

1st Reading 3/26/2024  
2nd Reading 3/26/2024

BILL NO. 23-86

ORDINANCE NO. 5439

AN ORDINANCE GRANTING A CONDITIONAL USE PERMIT TO SAM'S CLUB TO EXPAND AN EXISTING "GAS STATION – GENERAL" USE AT 10248 BIG BEND BOULEVARD IN THE CITY OF CRESTWOOD, MISSOURI

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WHEREAS, Sam's Club has filed an application for a conditional use permit to expand an existing "Gas Station – General" use to operate with eight (8) total gas pumps and a larger canopy at 10248 Big Bend Boulevard, which is located in the City of Crestwood, Missouri ("City"); and

WHEREAS, on June 12, 2001, the City granted Sam's Club a conditional use permit to construct and operate a six (6) pump gas station and canopy structure through Ordinance No. 3670; and

WHEREAS, pursuant to Section 26-15 and 26-17 of the Municipal Code of the City of Crestwood, Missouri (the "Code"), a "Gas Station – General" use may only be operated in a C-1 District upon the issuance of a conditional use permit by the Board of Aldermen; and

WHEREAS, pursuant to duly published notice, a hearing was held on February 7, 2024, before the Planning, Zoning and Architectural Review Commission of the City (the "Commission") on said application; and

WHEREAS, the Commission has recommended that the Board of Aldermen approve this application for a conditional use permit to operate a "Gas Station – General" use, subject to certain conditions; and

WHEREAS, notice of a public hearing before the Board of Aldermen on said application to be held on February 27, 2024, was duly published, and notice thereof given to nearby property owners as provided by ordinance; and

WHEREAS, following said hearing and consideration, the Board of Aldermen does herewith specifically find that the granting of the requested conditional use permit is consistent with the standards set out in the Zoning Code and will not:

1. Substantially increase traffic hazards or congestion;
2. Adversely affect the visual coherence, predominant usage, or development character of surrounding or adjacent neighborhoods;
3. Substantially increase fire, health or any other public safety hazards, or make difficult access by fire and emergency vehicles;
4. Adversely affect the general welfare of the community;
5. Overtax public utilities, services or other municipal facilities;
6. Be developed and operated in a manner that is physically and/or visually incompatible with the permitted uses in the surrounding areas;
7. Substantially increase stormwater drainage onto other lots; or
8. Create a nuisance; and

WHEREAS, the Board of Aldermen has found and determined that a conditional use permit should be approved, subject to the conditions herein set forth.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF CRESTWOOD, MISSOURI, AS FOLLOWS:

SECTION 1: Subject to the conditions hereof, a conditional use permit is hereby authorized to be granted to Sam's Club, to expand an existing "Gas Station – General" use to operate eight (8) gas pumps under a larger canopy structure at 10248 Big Bend Boulevard, in accordance with the materials and drawings submitted by the applicant, all of which are attached collectively hereto as Exhibit A, except as same may be revised in order to comply with the terms and conditions hereof and the requirements of any other City Ordinances. The City Attorney is directed to prepare a written order with findings of fact and conclusions consistent with this Ordinance.

SECTION 2: Said conditional use permit approval is conditioned upon and shall become and remain in force and effect only upon the following terms and conditions:

- a. That all signs be in compliance with the present Sign Ordinances of the City of Crestwood, as set forth in Chapter 26 of the City's Code;
- b. That the plans be approved by the City of Crestwood Public Works and Fire Department;
- c. That the applicant shall be responsible for complying with all applicable provisions of the 1990 Americans with Disabilities Act (ADA), as amended;
- d. That the conditional use permit is to be allowed for the C-1 zoning district;
- e. That the plans meet all City of Crestwood Codes;
- f. That no exterior changes are to occur without the proper approvals and permits;
- g. That any interior plans or drawings be approved by the City of Crestwood and St. Louis County;
- h. That the facility meet the requirements of ICC/ANSI A117.1 Standard on Accessible and Useable Buildings and Facilities, with regard to provisions for the disabled;
- i. That the use be operated in conformance with the relevant performance standards contained in Chapter 26 of the City's Code, as amended;
- j. That the hours of operation shall be as follows: facilities shall be open not earlier than 6:00 am and not later than 9:00 pm;
- k. That unleaded and premium unleaded gasoline be the only available items for sale at the fueling station;
- l. That cast-in-place concrete vertical curbs be constructed as shown on the approved site plan and properly maintained in a condition satisfactory to the City; and
- m. That this approval is given on the condition that all of the above conditions are approved by the City and construction/use commences within the time provided by Sec. 26-11(H)(3) of the City's Code.

SECTION 3: When all of the conditions hereof have been met, the Director of Public Works is authorized and directed to issue the necessary permits. Should there be a violation of any of said conditions, the City shall notify permittee/applicant and if such violation is not corrected

within thirty (30) days, the City shall have the right to reconsider said approvals and amend, modify or revoke same after notice and an opportunity for permittee/applicant to be heard.

SECTION 4: Sam's Club, through its authorized representative(s), shall file a written acceptance of the conditions hereof, and record a copy of this Ordinance, together with a copy of the approved plans and any amendments thereto.

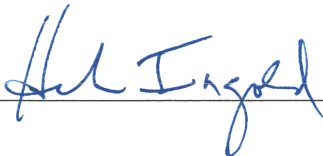
SECTION 5: Any and all applicable site plan approvals and/or conditional use permits in connection with this property shall remain in full force and effect unless inconsistent herewith.

SECTION 6: This Ordinance shall be in full force and effect from and after its passage by the Board of Aldermen and its approval by the Mayor.

PASSED AND SIGNED this 26<sup>th</sup> day of March, 2024.

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
City Clerk

APPROVED this 26<sup>th</sup> day of March, 2024.

  
\_\_\_\_\_  
Mayor



**EXHIBIT A**

[ *Materials and Drawings submitted by Applicant* ]



## MEMORANDUM

**To:** Kris Simpson, City Administrator

**From:** Danny Jendusa, City Planner

**Date:** February 13, 2024

**Subject:** CUP-3-24 Sam's Club (10248 Big Bend Blvd.)

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Sam's Club has submitted an application for a Conditional Use Permit to expand their existing six (6)-pump "Gas Station- General" Use at 10248 Big Bend Blvd. to install and operate with eight (8) gas pumps under a larger canopy structure in the "C-1" Local Commercial District.

The Sam's Club shopping center and existing gas station were built in 2001, following the approval of a Conditional Use Permit and site plan for a six-pump gas station via city ordinance #3670. Because the original CUP only approved a 6-pump station and canopy, a repeal of the former CUP ordinance would be required and a new CUP issued in order to allow for the proposed expansion to an 8-pump facility with a larger canopy structure.

The CUP request was accompanied by a Major Site Plan which also included alterations to the existing landscaping, parking layout, and queuing lanes on the south side of the station to improve internal access and circulation within the Sam's Club parking lot. The Planning Commission voted 4-1 to approve the accompanying Major Site Plan on February 7, 2024.

### **RECOMMENDED ACTION**

On February 7, 2024, the Planning, Zoning, and Architectural Review Commission voted 5-0 to recommend approval of the requested CUP with the conditions recommended by city staff.



Notice of Public Hearing

City of Crestwood

**CUP-3-24** A Request to Amend a Conditional Use Permit authorizing Sam's Club to operate a Fueling Station at 10248 Big Bend Blvd.;

Notice is hereby given that a public hearing will be held before the Board of Aldermen of the City of Crestwood, Missouri at the Crestwood Government Center at 1 Detjen Drive, Crestwood, MO 63126 on Tuesday, February 27, 2024, at 7:00 p.m. for the purpose of hearing all citizens' written and oral comments regarding a request submitted by Sam's Club to amend their Conditional Use Permit to expand and operate a Fueling Station at 10248 Big Bend Blvd.

The application and supporting documents were filed on January 11, 2024, and may be viewed at the desk of the City Planner at the Government Center. Written comments may be submitted prior to 3:00pm the day of the meeting to the City Planner by email to [djendus@cityofcrestwood.org](mailto:djendus@cityofcrestwood.org). All written comments must contain the name and address of the commenter to be read during the meeting.

By order of the Board of Aldermen, City of Crestwood, Missouri.

ATTEST:

/s Helen Ingold

City Clerk

City Clerk's Office received from the City Planner and dated: 2/8/2024.

Posted in Government Center Lobby on 2/8/2024.

\*\*\*ANYONE WITH SPECIAL NEEDS WISHING TO ATTEND MAY CALL (314)  
729-4700 SO APPROPRIATE ACCOMMODATIONS CAN BE MADE\*\*\*

One Detjen Drive \* Crestwood, Missouri 63126-1697 \* 314-729-4700 \* Fax 314-729-4794  
[www.cityofcrestwood.org](http://www.cityofcrestwood.org)



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**First Baptist Church of Crestwood - 9916 E Watson Road**

**3/26/2024 Application No. CUP-2-24; First Baptist Church of Crestwood seeks a conditional use permit to install and operate an electronic message center sign.**

Exhibit # 3 - City of Crestwood Code, Chapter 26 containing the Zoning Code

Exhibit # 8 - Ordinance No. 3670

Exhibit # 9. - City's Comprehensive Plan



January 10, 2024

Crestwood Department of Public Works  
One Detjen Drive  
Crestwood, MO 63126

Re: Request to Amend CUP Ordinance #3670  
Sam's Club #4741-1003; Crestwood, Missouri  
Fueling Station Expansion and Traffic Flow Improvements

To Whom It May Concern:

This letter is to summarize the proposed changes for the Sam's Club site located at 10248 Big Bend Road, St. Louis, Missouri and request to amend the original CUP ordinance #3670 to allow an extended canopy and up to 8 fuel pumps.

The proposed project entails expanding the existing six pump fueling station to 8 pumps by adding the proposed fuel pumps on the west end of the fuel station. In addition to the fuel station expansion, we are proposing to make improvements to the fueling station traffic flow to better serve Sam's customers. In general, the improvements include the addition of queuing lanes in advance of the fuel station as well as converting a two-way drive into a one-way drive leading to the queuing lanes. The new site plan has been submitted for the Major Site Plan Review alongside this request to amend the CUP ordinance.

The area of the fuel station portion of the lot to be affected is approximately 51,679 SF (1.19 ac). This planned expansion will result in a loss of 56 parking spaces near the fuel station area as well as modifications to the existing curbed islands. As a result, 2,583 SF of open space will be added and the total parking ratio will be 4.09 spaces per 1,000 SF.

