



LEO S. LUTZ
Mayor

EVAN M. GABEL
Solicitor

HEATHER ZINK
Borough Council President

COLUMBIA BOROUGH - PLANNING COMMISSION

Paul W. Myers Council Chambers

August 20, 2024 – 7:00 PM

AGENDA

NOTE: This meeting will be livestreamed on the [Borough's YouTube Channel](#).

- 1) Call to Order and Roll Call
- 2) Invocation/Moment of Silence
- 3) Pledge to the Flag
- 4) Additions, deletions, and reorganization of agenda
 - a) Consider approval of Agenda
- 5) Minutes for Approval
 - a) Consider approval of the Borough Council Meeting Minutes for July 16, 2024
- 6) Zoning Hearing(s) - none
- 7) Engineer's Review(s) of SALDO Applications - none
- 8) Demolition Application(s) - none
- 9) Public Comments and Questions:

Civility and Decorum: Borough officials and members of the public are expected to conduct themselves with civility and to accord each other a measure of dignity and respect. Shouting, foul language, personal insults, threats, attacks, or any conduct that disrupts the flow of business is out of order.

- 10) Action Items
 - a) Preliminary/Final Subdivision Plan for River Town Summit
- 11) Discussion Items
 - a) Final Submission Plan for McGinness Airport
- 12) Old Business
- 13) New Business
- 14) Announcement of Next Meeting – September 17, 2024 at 7 PM.
- 15) Adjournment

If you are a person with a disability wishing to attend this meeting and require accommodation to participate in the meeting, please contact the Columbia Borough Office at (717) 684-2467 at least 24 hours prior to the meeting.



COLUMBIA BOROUGH – PLANNING COMMISSION
Paul W. Myers Council Chambers
July 16, 2024 – 7:00 PM

MINUTES

MEMBERS IN ATTENDANCE:

Mary Wickenheiser, Chairperson
Tiffani Lynn, Vice-Chairperson
Brad Lynn, Secretary
Justin Evans
Marilyn Kress Hartman
Nathan Roach

STAFF IN ATTENDANCE:

Derek Rinaldo, Engineer

CALL TO ORDER:

Chairperson Wickenheiser called to order this regular meeting of the Columbia Borough Planning Commission on Tuesday, July 16th, at 7:00 PM.

There was a moment of silence and then the pledge to the flag was led by Chairperson Wickenheiser.

Chairperson Wickenheiser noted that the agenda was posted in a timely manner as required. She also noted that the Work Session meeting scheduled for July 16, 2024, at 6 PM was cancelled and published as well. The short-term residential amendments that were worked on last month are currently in the hands of the Solicitor, Evan Gable. We will have that for next month and continue working on that.

APPROVAL OF MINUTES:

- a) Motion to approve Planning Commission Meeting Minutes from the June 18th meeting.

Motion by:	Second by:	Voice Vote:
T. Lynn	M. Kress Hartman	All Favored – Motion Carried

ZONING HEARING(S):

- a) A continuation of 336 Poplar St to the Zoning Hearing Board on July 31, 2024. Chairperson Wickenheiser is unable to attend the Zoning Hearing Board meeting, therefore, Board member Justin Evans will attend on behalf of the Planning Commission. A member is needed to simply be there to state that there is not sufficient information to make any recommendation to the request for the zoning exception for use.



ENGINEER’S REVIEW(S) of SALDO Applications – Consider Motion:

- a) A review of 750 S 9th St Application for Conditional use of Flexible Residential Development provisions of the Zoning ordinance. Derek Rinaldo, Engineer said the final approval for this needs to come from Borough Council. As for tonight, he is asking that the Planning Commission review the merits of the sketch plan, hear the plan and make a recommendation to Council to approve or deny. Attorney Tom Fanning, property owner Eli King and designer Tim Fink all spoke of the project in great depth.
Motion to recommend Borough Council to approve the conditional use with the waivers.

Motion by:	Second by:	Voice Vote:
J. Evans	B. Lynn	All Favored – Motion Carried

DEMOLITION APPLICATION(S) Consider Motion to Recommend to Borough Council:

There were no demolition items to be discussed.

ACTION ITEM(S):

There were no action items to be discussed.

DISCUSSION ITEM(S):

There were no discussion items to be discussed.

OLD BUSINESS (for discussion):

There were no old business items to be discussed.

NEW BUSINESS (for discussion):

There were no new business items to be discussed.

PUBLIC COMMENTS AND QUESTIONS:

Frank Doutrich made some comments in reference to 700 S 9th St with reply from Chairperson Wickenheiser.

Motion to Adjourn:

Motion to adjourn the meeting at 7:42 PM.

Motion by:	Second by:	Voice Vote:
T. Lynn	J. Evans	All Favored – Motion Carried

Next meeting scheduled for Tuesday, August 20, 2024

Respectfully submitted,

Brad Lynn, Secretary



Municipal Certification of Subdivision and/or Land Development Plan Submission

Plan Name

Preliminary / Final Land Development Plan for River Town Summit

Municipal Certification

We do hereby request that Lancaster County Planning reviews the enclosed Subdivision and/or Land Development Plan in accordance with the Pennsylvania Municipalities Planning Code, Article V, Section 502.

Printed Name of Municipal Representative

Representative's Title

Mark Stivers

Borough Manager

Signature of Municipal Representative

Municipality

Columbia Borough

Email Address of Municipal Representative

Phone

Date

MStivers@columbiapa.net

7 1 7 6 8 4 2 4 6 7

06.27.2024



Municipal Notification of Subdivision and/or Land Development Plan Receipt

The following application was received by the Lancaster County Planning Department:

Plan Name

River Town Summit

S/LD #

19-52-1

Project Description

Lancaster Habitat for Humanity is proposing to construct five (5) townhouse units, an access drive with a driveway for each townhouse, and a stormwater management facility.

Date of Completed Application Receipt

07/01/2024

Plan Date

05/22/2024

Municipality/Municipalities

Columbia Borough

LCPD's Regional Liaison Available for Questions

Christine J. Le

Project Location/Direction and Distance

The lot sits on the southeast corner of North 4th & Linden Streets

Owner Name(s)

Lancaster Area Habitat for Humanity, Inc.

SUBDIVISION AND LAND DEVELOPMENT

190 Attachment 2

Borough of Columbia

Appendix B

Application for Consideration of a Subdivision and/or Land Development Plan

For Borough Use Only:

File No. _____

Date of Receipt/Filing: _____

Planning Commission Meeting Date: _____

Planning Commission Meeting Date: _____

The undersigned hereby applies for approval under the Subdivision and Land Development Ordinance of the Borough of Columbia for the Plan, submitted herewith and described below:

1. Application Classification:

- | | |
|--|--------------------------------|
| _____ Sketch Plan | _____ Preliminary Plan |
| <input checked="" type="checkbox"/> Final Plan | _____ Consolidation Plan |
| _____ Centerline Separation Plan | _____ Revised Subdivision Plan |
| _____ Lot Add-On Plan | _____ Modified Final Plan |
| _____ Waiver/Modification Process | |

2. Plan Name: Preliminary/Final Subdivision Plan For River Town Summit
Consultant Project No.: 231089-001
Plan Date: 06/14/2024

3. Project Location: N Fourth Street (South corner with Linden St.)

4. Name of Property Owners(s): Lancaster Area Habitat for Humanity, Inc
Address: 443 Fairview Avenue Lancaster, PA 17603 Phone No.: (223) 444-6597
Source of Title: DEED: 6752109 Account No.: 110-57387-0-0000
Second Property Owners(s): _____
Address: _____ Phone No.: _____
Source of Title: _____ Account No.: _____

5. Land Use and Number of Lots and/or Units (indicate answer by number):

_____ Single Family Detached	_____ Commercial
<u>5</u> Multi-Family Attached	_____ Industrial
_____ Agricultural	_____ Institutional
_____ Mixed Use	_____ Other (please specify)

6. Name of Applicant (if other than owner): Andrew Szalay
Address: 443 Fairview Avenue Lancaster, PA 17603 Phone No.: (223) 444-6597

7. Firm which prepared the plan: Harbor Engineering
Address: 41 South Main Street, Manheim, PA Phone No.: (717) 665-9000
Person Responsible for the Plan: Steve Gergely (sgergely@harborengineering.com)

COLUMBIA CODE

8. Zoning District: DC (Downtown Commercial)
Is a Zoning Variance, Special Exception, and/or Conditional Use Approval Necessary?
Y/N If yes, please specify:

9. Net Acreage of Parent Tract(s): 17,370 SF , 0.399 Acres
Gross Acreage of Parent Tract(s): 17,370 SF , 0.399 Acres
Square Feet of Ground Floor Area: 4,600 SF

10. Type of Water Supply Proposed:
 Public Owned Community Privately Owned Community
 Private On-Lot Well

11. Type of Sanitary Wastewater Disposal Proposed:
 Public Private Community
 Community On-Lot Individual On-Lot

12. Sewage Facilities Plan Revision or Supplement Number Exemption Approved. See attached.
Date Submitted _____ 20____

13. Lineal Feet of New Street: 0
Identify all Street(s) Not Proposed for Dedication: _____

14. Acreage Proposed for Park or Other Public Use: 0

The undersigned hereby represents that, to the best of his knowledge and belief, all information listed above is true, correct, and complete.

_____, 20____
Signature of Landowner or Applicant Date

_____, 20____
Signature of Landowner or Applicant Date

We do hereby request the Lancaster County Planning Commission review the enclosed subdivision or land development plan in accordance with the Pennsylvania Municipalities Planning Code, as amended, Article V, Section 502.

St. Gary AGENT FOR APPLICANT 6/27/24
Signature Title Date

For LCPC Use Only:
LCPC File No. _____
Date of Receipt: _____, 20____
Lancaster County Planning Commission Meeting Date: _____



June 27, 2024

Mr. Mark Stivers, Borough Manager
Columbia Borough Municipal Office
308 Locust Street
Columbia, PA 17512

Via E-Mail and Hard Copy Submission - mstivers@columbiapa.net

**RE: COVER LETTER AND PROJECT NARRATIVE
Preliminary / Final Land Development Plan for River Town Summit
Columbia Borough - Lancaster County, PA
HEI Project No.: 231089-001**

Dear Mr. Stivers:

The purpose of this letter is to provide you and your staff with a summary of the various aspects associated with the Preliminary / Final Land Development Plan submission for the above referenced project. Lancaster Habitat for Humanity (Habitat) is proposing to construct five (5) townhouse units, an access drive with a driveway for each townhouse, and a stormwater management facility. The lot sits on the corner of North 4th and Linden Streets. The property is currently vacant, consisting primarily of overgrown grass with a few trees.

This project was previously conditionally approved by the Borough Planning Commission in 2019. The conditions of approval were never met and the previous owner has sold the property to Habitat. Since the time of the previous plan, the property has been re-zoned from Low Density Residential to Downtown Commercial. While the previous plan was granted a number of dimensional variances, this project meets the requirements of the Downtown Commercial Zoning District and no variances are required. There have been some small adjustments to the building footprints and grading from the previous plan, however the overall layout and lot configuration is substantially the same.

The increase in runoff for the currently proposed improvements will be mitigated by a subsurface stone detention bed. The proposed area of disturbance will be less than 1-acre and a NPDES Permit is not required.

The proposed townhouses will be served by public sewer and public water. Water and sewer capacity were previously granted for this project, and the DEP had also granted a sewer planning exemption. We have sent updated plans and requests to verify capacity to both LASA and the Columbia Water Company.

The Lancaster County Conservation District had also previously approved the E&S Control Plan. An updated copy of the plans has been sent to the District as a courtesy.

Modifications of the Columbia Borough Subdivision and Land Development and Stormwater Management Ordinances are being requested with this application. A separate modification request letter is included with this submission.

Our submission package to you consists of the following items:

1. Two (2) copies of the Cover Letter and Project Narrative
2. One (1) Original and one (1) copy of the Columbia Borough Application Form
3. Two (2) copies of the Modification Request Letter
4. Two (2) copies of ES Adequacy Letter from LCCD
5. Two (2) copies of Sewer Exemption Approval from DEP
6. Two (2) copies of the SWM and E&S Report
7. One (1) copy of the Final Land Development and E&S Plans (Full Size)
8. Ten (10) copies of the Final Land Development and E&S Plans (11"x17")
9. Application Fee of \$500.00 (Payable to Columbia Borough)
10. Escrow Fee of \$7,000.00 (Payable to Columbia Borough)

Please note that a copy of this submission package has also been submitted directly to C.S. Davidson. Plans have also been submitted to the Lancaster County Planning Department for their review and processing.

Thank you for your assistance with this submission package. Please feel free to contact our office if you should need any additional information or if you should have any questions, comments, or concerns related to this application package.

Sincerely,
HARBOR ENGINEERING, INC.



Steven P. Gergely, RLA

Enclosures

C: Andrew Szalay - Lancaster Habitat for Humanity, andrew@llhfh.org (Digital)
Derek Rinaldo – C.S. Davidson, djr@csdavidson.com (Digital)
Digital File



June 27, 2024

Columbia Borough Planning Commission
Columbia Borough Municipal Office
308 Locust Street
Columbia, PA 17512

**RE: Modification Request Letter
River Town Summit
Columbia Borough - Lancaster County, PA
HEI Project No.: 231089-001**

Dear Commission Members:

On behalf of our client, Lancaster Habitat for Humanity, we are requesting five (5) modifications of the Columbia Borough Subdivision and Land Development Ordinance, and one (1) modification of the Columbia Borough Stormwater Management Ordinance. Following is a brief description and justification for the requested modifications:

MODIFICATION REQUESTS:

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

1. Section 190.18 – Preliminary Plan

This section of the ordinance requires that a Preliminary Plan application be submitted and approved prior to consideration of a Final Plan.

We request a modification of the requirement to process a separate Preliminary Plan application for the proposed Land Development and instead have the plan processed as a Preliminary/Final Plan. We request this modification based upon the following justifications:

- A. The proposed land development plan is small in scope consisting of the development of less than one acre of land.
- B. The plan is not proposing any new public streets or parking areas.

Based upon the justifications provided above, we believe that waiving the preliminary plan requirement would be a beneficial use of time for this project. We submit that requiring this plan to go through the entire Preliminary Plan process prior to being submitted and reviewed as a Final Plan would not be beneficial to either the applicant or to Columbia Borough.

2. Section 190.36 – Parks and Open Space

This section of the ordinance requires that all plans for residential subdivision of land shall provide for the dedication of land for park and open space uses, and/or the payment of fees in lieu of.

We request a modification of this requirement to allow the client to pursue the option of providing a fee in lieu of as an alternative. We submit that this request is justified based on the following:

- A. The proposed residential townhouse lots are small, and they have a considerable slope on the west, north, and east sides that would not be suitable for park and open space areas that would benefit the residents of the subdivision or residents of Columbia Borough.

Based upon the justification provided above, we believe that this modification request is justified and would be beneficial for both the Borough and the applicant.

3. Section 190.39.G.7 – Driveways

This section of the ordinance requires that shared or joint driveways shall be used only for four (4) or fewer dwelling units.

We request a modification of this requirement to allow the design and construction of a shared driveway to be used for five (5) townhouse units. We submit that this request is justified based on the following:

- A. The proposed shared driveway provides more than the minimum required lane width while meeting all other design criteria, and all necessary parking for the townhouse units would be provided on private driveways dedicated to each lot.

Based upon the justification provided above, we believe that this modification request is justified and would provide a superior product for both the Borough and the applicant.

4. Section 190.40.A.3(b) – Sidewalks

This section of the ordinance requires that sidewalks/pedestrian easements shall be provided for pedestrian circulation. All development shall incorporate a sidewalk between the building and the street.

We request a waiver of this requirement to not require new sidewalk along the south side of Linden Street. We request this waiver based upon the following justifications:

- A. The project is proposing to extend the existing sidewalk along the western side of North Fourth Street to the intersection with Linden Street. The new Fourth Street sidewalk extension and a corresponding new crosswalk will provide pedestrian access from within the site to the existing sidewalks within the Borough.
- B. The existing topography along the south side of Linden Street is steep in grade and a wall would be needed in order to install a sidewalk along the south side of Linden Street. Due to the existing grades, there is currently no sidewalk installed along the south side of Linden Street on the adjacent properties in this area of the borough.
- C. The access to the new dwelling units will be via the drive from North Fourth Street; therefore, the additional sidewalk along Linden Street is not needed for the residents of the site.

Based on the justifications provided above, we believe that waiving the requirement to provide sidewalk along Linden Street is justified for this specific project and that this proposal is adequate to meet the Borough's criteria.

STORMWATER MANAGEMENT ORDINANCE

1. Section 184.14 – Volume Controls

This section of the ordinance requires that projects do not increase the post-development runoff volume for all storms equal to or less than the 2-year, 24-hour storm event.

June 27, 2024
Modification Request Letter
River Town Summit
Page 3 of 3

We are requesting a waiver of this requirement. We request this modification based upon the following justifications:

- A. The geology study showed the existence of shallow weathered bedrock surface, leaving the site prone to karst type features typical to a carbonate environment. The site geologist recommended against infiltration, as the risk of karst erosion at the site is high and infiltrating stormwater would increase that risk.

Based upon the justification provided above, we submit that providing water quality BMP's and proper rate control will meet the intent of the ordinance at a site where promoting infiltration is not advisable.

Sincerely,
HARBOR ENGINEERING, INC.

A handwritten signature in black ink, appearing to read "Steven P. Gergely". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Steven P. Gergely, RLA

C: Digital File



LANCASTER COUNTY
CONSERVATION DISTRICT

Conserving Natural Resources for Our Future

COPY

January 6, 2020

Arlette Warren
PO Box 443
Columbia, PA 17512

RE: **Project Name – Arlette Warren**
LCCD Plan ID: ESP02896
Columbia Borough

Dear Ms. Warren:

I have reviewed the Erosion and Sediment Pollution Control Plan dated November 8, 2019 and last revised on December 20, 2019 for the above referenced project. If the Erosion and Sediment Pollution Control Plan is fully implemented as described, it should be adequate to meet the intent of the rules and regulations adopted under the PA Clean Streams Law relating to erosion and sedimentation control.

The Conservation District reviews this plan solely to determine whether it is adequate to satisfy the requirements of 25 PA Code §102.1 et.seq. the erosion control regulations of the Department of Environmental Protection. By a determination that the plan is adequate to meet those requirements, neither the Conservation District nor the County assumes any responsibility for the implementation of the plan or the proper construction and operations of the facilities contained in the plan.

A representative of the Lancaster County Conservation District may conduct periodic inspections of the erosion and sedimentation control facilities during the construction of this project. The approved Erosion and Sediment Pollution Control Plan must be available at the site of the earthmoving activity at all times.

Yours for a better environment,

Eric Hout
Resource Conservationist

C: Columbia Borough
Harbor Engineering Inc. – Steve Gergely

EH/slk



NOTES:

SURVEY NOTES:

- 1. THE BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY IS BASED ON A SURVEY EXECUTED BY WEBER SURVEYORS, INC. (311 STON... BATTERY ROAD, ANDOVERVILLE, PA 17538...)

