic Success (ROUTES) website at transportation.gov/rural.

1. Definitions

Term	Definition
Large community	A community with a population of not less than 400,000 individuals, as determined under the most recent annual estimate of the Bureau of the Census.
Midsized community	Any community that is not a large community or a rural community.
Political subdivision of a state	A unit of government created under the authority of State law. This includes cities, towns, counties, special districts, and similar units of local government, such as public port or airport authorities, if created under State law.
Regional partnership	A partnership composed of two or more eligible entities located in jurisdictions with a combined population that is equal to or greater than the population of any midsized community.
Rural community	The term “rural community” means a community that is located in an area that is outside of an urbanized area (as defined in section 5302 of title 49, United States Code, which defines “rural” as a community with a population of less than 50,000 individuals).
Resiliency	The ability to prepare for and adapt to changing conditions and withstand, recover, and reorganize rapidly from disruptions to a community (e.g., population, economy, etc.). Resilience includes the ability to withstand and recover from manmade and naturally occurring threats or incidents, including widespread and long-term threats or incidents.
Historically Disadvantaged Community	For the purposes of the SMART NOFO, applicants may demonstrate the “historical disadvantage” of the project area according to ONE of the following tools: 1) DOT’s Historically Disadvantaged Community (HDC) Status Tool via https://usdot.maps.arcgis.com/apps/dashboards/d6f90dfcc8b44525b04c7ce748a3674a.

Term	Definition
	<p><u>21</u>) Federally designated community development zones (for example: Opportunity Zones, Empowerment Zones, Promise Zones, Choice Neighborhoods, or Rural Partners Network-designated Community Networks).</p> <p><u>32</u>) The Climate and Economic Justice Screening Tool (CEJST) via screeningtool.geoplatform.gov.</p>

BOROUGH OF COLUMBIA, LANCASTER COUNTY, PENNSYLVANIA

RESOLUTION NO. 2022 – 40

A RESOLUTION OF THE BOROUGH COUNCIL OF THE BOROUGH OF COLUMBIA, LANCASTER, PENNSYLVANIA AUTHORIZING THE LANCASTER COUNTY LAND BANK AUTHORITY TO ACCEPT PROPERTY LOCATED AT 349 NORTH SECOND STREET INTO THE COLUMBIA LAND BANK PROGRAM.

WHEREAS, on January 10, 2017, the Borough entered into an Intergovernmental Cooperation Agreement specifying terms for operation of the Lancaster County Land Bank Authority within the borough, and

WHEREAS, the Agreement requires that the Borough and School District approve the inclusion of specific properties in the Land Bank program, and

NOW, THEREFORE, BE IT RESOLVED that the property located at 349 North Second Street (Account number 1102751700000) in Columbia Borough is approved for acquisition by the Lancaster County Land Bank Authority.

RESOLVED AND ADOPTED this 25th day of October 2022 by the Columbia Borough Council.

ATTEST:

Columbia Borough Council

Mark E Stivers
Borough Manager and Secretary/Treasurer

Heather M. Zink
Borough Council President

BOROUGH OF COLUMBIA, LANCASTER COUNTY, PENNSYLVANIA

RESOLUTION NO. 2022 – 41

A RESOLUTION OF THE BOROUGH COUNCIL OF THE BOROUGH OF COLUMBIA, LANCASTER, PENNSYLVANIA AUTHORIZING THE LANCASTER COUNTY LAND BANK AUTHORITY TO ACCEPT PROPERTY LOCATED AT 1005 SPRUCE STREET INTO THE COLUMBIA LAND BANK PROGRAM.

WHEREAS, on January 10, 2017, the Borough entered into an Intergovernmental Cooperation Agreement specifying terms for operation of the Lancaster County Land Bank Authority within the borough, and

WHEREAS, the Agreement requires that the Borough and School District approve the inclusion of specific properties in the Land Bank program, and

NOW, THEREFORE, BE IT RESOLVED that the property located at 1005 Spruce Street (Account number 1108047800000) in Columbia Borough is approved for acquisition by the Lancaster County Land Bank Authority.

RESOLVED AND ADOPTED this 25th day of October 2022 by the Columbia Borough Council.

ATTEST:

Columbia Borough Council

Mark E Stivers
Borough Manager and Secretary/Treasurer

Heather M. Zink
Borough Council President

EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: October 25, 2022

DEPARTMENT: Public Works

TITLE: 902 Recycling Grant Application

BACKGROUND AND JUSTIFICATION:

Columbia Borough is committed to being a recognized leader in yard waste recycling. The yard waste facility has grown from serving only Borough residents to now serving residents of 15 nearby Municipalities and has become a regional operation rather than a local service.

The purpose of this grant submission is to replace the existing Peterson Grinder with a new model Peterson Model 1700D Grinder to increase reliability, reduce downtime and to improve the quality of the final compost material.