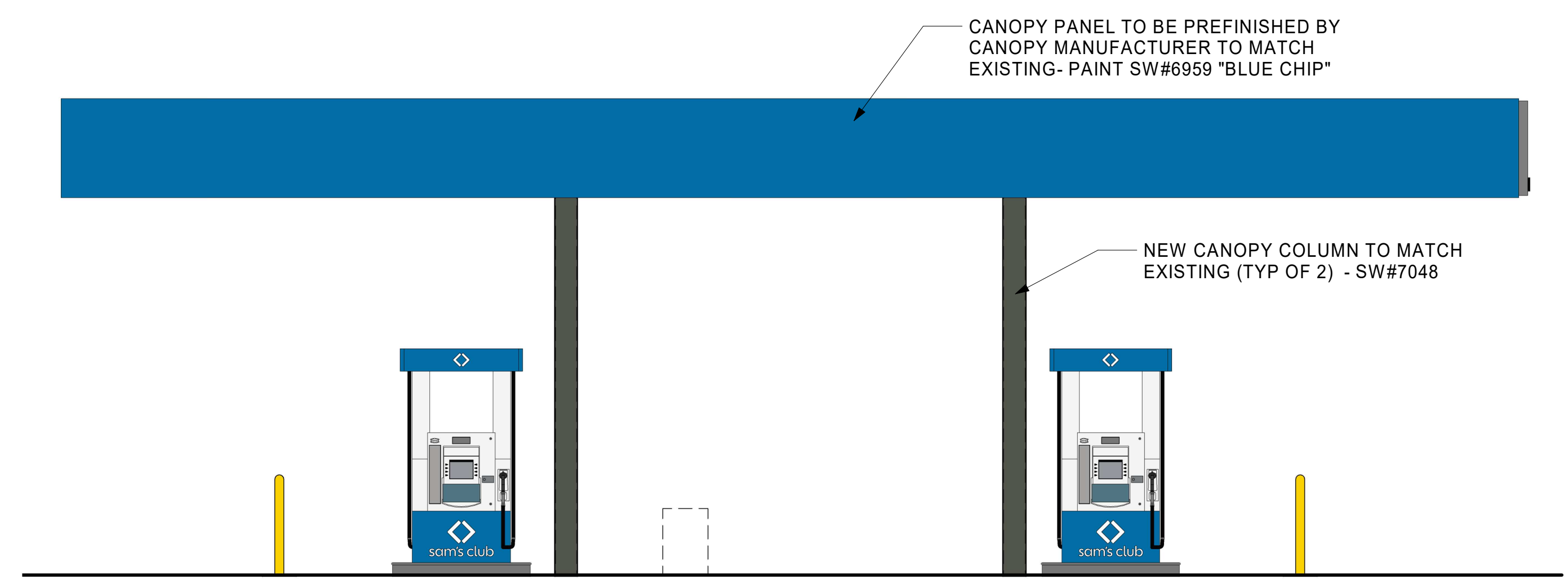
Thank you for taking the time to review this request, and if you need any additional information or have any questions, please do not hesitate to contact me.

Thank you,

A handwritten signature in black ink that reads 'Lauren Bishop'.

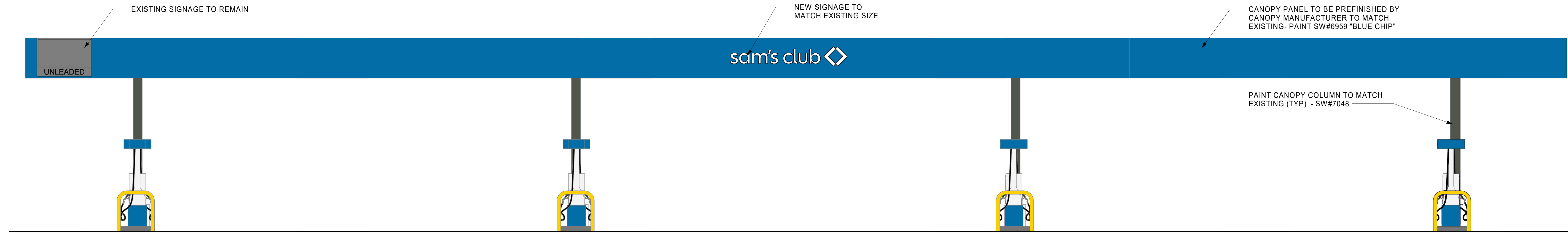
Lauren Bishop, EI  
**Carlson Consulting Engineers, Inc.**

STIPULATION FOR REUSE  
 THIS DRAWING WAS PREPARED FOR THE PROJECT DESCRIBED ABOVE AND IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF HFA. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF HFA SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO HFA. HFA DISCLAIMS ANY AND ALL WARRANTIES, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO, THE MERCHANTABILITY AND FITNESS FOR ANY PARTICULAR PURPOSE OF THIS DRAWING. HFA SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DRAWING. THIS DRAWING IS THE PROPERTY OF HFA AND IS TO BE KEPT IN CONFIDENCE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HFA. HFA SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT DESCRIBED HEREIN. HFA SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT DESCRIBED HEREIN. HFA SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT DESCRIBED HEREIN.



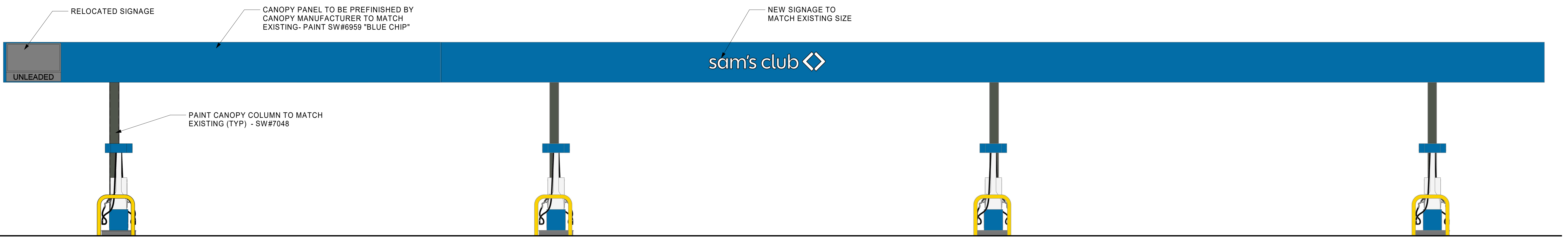
SIDE ELEVATION

??



REAR CANOPY ELEVATION

1 FSA2



FRONT CANOPY ELEVATION

??

**sam's club**  
 FUEL EXPANSION  
 CRESTWOOD,  
 MO  
 CLUB #4741  
 JOB NUMBER: 07-23-50801 | PHOTO:

ISSUE BLOCK

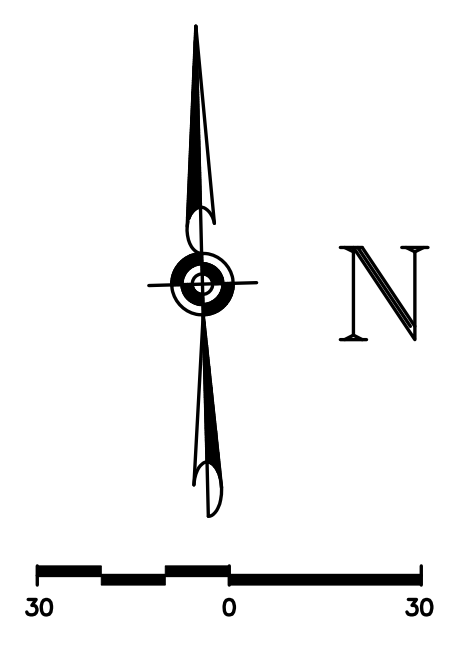
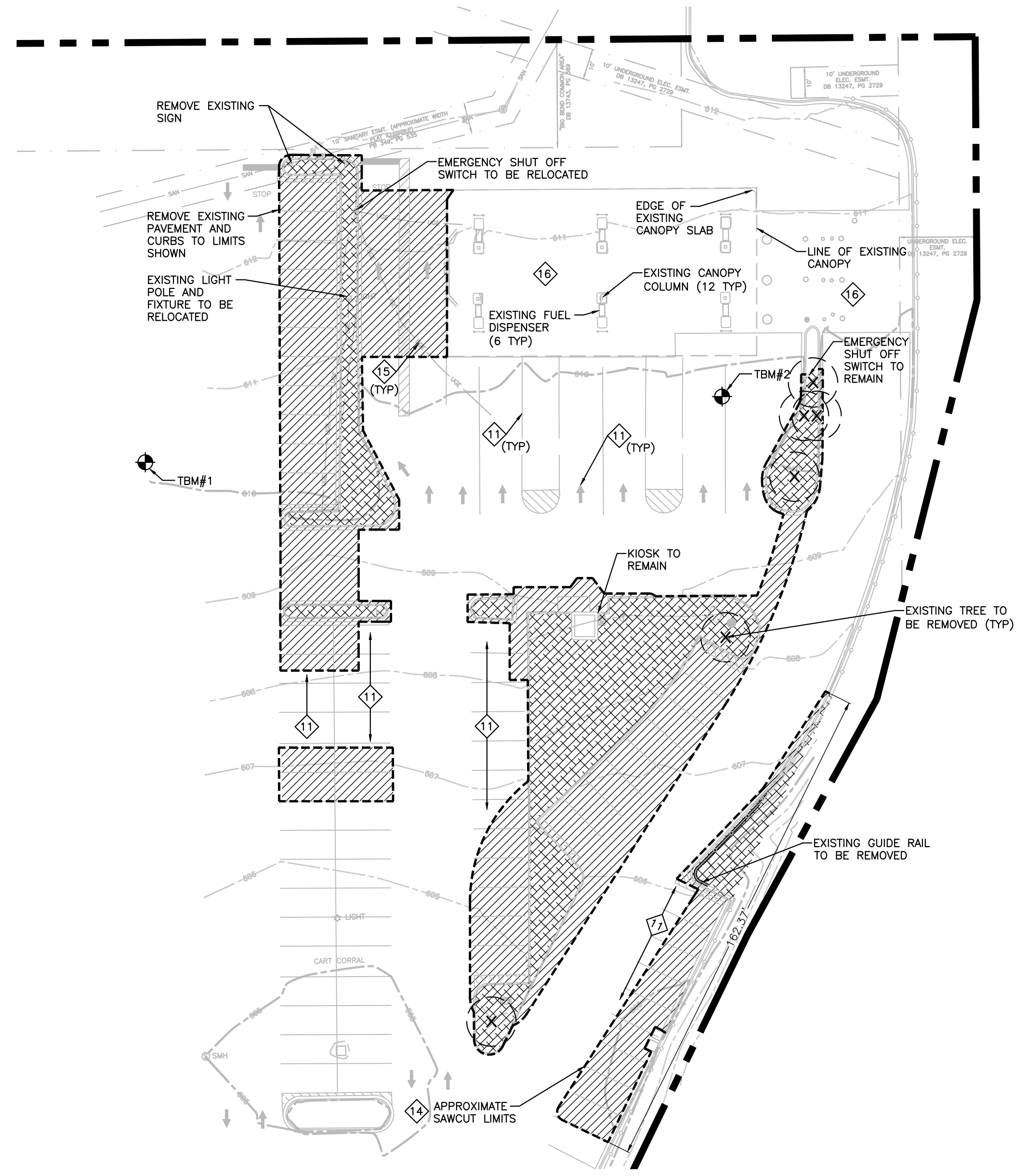
**SIGNAGE REPRESENTATION ONLY  
 NOT FOR CONSTRUCTION**

The images provided throughout this package are a representation of the current project intent only. All images and artwork associated/provided should be reviewed by the client with their print and/or production vendors and adjusted as needed during the proof and shop drawing submittals. These client-approved drawings take precedence and provide final direction for design, printing and production.