GEOGRAPHIC INFORMATION SYSTEM NOTE:

- 1. PORTIONS OF THE TOPOGRAPHIC AND PLANIMETRIC FEATURES WERE TAKEN FROM THE LANCASTER COUNTY GIS DEPARTMENT AND THE PENNSYLVANIA SPATIAL DATA ACCESS (PSDA) DATA ACQUIRED FOR THIS PROJECT...

GENERAL AND MUNICIPAL NOTES:

- 1. ANY CHANGES TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF HARBOR ENGINEERING, INC.

WETLAND NOTE:

- 1. BASED UPON THE NATIONAL WETLANDS INVENTORY WEBSITE, THERE ARE NO WETLANDS LOCATED ON THE SUBJECT PROPERTY.

FLOOD PLAIN NOTES:

- 1. THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAP #4207100317F DATED APRIL 5, 2016.

CONTRACTOR NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR THE CONSTRUCTION AND DEMOLITION PROPOSED ON THIS PROJECT.

STORMWATER MANAGEMENT NOTES:

- 1. NEITHER THE REGULATION BY THE LANDOWNER TO THE BOROUGH, THE APPROVAL OF THIS PLAN BY THE BOROUGH, OR THE COMPLETION OF ANY IMPROVEMENTS BY THE DEVELOPER...

- 5. CONSTRUCTION OF STORMWATER MANAGEMENT AND EROSION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH THE CURRENT BOROUGH OF COLUMBIA AND LANCASTER COUNTY CONSERVATION DISTRICT STANDARDS AND SPECIFICATIONS UNLESS A MODIFICATION HAS BEEN APPROVED.

- 15. PRIOR TO THE FINAL RELEASE OF ANY FINANCIAL SECURITIES, THE DEVELOPER SHALL BE RESPONSIBLE FOR COMPLETING A "RECORD SURVEY" OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDED IN THE APPROVED STORMWATER MANAGEMENT PLAN...

WATER SERVICE NOTES:

- 1. WATER SERVICE TO BE PROVIDED BY COLUMBIA WATER COMPANY.

SANITARY SEWER SERVICE NOTES:

- 1. PUBLIC SEWER SERVICE TO BE PROVIDED BY THE LANCASTER AREA SEWER AUTHORITY FOR ALL NEW RESIDENTIAL LOTS.

OPERATION AND MAINTENANCE PLAN NOTES:

A. MAINTENANCE RESPONSIBILITY:

- 1. THE LAND OWNER, SUCCESSOR AND ASSIGNS SHALL INSPECT, OPERATE AND MAINTAIN THE STORM WATER MANAGEMENT FACILITIES AND BEST MANAGEMENT PRACTICES (BMPs) SHOWN AND CONSTRUCTED ON THE PROPERTY...

B. INSPECTION/MAINTENANCE SCHEDULE:

- 1. TO ASSURE PROPER IMPLEMENTATION OF BMPs, MAINTENANCE AND CARE SWM BMPs SHOULD BE INSPECTED BY A QUALIFIED PERSON, WHICH MAY INCLUDE THE LANDOWNER, OR A DESIGNEE...

C. GENERAL AND LONG-TERM INSPECTION, MAINTENANCE AND OPERATION INCLUDES:

- 1. GENERAL OPERATION AND MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: REGULAR INSPECTION, MAINTENANCE AND CARE OF THE STORMWATER MANAGEMENT FACILITIES...

ROOF DRAIN SYSTEM (GUTTERS, DOWNSPOUTS, CLEAN OUTS, CLEANOUT SUMPS, AND ROOF LEADER PIPES):

- 1. THE ROOF GUTTERS, DOWNSPOUTS, PIPING, CLEANOUT SUMPS AND CLEANOUTS SHALL BE INSPECTED FOR BLOCKAGES, DAMAGE AND ACCUMULATION OF TRASH AND SEDIMENT.

STORMWATER CONVEYANCE PIPING AND STRUCTURES:

- 1. THE STRUCTURES, INLETS, AND PIPING SHALL BE INSPECTED FOR DEBRIS, TRASH, AND SEDIMENT AND CLEANED AS NECESSARY.

UNDERGROUND DETENTION BED:

- 1. REMOVAL OF SILT FROM ALL PERMANENT STRUCTURES WHICH TRAP SILT OR SEDIMENT IN ORDER TO KEEP THE MATERIAL FROM BUILDING UP IN GRASS WATERWAYS, PIPES, INFILTRATION STRUCTURES, OR BMPs...

WATER QUALITY (WQ) FILTER BAGS WITHIN INLETS:

- 1. REMOVE INLET GRATES, AND REMOVE TRASH AND DEBRIS AS NEEDED. THE INLET FILTER BAG MAY BE CLEANED FOR REUSE, OR REPLACE INLET FILTER BAG AS NEEDED.

AMENDED SOILS:

- 1. INSPECT AREAS ANNUALLY FOR INVASIVE WEEDS AND REMOVE ANY FOUND.

REPLACEMENT NOTES:

- 1. IN THE EVENT THAT ANY OF THE PROPOSED BMPs BECOME DAMAGED, OR FAIL TO FUNCTION AS DESIGNED (DEWATER WITHIN 72 HRS.), THE BMP IS TO BE REPAIRED AND/OR REPLACED PER THE ORIGINAL DESIGN, OR A MODIFIED DESIGN AS APPROVED BY THE BOROUGH.

REPORTING:

- 1. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING RECORDS OF ALL INSPECTIONS OF AND MAINTENANCE TO BMPs AND OTHER STORM WATER MANAGEMENT FACILITIES AS SPECIFIED BY THE TERMS AND CONDITIONS OF THE NPDES PERMIT.

RESPONSIBLE PARTY AT TIME OF PLAN:

SITE ADDRESS: FOURTH STREET (NO STREET NUMBER) LANCASTER AREA HABITAT FOR HUMANITY, INC. c/o ANDREW SZALAY 443 FAIRVIEW AVENUE, LANCASTER, PA 17603 (223) 444-6597

MS4-PCSM PLAN & BMP DATA TABLE

Table with 2 columns: Overall PCSM Plan Volume Reduction (CF) and PRE: 357 CF. Includes rows for Watershed, Receiving Waterbody, NPDES Permit No., and Site Address.

THE PCSM PLAN ACCOUNTS FOR THE MAXIMUM IMPERVIOUS AREAS AS LISTED IN THE SITE DATA CHART ON SHEET 1, AND FURTHER SPECIFIED WITHIN DRAINAGE AREAS AS FOLLOWS:

AREA A UNDETAINED - 860 SF IMPERVIOUS ONSITE (INCLUDES 0 SF FUTURE IMPERVIOUS) PLUS 799 SF NEW IMPERVIOUS OFFSITE WITHIN THE R.O.W.

AREAS TO THE BMPs ARE AS LISTED IN THE CHART BELOW

NOTE: PCSM ANALYSIS INCLUDED EXISTING OFFSITE IMPERVIOUS AREAS

Table with 2 columns: Total Number of Proposed PCSM BMPs and 1. BMP 1 - UNDERGROUND STONE DETENTION BED 2. PERMANENT INLET FILTERS (INLETS I-A3, I-A2, OS-A1) 3. AMENDED SOIL AREA - 948 SF

INDIVIDUAL PCSM BMP INFORMATION

Table with 2 columns: PCSM BMP Name and PCSM BMP Desc./Type. Includes rows for Life Cycle, BMP Dimensions, BMP Area, Area Treated, ImperVIOUS Area Treated, Volume of Stormwater Treated, and Volume of Stormwater Reduction.



LANCASTER AREA HABITAT FOR HUMANITY, INC. 606 ANDREW SZALAY 443 FAIRVIEW AVENUE LANCASTER, PA 17603 (223) 444-6597

Table with columns: SHEET TITLE, PROJECT TITLE, CLIENT, NO. BY, DATE, REVISION.

LANCASTER AREA HABITAT FOR HUMANITY, INC. 606 ANDREW SZALAY 443 FAIRVIEW AVENUE LANCASTER, PA 17603 (223) 444-6597

PRELIMINARY/FINAL SUBDIVISION PLAN FOR RIVER TOWN SUMMIT COLUMBIA BOROUGH, LANCASTER COUNTY, PENNSYLVANIA

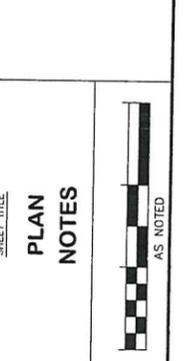
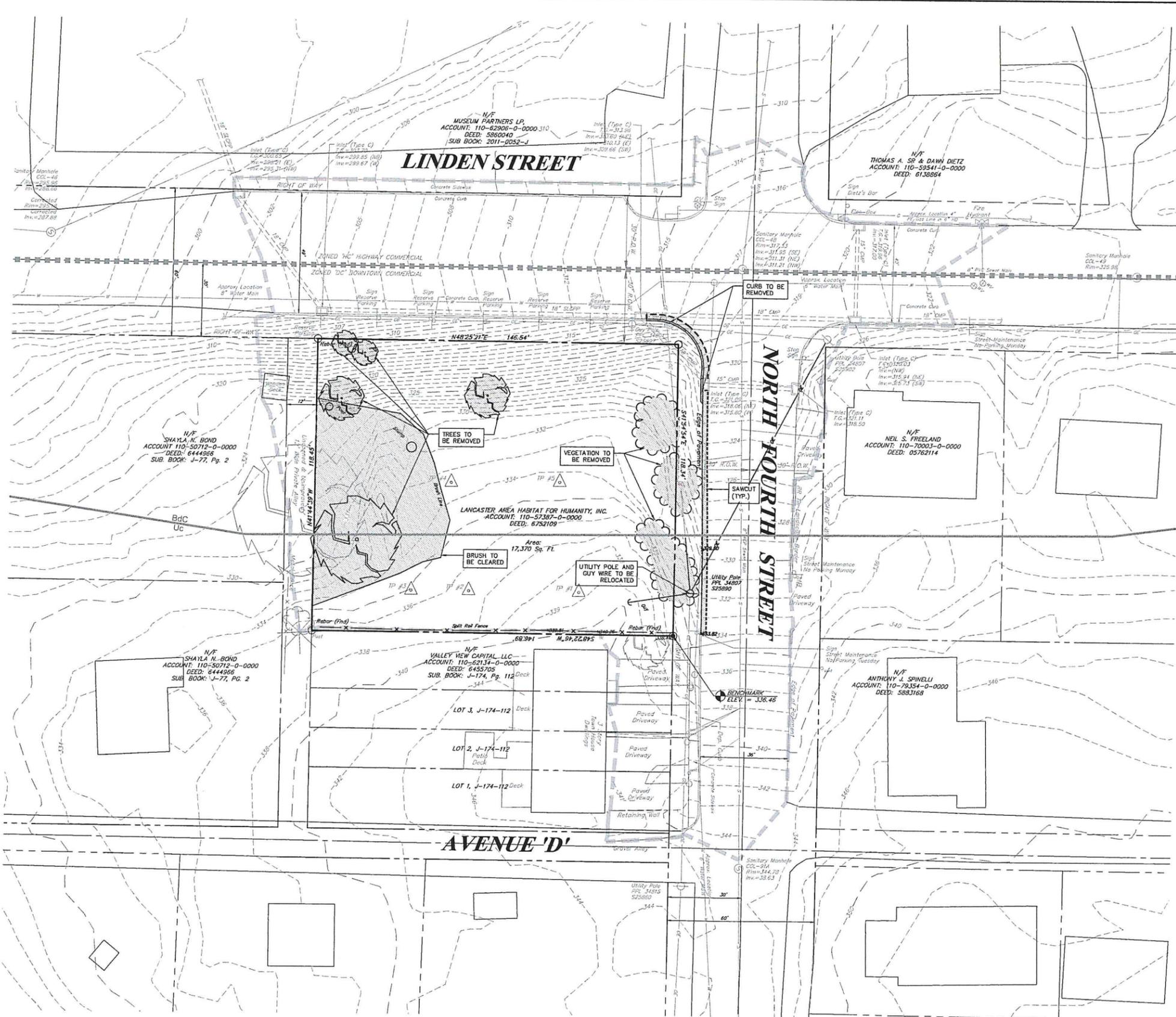


Table with columns: SHEET TITLE, PLAN, NOTES, AS NOTED.

Table with columns: DRAWN BY: BRK, CHECKED BY: SPG, DATE: JUNE 27, 2024, PROJECT NO.: 231089-001



LEGEND

EXISTING FEATURES

- WATER LINE, HYDRANT & VALVE
- GAS LINE & VALVE
- GRAVITY SEWER LINE & MANHOLE
- STORM SEWER & INLET/ENDWALL
- UTILITY POLE
- EDGE OF PAVEMENT/DRIVEWAY
- RIGHT-OF-WAY LINE
- BOUNDARY & CORNER
- FENCE
- SIGNS
- MINIMUM BUILDING SETBACK LINE
- ZONING/MUNICIPAL BOUNDARY
- MAJOR CONTOUR
- MINOR CONTOUR
- EDGE OF TREELINE
- SOIL BOUNDARY
- SOIL TESTING LOCATIONS
- LIMIT OF SURVEY
- EXISTING FEATURES TO BE REMOVED/RELOCATED UNLESS OTHERWISE NOTED.
- SAW CUT LINE

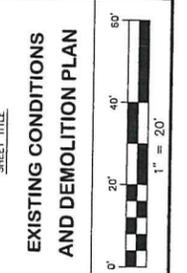


HARBOR ENGINEERING
 HARBOR ENGINEERING, INC.
 1000 W. MARKET STREET
 WILKES BARRE, PA 18250
 PH: (717) 854-1100
 FAX: (717) 854-1101
 CHL ENGINEERING-LANCASTER/ARCHITECTURE

NO	BY	DATE	REVISION

CLIENT:
LANCASTER AREA HABITAT FOR HUMANITY, INC.
 c/o ANDREW SZALAY
 443 FAIRVIEW AVENUE
 LANCASTER, PA 17603
 (223) 444-6597

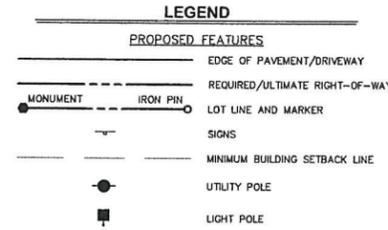
PROJECT TITLE:
PRELIMINARY/FINAL SUBDIVISION PLAN FOR RIVER TOWN SUMMIT
 COLUMBIA BOROUGHS, LANCASTER COUNTY, PENNSYLVANIA



SEAL

DRAWN BY: BRK	CHECKED BY: SPG
DATE: JUNE 27, 2024	
PROJECT NO.: 231089-001	
SHEET NO.: 3 OF 12	

SITE PLANTING LEGEND					
QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	BB/CONTS
DECIDUOUS TREES					
1	CO	Celtis occidentalis	COMMON HACKBERRY	1 1/2"-2" Cal.	BB
1	LT	Liriodendron tulipifera	TULIP TREE	1 1/2"-2" Cal.	BB
1	PO	Platanus occidentalis	AMERICAN SYCAMORE	1 1/2"-2" Cal.	BB
1	QA	Quercus alba	WHITE OAK	1 1/2"-2" Cal.	BB
1	QP	Quercus prinus	CHESTNUT OAK	1 1/2"-2" Cal.	BB