Also, with this grant application a legal advertisement is required for purchasing processing equipment. The advertisement must advertise in a newspaper of general circulation in the area where the equipment will be used and run once per week for four consecutive weeks. The maximum grant award is \$350,000.00. The current quote for the Peterson Model 1700D is \$609,998.00 less \$100,000.00 trade for the existing grinder.

MOTION:

Move to approve to submit 902 Recycling Grant and Legal Advertisement considering purchase of processing equipment.

FISCAL IMPACT ANALYSIS

A. Five Year Summary of Fiscal Impact:

Fiscal Years	2023	2024	2025	2026	2027
Operating Expense (F01)	0	0	0	0	0
Capital Expense (F18)	\$609,998	0	0	0	0
Capital Expense (F30)	0	0	0	0	0
Liquid Fuels Exp. (F35)	0	0	0	0	0
External Revenues (Grants)	0	0	0	0	0
In-kind Match	0	0	0	0	0
Net Fiscal Impact	0	0	0	0	0

B. Recommended Sources of Funds/Summary of Fiscal Impact:

Account Number	Account Description	FY22 Budget	Current Balance	Agenda Expenditure	Balance
18-430-755	Grinder Replacement DEP Share - \$350,000		\$508,000.00		

EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: 10/25/22

DEPARTMENT: Police Department

TITLE: Hire a Full-time Community Safety Officer

SUMMARY: Hire Joel Hopta as a Community Safety Officer (CSO)

BACKGROUND AND JUSTIFICATION: A security presence is needed at the Columbia Borough School District to address safety needs to include fights, weapon incidents, unruly students, and other safety concerns. The presence of a CSO helps to reduce incidents requiring police response. Also, the CSO will develop relationships with students thereby reducing the number of incidents. A full-time Community Safety Officer is needed to replace Jordon Corbin, who tendered his resignation in October 2022.

Officer Hopta will start part-time in November 2022. Upon retiring from his full-time police officer position in January 2023, Joel will begin his full-time duties.

MOTION: To hire Joel Hopta as a full-time Community Safety Officer contingent upon successful completion of a thorough background investigation, medical screening, and drug screening.

ATTACHMENT(S):

FISCAL IMPACT ANALYSIS

A. Five Year Summary of Fiscal Impact:

Fiscal Years	2020	2021	2022	2023	2024
Capital Expenditures	0	0	0	0	
Operating Expenditures	0	0	\$20,400.00	\$62,400.00	
External Revenues	0	0	\$13,600.00	\$41,600.00*	
Program Income	0	0	0	0	
In-kind Match	0	0	0	0	
Net Fiscal Impact	0	0	\$6,800.00	\$20,800.00	

*Does not include and wage increases

B. Recommended Sources of Funds/Summary of Fiscal Impact:
General Fund

Attached: Redacted Application for Employment.

COLUMBIA BOROUGH APPLICATION FOR EMPLOYMENT

Applicants are considered for all positions without regard to race, color, religion, sex, national origin, age, marital, or the presence of a non-job-related medical condition or handicap.

(PLEASE PRINT)

Date of Application 7/27/2022

Position(s) Applied For Community Safety Officer

Referral Source: Advertisement Friend Relative Walk-In
 Employment Agency Other

Name Hopta JOEL Anthony
LAST FIRST MIDDLE

Address _____
NUMBER STREET CITY STATE ZIP CODE

Telephone _____ Social Security Number _____

Email Address (please print clearly) _____

If employed and you are under 18 can you furnish a work permit? Yes No

Have you filed an application here before? Yes No If Yes, give date _____

Have you ever been employed here before? Yes No If Yes, give date _____

Are you employed now? Yes No May we contact your present employer? Yes No

Are you prevented from lawfully becoming employed in this country because of Visa or Immigration Status? Yes No (Proof of citizenship or immigration status may be required upon employment)

On what date would you be available for work? Depends - still working as police officer

Are you available to work Full-Time Part-Time Shift Work Temporary

Are you on a lay-off and subject to recall? Yes No

Can you travel if a job requires it? Yes No

Have you been convicted of a felony or misdemeanor within the last 7 years? Yes No
(Conviction will not necessarily disqualify applicant from employment)

If Yes, please explain _____

Veteran of the U.S. Military Service? Yes No If Yes, Branch _____

Indicate languages you speak, read, and/or write.

	FLUENT	GOOD	FAIR
SPEAK	English		
READ	English		
WRITE	English		

List professional, trade, business or civic activities and offices held.

(You may exclude those which indicate race, color, religion, sex or national origin): _____

Act 120 certified since 1996 - Police Officer

Head JR high football coach - West York (paid) 2009-2015

President of

Give name, address and telephone number of three references who are not related to you and are not previous employers.