**SUBMITTAL ELEVATIONS**

SHEET: **SE1**





**LEGEND**

- EXISTING PAVEMENT, CURB AND GUTTER, CURBED ISLAND, INCLUDING BASE MATERIALS TO BE REMOVED
- EXISTING TREES, SHRUBS, GROUND COVER TO BE REMOVED
- EXISTING GUIDE RAIL TO BE REMOVED
- APPROXIMATE SAWCUT LIMITS
- EXISTING TREE TO BE REMOVED
- PROPERTY LINE
- GUIDE RAIL
- EXISTING CURB AND GUTTER
- TEMPORARY BENCHMARK (TBM)

**EXISTING CONDITIONS AND DEMOLITION PLAN**  
1"=30'

- NOTES:**
- ALL SITEWORK SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS". WHERE CONFLICTS WITH REQUIREMENTS OF UTILITY COMPANY OR OTHER JURISDICTION OCCUR, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF THE EXISTING CONDITIONS OF THE SITE, AND OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO THE FAILURE OF THE GENERAL CONTRACTOR TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
  - ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ACCEPTANCE BY OWNER AND THE FINAL CERTIFICATION OF SERVICES.
  - ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE SAM'S CONSTRUCTION MANAGER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE SAM'S CONSTRUCTION MANAGER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE PLANS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY CARLSON CONSULTING ENGINEERS, INC. ARE THE RESPONSIBILITY OF THE CONTRACTOR. ENGINEERS WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIAL, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
  - CONTRACTOR SHALL PROVIDE BMP'S SUCH AS, EROSION EELS, INLET FILTER SACKS, SILT DIKE ON PAVEMENT, ETC., DOWNGRADIENT OF ANY GROUND DISTURBING ACTIVITIES. ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED TO MAINTAIN SAFE CONSTRUCTION CONDITIONS AND ADEQUATE TRAFFIC FLOW.
  - CONTRACTOR SHALL KEEP ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. BEYOND THE PROTECTED WORK AREAS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN THE PROXIMITY OF THE EXISTING CLUB AND/OR FUELING STATION WITH THE SAM'S CONSTRUCTION MANAGER AND SAM'S MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO CLUB/FUEL STATION OPERATION AND SAM'S CUSTOMERS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE, INCURRED BY ANY UTILITY COMPANY, TO THEIR LINES AS A RESULT OF HIS ACTIVITIES, WHETHER THESE LINES ARE SHOWN ON THE CONSTRUCTION PLANS OR NOT.
  - ALL PAVEMENT MARKINGS SHOWN TO BE REMOVED OR ANY MARKINGS THAT CONFLICT WITH IMPROVEMENTS ARE TO BE REMOVED BY BEAD BLASTING.
  - CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES. EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED CONSTRUCTION ACTIVITIES SHALL BE RELOCATED OR LOWERED IN PLACE BY THE CONTRACTOR TO ACCOMMODATE PROPOSED IMPROVEMENTS AND TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODE. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE SAM'S CONSTRUCTION MANAGER AND SAM'S STORE MANAGER A MINIMUM OF 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES. TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL STORE OPERATION. ANY COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL FUEL EXPANSION PROJECT.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION.
  - CONTRACTOR SHALL SAWCUT ALONG THE EDGE OF PAVEMENT REMOVAL LIMITS TO ENSURE A CLEAN, STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.
  - EXISTING UTILITY LINES CONFLICTING WITH PROPOSED FUEL IMPROVEMENTS (DISPENSER ISLANDS, CANOPY COLUMN FOOTINGS, ETC.) SHALL BE RELOCATED AS NECESSARY TO AVOID CONFLICT WITH PROPOSED IMPROVEMENTS.
  - DEMOLITION LIMITS SHOWN HEREON ARE FOR SITEWORK IMPROVEMENTS ONLY. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION REQUIRED FOR BUILDING RELATED IMPROVEMENTS.
  - REFERENCE "FOOTING OVEREXCAVATION" DETAIL FOR ADDITIONAL INFORMATION IF UNSUITABLE BEARING SOIL AND/OR ROCK ARE ENCOUNTERED AT FOOTING BEARING ELEVATION.

**CONSTRUCTION PHASING NOTICE**

THE SAM'S FUELING STATION WILL REMAIN OPERATIONAL THROUGHOUT THE DURATION OF THIS PROJECT. CONSTRUCTION SEQUENCING AND CLOSE COORDINATION WITH THE CONSTRUCTION MANAGER AND SAM'S CLUB MANAGER ARE REQUIRED TO HELP MINIMIZE DISRUPTIONS TO THE FUELING STATION'S NORMAL OPERATIONS. BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES THAT HE/SHE HAS EXAMINED THE PROJECT TO THE DEGREE NECESSARY TO PROVIDE A LUMP SUM PRICE FOR THE WORK AND THAT HE/SHE HAS INCLUDED NECESSARY FUNDS FOR ANY ADDITIONAL TEMPORARY PROTECTION, TRAFFIC CONTROL, LOW IMPACT CONSTRUCTION EQUIPMENT, AND/OR WORK REQUIRED DURING NON-PEAK BUSINESS HOURS THAT MAY BE REQUIRED TO MINIMIZE DISRUPTIONS AND/OR INCONVENIENCE TO THE SAM'S CLUB OPERATIONS AND ITS CUSTOMERS AND ASSOCIATES.

PRIOR TO MOBILIZATION BY THE CONTRACTOR, A PRECONSTRUCTION MEETING SHALL BE CONDUCTED BETWEEN THE CONTRACTOR, CONSTRUCTION MANAGER AND SAM'S CLUB MANAGER TO DISCUSS PROJECT SCHEDULING AND TEMPORARY TRAFFIC CONTROL.

**NOTICE TO CONTRACTOR**

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CEO AND OWNER CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CEO AND OWNER CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE OWNER CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

**NOTICE TO CONTRACTOR**

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC AT ALL TIMES. FENCING, BARRICADES, ENCLOSURES, BARRELS, OTHER TRAFFIC CONTROL DEVICES, ETC. SHALL BE USED IN THE BEST POSSIBLE MANNER AND AS APPROVED AND/OR DIRECTED BY THE SAM'S CONSTRUCTION MANAGER. TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH MUTCD STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DEVELOP AND SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE ENGINEER AND SAM'S CONSTRUCTION MANAGER.

**PARKING INFORMATION**

SAM'S CLUB BUILDING INFO		TOTAL PARKING PROVIDED	TOTAL PARKING RATIO
SAM'S CLUB	BUILDING SQ.FT.	SPACES <sup>1</sup>	SPACES
EXISTING	130,466 ±SF	589 TOTAL SPACES	4.51/1,000 SF
PROPOSED	130,466 ±SF	533 TOTAL SPACES	4.09/1,000 SF

**PARKING INFORMATION NOTES**

- EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS PROVIDED BY OTHERS AND A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS.

**TEMPORARY BENCHMARK #1**

ELEVATION: 610.17  
MONUMENT: MAG NAIL SET WITH WASHER

**TEMPORARY BENCHMARK #2**

ELEVATION: 609.81  
MONUMENT: MAG NAIL SET WITH WASHER

**CAUTION - NOTICE TO CONTRACTOR**

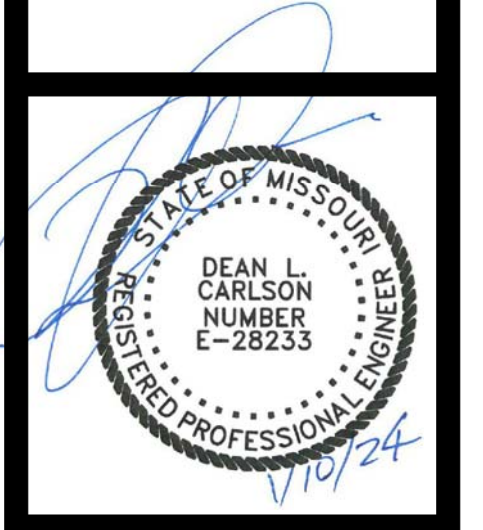
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, APPURTENANCES AND IMPROVEMENTS WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.



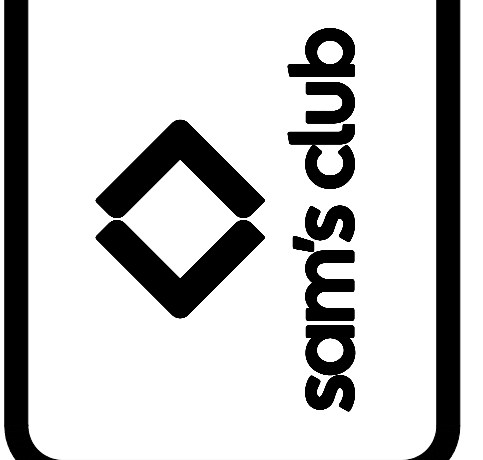
**EXISTING CONDITIONS AND DEMOLITION PLAN**

REVISIONS	BY

**CARLSON CONSULTING ENGINEERS, INC.**  
7088 LEDGESTONE COMMONS  
BARTLETT, TENNESSEE 38133  
BARTLETT, MISSOURI 63017  
MISSOURI CORPORATION COA #200609899

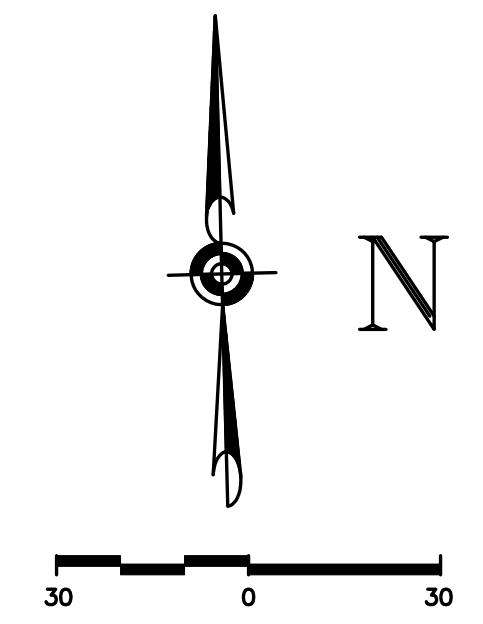
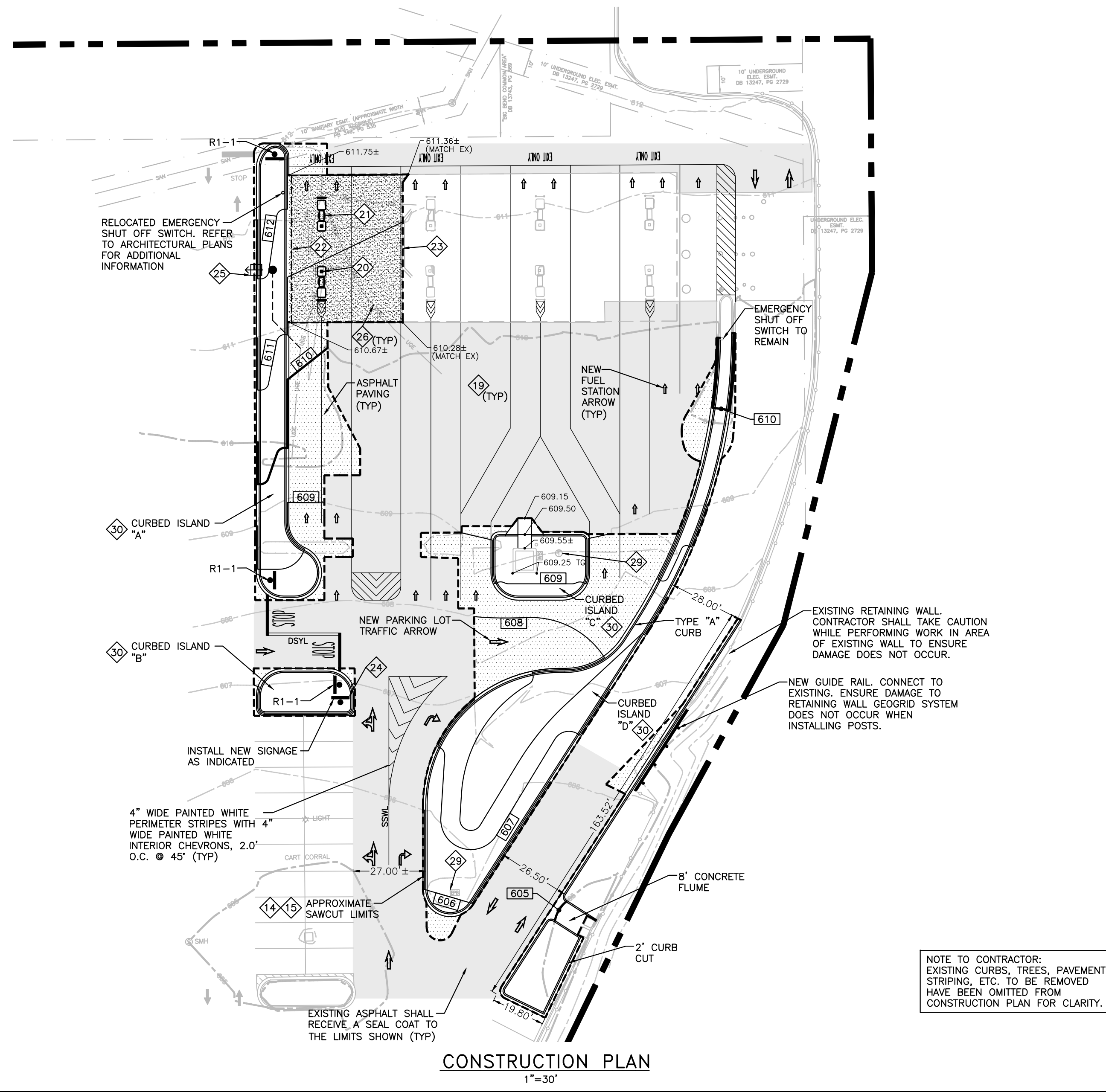