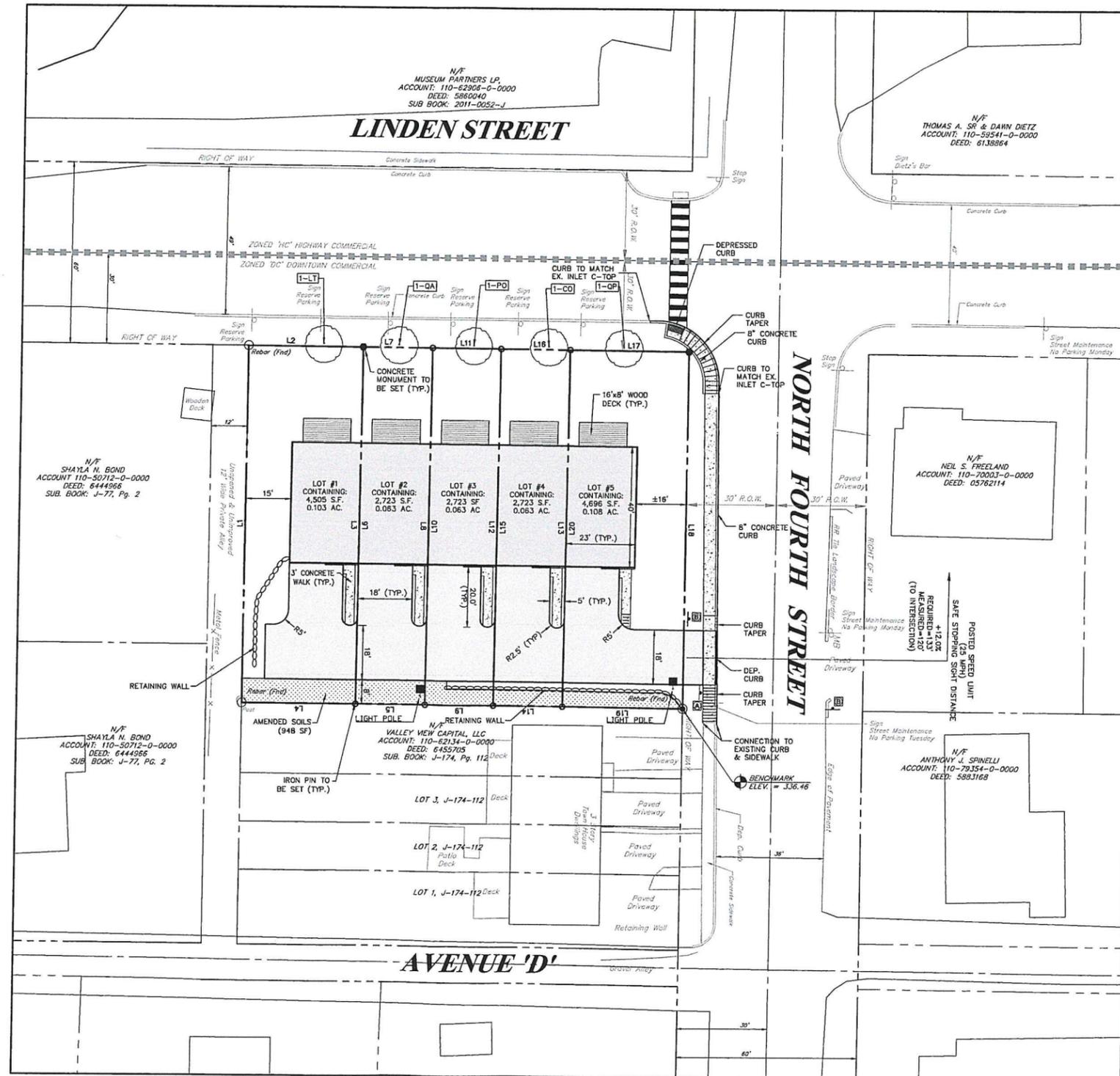


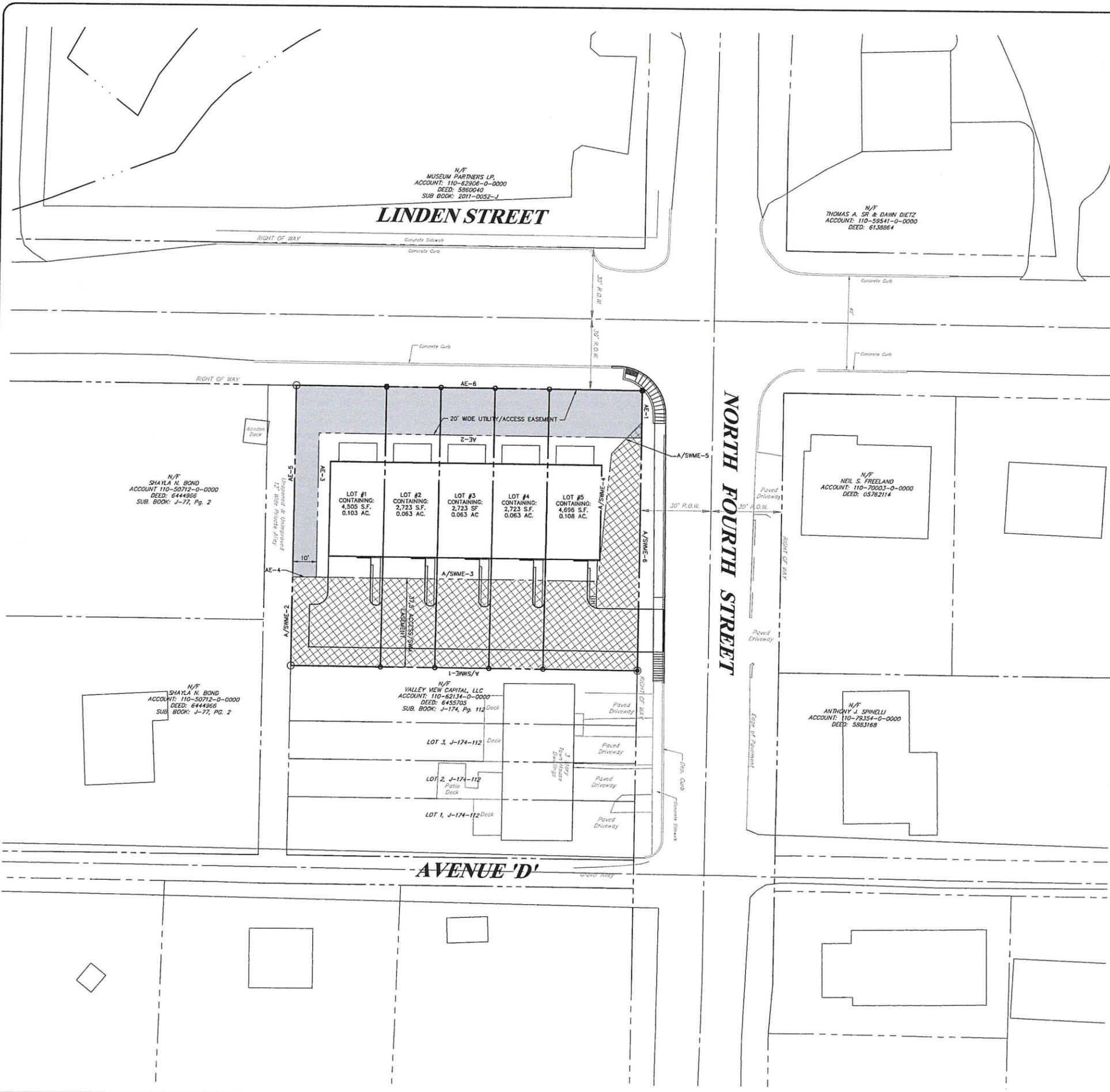
SIGNAGE LEGEND

DESCRIPTION	SIZE	PODOT DESIG.
STOP SIGN	24"x24"	R1-1
NO LEFT TURN SIGN	24"x24"	R3-2

PROPOSED LOT LINE DATA

LINE	BEARING	LENGTH
L1	N41°44'39"W	118.45
L2	N48°25'21"E	38.17
L3	S41°37'14"E	118.42
L4	S48°22'46"W	37.91
L5	S48°22'46"W	23.00
L6	N41°37'14"W	118.42
L7	N48°25'21"E	23.00
L8	S41°37'14"E	118.40
L9	S48°22'46"W	23.00
L10	N41°37'14"W	118.40
L11	N48°25'21"E	23.00
L12	S41°37'14"E	118.39
L13	S41°37'14"E	118.37
L14	S48°22'46"W	23.00
L15	N41°37'14"W	118.39
L16	N48°25'21"E	23.00
L17	N48°25'21"E	39.37
L18	S41°54'54"E	118.34
L19	S48°22'46"W	39.98
L20	N41°37'14"W	116.37





N/F
MUSEUM PARTNERS LP
ACCOUNT: 110-62906-0-0000
DEED: 5860040
SUB BOOK: 2011-0052-J

LINDEN STREET

N/F
THOMAS A. SP & DAWN DIETZ
ACCOUNT: 110-59541-0-0000
DEED: 6138864

N/F
SHAYLA N. BOND
ACCOUNT: 110-50712-0-0000
DEED: 6444966
SUB. BOOK: J-77, Pg. 2

N/F
SHAYLA N. BOND
ACCOUNT: 110-50712-0-0000
DEED: 6444966
SUB. BOOK: J-77, Pg. 2

N/F
VALLEY VIEW CAPITAL, LLC
ACCOUNT: 110-62134-0-0000
DEED: 6455705
SUB. BOOK: J-174, Pg. 112

N/F
NEIL S. FREELAND
ACCOUNT: 110-20003-0-0000
DEED: 05762114

N/F
ANTHONY J. SPINELLI
ACCOUNT: 110-75354-0-0000
DEED: 5883168

LOT #1 CONTAINING: 4,505 S.F. 0.103 AC.
LOT #2 CONTAINING: 2,723 S.F. 0.063 AC.
LOT #3 CONTAINING: 2,723 S.F. 0.063 AC.
LOT #4 CONTAINING: 2,723 S.F. 0.063 AC.
LOT #5 CONTAINING: 4,596 S.F. 0.108 AC.

LOT 3, J-174-112 Deck
LOT 2, J-174-112 Deck
LOT 1, J-174-112 Deck

LEGEND

EASEMENT FEATURES

	ACCESS/SWM EASEMENT
	ACCESS EASEMENT

ACCESS/SWM EASEMENT LINE DATA

LINE	BEARING	LENGTH
A/SWME-1	S48°22'46"W	146.89
A/SWME-2	N41°44'39"W	37.46
A/SWME-3	N48°22'46"E	129.38
A/SWME-4	N36°46'02"W	54.26
A/SWME-5	N1°22'13"E	18.27
A/SWME-6	S41°54'54"E	104.89

ACCESS EASEMENT LINE DATA

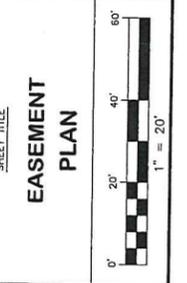
LINE	BEARING	LENGTH
AE-1	S41°54'54"E	20.00
AE-2	S48°25'21"W	136.60
AE-3	S41°44'36"E	60.98
AE-4	S48°22'46"W	10.00
AE-5	N41°44'39"W	80.98
AE-6	N48°25'21"E	140.54



NO	BY	DATE	REVISION

CLIENT
LANCASTER AREA HABITAT FOR HUMANITY, INC.
c/o ANDREW SZALAY
443 FAIRVIEW AVENUE
LANCASTER, PA 17603
(223) 444-8979

PROJECT TITLE
PRELIMINARY/FINAL SUBDIVISION PLAN FOR RIVER TOWN SUMMIT
COLUMBIA BOROUGH, LANCASTER COUNTY, PENNSYLVANIA

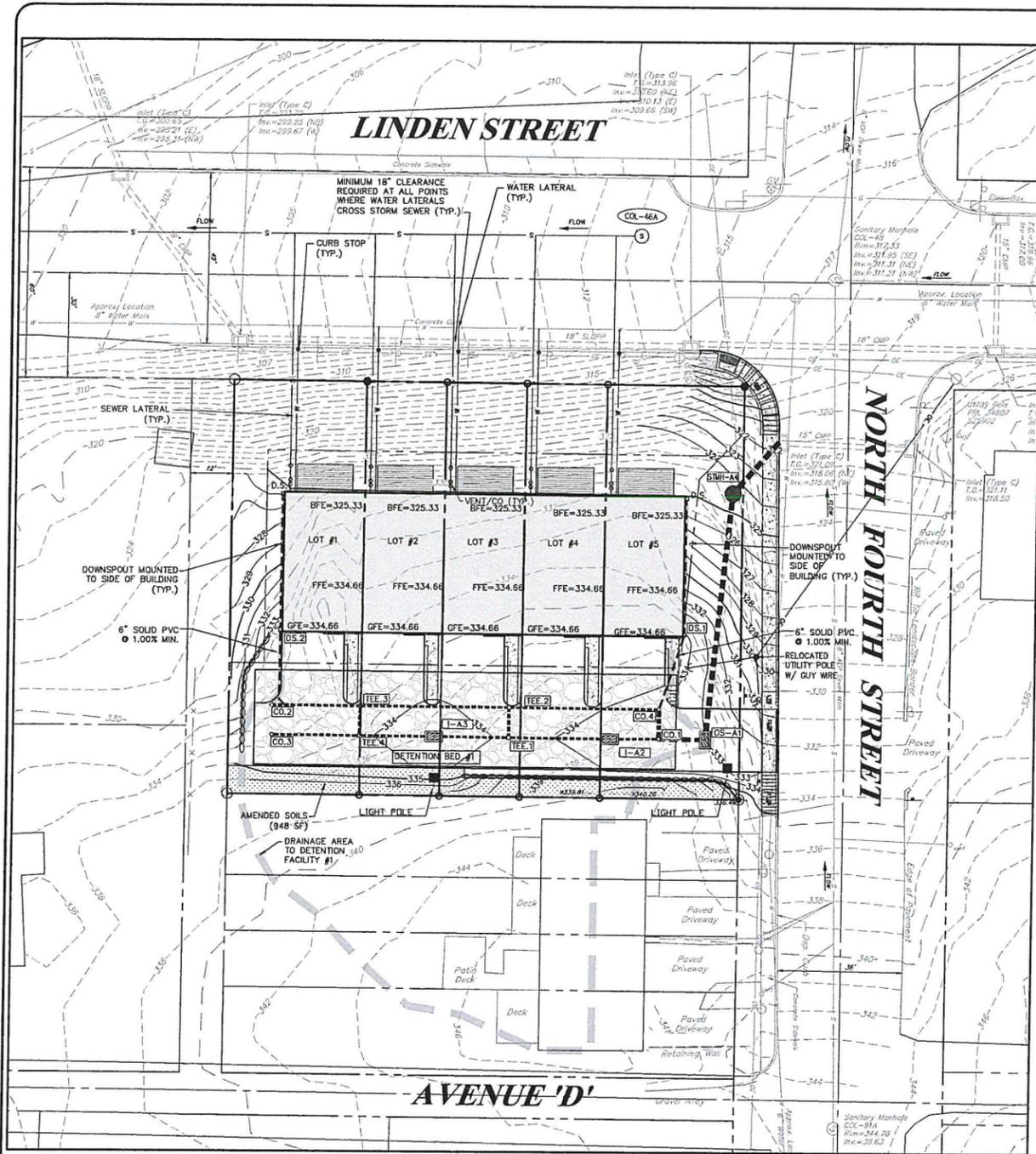


SEAL

DRAWN BY: BRK
CHECKED BY: SPG

DATE: JUNE 27, 2024
PROJECT NO.: 231089-001

SHEET NO.: 5 OF 12

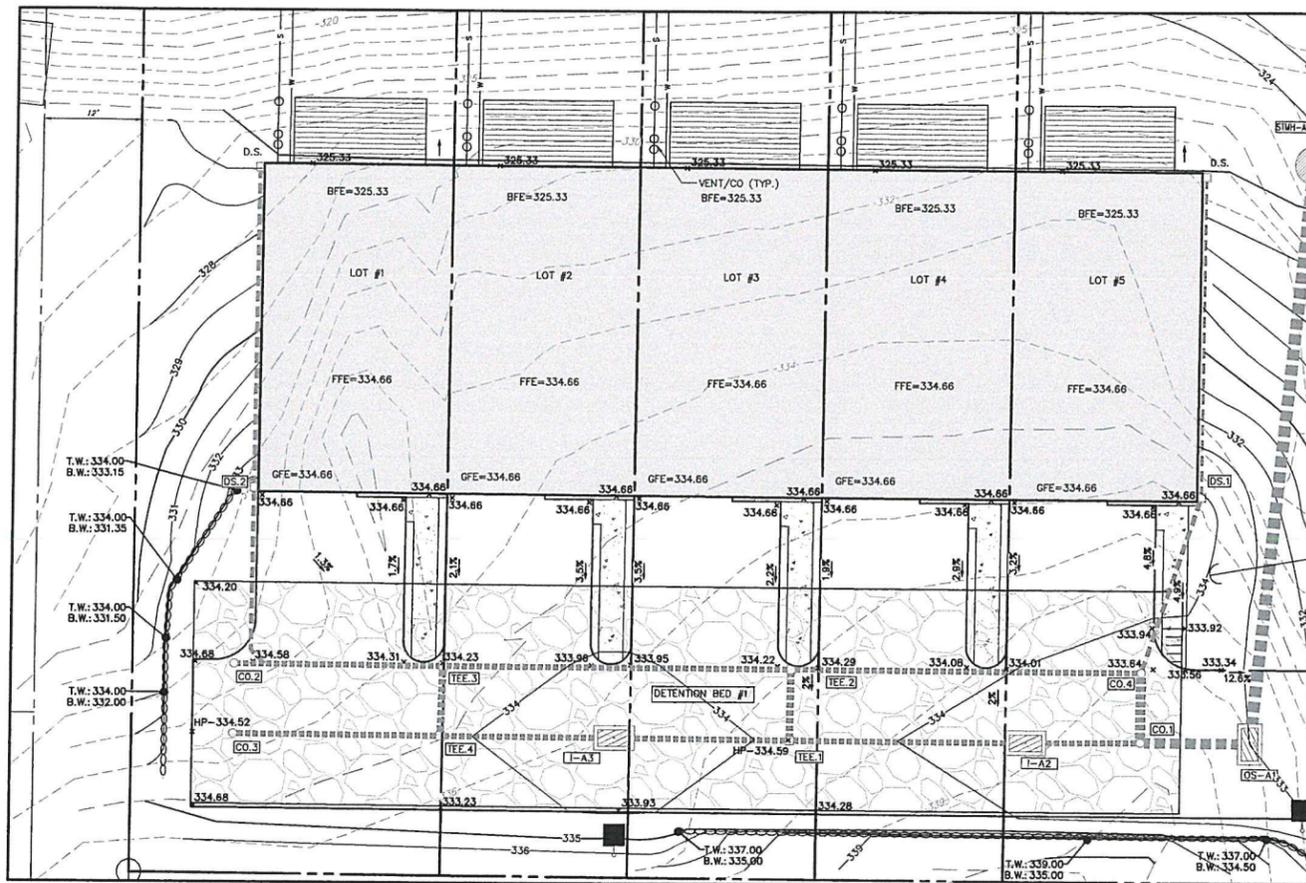


PLAN VIEW
SCALE: 1" = 20'

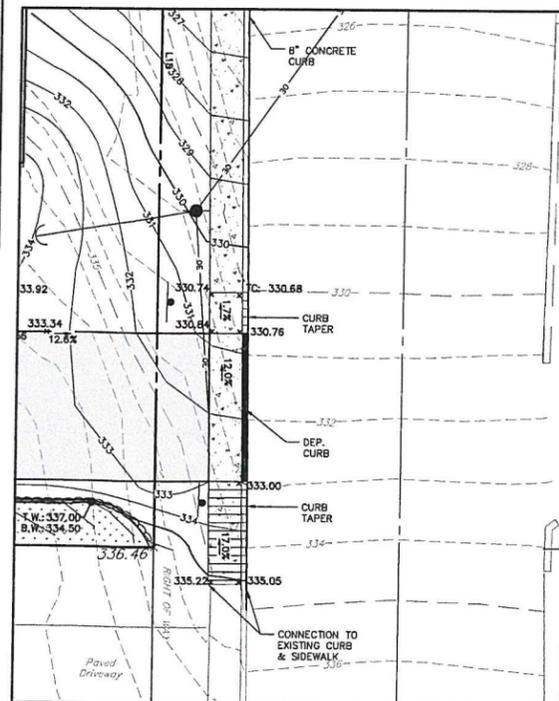
LEGEND

PROPOSED FEATURES

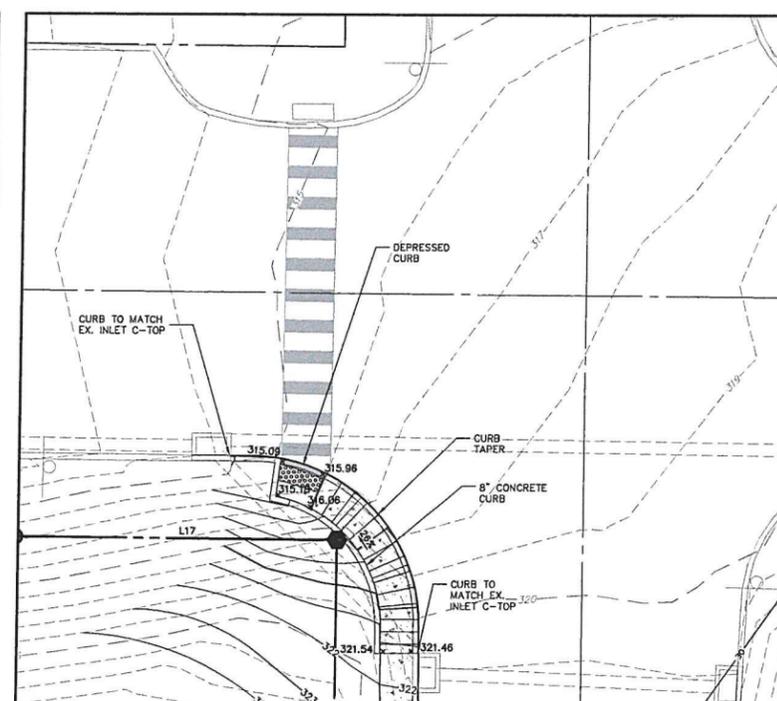
- WATER LINE
- SANITARY SEWER & MANHOLE
- STORM SEWER & INLET/ENDWALL
- PVC STORM CONVEYANCE PIPE
- PVC STORM PERF. PIPE
- DETENTION BED
- MAJOR CONTOUR
- MINOR CONTOUR
- DRAINAGE BOUNDARY
- AMENDED SOILS



ENLARGED GRADING PLAN VIEW
SCALE: 1" = 10'



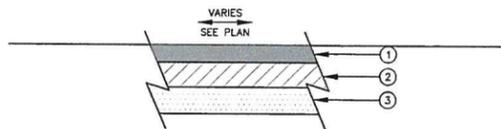
DRIVEWAY ALONG NORTH FOURTH STREET
1" = 10'



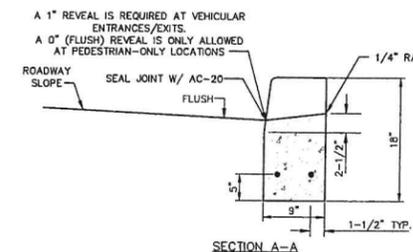
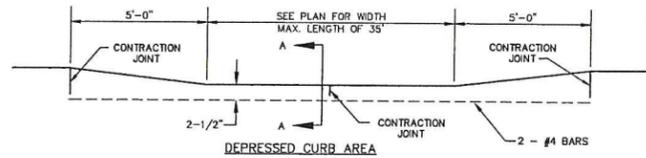
NORTH FOURTH STREET & LINDEN STREET INTERSECTION
1" = 10'



PAVING	
1	1 1/2" ID-2 WEARING COURSE
2	5" BCBC
3	6" 2A STONE SUBBASE



1 PAVING CROSS SECTION NOT TO SCALE

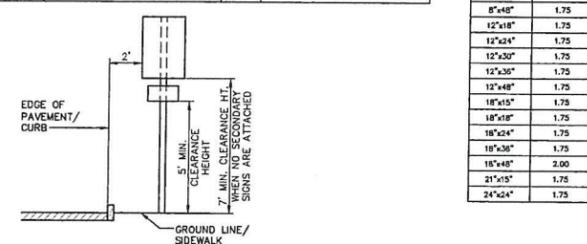


- * NOTES:
- DEPRESSED BITUMINOUS CURB AND/OR BITUMINOUS CURB CUTS SHALL MAINTAIN 5-FT TRANSITIONS AS SHOWN ABOVE. A 1" REVEAL IS REQUIRED AT VEHICULAR ENTRANCES/EXITS.
 - REBAR SHALL MAINTAIN A MINIMUM 1-INCH CLEARANCE FROM EDGE OF REBAR TO EDGE OF CURB.