Becky Grim

Brad Stein

Neil Mummert

I understand that if accepted for employment, I must comply with all the rules, regulations, and policies of the Borough. I understand that the Borough's policy manual does not constitute a contract of employment.

Signature of Applicant



Date

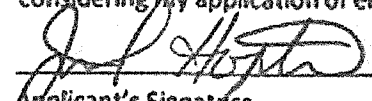
7-27-2022

For Personnel Department Use Only	
Arrange Interview	<input type="checkbox"/> Yes <input type="checkbox"/> No
Remarks _____	
Employed	<input type="checkbox"/> Yes <input type="checkbox"/> No
Date if Employment _____	
Job Title _____	Hourly Rate/Salary _____ Department _____
By _____	Date _____
Name and Title Date	

CONSUMER REPORT DISCLOSURE & AUTHORIZATION

Through my signature below, I acknowledge Columbia Borough, through its designated agent, The Columbia Borough Police Department, intends to generate a consumer report regarding my background information. I understand that information generated as part of this background review will be used for employment purposes. I understand that this investigation may include, but is not limited to, verification of my social security number, current and previous residences, employment history, education, credit history and reports, credit score, criminal history information, birth records, motor vehicle driving records and any other public records relative to my character, general reputation or personal characteristics.

With this knowledge, I authorize Columbia Borough to generate and use this consumer report in considering my application of employment.



Applicant's Signature

JOEL Hopta

Applicant's Name

7-27-2022

Date

EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: 10/25/2022

DEPARTMENT: Police Department

TITLE: Hire Cleta Fry as Part-time Crossing Guard

SUMMARY: The Columbia Borough Police Department recommends hiring Cleta S. Fry for the position of part-time Crossing Guard.

BACKGROUND AND JUSTIFICATION: The Columbia Borough Police Department has multiple crossing guard vacancies. There has been a shortage of qualified candidates requiring Police Officers to cover vacancies. The cost of the crossing guard is shared by the Columbia Borough School District.

MOTION: To consider approval to hire Cleta S. Fry as a part-time (10-20 hours per week) Crossing Guard for the Columbia Borough Police Department beginning at the Non-Uniform 2022 Contract rate of \$14.10 per hour and contingent upon successful completion of the required background check, medical exam, and drug screening.

ATTACHMENT(S):

- Redacted Application for Employment – Cleta S. Fry

FISCAL IMPACT ANALYSIS

A. Five Year Summary of Fiscal Impact:

Fiscal Years	2020	2021	2022	2023	2024
Capital Expenditures	0	0	0	0	0
Operating Expenditures	0	0	\$1,269	0	0
External Revenues	0	0	0	0	0
Program Income	0	0	0	0	0
In-kind Match	0	0	0	0	0
Net Fiscal Impact	0	0	0	0	0

B. Recommended Sources of Funds/Summary of Fiscal Impact:

C. Department Fiscal Review: _____

D. Legal Review:

RECEIVED

OCT 17 2022

COLUMBIA BOROUGH APPLICATION FOR EMPLOYMENT

Applicants are considered for all positions without regard to race, color, religion, sex, national origin, age, marital, or the presence of a non-job-related medical condition or handicap.

(PLEASE PRINT)

Date of Application 10/17/2022

Position(s) Applied For Crossing Guard

Referral Source: Advertisement Friend Relative Walk-In
 Employment Agency Other

Name Fry Cleta S.
LAST FIRST MIDDLE

Address _____ Columbia Pa. 17514
NUMBER STREET CITY STATE ZIP CODE

Telephone _____ Social Security Number _____

Email Address (please print clearly) _____

If employed and you are under 18 can you furnish a work permit? Yes No

Have you filed an application here before? Yes No If Yes, give date _____

Have you ever been employed here before? Yes No If Yes, give date _____

Are you employed now? Yes No May we contact your present employer? Yes No

Are you prevented from lawfully becoming employed in this country because of Visa or Immigration Status? Yes No (Proof of citizenship or immigration status may be required upon employment)

On what date would you be available for work? Now

Are you available to work Full-Time Part-Time Shift Work Temporary

Are you on a lay-off and subject to recall? Yes No

Can you travel if a job requires it? Yes No

Have you been convicted of a felony or misdemeanor within the last 7 years? Yes No
(Conviction will not necessarily disqualify applicant from employment)

If Yes, please explain _____

Veteran of the U.S. Military Service? Yes No If Yes, Branch _____

Indicate languages you speak, read, and/or write.

	FLUENT	GOOD	FAIR
SPEAK	ENGLISH		
READ	ENGLISH		
WRITE	ENGLISH		

List professional, trade, business or civic activities and offices held.
(You may exclude those which indicate race, color, religion, sex or national origin): NONE

Give name, address and telephone number of three references who are not related to you and are not previous employers.