SAM'S CLUB #4741-1003  
CRESTWOOD, MISSOURI  
SAM'S CLUB  
2101 SE SIMPLE SAVINGS DRIVE  
BENTONVILLE, AR 72716



DRAWN	CMQ
CHECKED	BKM
DATE	01/10/24
SCALE	1"=30'
JOB No.	4741-1003
SHEET	1 OF 9 SHEETS





**LEGEND**

- ARCHITECTURAL CONCRETE. REFER TO ARCHITECTURAL PLANS
- SEAL COAT
- ASPHALT PAVING
- PROPOSED LIGHT POLE
- SSWL - SINGLE SOLID WHITE LINE
- DSYL - DOUBLE SOLID YELLOW LINE
- APPROXIMATE SAWCUT LIMITS
- DIRECTIONAL ARROWS
- SINGLE SOLID YELLOW LINE
- DOUBLE SOLID YELLOW LINE
- SIGN
- SPOT ELEVATION
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- TO - TOP OF GRADE
- PROPOSED GUIDE RAIL

**CONSTRUCTION PLAN**  
1"=30'

NOTE TO CONTRACTOR:  
EXISTING CURBS, TREES, PAVEMENT STRIPING, ETC. TO BE REMOVED HAVE BEEN OMITTED FROM CONSTRUCTION PLAN FOR CLARITY.

**NOTES:**

1. ALL SITEWORK SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS". WHERE CONFLICTS WITH REQUIREMENTS OF UTILITY COMPANY OR OTHER JURISDICTION OCCUR, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF THE EXISTING CONDITIONS OF THE SITE, AND OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO THE FAILURE OF THE GENERAL CONTRACTOR TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
3. ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ACCEPTANCE BY OWNER AND THE FINAL CERTIFICATION OF SERVICES.
4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE SAM'S CONSTRUCTION MANAGER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE SAM'S CONSTRUCTION MANAGER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE PLANS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY CARLSON CONSULTING ENGINEERS, INC. ARE THE RESPONSIBILITY OF THE CONTRACTOR. ENGINEERS WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIAL, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
6. CONTRACTOR SHALL PROVIDE BMP'S SUCH AS, EROSION EELS, INLET FILTER SACKS, SILT DIKE ON PAVEMENT, ETC., DOWNGRADIENT OF ANY GROUND DISTURBING ACTIVITIES. ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
8. ALL NEW STRIPING SHALL BE PAINTED (TWO COATS) AS PER THE SPECIFICATIONS. UTILIZE TEMPLATES FOR ALL PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERS.
9. CONTRACTOR SHALL KEEP ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. BEYOND THE PROTECTED WORK AREAS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN THE PROXIMITY OF THE EXISTING CLUB AND/OR FUELING STATION WITH THE SAM'S CONSTRUCTION MANAGER AND SAM'S MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO CLUB/FUEL STATION OPERATION AND SAM'S CUSTOMERS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE, INCURRED BY ANY UTILITY COMPANY, TO THEIR LINES AS A RESULT OF HIS ACTIVITIES, WHETHER THESE LINES ARE SHOWN ON THE CONSTRUCTION PLANS OR NOT.
11. ALL PAVEMENT MARKINGS SHOWN TO BE REMOVED OR ANY MARKINGS THAT CONFLICT WITH IMPROVEMENTS ARE TO BE REMOVED BY BEAD BLASTING.
12. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES. EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED CONSTRUCTION ACTIVITIES SHALL BE RELOCATED OR LOWERED IN PLACE BY THE CONTRACTOR TO ACCOMMODATE PROPOSED IMPROVEMENTS AND TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODE. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE SAM'S CONSTRUCTION MANAGER AND SAM'S STORE MANAGER A MINIMUM OF 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES. TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL STORE OPERATION. ANY COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL FUEL EXPANSION PROJECT.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION.
14. CONTRACTOR SHALL SAWCUT ALONG THE EDGE OF PAVEMENT REMOVAL LIMITS TO ENSURE A CLEAN, STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.
15. ELEVATION OF NEW PAVEMENT TO MATCH ELEVATION OF PAVEMENT TO REMAIN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
16. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED TO MAINTAIN SAFE CONSTRUCTION CONDITIONS AND ADEQUATE TRAFFIC FLOW.
17. CONSTRUCTION PLANS PREPARED FROM LIMITED TOPOGRAPHIC SURVEY AND INFORMATION PROVIDED BY OWNER AND OTHERS TO CEC.
18. ALL RADII TO BE 3' AND ALL ANGLES TO BE 90°00'00" U.N.O.
19. REFER TO DETAILS FOR ADDITIONAL INFORMATION ON FUEL LANE STRIPING AND PAVEMENT MARKINGS.
20. NEW CANOPY COLUMN. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
21. NEW FUEL DISPENSER. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
22. LINE OF NEW OVERHEAD CANOPY. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
23. EDGE OF NEW CANOPY SLAB. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
24. NEW "EXIT ONLY" SIGN. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
25. RELOCATED LIGHT POLE AND FIXTURE ON NEW BASE. EXTEND CONDUIT AND POWER CABLE TO NEW LOCATION. MATCH EXISTING IN KIND.
26. EXISTING UTILITY LINES CONFLICTING WITH PROPOSED FUEL IMPROVEMENTS (DISPENSER ISLANDS, CANOPY COLUMN FOOTINGS, ETC.) SHALL BE RELOCATED AS NECESSARY TO AVOID CONFLICT WITH PROPOSED IMPROVEMENTS.
27. REFERENCE "FOOTING OVEREXCAVATION" DETAIL FOR ADDITIONAL INFORMATION IF UNSUITABLE BEARING SOIL AND/OR ROCK ARE ENCOUNTERED AT FOOTING BEARING ELEVATION.
28. TREE BRANCHES CONFLICTING WITH PROPOSED AND/OR EXISTING SIGN TO REMAIN SHALL BE TRIMMED TO ENSURE FULL SIGN VISIBILITY IS MAINTAINED.
29. ADJUST STRUCTURE TOP TO BE FLUSH WITH PROPOSED GRADE.
30. REFER TO CURBED ISLAND DETAIL, THIS SET, FOR ADDITIONAL INFORMATION.

**CONSTRUCTION PHASING NOTICE**

THE SAM'S FUELING STATION WILL REMAIN OPERATIONAL THROUGHOUT THE DURATION OF THIS PROJECT. CONSTRUCTION SEQUENCING AND CLOSE COORDINATION WITH THE CONSTRUCTION MANAGER AND SAM'S CLUB MANAGER ARE REQUIRED TO HELP MINIMIZE DISRUPTIONS TO THE FUELING STATION'S NORMAL OPERATIONS. BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES THAT HE/SHE HAS EXAMINED THE PROJECT TO THE DEGREE NECESSARY TO PROVIDE A LUMP SUM PRICE FOR THE WORK AND THAT HE/SHE HAS INCLUDED NECESSARY FUNDS FOR ANY ADDITIONAL TEMPORARY PROTECTION, TRAFFIC CONTROL, LOW IMPACT CONSTRUCTION EQUIPMENT, AND/OR WORK REQUIRED DURING NON-PEAK BUSINESS HOURS THAT MAY BE REQUIRED TO MINIMIZE DISRUPTIONS AND/OR INCONVENIENCE TO THE SAM'S CLUB OPERATIONS AND ITS CUSTOMERS AND ASSOCIATES.

PRIOR TO MOBILIZATION BY THE CONTRACTOR, A PRECONSTRUCTION MEETING SHALL BE CONDUCTED BETWEEN THE CONTRACTOR, CONSTRUCTION MANAGER AND SAM'S CLUB MANAGER TO DISCUSS PROJECT SCHEDULING AND TEMPORARY TRAFFIC CONTROL.

**NOTICE TO CONTRACTOR**

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CEO AND OWNER CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CEO AND OWNER CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE OWNER CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

**NOTICE TO CONTRACTOR**

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC AT ALL TIMES. FENCING, BARRICADES, ENCLOSURES, BARRELS, OTHER TRAFFIC CONTROL DEVICES, ETC. SHALL BE USED IN THE BEST POSSIBLE MANNER AND AS APPROVED AND/OR DIRECTED BY THE SAM'S CONSTRUCTION MANAGER. TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH MUTCD STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DEVELOP AND SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE ENGINEER AND SAM'S CONSTRUCTION MANAGER.

**TEMPORARY BENCHMARK #1**

ELEVATION	610.17
MONUMENT	MAG NAIL SET WITH WASHER

**TEMPORARY BENCHMARK #2**

ELEVATION	609.81
MONUMENT	MAG NAIL SET WITH WASHER

**SITE DATA INFORMATION**

LEGAL DESCRIPTION  
ADJUSTED LOT 4 OF THE BOUNDARY ADJUSTMENT PLAT OF LOTS 2, 3 AND 4 IN THE RESUBDIVISION PLAT OF OAK RIDGE PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 350 PAGE 427 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.

LOT COVERAGE CALCULATIONS:  
OPEN SPACE REMOVED = 5,222 SF  
OPEN SPACE ADDED = 7,805 SF  
NET CHANGE = 2,583 SF ADDED

**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, APPURTENANCES AND IMPROVEMENTS WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.

**PARKING INFORMATION**

SAM'S CLUB BUILDING INFO		TOTAL PARKING PROVIDED	TOTAL PARKING RATIO
SAM'S CLUB	BUILDING SQ.FT.	SPACES <sup>1</sup>	SPACES
EXISTING	130,466 ±SF	589 TOTAL SPACES	4.51/1,000 SF
PROPOSED	130,466 ±SF	533 TOTAL SPACES	4.09/1,000 SF

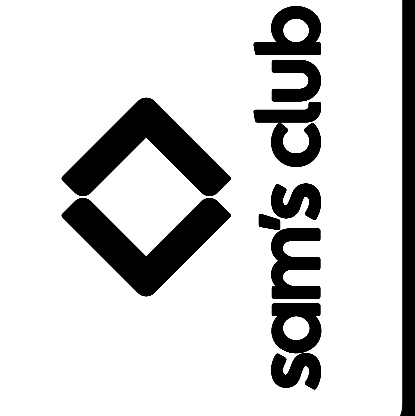
**PARKING INFORMATION NOTES**  
1. EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS PROVIDED BY OTHERS AND A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS.