2 DEPRESSED CURB NOT TO SCALE

PADDT DESIGNATION	DESCRIPTION	SIZE	NOTES
RS-1	STOP SIGN	24"x24"	
RS-2	NO LEFT TURN SIGN	24"x24"	

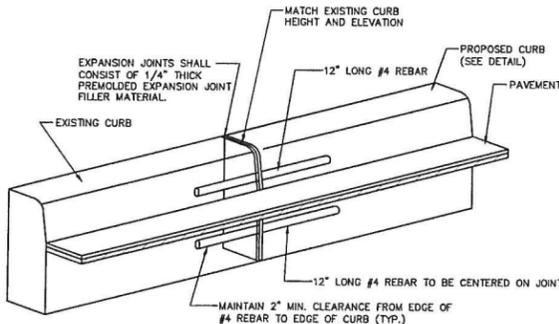
POST SIZE	POST SIZE
8"x12"	1.75
12"x18"	1.75
12"x24"	1.75
12"x30"	1.75
12"x36"	1.75
12"x48"	1.75
18"x18"	1.75
18"x24"	1.75
18"x30"	1.75
18"x36"	1.75
18"x48"	2.00
21"x18"	1.75
24"x24"	1.75



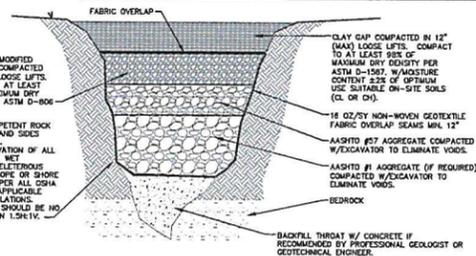
- INSTALLATION NOTES:
- MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PUBLICATION 408.
 - SIGN POSTS AND SPLICE SLEEVES SHALL HAVE 7/16" DIAMETER HOLES OR DIE-CUT KNOCKOUTS ON 1" CENTERS ON ALL FOUR SIDES. ANCHOR POSTS AND ANCHOR SLEEVES SHALL HAVE 7/16" DIAMETER HOLES ON 1" CENTERS ON ALL FOUR SIDES.
 - BOLTS AND NUTS SHALL BE ASTM-307, GRADE 2.
 - DRIVE RIVETS MAY BE USED TO FASTEN SIGN BLANKS TO THE SIGN POST.
 - FOR HANDICAP ACCESSIBLE SIGNS, HEIGHTS SHALL BE IN ACCORDANCE WITH A.D.A. STANDARDS AND LOCATIONS AS SHOWN ON THE PLAN.

6 SITE INFORMATION SIGNAGE NOT TO SCALE

5 EXISTING CURB TO PROPOSED CURB CONNECTION NOT TO SCALE

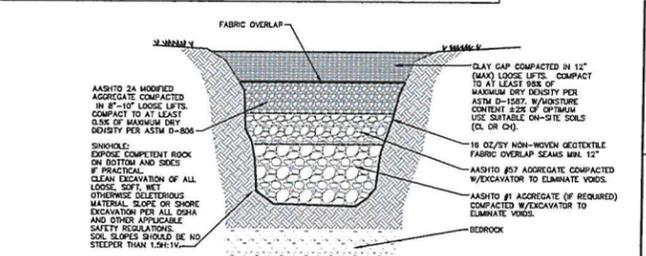


SINKHOLES IDENTIFIED AT THE SITE SHOULD BE EVALUATED BY A PROFESSIONAL ENGINEER AND/OR PROFESSIONAL GEOLOGIST EXPERIENCED IN SINKHOLE REMEDIATION TO RECOMMEND AND OVERSEE REPAIRS.



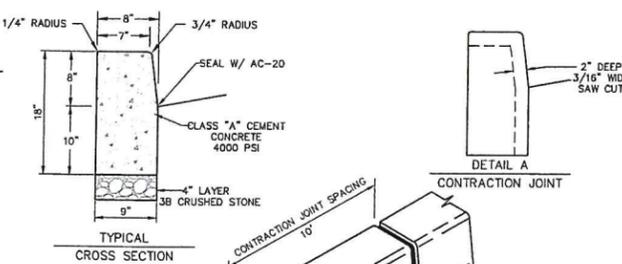
- General Construction Recommendations
- The contractor should adopt the following design, construction, and post-construction measures throughout the project to reduce the possibility of inducing future subsurface erosion and subsequent surface subsidence.
- Positive drainage away from building areas and exposed rocks should be provided at all times during construction.
- Flooding of water or concentrated surface flows which could result in surface erosion and offer channels for surface water to enter an unprotected subgrade should be prevented.
- All drainage berms, ditches, and detention/retention basins should be lined with approved native or imported, low permeability soils with a minimum thickness of 12 inches. A 16-mil polypropylene geotextile should be used under the soil liner where bedrock was exposed during excavation and grading to reduce soil migration into bedrock fractures and voids. A structurally reinforced geomembrane or geosynthetic clay liner could also be acceptable for lower construction.
- Field density testing of compacted fill should be performed at a minimum frequency of once every 10,000 square feet per fill. A greater frequency should be used if warranted by field conditions or visual observations of potentially inadequate compaction.
- Construction scheduling should provide for closing of excavations such as for basins, foundations and utilities as soon as possible after exposure. Plastic tarp, diversion berms, berms and other measures should be utilized as appropriate to minimize the infiltration of surface water into poorly drained trenches or excavations that are open during rainy weather. All backfill should be compacted to achieve a density equal to or greater than that of the adjacent subgrade. Existing or cut surfaces should be scarified prior to the placement of compacted fill to develop a bond between materials.
- Underground piping should be leak-resistant. Use conservative design to allow flexibility. Utility pipe leakage can be a prime source of post-construction subsidence activity. All joints should be adequately sealed or grouted to resist leakage. Corroded metal pipe is not recommended because of the difficulty in effectively sealing the joints.
- Establish ground cover to prevent surface erosion. Areas with concentrated surface flows that are subject to erosion should be stabilized with vegetation, erosion matting, rip-rap, pavement and/or other surface covers or necessary to resist erosion.

7 TYPICAL SINKHOLE REPAIRS DETAIL (THROAT EXPOSED) NOT TO SCALE



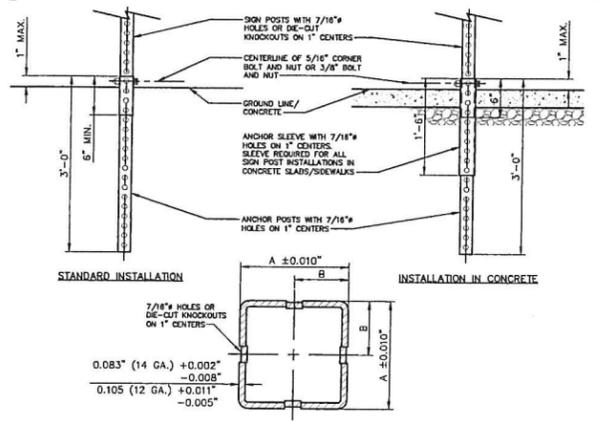
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8 TYPICAL SINKHOLE REPAIR (THROAT NOT EXPOSED) NOT TO SCALE



- NOTES:
- ALL VERTICAL CURB ONLY 18" TALL SHALL BE MACHINE-FORMED ONLY.
 - EXPANSION JOINTS SHALL CONSIST OF 1/4" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL. EXPANSION (CONSTRUCTION) JOINTS SHALL BE LOCATED AT ALL STRUCTURES, 10' ON EITHER SIDE OF STRUCTURES, AT THE END OF THE WORK DAY AND AT INTERVALS OF 40 FEET. CUT MATERIAL TO CONFORM WITH CROSS SECTIONAL AREA OF CURB.
 - CONTRACTION JOINTS SHALL CONSIST OF A 2" DEEP, 3/16" WIDE SAW CUT AND BE PLACED AT UNIFORM LENGTHS OF 10 FOOT INTERVALS.
 - EXPANSION JOINTS SHALL BE AT 10' ON EITHER SIDE OF STRUCTURES.

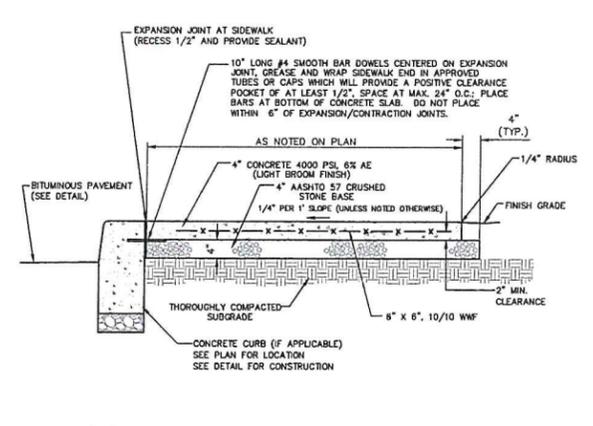
3 STANDARD VERTICAL CURB NOT TO SCALE



SIGN POST		ANCHOR POST		ANCHOR SLEEVE *		SPLICE SLEEVE	
SIZE	DIMENSION	GAUGE	SIZE	GAUGE	SIZE	DIMENSION	GAUGE
1.75"	1 3/4"	7/8"	14	2.00"	2"	1"	12
				3.25"	2 1/4"	1 1/8"	12
				1.50"	1 1/2"	3/4"	14

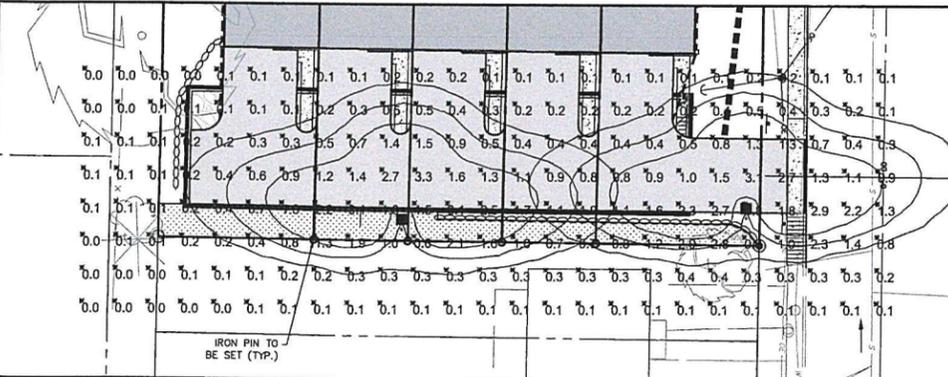
* ONLY REQUIRED FOR INSTALLATION IN CONCRETE.

SQUARE STEEL POSTS
12 & 14 GAUGE - 60 KSI



- NOTES:
- CONCRETE SHALL BE PLACED SO THAT THERE IS A SEPARATE TOOLED JOINT EVERY FIVE (5) FEET. THERE SHALL BE ONE-HALF (1/2) INCH PRE-MOLDED EXPANSION JOINTS BETWEEN EVERY FIFTH SECTION AND BETWEEN ALL POINTS WHERE CONCRETE SIDEWALK ADJUTS CONCRETE CURB, COLUMNS OR BOLLARDS.
 - TOOLED JOINTS LOCATED IN INCREMENTS EQUAL TO THE WALK WIDTH UNLESS SHOWN OTHERWISE.
 - SIDEWALK IS TO HAVE A LIGHT BROOM FINISH IN THE DIRECTION OF THE SIDEWALK WIDTH UNLESS NOTED OTHERWISE.

4 TYPICAL CONCRETE SIDEWALK SECTION NOT TO SCALE



Symbol	Label	Image	QTY	Rating Number	Description	Lamp	Number Lamps per Luminaire	LLF	Usage	Foot Candles
A			2	24FL 2000-10K 4K R2 4W 45W	24FL AMERICAN REVOLUTION LED with R2 distribution, Acrylic Optics House Side Shield White	LED	1	5549	0.9	71

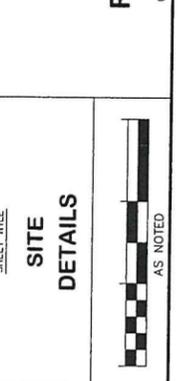
Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Total Area	X	0.6 fc	3.3 fc	0.0 fc	N/A

POLE HEIGHT 10FT

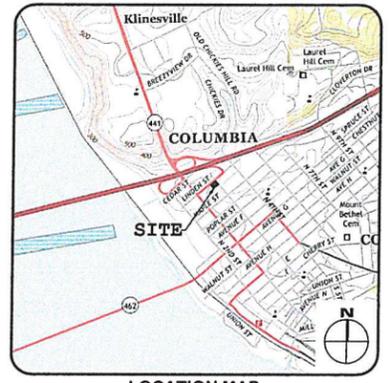
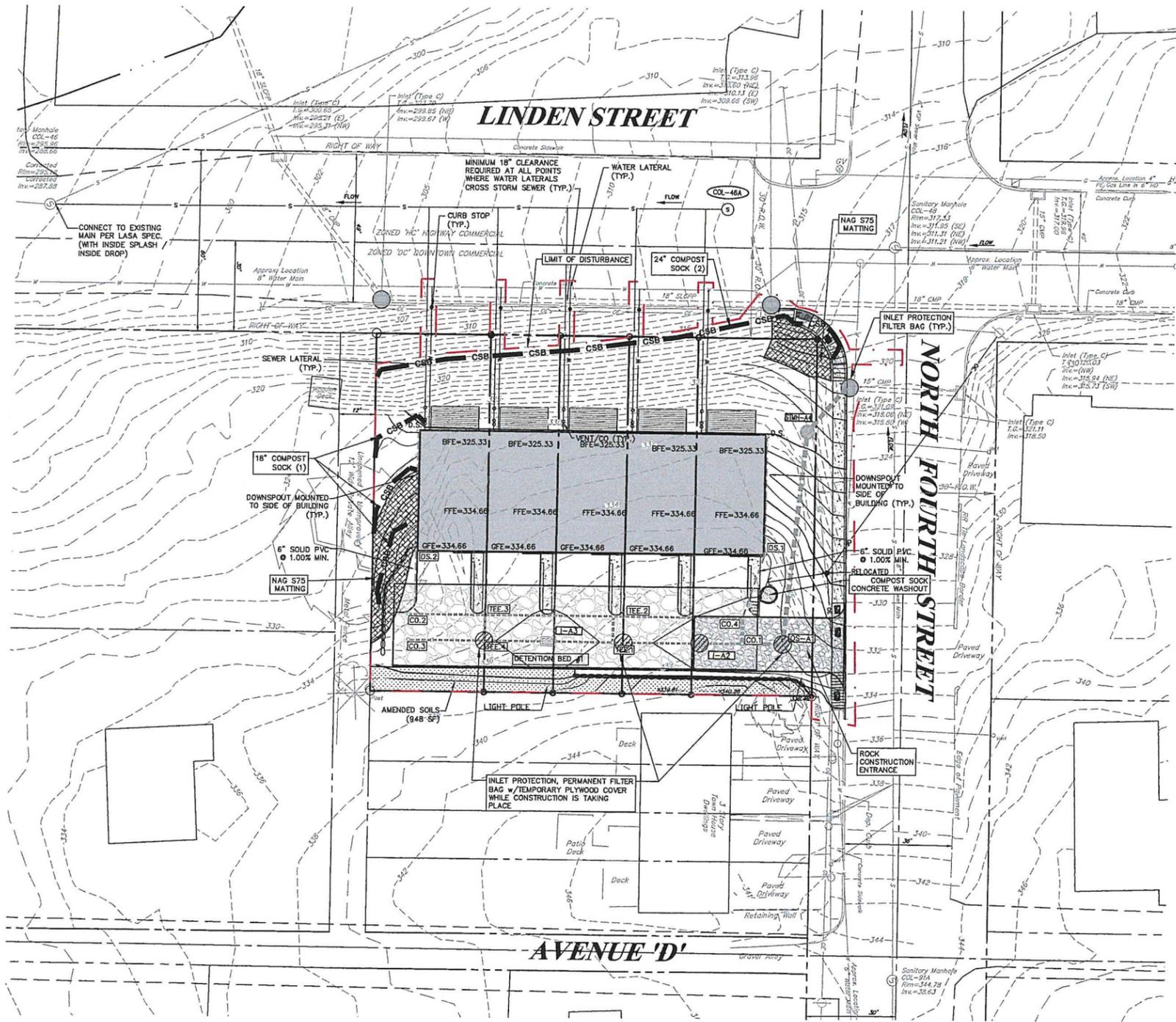
NO.	DATE	BY	REVISION

CLIENT
LANCASTER AREA HABITAT FOR HUMANITY, INC.
610 ANDREW SZALAY
443 FAIRVIEW AVENUE
LANCASTER, PA 17603
(232) 444-6997

PROJECT TITLE
PRELIMINARY/FINAL SUBDIVISION PLAN FOR RIVER TOWN SUMMIT
COLUMBIA BOROUG, LANCASTER COUNTY, PENNSYLVANIA



DRAWN BY: BRK
CHECKED BY: SPG
DATE: JUNE 27, 2024
PROJECT NO.: 231089-001



- LEGEND**
- EROSION AND SEDIMENT FEATURES**
- HAG S75 MATTING
 - LIMIT OF DISTURBANCE
 - ROCK CONSTRUCTION ENTRANCE
 - INLET PROTECTION - PERMANENT FILTER BAG WITH TEMPORARY PLYWOOD COVER
 - INLET PROTECTION - TEMPORARY FILTER BAG
 - COMPOST SOCK BARRIER (SEE PLAN FOR SIZE)
 - DETENTION BED
 - COMPOST SOCK CONCRETE WASHOUT

VEHICLE ACCESS NOTE:
VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM SITE ONTO LINDEN STREET.