Pete Weimer _____
Adrienne Landis _____
Laura Berret _____

EMPLOYMENT EXPERIENCE

Start with your present or last job. Include military service assignments and volunteer activities.
 Exclude organization names which indicate race, color, religion, sex or national origin.

Employer <i>RETIRED</i>	Telephone () -	Dates Employed		Work Performed
Address		From	To	
Job Title				
Supervisor		Hourly Rate/Salary		
Reason for Leaving		Starting	Final	

Employer <i>RETIRED</i>	Telephone () -	Dates Employed		Work Performed
Address		From	To	
Job Title				
Supervisor		Hourly Rate/Salary		
Reason for Leaving		Starting	Final	

Employer <i>RETIRED</i>	Telephone () -	Dates Employed		Work Performed
Address		From	To	
Job Title				
Supervisor		Hourly Rate/Salary		
Reason for Leaving		Starting	Final	

Employer <i>RETIRED</i>	Telephone () -	Dates Employed		Work Performed
Address		From	To	
Job Title				
Supervisor		Hourly Rate/Salary		
Reason for Leaving		Starting	Final	

If you need additional space, please continue on a separate sheet of paper.

Special Skills and Qualifications:

Summarize special skills and qualifications acquired from employment or other experience

DONE

Education

	Elementary	High	College/University	Graduate/ Professional
School Name	HOLY TRINITY LANCASTER PA			
Years Completed (circle)	4 5 6 7 (8)	9 10 11 (12)	1 2 3 4	1 2 3 4
Diploma/Degree				
Describe Course Of Study:				
Describe Specialized Training, Apprenticeship, Skills, and Extra-Curricular Activities				

Honors Received: _____

State any additional information you feel may be helpful to us in considering your application: _____

Applicant's Statement

I certify that answers given herein are true and complete to the best of my knowledge. I hereby give the Borough the right to make a thorough investigation into my previous employment, education, references, criminal and credit history, and I release from all liability all person and entities supplying such information. I release, indemnify and hold harmless the Borough and its officers, employees and agents from and against all liability which may result from making such an investigation.

I understand that any false or misleading or incomplete answer, statement or representation made by me in this application may constitute sufficient cause for the withdrawal of any offer of employment or for termination from employment. I also understand that nothing contained in this application or in the granting of an interview is intended to create an employment contract between the Borough and myself.

I understand that if accepted for employment, I must comply with all the rules, regulations, and policies of the Borough. I understand that the Borough's policy manual does not constitute a contract of employment.

Cheta B. Kay
Signature of Applicant

10/17/2022
Date

For Personnel Department Use Only		
Arrange Interview	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Remarks _____ _____		
Employed	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Date if Employment _____		
Job Title	Hourly Rate/Salary	Department
By _____	Date _____	
Name and Title		Date

CONSUMER REPORT DISCLOSURE & AUTHORIZATION

Through my signature below, I acknowledge Columbia Borough, through its designated agent, The Columbia Borough Police Department, intends to generate a consumer report regarding my background information. I understand that information generated as part of this background review will be used for employment purposes. I understand that this investigation may include, but is not limited to, verification of my social security number, current and previous residences, employment history, education, credit history and reports, credit score, criminal history information, birth records, motor vehicle driving records and any other public records relative to my character, general reputation or personal characteristics.

With this knowledge, I authorize Columbia Borough to generate and use this consumer report in considering my application of employment.

Cleta S. Fry

Applicant's Signature

Cleta S. Fry

Applicant's Name

10/17/2022

Date

EXECUTIVE BRIEF REGULAR MEETING

AGENDA DATE: 10/25/22

DEPARTMENT: Administration

TITLE: Consider authorizing staff to contract with a realtor to sell Borough owned property located at 400 Locust Street and 750 South Ninth Street

SUMMARY: The Borough Council authorized staff to sell land owned by the Borough. Two different Bid processes were conducted and only resulted in the sale of one parcel. Per the Pennsylvania Borough Code, following two attempts to sell land via bid, the Borough can work with a realtor to sell the parcels directly.

BACKGROUND AND JUSTIFICATION: At the May 10, 2022 regular Council Meeting, Borough Council approved resolutions 2022-20, 2022 – 21, and 2022 – 22 to declare the properties at 400 Locust Street, 750 S Ninth Street and the recently subdivided property on the east side of Blue Lane as surplus property and authorized staff to prepare them for sale. At the June 28, 2022 regular Council meeting, Borough Council authorized staff to sell these properties via sealed bid. Following the first round of bids, only one property, the property on blue lane received a qualified bid and was sold. A second round of bids was opened with bids being due on Friday October 21st. Again no bids were received for the two remaining properties.

Staff is now seeking authorization from Council to work with a realtor to sell those properties.

MOTION: Authorize Staff to contract with a realtor to sell the properties located at 400 Locust Street, 750 S Ninth Street.