REVISIONS	BY

**CARLSON CONSULTING ENGINEERS, INC.**  
7088 LEDGESTONE COMMONS  
BARTLETT, TENNESSEE 38133  
TEL: (615) 394-0710  
MISSOURI CORPORATION COA #200609899



SAM'S CLUB #4741-1003  
CRESTWOOD, MISSOURI  
SAM'S CLUB  
2101 SE SIMPLE SAVINGS DRIVE  
BENTONVILLE, AR 72716

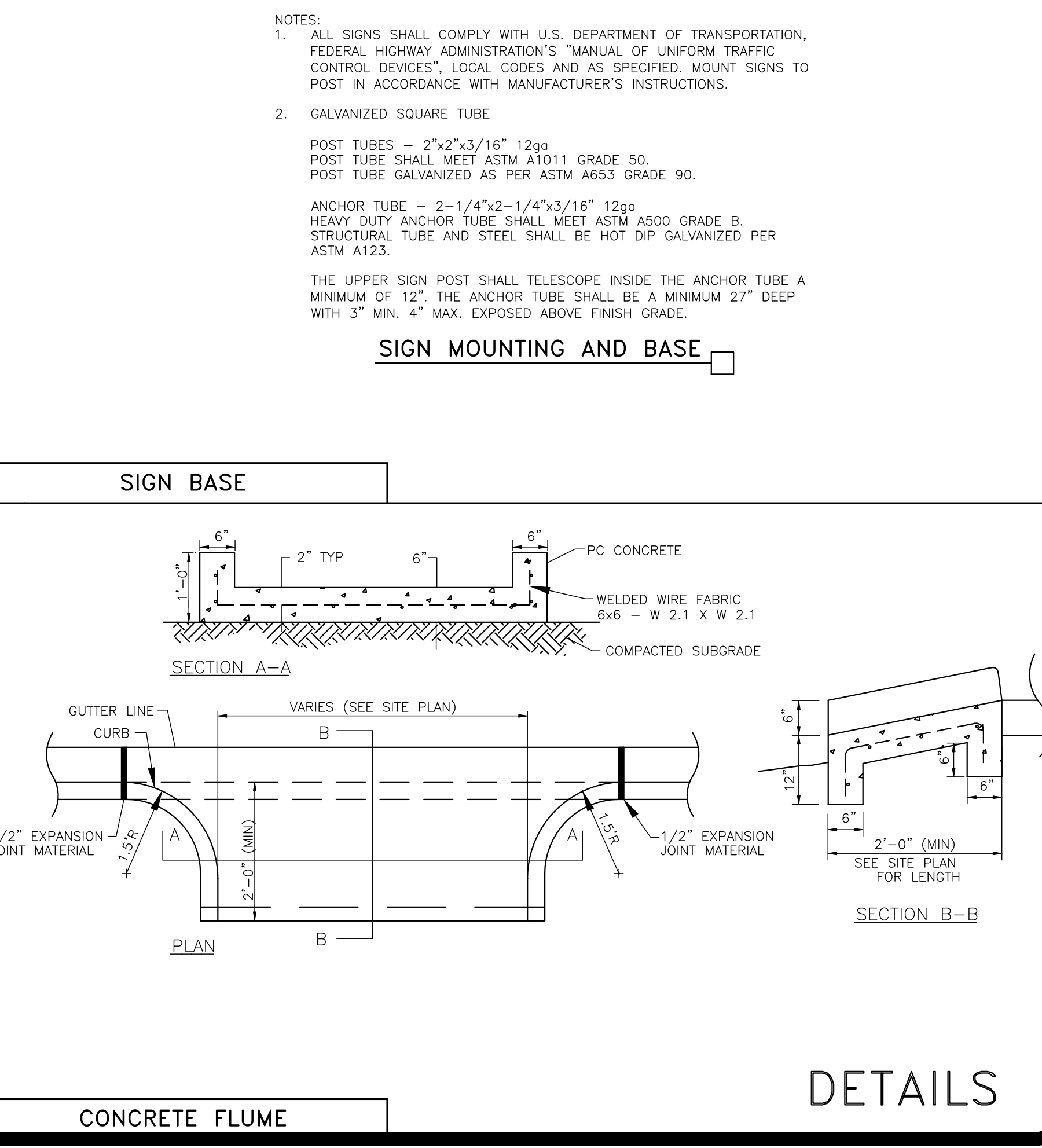
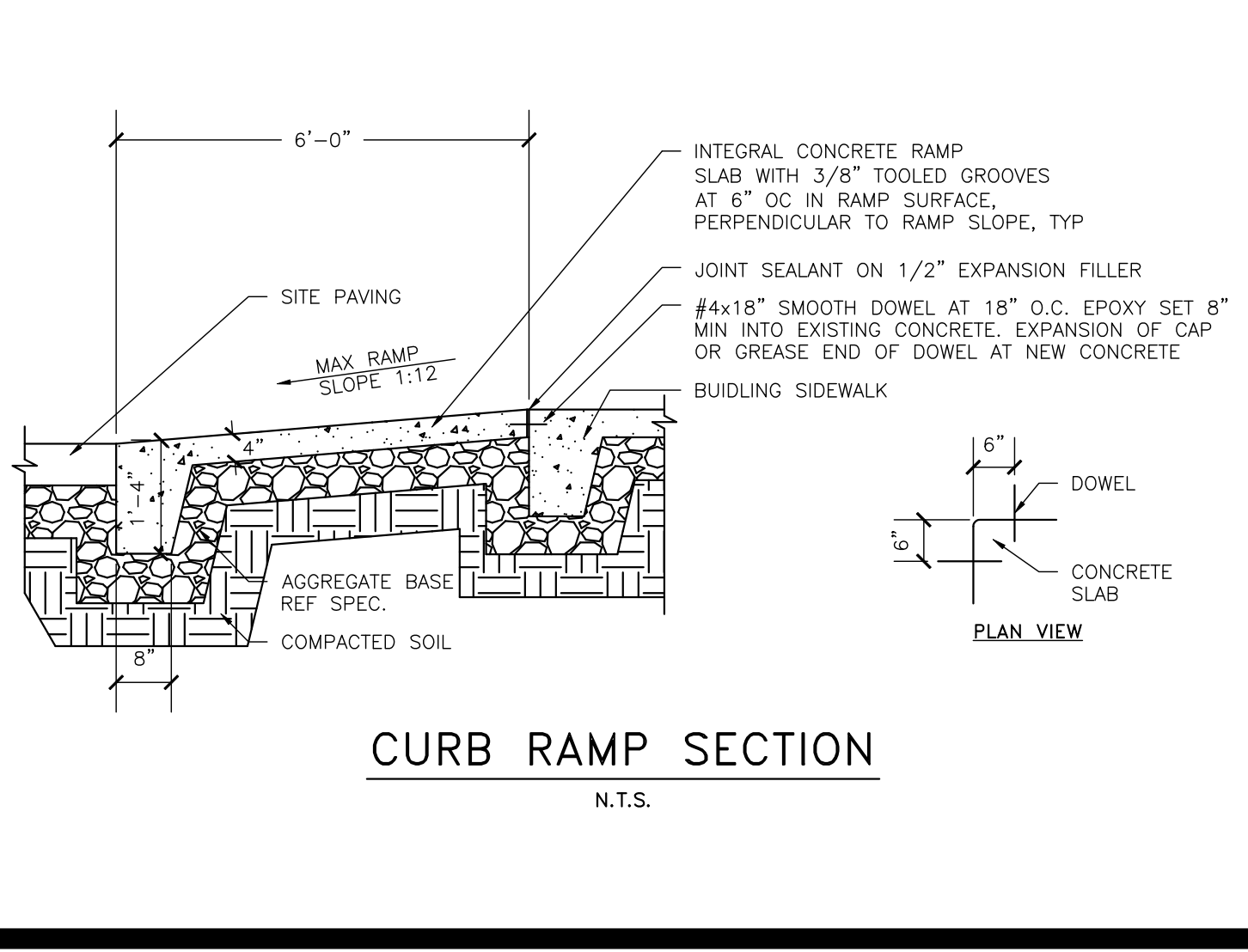
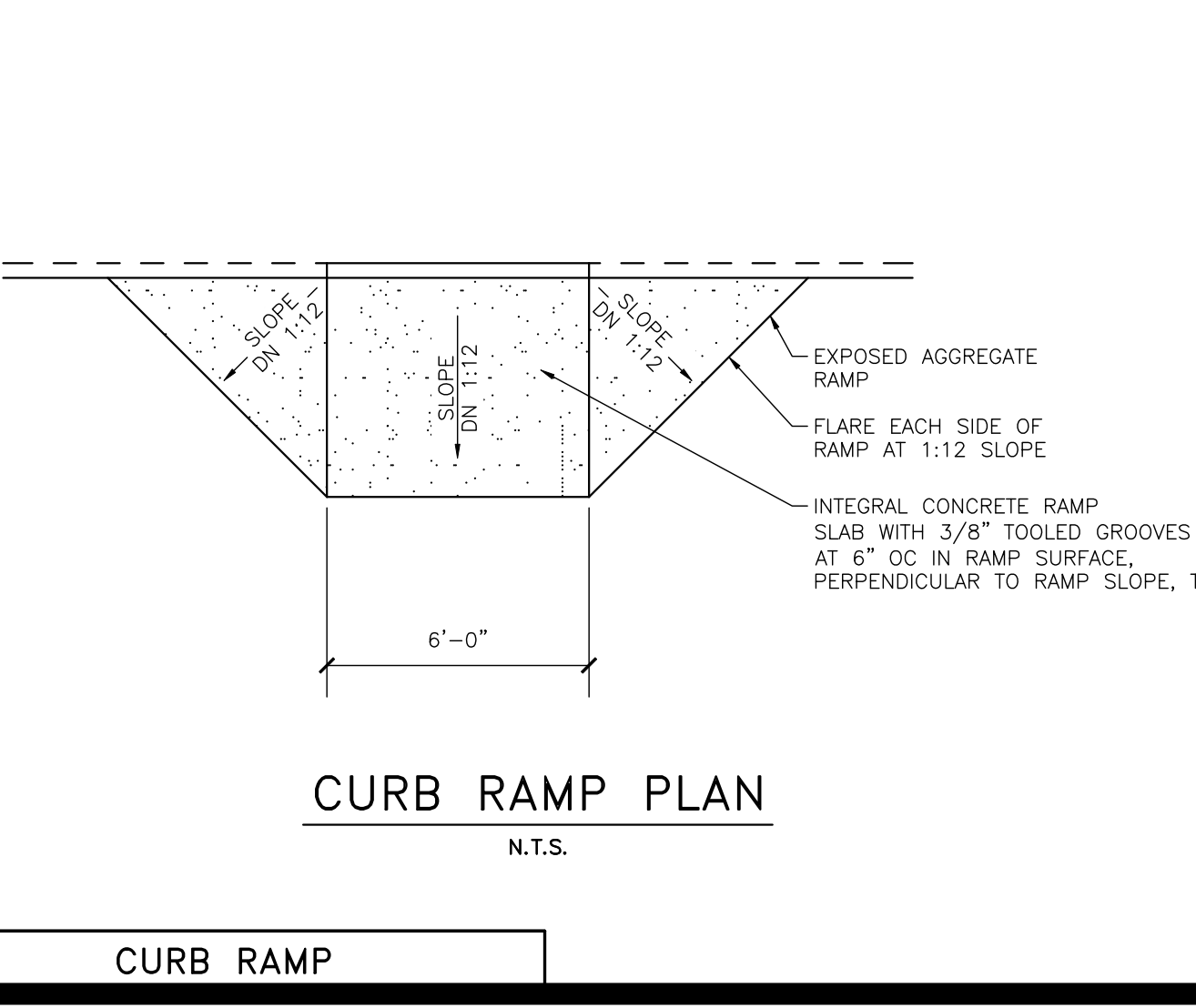
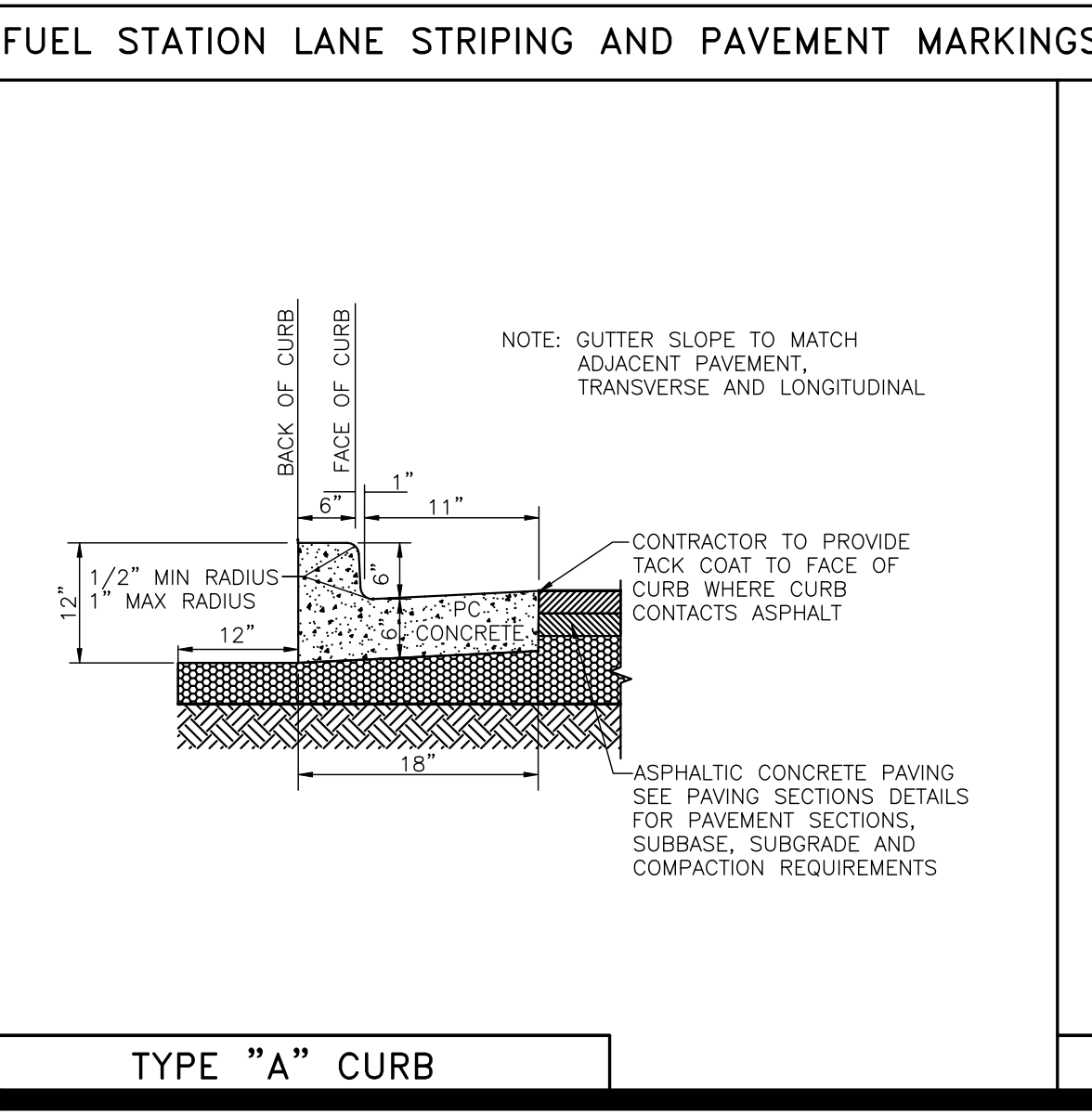
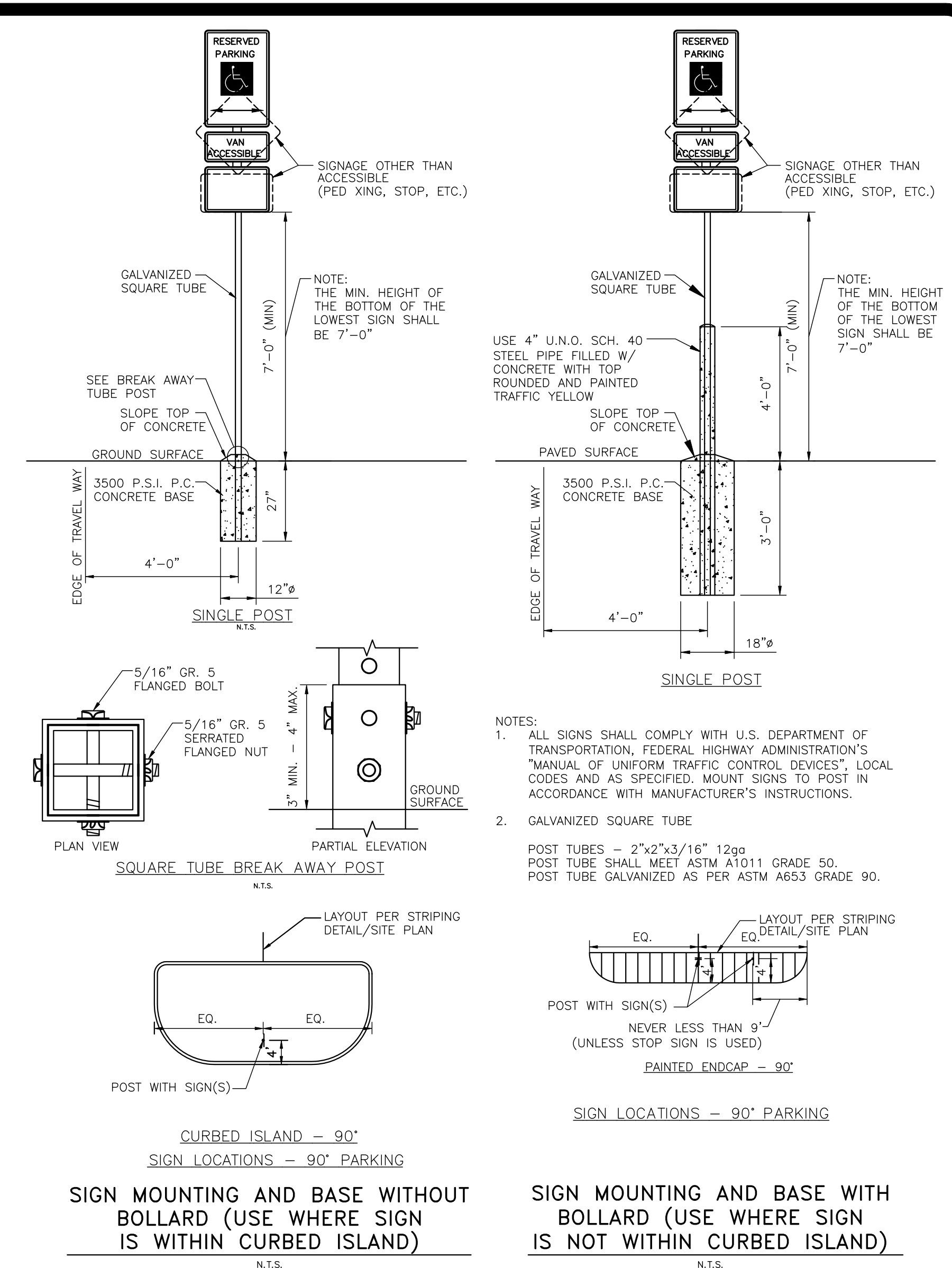