ALL OF THE STORMWATER GENERATED BY THE PROPOSED IMPROVEMENTS ON THE PROPERTY DISCHARGES TO THE SUSQUEHANNA RIVER. ACCORDING TO DEP CHAPTER 93, THE STREAM DESIGNATION FOR THE SUSQUEHANNA RIVER IS WW, MF (WARM WATER FISHES, MIGRATORY FISHES). THE SUSQUEHANNA RIVER DOES NOT HAVE A TMDL STUDY FOR THE WATERSHED. THE SUSQUEHANNA RIVER IS IMPAIRED FOR AQUATIC LIFE DUE TO METALS OF AN UNKNOWN SOURCE, RECREATIONAL USE DUE TO PATHOGENS OF AN UNKNOWN SOURCE & FISH CONSUMPTION DUE TO PCBs OF AN UNKNOWN SOURCE. THE SUSQUEHANNA RIVER DOES NOT HAVE ADOPTED ACT 167 PLAN.

E&S NOTE:
ALL SEDIMENT LADEN WATER FROM WITHIN AN EXCAVATION MUST BE PUMPED THROUGH A SEDIMENT REDUCTION TREATMENT FACILITY BEFORE ENTERING A WATERWAY.

SOIL LEGEND

THE SOIL TYPES PRESENT ON THE SITE ARE PER THE USDA WEB SOIL SURVEY FOR OF LANCASTER COUNTY, PA.

SYMBOL - NAME (SLOPE) **HYDRO GROUP:**

BdC - Bedington silt loam, 8 to 15% slopes B

Uc - Urban land B

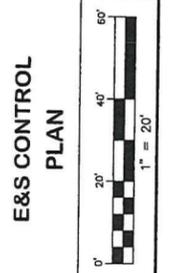
NOTE: THIS PLAN MUST BE AVAILABLE ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL THE SITE HAS BEEN STABILIZED.

HARBOR ENGINEERING
LANCASTER COUNTY ENGINEERS, INC.
1400 W. MARKET STREET
LANCASTER, PA 17602
PH: 717/399-0000
FAX: 717/399-0001
CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE

NO.	BY	DATE	REVISION

CLIENT:
LANCASTER AREA HABITAT FOR HUMANITY, INC.
c/o ANDREW SZALAY
445 FAIRVIEW AVENUE
LANCASTER, PA 17603
(233) 444-6597

PROJECT TITLE:
PRELIMINARY/FINAL SUBDIVISION PLAN FOR RIVER TOWN SUMMIT
COLUMBIA BOROUG, LANCASTER COUNTY, PENNSYLVANIA



SHEET TITLE: E&S CONTROL PLAN

DRAWN BY: BRK **CHECKED BY:** SPG

DATE: JUNE 27, 2024

PROJECT NO.: 231089-001

SHEET NO.: ES1 OF 3

STAGING OF EARTH MOVING ACTIVITIES NOTES:

- FAILURE TO CORRECTLY INSTALL SEDIMENT CONTROL FACILITIES OR FAILURE TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE CORRECTIVE ACTIONS TO IMMEDIATELY RESOLVE FAILURE OF SEDIMENT CONTROL FACILITIES MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS PROVIDED IN SECTION 602 OF THE CLEAN STREAMS LAW OF PENNSYLVANIA; THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- DATE ESTIMATED START OF CONSTRUCTION: SPRING 2025
ESTIMATED 100% STABILIZATION: FALL 2025
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING STAGING OF EARTHMOVING ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANCASTER COUNTY CONSERVATION DISTRICT, COLUMBIA BOROUGH, AND HARBOR ENGINEERING INC. AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 800-242-1776 TO LOCATE BURIED UTILITIES.
LANCASTER COUNTY CONSERVATION DISTRICT: 717-299-5361 EXT. 5
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH ALL APPLICABLE PERMITS AND REQUIREMENTS FOR THE OPERATION OF THE PROJECT AND UNTIL FINAL APPROVALS BY THE GOVERNING AUTHORITIES.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS THAT MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LANCASTER COUNTY CONSERVATION DISTRICT.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ., 2711 ET SEQ., AND 2871 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES ON OR OFF OF THE SITE.
- IT IS ANTICIPATED THAT THERE WILL NOT BE EXCESS MATERIAL AFTER THE PROPOSED GRADING HAS BEEN COMPLETED. BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL OR BORROW AREA HAS AN APPROPRIATE SEDIMENTATION CONTROL PLAN APPROVED BY THE LANCASTER COUNTY CONSERVATION DISTRICT AND THAT THE PLAN IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS. THE OPERATOR SHALL ALSO NOTIFY THE LANCASTER COUNTY CONSERVATION DISTRICT AND BORROW AREAS WHEN THEY ARE ALL ALLOWING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
- CONSTRUCTION WASTES ANTICIPATED WITH THE PROJECT (THAT HAVE NOT BEEN ADDRESSED ELSEWHERE WITHIN THIS PLAN) INCLUDE BUT ARE NOT LIMITED TO BUILDING MATERIALS AND POTENTIAL SANITARY WASTES. THE CONTRACTOR SHALL PLAN AND IMPLEMENT MEASURES FOR PROPER CONTROL, HANDLING, AND DISPOSAL OF THESE WASTES. WHEREVER POSSIBLE, THE RECYCLING OF EXCESS MATERIAL IS PREFERRED, RATHER THAN DISPOSAL. IN ADDITION, THE RECYCLING OF WASTE MATERIALS SHALL BE REQUIRED WHERE FEASIBLE. THE CONTRACTOR SHALL PROVIDE A TEMPORARY ON-SITE RESTROOM FACILITY AS NEEDED DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE FOR TEMPORARY AND PERMANENT CONTROL FACILITIES:

- PRIOR TO THE START OF ANY EARTH DISTURBANCE ACTIVITIES, THE PROPOSED LIMIT OF DISTURBANCE SHALL BE MARKED IN THE FIELD TO PROVIDE A VISUAL INDICATION OF THE PROPOSED LIMIT OF DISTURBANCE.
- RELOCATE UTILITY POLES FROM CONSTRUCTION ENTRANCE TO A STABLE APPROVED LOCATION.
- INSTALL ROCK CONSTRUCTION ENTRANCE, AND ALL COMPOST SOCK / SILT FENCING AS SHOWN ON THE PLAN.
- CLEAR VEGETATION AND GRUB AREAS TO BE DISTURBED. TOPSOIL AND EXCESS CUT (SPOIL) SHALL BE REMOVED FROM THE SITE.
- INSTALL INLET PROTECTION IN EXISTING INLETS OF NORTH FOURTH STREET AND LINDEN STREET AS SHOWN ON THE PLAN.
- INSTALL CURB ALONG STREETS AND ADJUST COMPOST SOCK AT INTERSECTION TO CONTROL SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION OF THE DETENTION FACILITY MAY BEGIN AT THIS TIME. ADJUST ROCK CONSTRUCTION ENTRANCE AS NEEDED TO COMPLETE CONSTRUCTION OF THE DETENTION FACILITY. INSTALL RETAINING WALL AS NECESSARY. ALL PROPOSED INLETS AND CONVEYANCE PIPES CONCURRENTLY WITH CONSTRUCTION OF THE DETENTION FACILITY. INSTALL TEMPORARY WATERGUT COVERS ON INLETS TO PREVENT COVER REMOVAL. TEMPORARY COVER SHOULD BE PROVIDED BEFORE PROCEEDING WITH ANY OTHER CONSTRUCTION. REINSTALL THE CONSTRUCTION ENTRANCE OVER THE DETENTION BED AS NECESSARY.
- UPON COMPLETION OF THE DETENTION FACILITY, BEGIN EARTHMOVING ACTIVITIES WITHIN THE REMAINING PROJECT AREA. ANY EXCESS MATERIAL SHALL BE DISPOSED OF AT A SITE WITH AN APPROVED E&S PLAN.
- ANY REMAINING CONSTRUCTION OF THE RETAINING WALLS SHALL BE COMPLETED AS SOON AS THE FINAL GRADE HAS BEEN ESTABLISHED IN THESE AREAS.
- THE PLACEMENT OF FILL MATERIAL TO ESTABLISH ROUGH GRADES SHALL BE AS FOLLOWS:
 - THE SOIL SHALL BE PLACED IN LOOSE LAYERS NO GREATER THAN 8 INCHES THICK AND THEN COMPACTED WITH APPROPRIATE COMPACTATION EQUIPMENT.
 - NO FILL PLACEMENT SHALL TAKE PLACE DURING WET WEATHER AND NO FILL SHALL BE PLACED ON A FROZEN SURGRADE.
- UPON ESTABLISHING THE REMAINING ROUGH GRADES, CONSTRUCTION OF THE DETENTION FACILITY SHALL BE INITIATED.
- INSTALLATION OF ANY SERVICE UTILITIES MAY BEGIN AT THIS TIME. ANY TRENCHING PERFORMED FOR UTILITY INSTALLATION SHALL BE IMMEDIATELY STABILIZED. ADJUST/REPAIR COMPOST SOCK AS NECESSARY TO INSTALL WATER SERVICE LATERALS.
- PERFORM FREQUENT AND REGULAR MAINTENANCE TO MAKE CERTAIN THAT THE ABOVE AREAS BECOME STABILIZED AND THAT THE CONTROL FACILITIES ARE FUNCTIONING AS DESIGNED.
- INSTALL DRIVEWAY APRON AND SIDEWALK ALONG STREETS.
- INSTALL AMENDED SOLS IN AREA AS SHOWN ON THE PLAN AND PER THE DETAIL.
- ESTABLISH RETAINING FINAL GRADES, INSTALL PAVING, SPREAD TOPSOIL, FERTILIZE, SEED, MULCH AND STABILIZE ALL AREAS NOT OTHERWISE PAVED.
- DO NOT REMOVE THE TEMPORARY EROSION CONTROL FACILITIES UNTIL THEIR CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED, AS VERIFIED BY THE MUNICIPALITY.
- UPON COMPLETION AND STABILIZATION OF THE DISTURBED AREAS, AS VERIFIED BY THE CONSERVATION DISTRICT, ALL TEMPORARY SEDIMENT CONTROL MEASURES MAY BE REMOVED.
- REMOVE THE TEMPORARY MEASURES, CUT OPEN SOCKS, MIX ACCUMULATED SEDIMENT, AND SPREAD COMPOST AT A MINIMUM THICKNESS OF 1.0 INCHES TO ADJUST STABILIZATION. SEED ALL AREAS NOT YET STABILIZED WITH PERMANENT SEED MIXTURES. INSTALL THE PERMANENT MEASURES, ESTABLISH FINAL GRADES, AND STABILIZE IMMEDIATELY.

NOTE: ANY FORMATION OF SINKHOLES OR SOLUTION CHANNELS DURING CONSTRUCTION SHALL BE FILLED AND SEALED USING APPROVED METHODS. THE CONTRACTOR SHALL NOTIFY THE LANCASTER COUNTY CONSERVATION DISTRICT, COLUMBIA BOROUGH, AND HARBOR ENGINEERING IMMEDIATELY UPON DISCOVERING/ENCOUNTERING ANY SINKHOLE AND THE SERVICES OF A REGISTERED ENGINEER OR GEOLOGIST SHALL BE OBTAINED FOR RECOMMENDATIONS ON SEALING THE FEATURE.

NOTE: IF UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE ON-LOT INFILTRATION SYSTEM (I.E. GROUNDWATER AND/OR BEDROCK, ETC.), THE PROPOSED FACILITY MAY NEED TO BE RELOCATED TO A MORE FAVORABLE POSITION ON THE LOT, SUBJECT TO THE APPROVAL OF BOTH THE MUNICIPALITY AND THE LANCASTER COUNTY CONSERVATION DISTRICT.

NPDES PERMIT NOTES

- EARTH DISTURBANCE ACTIVITY INVOLVING EQUAL TO OR GREATER THAN ONE ACRE SHALL OBTAIN AN NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. AN NPDES PERMIT FOR THIS SITE THEREFORE DOES NOT OBTAIN FOR EARTH DISTURBANCE AT THIS SITE IS NOT PERMITTED OUTSIDE OF THE LIMITS OF DISTURBANCE AS ILLUSTRATED ON THE SOIL EROSION AND SEDIMENTATION CONTROL PLANS. THE LIMIT OF DISTURBANCE FOR THE PROJECT SHALL BE WITHIN THE LIMITS SHOWN ON THE PLAN.

WATERSHED NOTE

- THE ENTIRE PROPERTY ULTIMATELY DRAINS TO THE SUSQUEHANNA RIVER. ACCORDING TO DEP CHAPTER 93, THE STREAM DESIGNATION FOR THE SUSQUEHANNA RIVER IS WW, WF (WARM WATER FISHES, MIGRATORY FISHES).

THERMAL IMPACTS:

THE THERMAL IMPACTS WILL BE MINIMIZED DURING CONSTRUCTION WITH THE USE OF COMPOST FILTER SOCKS PRIOR TO FLOWING THROUGH THE EXISTING FIELDS AND GRASS AND AFTER CONSTRUCTION BY THE INSTALLATION OF INFILTRATION BAGS TO CAPTURE AND INFILTRATE STORMWATER RUNOFF FROM THE MAJORITY OF THE NEW IMPERVIOUS AREAS. THE RUNOFF FROM IMPERVIOUS AREAS NOT CAPTURED WILL DISCHARGE ACROSS VEGETATED AREAS PRIOR TO ENTERING INTO THE EXISTING CULVERT AND DISCHARGING FROM THE SITE.

GEOLOGY NOTE:

BASED UPON INFORMATION FROM EMAPFA PUBLISHED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE SITE IS UNDERLAIN BY THE KINZERS FORMATION (OK), WHICH IS CLASSIFIED AS A CAMBRIAN AGE SHALE (LITH), LIMESTONE (LITH2), AND SANDY LIMESTONE (LITH3).

SOIL LIMITATIONS AND RESOLUTIONS

THE FOLLOWING SOIL CHARACTERISTICS AND LIMITATIONS HAVE BEEN OBTAINED FROM THE SOIL SURVEY OF LANCASTER COUNTY, PENNSYLVANIA.

BEDINGTON SILT LOAM 8-15K (BDC)

THE BEDINGTON SILT LOAM SOIL SERIES PRIMARILY CONSISTS OF SLOPING, DEEP, AND WELL DRAINED SOILS. A BRIEF SUMMARY OF THEIR CHARACTERISTICS AND LIMITATIONS FOR SITE CONSTRUCTION ARE AS FOLLOWS:

BUILDING SITE DEVELOPMENT:

THESE SOILS ARE CONSIDERED TO BE MODERATE FOR DWELLINGS WITH BASEMENTS DUE TO SLOPE AND MODERATE FOR LOCAL ROADS AND STREETS DUE TO SLOPE AND FROST ACTION.

CONSTRUCTION MATERIALS:

THESE SOILS ARE CONSIDERED TO BE A FAIR CHOICE FOR ROAD FILL DUE TO RECLAIM. THEY ARE CONSIDERED A POOR CHOICE FOR TOPSOIL DUE TO THE PRESENCE OF SMALL STONES AND AREA RECLAIM.

WATER MANAGEMENT:

THESE SOILS ARE CONSIDERED TO BE SEVERELY UNFAVORABLE FOR EMBANKMENTS DUE TO SLOPE. THEY ARE CONSIDERED TO BE UNFAVORABLE FOR THE CONSTRUCTION OF GRASSED WATERWAYS DUE TO THE PRESENCE OF LARGE STONES AND SLOPE.

SOIL AND WATER FEATURES:

THESE SOILS HAVE AN APPARENT WATER TABLE OF GREATER THAN 8.0' BELOW THE GROUND SURFACE.

PHYSICAL AND CHEMICAL PROPERTIES:

THESE SOILS ARE CONSIDERED TO HAVE FAIRLY NEUTRAL ACIDITY (PH VALUES).

URBAN LAND (UC)

THE URBAN LAND SOIL SERIES PRIMARILY CONSISTS OF BUILDINGS, PAVEMENT, AND OTHER ARTIFICIALLY COVERED AREAS TYPICALLY FOUND IN URBAN AREAS. A BRIEF SUMMARY OF THEIR CHARACTERISTICS AND LIMITATIONS FOR SITE CONSTRUCTION ARE AS FOLLOWS:

BUILDING SITE DEVELOPMENT:

THESE SOILS ARE NOT RATED FOR DWELLINGS WITH BASEMENTS AND FOR LOCAL STREETS.

CONSTRUCTION MATERIALS:

THESE SOILS ARE NOT RATED FOR ROAD FILL OR FOR SITE TOPSOIL.

WATER MANAGEMENT:

THESE SOILS ARE NOT RATED FOR EMBANKMENTS OR FOR GRASSED WATERWAYS.

SOIL AND WATER FEATURES:

THESE SOILS HAVE AN APPARENT WATER TABLE OF >6.0' BELOW THE GROUND SURFACE.

PHYSICAL AND CHEMICAL PROPERTIES:

THESE SOILS ARE CONSIDERED TO HAVE A VERY STRONGLY ACIDIC TO MILDLY ALKALINE PH VALUE.

SOIL RESOLUTION SUMMARY:

- THE CONTRACTOR SHOULD BE AWARE THAT THE LANCASTER COUNTY SOIL SURVEY INDICATES THAT THE ONSITE SOIL MAY PRESENT PROBLEMS IN THE CONSTRUCTION OF CERTAIN IMPROVEMENTS. THE CONTRACTOR SHOULD CAREFULLY IMPLEMENT THE CONSTRUCTION AND STABILIZATION SPECIFICATIONS FOR THE PROPOSED FILL DUE TO LOW STRENGTH AND A POOR CHOICE FOR TOPSOIL DUE TO THE SIZES. THE APPLICATION OF FERTILIZER AS RECOMMENDED PER SOIL TESTING FOR THE PERMANENT SEEDING SHOULD BE IMPLEMENTED.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SUPPLAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CORES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER DRYING METHOD.

RESTORATION OF PLANTING AREAS

- FINAL RESTORATION SHALL BE PERFORMED NO LATER THAN THE START OF THE NEXT PLANTING SEASON FOLLOWING CONSTRUCTION. THE PLANTING SEASON FOR THIS AREA SHALL BE ASSUMED TO EXTEND FROM MARCH 16 TO OCTOBER 14.
- TOPSOIL SHALL BE FREE FROM SUBSOIL, BRUSH, WEEDS, OR OTHER LITTER, CLAY LUMPS AND STONES, BUT MAY CONTAIN DECAYING VEGETABLE MATTER AS IS PRESENT IN GOOD TOPSOIL.
- PRECAUTIONS SHALL BE EXERCISED AS NECESSARY TO CONFORM WITH LAWS RELATING TO EROSION AND SEDIMENT CONTROL.
- SEED SHALL BE NOT MORE THAN TWO (2) YEARS OLD. GERMINATION TESTS OF SEEDS SHALL BE MADE NOT MORE THAN SIX (6) MONTHS PRIOR TO SEEDING. SEED WHICH HAS BECOME WET, MOULDY, OR OTHERWISE DAMAGED SHALL NOT BE USED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A STAND OF GRASSES IN ALL SEEDED OR SOODED AREAS. EROSION, DROUGHT, OR ANY OTHER CONDITION ENCOUNTERED SHALL NOT RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.

SEEDING NOTES: TEMPORARY

- MULCH - CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED - BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947. APPLY AT A RATE OF 3 TONS/ACRE (HAY OR STRAW). MULCH SHALL BE EITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A TACKIFIER. PROPER STABILIZATION EFFORTS DURING THE NON-GERMINATION PERIOD OF OCTOBER 15 TO MARCH 15 IS THE REQUIRED RATE ON 3 TONS PER ACRE (HAY OR STRAW).
- SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE VARIETIES FOLLOWING AND MIXED IN THE PROPORTIONS SPECIFIED.

SEED TYPE	% BY WT.	MIN. PURITY	MIN. GERM.
ANNUAL PERGRASS	100%	95%	80%
THREE PERCENT REDTOP	MAY BE ADDED TO THE LAWN MIXTURE ON SLOPE AREAS OR FOR LATE SPRING OR LATE FALL SEEDING.		
TEMPORARY SEEDING SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET.			
ALL AREAS TO BE SEEDED SHALL BE LOOSENOED TO A DEPTH OF AT LEAST TWO INCHES BY MECHANICAL MEANS AS PROVIDED BY THE DITCHWALKER.			
MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.			
LIME OR FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDING, AND WORKED INTO THE SOIL TO A DEPTH OF 2".			
a. AGRICULTURAL LIME - APPLICATION RATE OF 40 LB. PER 1,000 SF (OR 6 TONS PER ACRE)			
b. 10-10-10 FERTILIZER - APPLICATION RATE OF 12.5 LB. PER 1,000 SF (OR 150 LB. PER ACRE)			
HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.			

SEEDING NOTES: PERMANENT

- ALL TOPSOIL SHALL BE LOOSENOED TO A DEPTH OF AT LEAST 4". ALL OBJECTIONABLE MATERIAL LARGER THAN 2" SHALL BE REMOVED.
- LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDING, AND WORKED INTO THE SOIL TO A DEPTH OF 2".
- GRASS SEED SHALL BE BROADCAST AT THE RATE AND KIND INDICATED BELOW:

SEED TYPE	% BY WT.	MIN. PURITY	MIN. GERM.
KENTUCKY BLUE GRASS	40%	98	85
(BARON OR HARVON)			
FESCUE PERENNAH RED	30%	98	88
ANNUAL RYEGRASS	30%	98	90
(MIXTURE TO BE APPLIED AT 5 LBS./1,000 SF.)			
- MULCH OF LONG STEM STRAW SHALL BE APPLIED AT AN EVEN APPLICATION OF 3 TONS/ACRE WITH A SURFACE COVERING OF 100%. MULCH SHALL BE EITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A TACKIFIER.
- PROVIDE PERENNAH RYEGRASS (TEMPORARY SEEDING) IMMEDIATELY FOR ALL EXPOSED AREAS.
- HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.

GEOLOGY & SOIL IMPACTS

- IT IS NOT ANTICIPATED THAT THE EXISTING GEOLOGY OR SOIL CONDITIONS OF THE SITE WILL CAUSE POTENTIAL FOR POLLUTION DURING EARTH DISTURBANCE ACTIVITIES.

LAND USE STATEMENT

1. PREVIOUS LAND USES FOR THE SITE WITHIN THE LAST 50 YEARS WAS A VACANT LOT WITH TREES AND GROUND COVER. PREVIOUS LAND USES FOR THE SITE WITHIN THE LAST 5 YEARS WERE AS A VACANT LOT WITH TREES AND GROUND COVER. PRESENT LAND USE FOR THE SITE IS THE SAME AS THE LAST 5 YEARS. THE PROPOSED LAND USE WILL BE A TO CONSTRUCT A 5-UNIT TOWNHOUSE BUILDING WITH ASSOCIATED DRIVEWAY, PARKING AND STORMWATER MANAGEMENT FACILITIES.

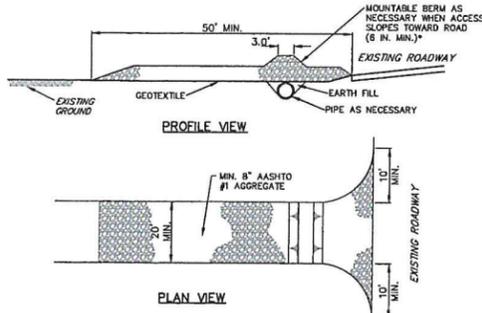
STANDARD E&S PLAN NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED) BY THE CONTRACTOR SHALL BE MAINTAINED ON SITE. THE CONTRACTOR SHALL NOTIFY THE LOCAL CONSERVATION DISTRICT OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE CONTRACTOR SHALL REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION. (LANCASTER COUNTY CONSERVATION DISTRICT: 717-299-5361 EXT. 5)
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL NOTIFY ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARED BY THE PROFESSIONAL RESPONSIBLE FOR THE DESIGN OF THE PROJECT, AND A REPRESENTATIVE FROM EACH STAGE OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR OTHER NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SUCH AS BRICKS, CONCRETE, MORTAR, WOOD, STEEL, REBAR, INSULATION MATERIAL, ELECTRICAL WIRING, PLASTIC AT A RATE OF 3 TONS/ACRE (HAY OR STRAW). MULCH SHALL BE EITHER USED OR DAMAGED SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ., 2711, AND 2871 ET SEQ. NO BUILDING MATERIALS OR WASTES SHALL BE BURIED, BURNED, BURNED, SMOKED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL FORM FP-001 SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS TO A MINIMUM DEPTH OF 3 FEET.
- SEDIMENT SPILLED, DROPPED OR TRACKED ONTO PAVED SURFACES SHALL BE REMOVED IMMEDIATELY. WATER SHALL NOT BE USED TO REMOVE SEDIMENT ON PAVED SURFACES.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT. THE INSPECTOR SHALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMEDIATION AND RETENTION OF MATERIALS. ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED AND PROPERLY DISPOSED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND SHALL BE STORED IN THE SHED OR UNDER A COVER. ALL SEDIMENT ON THE SIDEWALK SHALL BE WASHED, SHOVED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE EITHER DISPOSED OF IN AN APPROPRIATE MANNER, PLACED ON THE TOPSOIL STOCKPILE, OR USED WITHIN THE SITE GRADING.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES --- 6 TO 12 INCHES ON COMPACTED SOILS --- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL BE MAINTAINED FOR A PERIOD OF ONE YEAR.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SUPPLAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CORES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER DRYING METHOD.
- ALL GRADDED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPLETE BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN MAPS, SHALL BE VEGETATED IMMEDIATELY UPON FINISHING GRADE. THE CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS DURING NON-GERMINATING MONTHS, UNDER OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THIS PLAN. AREAS NOT YET FINISHED GRADE SHALL BE STABILIZED WITH PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPs SHALL REMAIN FUNCTIONAL TO SUCH EXTENT AS SUCH UNTIL ALL AREAS WITHIN THE DISTURBED AREA ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT STORMWATER MANAGEMENT OR CONSERVATION SYSTEMS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO OBTAIN A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS PROVIDED IN SECTION 602 OF THE CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERWAY OR UNDERGROUND SYSTEM.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIALS/WASTES.
- UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPALITY CONSERVATION DISTRICT OR 271 MUNICIPAL WASTE MANAGEMENT, WHOEVER IS APPLICABLE.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 2% OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- ALL MATERIALS NOTES:
 - THE E & S APPROVAL AND/OR NPDES PERMIT COVERS THE "MOVING, DEPOSITING, STOCKPILING, OR STORAGE OF SOIL, ROCK OR EARTH MATERIALS". IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE OPERATOR. IF THE SITE WILL HAVE EXISTING FILL ON SITE, THE RESPONSIBILITY OF CLEAN FILL DETERMINATION AND ENVIRONMENTAL DUE DILIGENCE RESTS ON THE APPLICANT.
 - APPLICANTS AND/OR OPERATORS MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. DEFINITIONS OF CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE ARE PROVIDED BELOW. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". DOCUMENT NUMBER 268-268-273. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.DEP.WEBSITE.PA.US <http://www.dep.state.pa.us/>
 - CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DRESSED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
 - CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE SHALL BE TESTED TO DETERMINE IF THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B AND TO DETERMINE IF THE FILL MATERIAL QUALIFIES AS CLEAN FILL.
 - ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
 - ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, RECORDING DATA RESEARCH, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENING, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF RECORDS OF THE PAST LAND USE OF THE PROPERTY IS NOT SUFFICIENT TO BE SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
 - FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE, CHAPTERS 267 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHOEVER IS APPLICABLE.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 6A, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE 602, EROSION CONTROL CHAPTER 602.
- CONTRACTOR SHALL BEAR RESPONSIBILITY FOR ANY OFFSITE DISPOSAL OR BORROW AREAS FOR EXCESS OR NEEDED SOIL FROM OR TO THE PROJECT SITE. DISPOSAL AND BORROW AREAS SHALL HAVE AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO COMMENCEMENT OF ANY EARTH MOVING OPERATIONS WITHIN THESE OFFSITE AREAS.
- THE INTENT OF THIS PLAN/NARRATIVE IS TO INDICATE GENERAL MEANS OF COMPLIANCE WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF CHAPTER 102 OF THE PENNSYLVANIA CLEAN STREAMS LAW. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT THESE METHODS PLUS ADDITIONAL METHODS AS MAY BE NECESSARY BY THE CONDITIONS CREATED BY LOCALIZED SITE CONDITIONS, AND/OR CONSTRUCTION PROCEDURES IN ORDER TO ASSURE COMPLIANCE WITH APPLICABLE LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR TO MAINTAIN ALL SEDIMENT AND EROSION CONTROL FACILITIES SO THAT THEY PERFORM AS REQUIRED BY LAW.
- IN ALL CASES, THE SMALLEST PRACTICAL AREA OF STABLE LAND SURFACE SHALL BE DISTRIBUED.
- IN ALL RELATED SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE IN PLACE AND FUNCTIONING AS INTENDED PRIOR TO EARTHMOVING ACTIVITY WITHIN THE CONTRIBUTING AREA.
- UTILITY EXCAVATIONS SHALL BE OPEN ONLY LONG ENOUGH TO PROPERLY INSTALL AND INSPECT ALL UNDERGROUND FACILITIES IN ACCORDANCE WITH APPLICABLE SPECIFICATIONS.
- EXCAVATED MATERIAL (SPOIL) SHALL BE PLACED UP-SLOPE OF THE EXCAVATION WHENEVER POSSIBLE. RUNOFF FROM SPOIL PILES SHALL BE DIRECTED THROUGH A SEDIMENT FILTER STRUCTURE AND DISCHARGED IN A NON-EROSIVE MANNER.
- DEWATERING EQUIPMENT DISCHARGE SHALL BE DIRECTED ONTO A STABILIZED SURFACE SO THAT EROSION DOES NOT OCCUR. DISCHARGES SHALL BE DIRECTED THROUGH A SEDIMENT FILTER STRUCTURE AND DISCHARGED IN A NON-EROSIVE MANNER.

- BACKFILLED EXCAVATIONS SHALL BE RESTORED TO ORIGINAL TYPE OF COVER AND GRADE AS PER SPECIFICATIONS. SEEDING SHALL BE ACCOMPLISHED ACCORDING TO SCHEDULE FOR PERMANENT SEEDING. TEMPORARY STABILIZATION IS REQUIRED FOR ANY AND ALL EXPOSED ERODIBLE/SOUBLE AREAS AND MATERIALS.
- LAWN AREAS SHALL BE FINISHED GRADED WITH A MINIMUM OF 6-INCHES OF TOPSOIL UNLESS OTHERWISE NOTED. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL STRUCTURES. NO ISOLATED LOW SPOTS SHALL BE CREATED.
- ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USE OF A SEDIMENT FILTER STRUCTURE.
- CONSTRUCTION ACCESS INTO UNPAVED AREAS FROM PAVED AREAS OR STREETS (PUBLIC OR PRIVATE) SHALL BE VIA A STABILIZED CONSTRUCTION ENTRANCE.
- SEDIMENT SPILLED, DROPPED OR TRACKED ONTO PAVED SURFACES SHALL BE REMOVED IMMEDIATELY. WATER SHALL NOT BE USED TO REMOVE SEDIMENT ON PAVED SURFACES.
- ALL SLOPES STEEPER THAN 3:1 MUST UTILIZE NAG 57S.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.

MAINTENANCE OF E&S CONTROL FACILITIES

- ALL SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE MAINTAINED IN OPERATING CONDITION UNTIL UPSTREAM AREAS ARE STABILIZED WITH FINAL GROUND COVER.
- ALL SEDIMENT LADEN WATER FROM WITHIN AN EXCAVATION MUST BE PUMPED THROUGH A SEDIMENT REDUCTION TREATMENT FACILITY BEFORE ENTERING A WATERWAY.
- CONSTRUCTION ACCESS INTO UNPAVED AREAS FROM PAVED AREAS OR STREETS (PUBLIC OR PRIVATE) SHALL BE VIA A STABILIZED CONSTRUCTION ENTRANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND THE PREVENTION OF SEDIMENT-LADEN RUNOFF FROM EXITING THE PROJECT SITE.
- UNTIL THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND DATE, THE NAME AND PHONE NUMBER OF THE INSPECTOR, THE DATE, THE TIME, AND THE WEATHER SHALL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST. ALL PREVENTIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING

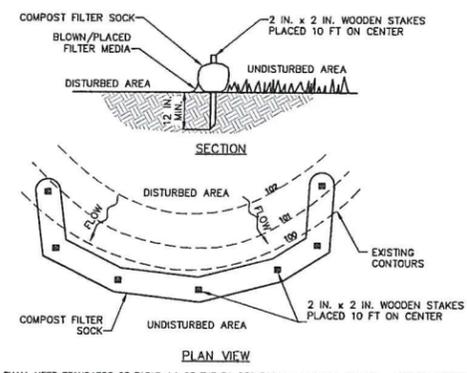


- NOTES:**
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 - MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 - MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ABACT NOTES WHEN IN SPECIAL PROTECTION WATERSHED & CHESAPEAKE BAY WATERSHED:
CONTINUAL MAINTENANCE IS NEEDED FOR THE RCE TO QUALIFY AS AN APPROVED ALTERNATIVE BMP, WHICH MAY BE USED AS A SUBSTITUTE FOR WASH RACKS IN SPECIAL PROTECTION WATERSHEDS. THE FOLLOWING CONTINUAL MAINTENANCE IS REQUIRED TO PROVIDE THE ADDITIONAL ABACT BMP SEDIMENT CONTROL.

- USE VACUUM RINSER TO REMOVE ACCUMULATED SEDIMENT FROM FILTERS DAILY BEFORE IT IS WASHED INTO SURFACE WATERS.
- TIRES CAN BE CLEANED OFF MANUALLY WITH A BRUSH PRIOR TO EXITING.
- LARGE LUMPS OF DIRT/SOIL CAN BE REMOVED BY HAND.
- ROLLING OF DIRT ROAD CAN STABILIZE AREAS AFFECTED BY TRACKED MUD.

1 ES3 ROCK CONSTRUCTION ENTRANCE (ABACT REQUIRED) NOT TO SCALE



- NOTES:**
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL. SEE COMPOST FILTER SOCK SPECIFICATIONS.
 - COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTO-DEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

2 ES3 STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK NOT TO SCALE

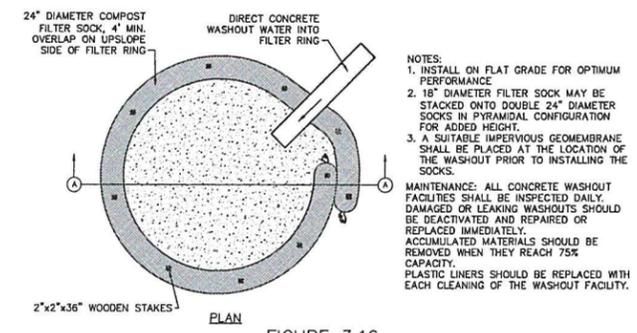
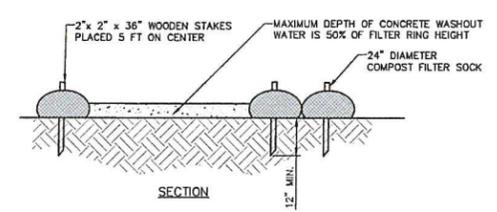
COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS (TABLE 4.1)

MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameter	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength	-	26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.	23% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	6 months	6 months	1 year	2 years

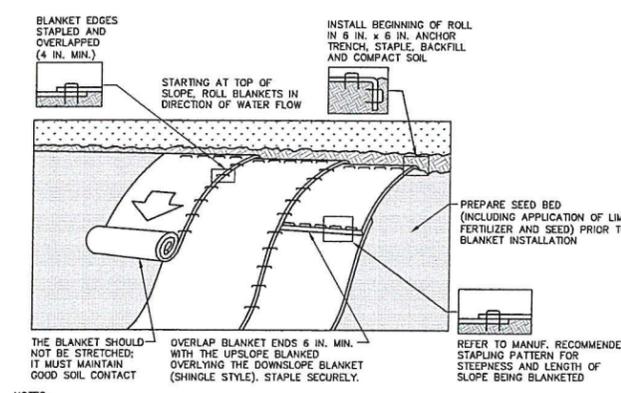
COMPOST STANDARDS (TABLE 4.2)

Property	Requirement
Organic Matter Content	25% - 100% (dry weight basis)
pH	5.5 - 8.5
Moisture Content	30% - 60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