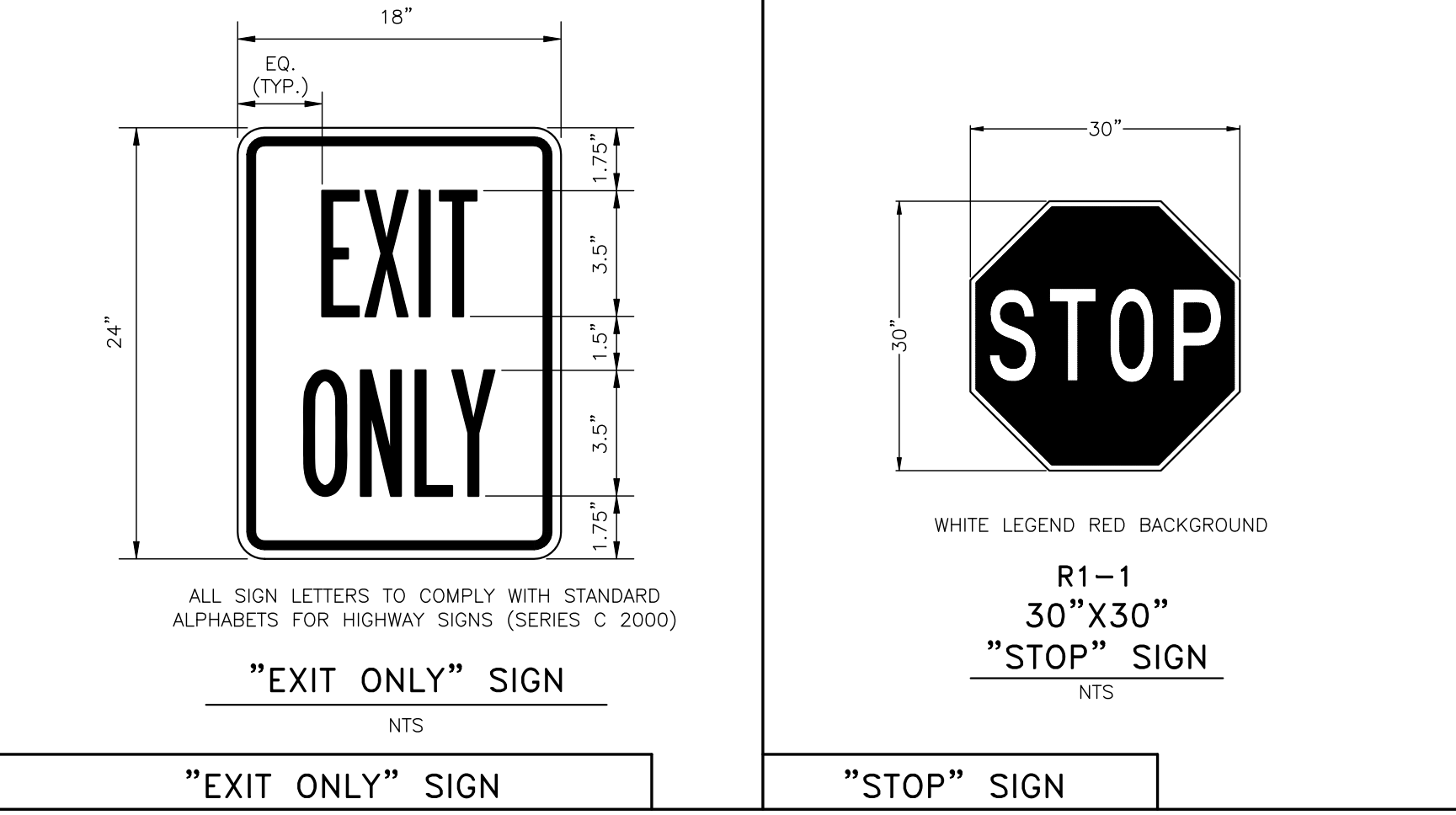
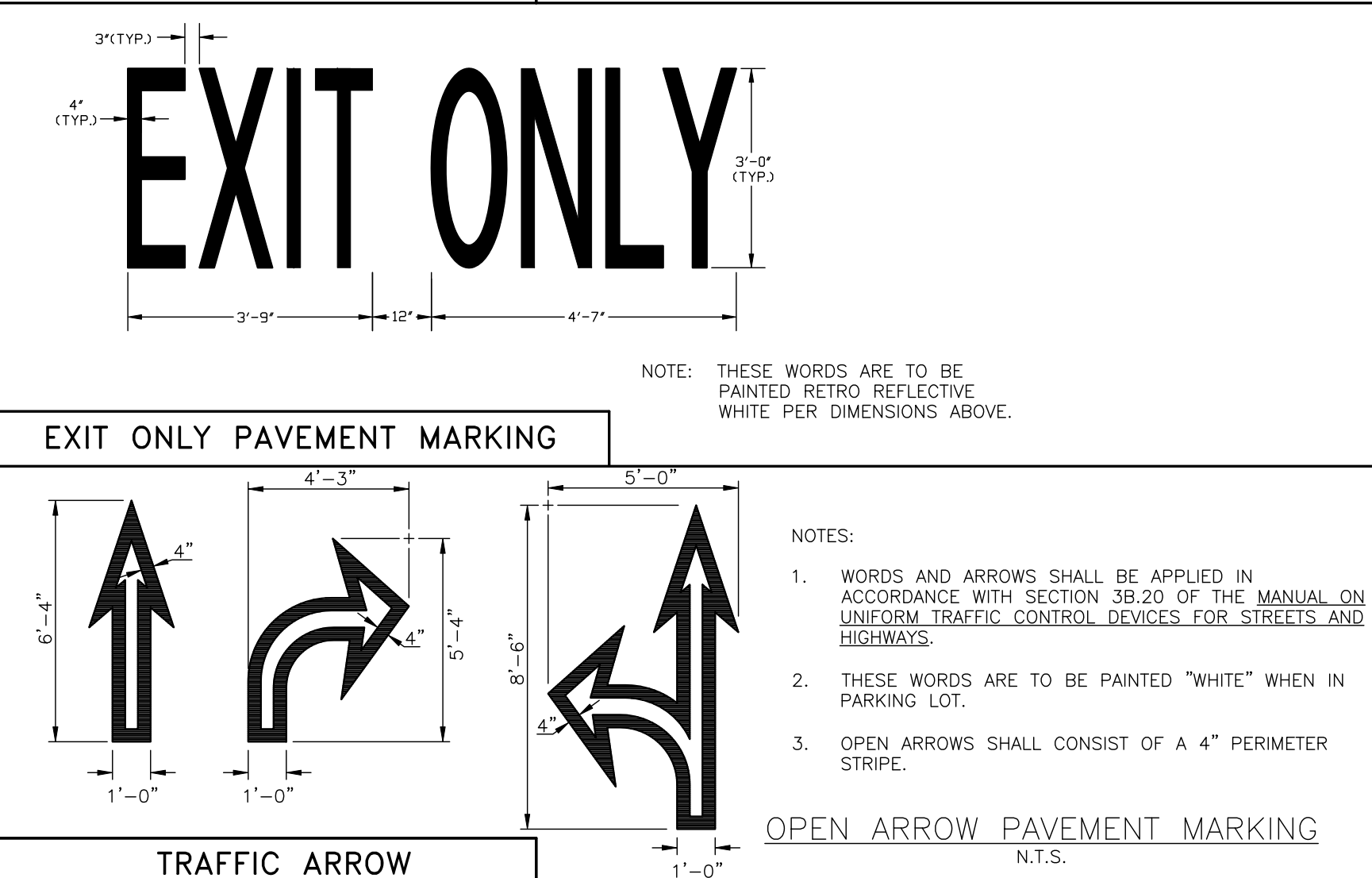
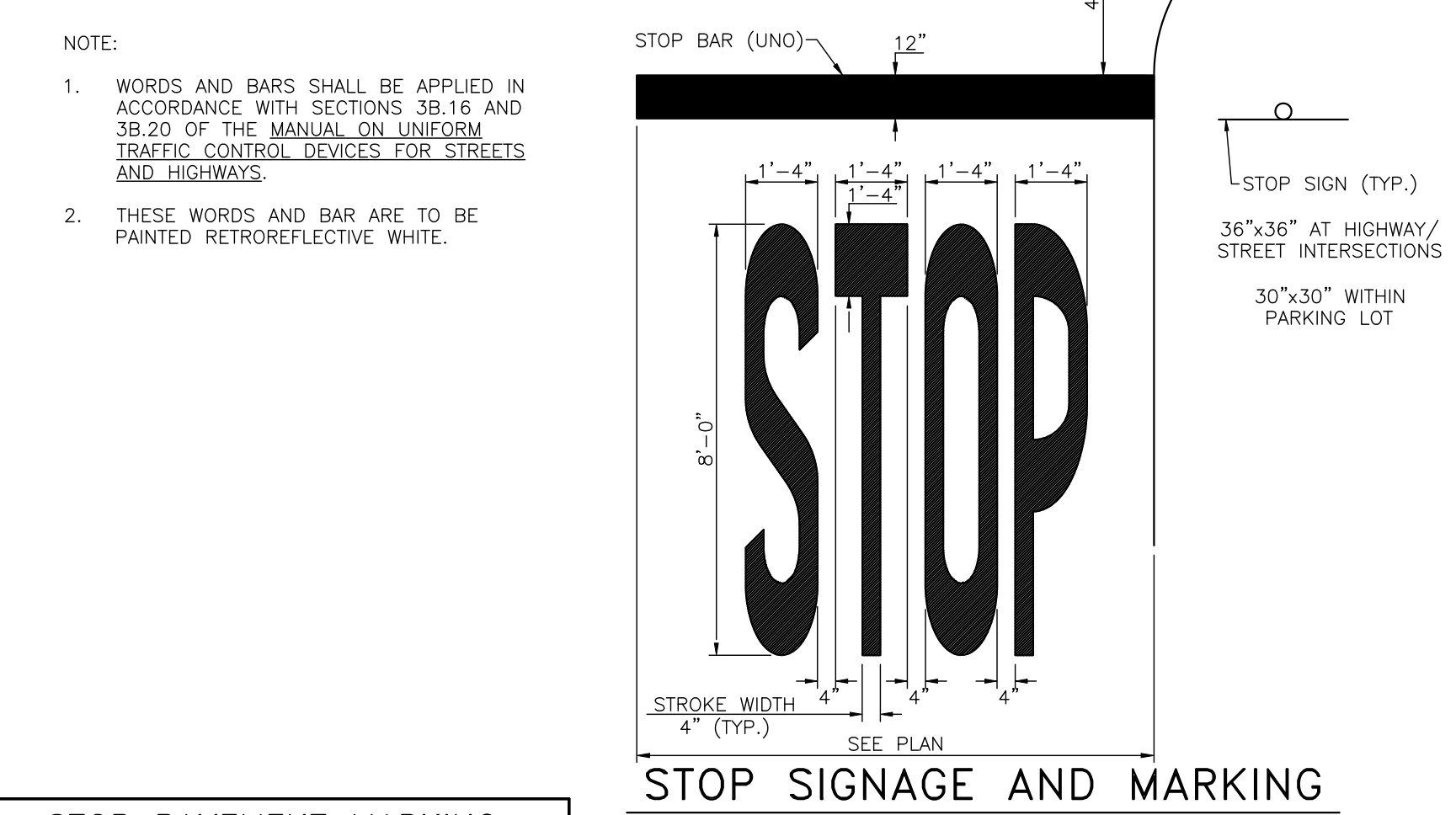
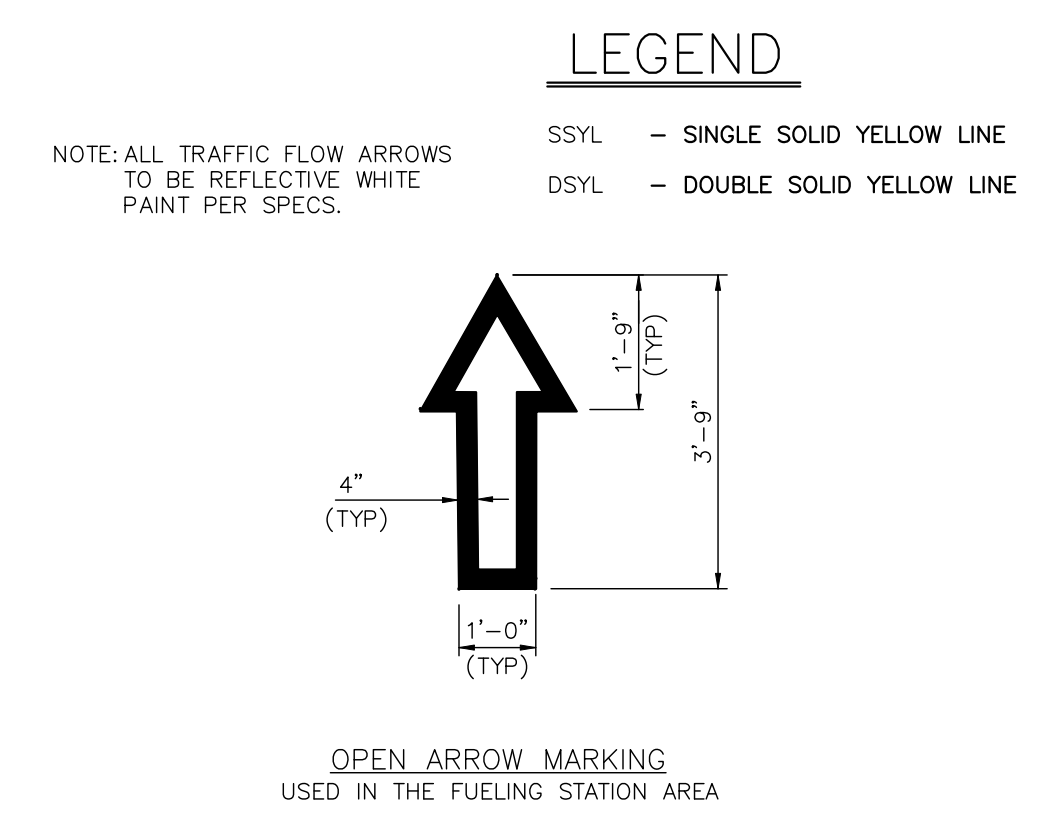
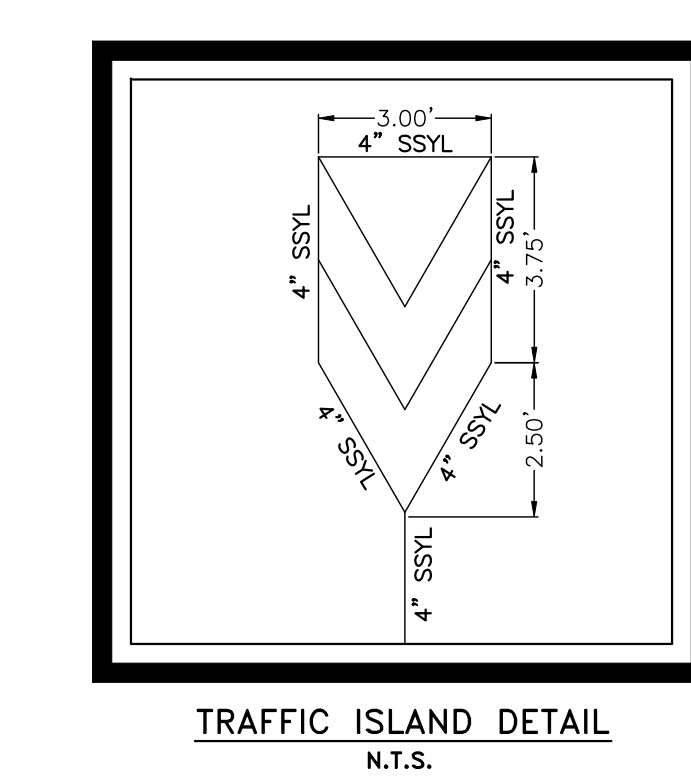
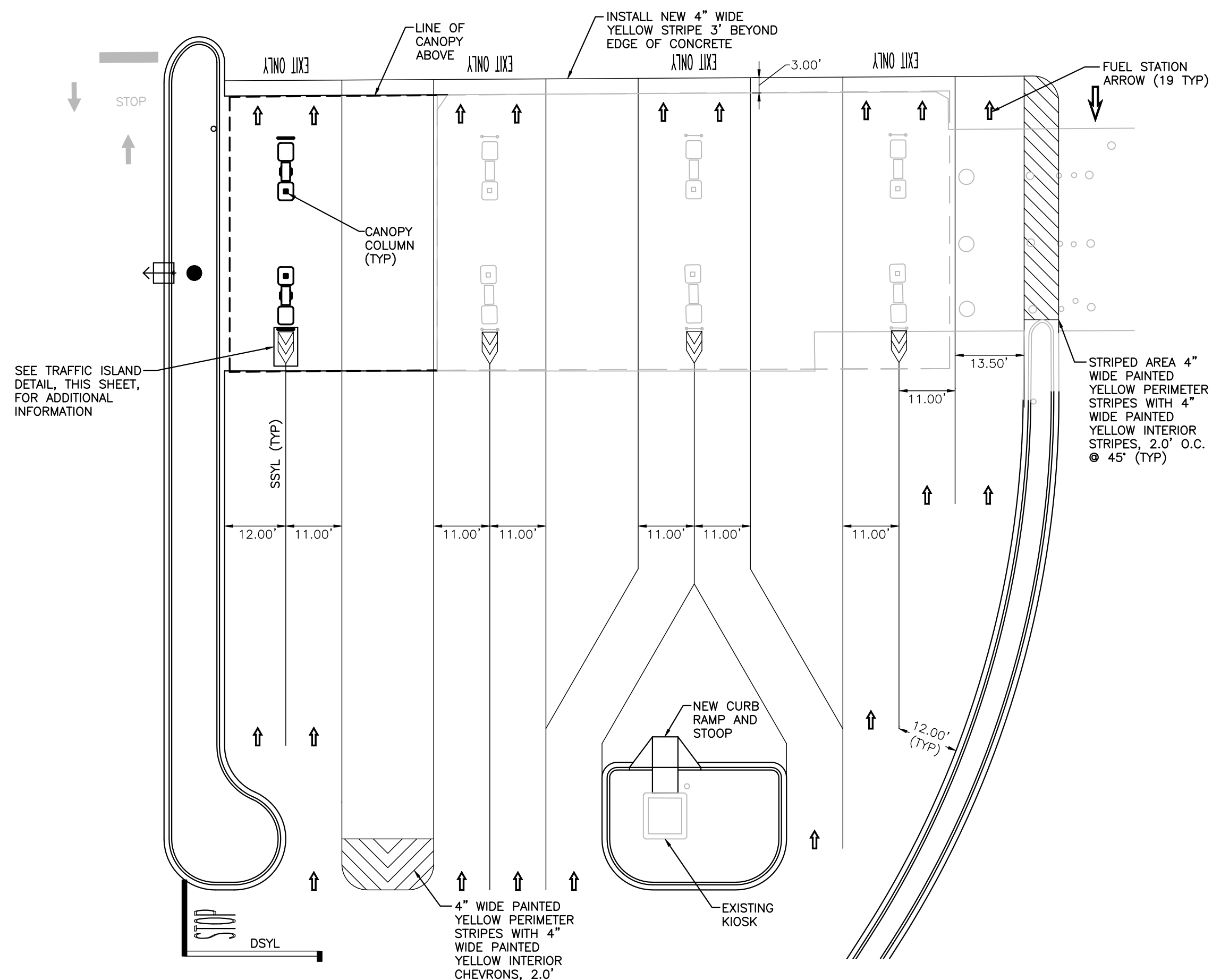