3 ES3 COMPOST FILTER SOCK SPECIFICATIONS NOT TO SCALE

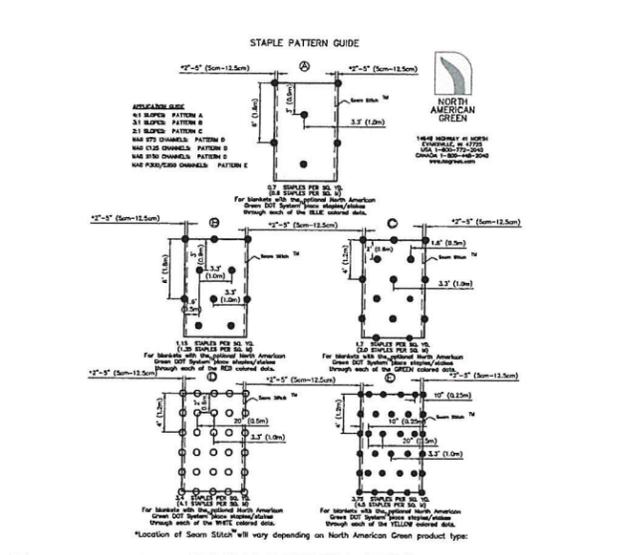


4 ES3 TYPICAL COMPOST SOCK WASHOUT DETAIL NOT TO SCALE

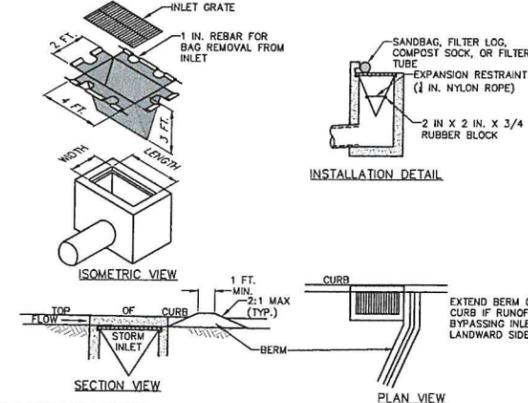


- NOTES:**
- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 - PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
 - SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
 - BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 - THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

5 ES3 STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION NOT TO SCALE

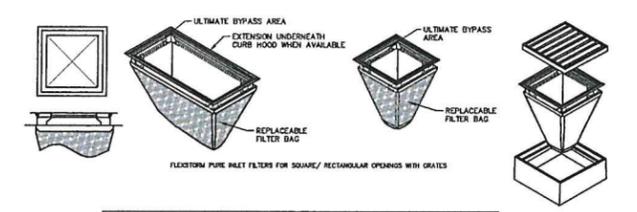


6 ES3 STAPLE PATTERN GUIDE NOT TO SCALE



- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 - INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 - ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 - AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 - INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 - DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

7 ES3 STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE M INLET NOT TO SCALE



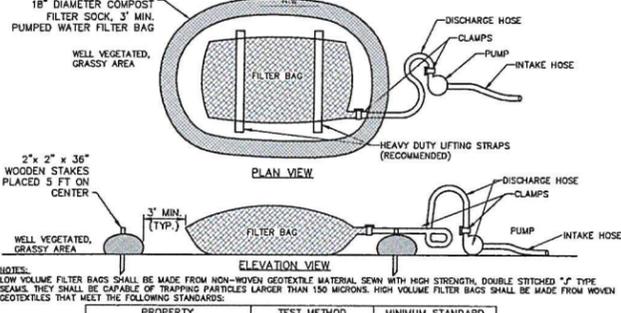
FLEXSTORM PERMANENT FRAME WITH REPLACEABLE PURE INLET FILTER BAG FOR POST CONSTRUCTION (PG) FOR RECTANGULAR / SQUARE OPENINGS WITH GRATES

Clear Drop thru Opening Size (not grate size)	Flexstorm Frame/Bag P/N	Typical Inlet Size
Small: 12"x12" up to 18"x18" (or 6" max Pedestal)	62SD-PC	12"x12"/18"x18"
Medium: 18"x18" up to 24"x24" (or 9" max Pedestal)	62MD-PC	24"x24"
Large: 24"x24" up to 36"x36" (or 12" max Pedestal)	62LD-PC	48"x24"
XL: 36"x36" up to 48"x48" (or 18" max Pedestal)	62XLD-PC	48"x48"

INLETS: I-A1

- INSTALLATION NOTES:**
- REMOVE GRATE.
 - MOUNT INLET FILTER FRAME ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE. INSTALL REPLACEABLE BAG ONTO FRAME.
 - REPLACE GRATE.
- MANUFACTURER NOTES:**
- ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL FOR 25 YEAR SERVICE LIFE RATING.
 - TOTAL BYPASS CAPACITY: BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
 - UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
 - FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.ADSPP.COM (ADS, INC. 866-287-8555)

8 ES3 CONTRACTOR TO VERIFY REQUIRED FLEXSTORM FRAME AND BAG UNIT SIZES FOR ALL INLETS PRIOR TO ORDERING PERMANENT STAINLESS STEEL INLET FILTER FRAME WITH REPLACEABLE PURE INLET FILTER BAG NOT TO SCALE



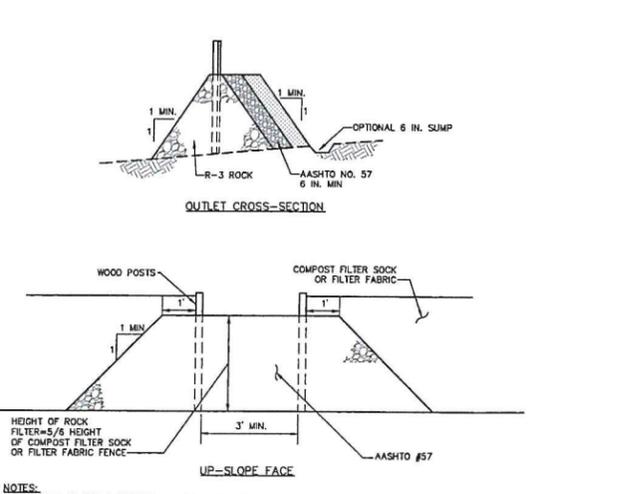
NOTES:

- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "F" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4832	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3785	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOCS % RETAINED	ASTM D-4751	80 SIEVE

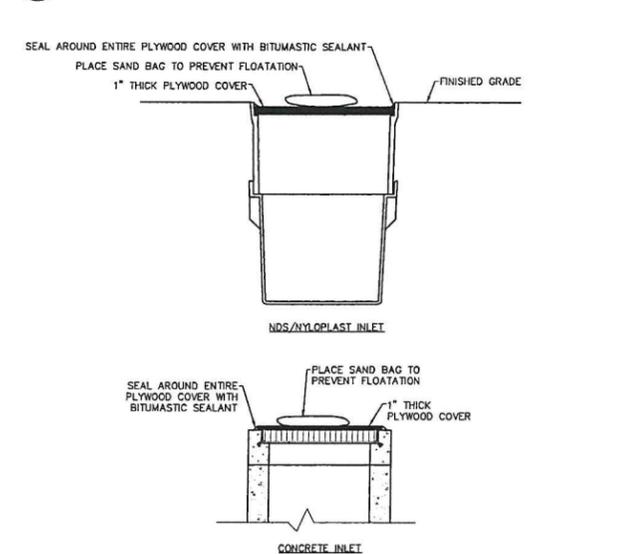
- NOTES:**
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRIPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 - BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN SIX, FOR SLOPES EXCEEDING SIX, CLEAN ROCK OR OTHER NON-DRAINABLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 - COMPOST FILTER SOCK RINGS ARE REQUIRED TO SURROUND PUMPED WATER FILTER BAG FOR INSTALLATIONS ON ALL ABACT-REQUIRED SITES. COMPOST FILTER SOCKS SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS. INSTALL FILTER BAGS WHERE GRASSY AREA IS NOT AVAILABLE WITHIN 50 FEET OF ANY RECEIVING SURFACE WATERS.
 - THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE LOWER END OF THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 - THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 - FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

9 ES3 STANDARD DETAIL 3-16 PUMPED WATER FILTER BAG NOT TO SCALE



- NOTES:**
- A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.
 - SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

10 ES3 STANDARD CONSTRUCTION DETAIL #4-6 ROCK FILTER OUTLETS NOT TO SCALE



11 ES3 TEMPORARY PLYWOOD COVERED INLET NOT TO SCALE

NO	BY	DATE	REVISION

CLIENT:
LANCASTER AREA HABITAT FOR HUMANITY, INC.
c/o ANDREW SZALAY
445 FAIRVIEW AVENUE
LANCASTER, PA 17603
(232) 444-6587

PROJECT TITLE:
PRELIMINARY/FINAL SUBDIVISION PLAN FOR RIVER TOWN SUMMIT
COLUMBIA BOROUGHS, LANCASTER COUNTY, PENNSYLVANIA



SHEET TITLE:
E&S DETAILS

DRAWN BY: BRK
CHECKED BY: SPG

DATE: JUNE 27, 2024
PROJECT NO.: 231089-001

SHEET NO.: **ES3** OF **3**



Municipal Notification of Subdivision and/or Land Development Plan Receipt

The following application was received by the Lancaster County Planning Department:

Plan Name

Columbia Borough Final Subdivision Plan McGinness Airport

S/LD #

06-141-1

Project Description

The purpose of this plan is to create 9 lots of land from the existing lands of Columbia Borough and the Lands of Thomas D. and Debra A. Steiner, Susquehanna Fire & Rescue No. 4, Susan M. Wickenheiser, Charles, W. & Georgina Stetter, Colette Shaw & Roderick Herring, Deborah Hershey, and Blue Rock Ventures II LLC.

Date of Completed Application Receipt

08/07/2024

Plan Date

06/01/2024

Municipality/Municipalities

Columbia Borough

LCPD's Regional Liaison Available for Questions

Christine J. Le

Project Location/Direction and Distance

Parcels are located to the south of Manor Street, north of Franklin Street, and West of S. 13th Street.

Owner Name(s)

Columbia Borough; Blue Rock Ventures II LLC; Susquehanna Fire & Rescue No. 4, Georgina Stetter, Colette Shaw, Roderick Herring, Deborah Hershey, Thomas Steiner, Debra Steiner, Susan Wickenheiser, Charles Stetter Jr.

SUBDIVISION AND LAND DEVELOPMENT

190 Attachment 2

Borough of Columbia

Appendix B

Application for Consideration of a Subdivision and/or Land Development Plan

For Borough Use Only:

File No. _____

Date of Receipt/Filing: _____

Planning Commission Meeting Date: _____

Planning Commission Meeting Date: _____

The undersigned hereby applies for approval under the Subdivision and Land Development Ordinance of the Borough of Columbia for the Plan, submitted herewith and described below:

1. Application Classification:

- | | |
|--|--------------------------------|
| _____ Sketch Plan | _____ Preliminary Plan |
| <input checked="" type="checkbox"/> Final Plan | _____ Consolidation Plan |
| _____ Centerline Separation Plan | _____ Revised Subdivision Plan |
| _____ Lot Add-On Plan | _____ Modified Final Plan |
| _____ Waiver/Modification Process | |

2. Plan Name: Columbia Borough Final Subdivision Plan McGinness Airport

Consultant Project No.: 3981.3.13.05

Plan Date: June 2024

3. Project Location: 1020 Manor Street, Columbia, PA 17512

4. Name of Property Owners(s): Columbia Borough

Address: 308 Locust Street, Columbia, PA 17512 Phone No.: 717-684-2467

Source of Title: Lancaster County, PA Account No.: 1101862900000, 1102847300000, 1104392300000,

Second Property Owners(s): See attached 1101947700000, 1108312900000, 1104495200000,

Address: _____ Phone No.: _____

Source of Title: _____ Account No.: _____

5. Land Use and Number of Lots and/or Units (indicate answer by number):

- | | |
|---------------------------------------|---------------------------------------|
| <u>5</u> _____ Single Family Detached | <u>1</u> _____ Commercial |
| _____ Multi-Family Attached | <u>1</u> _____ Industrial |
| _____ Agricultural | <u>1</u> _____ Institutional |
| _____ Mixed Use | <u>1</u> _____ Other (please specify) |

6. Name of Applicant (if other than owner): _____

Address: _____ Phone No.: _____

7. Firm which prepared the plan: C.S. Davidson, Inc.

Address: 38 N. Duke Street, York, PA 17401 Phone No.: 717-846-4805

Person Responsible for the Plan: Christopher Salemme

COLUMBIA CODE

8. Zoning District: Light Business (LB), Medium Density Residential (MDR) and Conservation (C)
Is a Zoning Variance, Special Exception, and/or Conditional Use Approval Necessary?
Y(N) If yes, please specify:

9. Net Acreage of Parent Tract(s): 58.86
Gross Acreage of Parent Tract(s):
Square Feet of Ground Floor Area:

10. Type of Water Supply Proposed:
Public Owned Community Privately Owned Community
Private On-Lot Well

11. Type of Sanitary Wastewater Disposal Proposed:
Public Private Community
Community On-Lot Individual On-Lot

12. Sewage Facilities Plan Revision or Supplement Number
Date Submitted 20

13. Lineal Feet of New Street: 0
Identify all Street(s) Not Proposed for Dedication:

14. Acreage Proposed for Park or Other Public Use: 13.458

The undersigned hereby represents that, to the best of his knowledge and belief, all information listed above is true, correct, and complete.



Signature of Landowner or Applicant Date, 20

Signature of Landowner or Applicant Date, 20

We do hereby request the Lancaster County Planning Commission review the enclosed subdivision or land development plan in accordance with the Pennsylvania Municipalities Planning Code, as amended, Article V, Section 502.

Signature Title Date

For LCPC Use Only:
LCPC File No.
Date of Receipt: , 20
Lancaster County Planning Commission Meeting Date:

Basic Details
<p>Plan Name Columbia Borough Final Subdivision Plan McGinness Airport</p> <p>Plan Date 06/01/2024</p> <p>Brief Project Description The purpose of this plan is to create 9 lots of land from the existing lands of Columbia Borough and the Lands of Thomas D. and Debra A. Steiner, Susquehanna Fire & Rescue No. 4, Susan M. Wickenheiser, Charles, W. & Georgina Stetter, Colette Shaw & Roderick Herring, Deborah Hershey, and Blue Rock Ventures II LLC.</p> <p>Consultant Project Number 3981.3.13.05</p> <p>Application Classification Subdivision Plan</p> <p>Sub-Classification Final Plan</p> <p>Following this form's submission, the Applicant will receive an email notification that a fee has been assigned for the Subdivision and/or Land Development Plan review. In the LCPD submission portal, the Applicant must then select his or her application to pay the plan review fees electronically via the provided e-payment website.</p> <p>I understand</p>

Project Address(es)
<p>Project Address Street 1020 Manor Street</p> <p>City Columbia</p> <hr/> <p>Project Address Street 650 Penn Street</p> <p>City Columbia</p> <hr/> <p>Project Address Street 714 Manor Street</p> <p>City Columbia</p> <hr/> <p>Project Address Street 1200 Franklin Street</p> <p>City Columbia</p> <hr/> <p>Project Address Street 1210 Franklin Street</p> <p>City Columbia</p> <hr/> <p>Project Address Street 1220 Franklin Street</p> <p>City Columbia</p> <hr/> <p>Project Address Street 1230 Franklin Street</p> <p>City</p>

Project Location
<p>Direction and Distance Parcels are located to the south of Manor Street, north of Franklin Street, and West of S. 13th Street.</p> <p>Municipality/Municipalities Columbia Borough</p> <p>Adjacent County/Municipality</p>

Columbia
Project Address Street
1280 Franklin Street
City
Columbia

Consulting Firm Information

Consulting Firm			
Project Manager	Email	Street Address	
Derek Rinaldo	DJR@csgiving.com	38 N. Duke Street	
	Phone	Ext.	City
	7178144537	252	York
		State	ZIP
		Pennsylvania	17401

Property Owner Information

i Please provide the name of only ONE individual or company per Owner section. If there are multiple owners (e.g., spouses), select "Add Another" to provide more than one name. If the same owner and/or address information is applicable for multiple responses, select "Copy Previous Values" to populate a new section and then edit, as needed.

Property Owner				
Owner Type	First Name	Middle Initial	Street Address	
Organization			1020 Manor Street	
Parcel Account Number	Last Name		City	
1101862900000			Columbia	
Deed Number	Company/Municipality		State	ZIP
6626232	Columbia Borough		Pennsylvania	17512
	In Care of/On Behalf of		Phone	Ext.
	Derek J. Rinaldo		7178144537	252
			Email	
			djr@csgiving.com	

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Individual	Thomas	D	650 Penn Street
Parcel Account Number	Last Name		City
1100556800000	Steiner		Columbia
Deed Number	Company/Municipality		State ZIP
5649273			Pennsylvania 17512
	In Care of/On Behalf of		Phone Ext.
			7178144537 252
			Email

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Individual	Debra	A	650 Penn Street
Parcel Account Number	Last Name		City
1100556800000	Steiner		Columbia
Deed Number	Company/Municipality		State ZIP
5649273			Pennsylvania 17512
	In Care of/On Behalf of		Phone Ext.
			7178144537 252
			Email

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Organization			714 Manor Street
Parcel Account Number	Last Name		City
1104806300000			Columbia
Deed Number	Company/Municipality	State	ZIP
5316/315	SUSQHEHANNA FIRE & RESCUE No. 4	Pennsylvania	17512
	In Care of/On Behalf of	Phone	Ext.
		7176845844	
		Email	

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Individual	Susan	M	1200 Franklin Street
Parcel Account Number	Last Name		City
1106347100000	Wickenheiser		Columbia
Deed Number	Company/Municipality	State	ZIP
05651294		Pennsylvania	17512
	In Care of/On Behalf of	Phone	Ext.
		7178144537	252
		Email	

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Individual	Charles	W	1210 Franklin Street
Parcel Account Number	Last Name		City
1106887600000	Stetter Jr		Columbia
Deed Number	Company/Municipality	State	ZIP
3054-088		Pennsylvania	17512
	In Care of/On Behalf of	Phone	Ext.
		7178144537	252
		Email	

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Individual	Georgina		1210 Franklin Street
Parcel Account Number	Last Name		City
1106887600000	Stetter		Columbia
Deed Number	Company/Municipality	State	ZIP
3054-088		Pennsylvania	17512
	In Care of/On Behalf of	Phone	Ext.
		7178144537	252
		Email	

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Individual	Colette		1220 Franklin Street
Parcel Account Number	Last Name	City	
1107479300000	Shaw	Columbia	
Deed Number	Company/Municipality	State	ZIP
6479408		Pennsylvania	17512
In Care of/On Behalf of		Phone	Ext.
		7178144537	252
Email			

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Individual	Roderick		1220 Franklin Street
Parcel Account Number	Last Name	City	
1107479300000	Herring	Columbia	
Deed Number	Company/Municipality	State	ZIP
6479408		Pennsylvania	17512
In Care of/On Behalf of		Phone	Ext.
		7178144537	252
Email			

Property Owner				
Owner Type	First Name	Middle Initial	Street Address	
Individual	Deborah		1230 Franklin Street	
Parcel Account Number	Last Name		City	
1108260200000	Hershey		Columbia	
Deed Number	Company/Municipality		State	ZIP
05748271			Pennsylvania	17512
	In Care of/On Behalf of		Phone	Ext.
			7178144537	252
			Email	

Property Owner				
Owner Type	First Name	Middle Initial	Street Address	
Organization			1280 Franklin Street	
Parcel Account Number	Last Name		City	
1109370300000			Columbia	
Deed Number	Company/Municipality		State	ZIP
6172117	BLUE ROCK VENTURES II LLC		Pennsylvania	17512
	In Care of/On Behalf of		Phone	Ext.
			7178144537	252
			Email	

Property Owner

Owner Type Organization	First Name <input type="text"/>	Middle Initial <input type="text"/>	Street Address 700 Franklin Street
Parcel Account Number 1102847300000	Last Name <input type="text"/>		City Columbia
Deed Number 6719584	Company/Municipality Columbia Borough		State Pennsylvania
	In Care of/On Behalf of Derek Rinaldo		ZIP 17512
		Phone 7178144537	Ext. 252
		Email djr@csdavidson.com	

Property Owner

Owner Type Organization	First Name <input type="text"/>	Middle Initial <input type="text"/>	Street Address 750 S. Ninth Street
Parcel Account Number 1104392300000	Last Name <input type="text"/>		City Columbia
Deed Number 6626232	Company/Municipality Columbia Borough		State Pennsylvania
	In Care of/On Behalf of Derek Rinaldo		ZIP 17512
		Phone 7178144537	Ext. 252
		Email djr@csdavidson.com	

Property Owner				
Owner Type	First Name	Middle Initial	Street Address	
Organization			1132 Manor St. Rear	
Parcel Account Number	Last Name		City	
1101947700000			Columbia	
Deed Number	Company/Municipality		State	ZIP
6626232	Columbia Borough		Pennsylvania	17512
	In Care of/On Behalf of		Phone	Ext.
	Derek Rinaldo		7178144537	252
			Email	
			djr@csdavidson.com	

Property Owner				
Owner Type	First Name	Middle Initial	Street Address	
Organization			830 S. Thirteenth St.	
Parcel Account Number	Last Name		City	
1108312900000			Columbia	
Deed Number	Company/Municipality		State	ZIP
6626232	Columbia Borough		Pennsylvania	17512
	In Care of/On Behalf of		Phone	Ext.
	Derek Rinaldo		7178144537	252
			Email	
			djr@csdavidson.com	

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Organization			740 S. Twelfth St.
Parcel Account Number	Last Name		City
1104495200000			Columbia
Deed Number	Company/Municipality	State	ZIP
6626232	Columbia Borough	Pennsylvania	17512
	In Care of/On Behalf of	Phone	Ext.
	Derek Rinaldo	7178144537	252
		Email	
		djr@csdavidson.com	

Property Owner			
Owner Type	First Name	Middle Initial	Street Address
Organization			951 Plane Street
Parcel Account Number	Last Name		City
1109392100000			Columbia
Deed Number	Company/Municipality	State	ZIP
6631282	Columbia Borough	Pennsylvania	17512
	In Care of/On Behalf of	Phone	Ext.
	Derek Rinaldo	7178144537	252
		Email	
		djr@csdavidson.com	

Applicant Information

Applicant			
Applicant Type	Name	Phone	Ext.
Municipality	Columbia Borough	7178144537	
	In Care of/On Behalf of	Email	
		djr@csdavidson.com	

Site Data

i When numeric values are required but not applicable to your project, enter zero.

Existing Land Use	Existing Lot Quantity	Zoning, Subdivision, and Land Development
<p>Existing Land Use(s)</p> <ul style="list-style-type: none"> Commercial Community Services Residential Other (please specify) <p>Other Land Use</p> <p>Conservation</p>	<p>Agricultural</p> <p>6 Residential</p> <p>1 Commercial & Retail Trade</p> <p>1 Community Services</p> <p>Industrial</p> <p>6 Other</p> <p>14 TOTAL</p>	<p>Existing Zoning District(s)</p> <ul style="list-style-type: none"> Columbia Borough: C Conservation Columbia Borough: LB Light Business Columbia Borough: MDR Medium Density Residential <p>Did or does this Subdivision and/or Land Development Plan submission require a Zoning Variance, Special Exception, and/or Conditional Use approval?</p> <p>No</p> <p>Does this plan submission include any modification or waiver requests?</p> <p>No</p> <p>Gross Acreage of All Tracts</p> <p style="text-align: right;">58.86</p>

Project Data

i When numeric values are required but not applicable to your project, enter zero.

Land Use and Lot Quantity	
Proposed Land Use(s)	
<input type="text"/>	Commercial
<input type="text"/>	Community Services
<input type="text"/>	Industrial
<input type="text"/>	Residential
<input type="text"/>	Other
Proposed Lot Quantity	
<input type="text"/>	Agricultural
<input type="text"/>	5 Residential
<input type="text"/>	1 Commercial & Retail Trade
<input type="text"/>	1 Community Services
<input type="text"/>	1 Industrial
<input type="text"/>	1 Other
<input type="text"/>	9 TOTAL

Building and Unit Quantity	
Agricultural	
<input type="text"/>	Existing Buildings
<input type="text"/>	Buildings to be Demolished
<input type="text"/>	Proposed Buildings
Residential Unit Type(s)	
<input type="text"/>	0 Accessory Dwelling
<input type="text"/>	0 Single-Family Attached
<input type="text"/>	0 Retirement Community
<input type="text"/>	0 Multi-Family
<input type="text"/>	0 Single-Family Detached
Definitions	
<ul style="list-style-type: none"> • Accessory Dwelling Unit: A secondary unit on a lot with a primary residential dwelling (could be any structural type) • Single-Family Attached: Single unit, attached on one or more sides to other units (semi-detached, townhouse, rowhouse) • Retirement Community/CCRC: Individual units, excluding group quarters, where residence and care are offered for the elderly (excluding 55+ communities) • Multi-Family (Apartments): Rental units in a multi-family structure (could be any structural type) • Multi-Family (Condominiums): Owner-occupied units in a multi-family structure • Single-Family Detached: Single unit, not attached to any other unit (including mobile and manufactured homes) 	

Total Square Footage	
Commercial & Retail Trade	
<input type="text"/>	16,6 Existing Buildings 00
<input type="text"/>	0 Proposed Buildings
<input type="text"/>	0 Proposed Ground Floor Area
Community Services	
<input type="text"/>	23,2 Existing Buildings 00
<input type="text"/>	0 Proposed Buildings
<input type="text"/>	0 Proposed Ground Floor Area
Industrial	
<input type="text"/>	0 Existing Buildings
<input type="text"/>	0 Proposed Buildings
<input type="text"/>	0 Proposed Ground Floor Area

Other Proposed Site Features

Parking	
Parking Space Quantity Required by the Municipality	
Proposed Parking Space Quantity	
How many parking spaces are provided per: Residential unit	0

Connectivity
Will a Traffic Impact Study/Assessment be submitted to PennDOT and/or the municipality?
No
What is the municipal tracking number?
Are any new publicly accessible trails and/or publicly accessible sidewalks proposed?
No

Open Space Conservation
Is this site part of the Clean and Green program?
No
Does the project site include a preserved farm?
No
Preserved by
What is the easement number?
Is any publicly accessible parkland or other type(s) of open space proposed?
No
Is any stream restoration and/or riparian buffer proposed?
No

Water Supply and Sewer Services

Water Services
Existing Water Provider
Public
Existing Public Water Provider
Columbia Water Company
Proposed Water Provider
Public
Proposed Public Water Provider
Columbia Water Company

Sewer Services	
Existing Sewer Provider	Has a Pennsylvania DEP Sewer Module been submitted?
Public	No
Existing Public Sewer Provider	DEP Code Number (if applicable)
Lancaster Area Sewer Authority	
Proposed Sewer Provider	
Public	
Proposed Public Sewer Provider	
Lancaster Area Sewer Authority	

File Attachments

<p>Applicant Certification</p> <p>Columbia Borough Final Subdivision Plan McGinness Airport.pdf</p>
--

Municipal Certification

 [B2 MuniCertOfSubdivLandDevPlanSubmission FF1\(1\).pdf](#)

Site Plans

 [398131305 Final Subdivision Plan.pdf](#)

PUBLIC UTILITY FILING - ACT 50 OF 2017

UGI UTILITIES, INC.
1301 AIP DRIVE
MIDDLETOWN, PA. 17057
CONTACT: STEPHEN BATEMAN
EMAIL: sboteman@ugi.com
PHONE: 610-807-3174

CITY OF LANCASTER
150 PITNEY ROAD
LANCASTER, PA. 17601
CONTACT: BENJAMIN PERWIEN
EMAIL: BPERWIEN@CITYOFLANCASTERPA.GOV
PHONE: 717-735-0341

ENERGY TRANSFER
1300 MAIN STREET
HOUSTON, TX. 77002
CONTACT: KEVIN OSHEA
EMAIL: KEVIN.OSHEA@ENERGYTRANSFER.COM
PHONE: 713-989-7987

COLUMBIA WATER COMPANY
220 LOCUST STREET
PO BOX 350
COLUMBIA, PA. 17512
CONTACT: DAVID LEWIS
EMAIL: DLEWIS@COLUMBIAWATER.NET
PHONE: 717-684-2188

PPL ELECTRIC UTILITIES CORPORATION
437 BLUE CHURCH ROAD
PAXINOS, PA. 17860
CONTACT: DOUG HAUPT
EMAIL: dhaupt@pplweb.com
PHONE: 570-490-5684

WEST HEMPFIELD TOWNSHIP
3476 MARIETTA AVENUE
LANCASTER, PA. 17601
CONTACT: OFFICE PERSONNEL
PHONE: 717-285-5554

FIRSTENERGY CORPORATION
21 SOUTH MAIN STREET
AKRON, OH 44308
CONTACT: MELLYSSA ADAMS
EMAIL: madams@firstenergycorp.com
PHONE: 330-604-4073

LANCASTER AREA SEWER AUTHORITY
130 CENTERVILLE ROAD
LANCASTER, PA. 17603
CONTACT: OFFICE PERSONNEL
PHONE: 717-299-4843

REVIEW OF FINAL SUBDIVISION PLAN
BY THE PLANNING COMMISSION OF
COLUMBIA BOROUGH, LANCASTER COUNTY,
PENNSYLVANIA
REVIEWED _____ 2023
_____ CHAIRMAN

APPROVAL OF FINAL SUBDIVISION PLAN
BY THE COLUMBIA BOROUGH COUNCIL
OF SUPERVISORS, LANCASTER COUNTY, PENNSYLVANIA
APPROVED _____ 2023
_____ CHAIRMAN

COLUMBIA BOROUGH FINAL SUBDIVISION PLAN MCGINNESS AIRPORT COLUMBIA BOROUGH LANCASTER COUNTY, PENNSYLVANIA

OWNER

SUSAN M. WICKENHEISER
1208 FRANKLIN STREET
COLUMBIA, PA 17512

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF THE PLAN,
AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME PERSONALLY APPEARED
SUSAN M. WICKENHEISER, WHO BEING DULY
SWORN ACCORDING TO THE LAW, DEPOSE AND SAYS THAT
THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS
PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR
DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR
ACT AND PLAN, THAT THEY DESIRE THE SAME TO BE
RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY
IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING
THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

SIGNATURE OF SUSAN M. WICKENHEISER _____

SIGNATURE AND SEAL OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

OWNER

THOMAS D. STEINER
DEBRA A. STEINER
650 PENN STREET
COLUMBIA, PA 17512

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF THE PLAN,
AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME PERSONALLY APPEARED
THOMAS D. STEINER AND DEBRA A. STEINER, WHO BEING
DULY SWORN ACCORDING TO THE LAW, DEPOSE AND SAYS
THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON
THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR
DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR
ACT AND PLAN, THAT THEY DESIRE THE SAME TO BE
RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY
IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING
THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

SIGNATURE OF THOMAS D. STEINER _____

SIGNATURE OF DEBRA A. STEINER _____

SIGNATURE AND SEAL OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME,
A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, THE
UNDERSIGNED OFFICER, PERSONALLY APPEARED

KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSON
WHOSE NAME IS SUBSCRIBED TO THE WITHIN PLAN OF LOTS, AND
ACKNOWLEDGES THAT HE EXECUTED THE SAME SO THAT IT MAY
BE RECORDED AS SUCH.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL
SEAL.

OWNER

COLUMBIA BOROUGH
308 LOCUST ST.
COLUMBIA, PA 17512

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF THE PLAN,
AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED
_____ BEING
OF
COLUMBIA BOROUGH, WHO BEING DULY SWORN ACCORDING TO LAW,
DEPOSES AND SAYS THAT THE BOROUGH IS THE OWNER OF THE
PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO
EXECUTE SAID PLAN ON BEHALF OF THE BOROUGH, THAT THE PLAN
IS THE ACT AND DEED OF THE BOROUGH, FURTHER ACKNOWLEDGES,
THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED
PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR
DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

SIGNATURE OF THE INDIVIDUAL _____

SIGNATURE AND SEAL OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

OWNER

DEBORAH N. HERSHEY
1230 FRANKLIN STREET
COLUMBIA, PA 17512

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF THE PLAN,
AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME PERSONALLY APPEARED
DEBORAH N. HERSHEY, WHO BEING DULY
SWORN ACCORDING TO THE LAW, DEPOSE AND SAYS THAT THEY
ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT
THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL
STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR
DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

SIGNATURE OF DEBORAH N. HERSHEY _____

SIGNATURE AND SEAL OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

LANCASTER COUNTY COURT HOUSE
RECORDED IN PLAN BOOK _____
PAGE _____ DATE _____

OWNER

CHARLES W. STETTER Jr.
GEORGINA M. STETTER
1210 FRANKLIN STREET
COLUMBIA, PA 17512

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF THE PLAN,
AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME PERSONALLY APPEARED
CHARLES W. STETTER Jr. AND GEORGINA M. STETTER, WHO BEING
DULY SWORN ACCORDING TO THE LAW, DEPOSE AND SAYS THAT
THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN,
THAT THE PLAN THEREOF WAS MADE AT THEIR DIRECTION, THAT
THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN,
THAT THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL
STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR
DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

SIGNATURE OF CHARLES W. STETTER Jr. _____

SIGNATURE OF GEORGINA M. STETTER _____

SIGNATURE AND SEAL OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

OWNER

BLUE ROCK VENTURES II, LLC
17 WABANK ROAD
MILLERSVILLE, PA 17551

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF THE PLAN,
AND OFFER OF DEDICATION

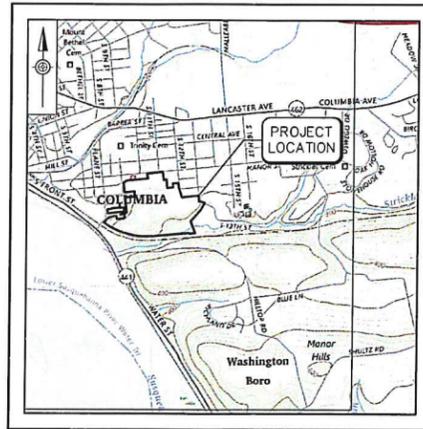
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED
_____ BEING
OF
BLUE ROCK VENTURES II, LLC, WHO BEING DULY SWORN ACCORDING
TO LAW, DEPOSES AND SAYS THAT THE BOROUGH IS THE OWNER
OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED
TO EXECUTE SAID PLAN ON BEHALF OF THE BOROUGH, THAT THE
PLAN IS THE ACT AND DEED OF THE BOROUGH, FURTHER
ACKNOWLEDGES, THAT ALL STREETS AND OTHER PROPERTY
IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE
AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED
TO THE PUBLIC USE.

SIGNATURE OF THE INDIVIDUAL _____

SIGNATURE AND SEAL OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____



LOCATION MAP
Scale: 1"=2000'

REVIEW OF FINAL SUBDIVISION PLAN
BY THE ENGINEER FOR COLUMBIA BOROUGH
LANCASTER COUNTY, PENNSYLVANIA

REVIEWED _____ 2024
_____ (TWP./BORO. ENGINEER)

OWNER

SUSQUEHANNA FIRE & RESCUE
COMPANY NO. 4
714 MANOR STREET
COLUMBIA, PA 17512

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF THE PLAN,
AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED
_____ BEING
OF
SUSQUEHANNA FIRE & RESCUE COMPANY NO. 4, WHO BEING DULY
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE
BOROUGH IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN,
THAT HE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF
OF THE BOROUGH, THAT THE PLAN IS THE ACT AND DEED OF THE
BOROUGH, FURTHER ACKNOWLEDGES, THAT ALL STREETS AND
OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY
(EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE
HEREBY DEDICATED TO THE PUBLIC USE.

SIGNATURE OF THE INDIVIDUAL _____

SIGNATURE AND SEAL OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

OWNER

RODERICK HERRING
COLETTE SHAW
1220 FRANKLIN STREET
COLUMBIA, PA 17512

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF THE PLAN,
AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____,
BEFORE ME PERSONALLY APPEARED
RODERICK HERRING AND COLETTE SHAW, WHO BEING
DULY SWORN ACCORDING TO THE LAW, DEPOSE AND SAYS
THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON
THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR
DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR
ACT AND PLAN, THAT THEY DESIRE THE SAME TO BE
RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY
IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING
THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

SIGNATURE OF RODERICK HERRING _____

SIGNATURE OF COLETTE SHAW _____

SIGNATURE AND SEAL OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

ENGINEER'S PROJECT NO. 3981.3.13.05 JUNE 2024



PENNSYLVANIA ONE CALL SYSTEM, INC.
DESIGN STAGE NOTIFICATION
5-22-23
SERIAL NO. 20231423568
& 20231423569



C.S. DAVIDSON, INC.
ENGINEERING A BETTER COMMUNITY

38 NORTH DUKE STREET, YORK, PA • PHONE (717) 846-4805
50 WEST MIDDLE STREET, GETTYSBURG, PA • PHONE (717) 337-3021
315 W. JAMES STREET, SUITE 102, LANCASTER, PA • PHONE (717) 481-2991
WWW.CSDAVIDSON.COM

OWNER

BOROUGH OF COLUMBIA
308 LOCUST STREET
COLUMBIA, PA 17512

THOMAS D. & DEBRA A. STEINER
650 PENN STREET
COLUMBIA, PA 17512

SUSQUEHANNA FIRE & RESCUE
COMPANY No. 4
714 MANOR STREET
COLUMBIA, PA 17512

SUSAN M. WIKENHEISER
1208 FRANKLIN STREET
COLUMBIA, PA 17512

OWNER

CHARLES W. & GEORGINA M STETTER Jr.
1210 FRANKLIN STREET
COLUMBIA, PA 17512

COLETTE SHAW & RODERICK HERRING
1220 FRANKLIN STREET
COLUMBIA, PA 17512

DEBORAH N. HERSHEY
1230 FRANKLIN STREET
COLUMBIA, PA 17512

BLUE ROCK VENTURES II, LLC
17 WABANK ROAD
MILLERSVILLE PA, 17551

REVIEWED BY THE LANCASTER COUNTY
PLANNING COMMISSION

DATE _____

CERTIFICATE OF SURVEY ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN
SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE
ACCURACY REQUIRED BY THE COLUMBIA BOROUGH SUBDIVISION AND LAND
DEVELOPMENT ORDINANCE.

C. S. DAVIDSON, INC.
BY ERIC B. GLADHILL (AGENT)

SHEET INDEX

SHEET NO.	DESCRIPTION
1.	COVER SHEET
2.	NOTES
3.	EXISTING CONDITIONS
4.	PROPOSED LOTS

#SU-054523-E