DRAWN	CMQ
CHECKED	BKM
DATE	01/10/24
SCALE	1"=30'
JOB No.	4741-1003
SHEET	2 OF 9 SHEETS

**CONSTRUCTION PLAN**







REVISIONS	BY

**CARLSON CONSULTING ENGINEERS, INC.**

7088 LEDGESTONE COMMONS  
BARTLETT, TENNESSEE 38133  
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BARTLETT, TENNESSEE 38133  
MISSOURI CORPORATION COA #200609899

DEAN L. CARLSON  
REGISTERED PROFESSIONAL ENGINEER  
NUMBER E-28253

SAM'S CLUB #4741-1003  
CRESTWOOD, MISSOURI

SAM'S CLUB  
2101 SE SIMPLE SAVINGS DRIVE  
BENTONVILLE, AR 72716

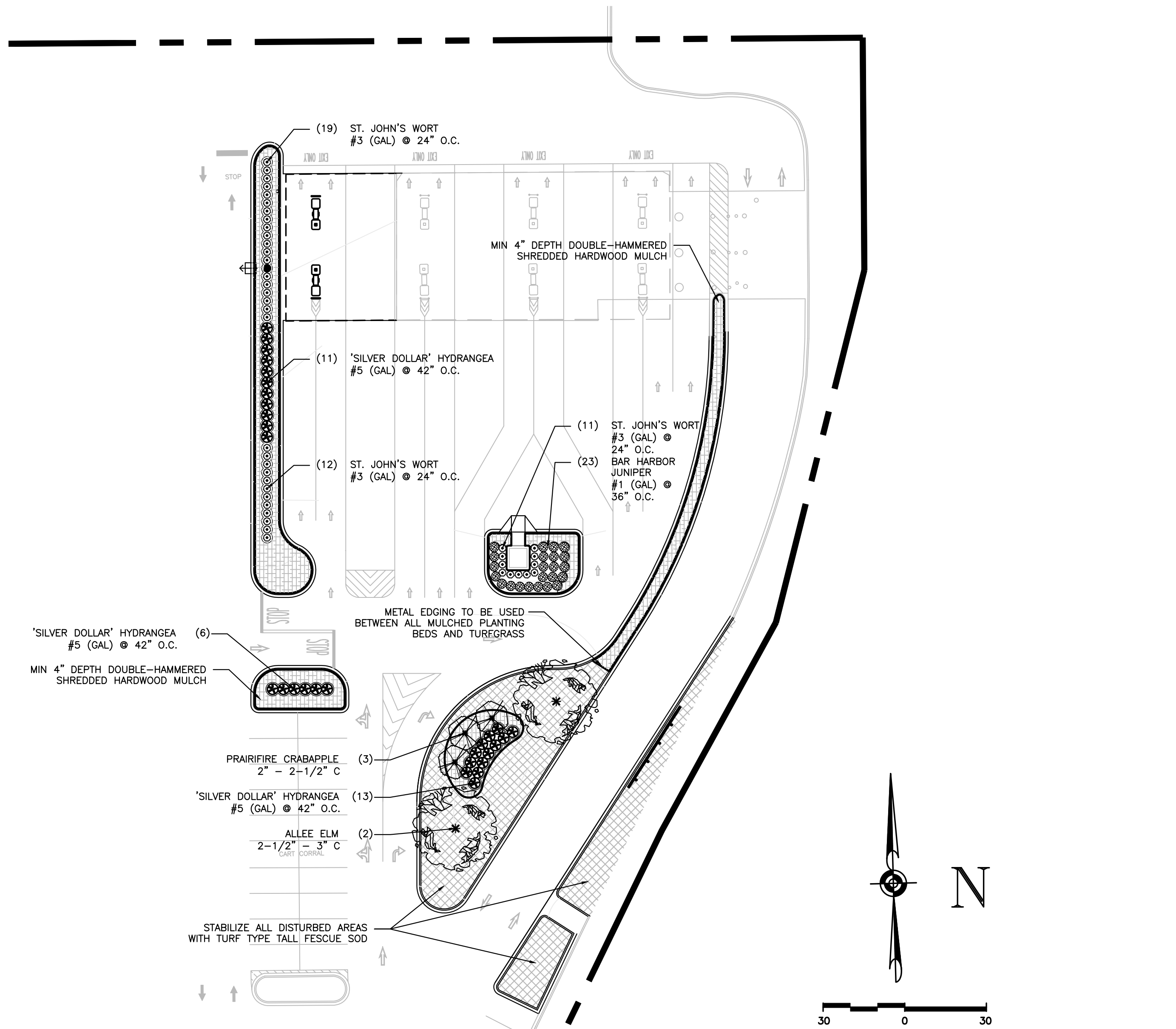
**sam's club**

DRAWN	CMQ
CHECKED	BKM
DATE	01/10/24
SCALE	NTS
JOB No.	4741-1003
SHEET	3 OF 9 SHEETS









**PLANTING PLAN**  
1"=30'

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MAINTENANCE AND A WARRANTY ON ALL PLANT MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE.

ALL UNSURFACED AREAS SHALL RECEIVE A 6" LAYER OF SUITABLE TOPSOIL AND SOD, WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SOD SHALL BE PEGGED ON ALL 3:1 SLOPES OR STEEPER IN ORDER TO HOLD SOD IN PLACE. SEE SITEWORK SPECIFICATIONS FOR OTHER REQUIREMENTS.

UNLESS SHOWN OTHERWISE, ALL LARGE CANOPY TREES SHALL MAINTAIN 25' HORIZONTAL CLEARANCE FROM ALL OVERHEAD UTILITY LINES AND 10' HORIZONTAL CLEARANCE FROM ALL UNDERGROUND UTILITY LINES.

ALL LANDSCAPE AREAS SHALL BE FULLY IRRIGATED AS SHOWN ON THE IRRIGATION PLAN. SEE IRRIGATION PLAN, THIS SET, FOR ADDITIONAL INFORMATION.

TREE PROTECTION FENCING TO BE REMOVED JUST PRIOR TO THE INSTALLATION OF ALL LANDSCAPE PLANTING.

**PLANT SCHEDULE**

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE (BOTH MIN'S TO BE MET)	SPACING	CONDITION	REMARKS
<b>TREES: (ALL TREES TO BE GRADED "FLORIDA FANCY")</b>							
2		ULMUS PARVIFOLIA 'EMER II'	ALLEE ELM	2-1/2" - 3" C / 8' - 10' HT	AS SHOWN	B&B	FULL HEAD w/UNIFORM GROWTH
3		MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	2" - 2-1/2" C / 8' - 10' HT	AS SHOWN	B&B	FULL HEAD w/UNIFORM GROWTH
<b>SHRUBS:</b>							
30		HYDRANGEA PANICULATA 'SILVER DOLLAR'	SILVER DOLLAR HYDRANGEA	#5 (GAL) / 18" - 24" SPD	42" O.C.	CONT	ROUND, FULL HEAD
42		HYPERICUM PERFORATUM	ST. JOHN'S WORT	#3 (GAL) / 12" - 15" SPD	24" O.C.	CONT	ROUND, FULL HEAD
<b>GROUNDCOVERS:</b>							
FILL AREA		FESTUCA ARUNDINACEA	TURF TYPE TALL FESCUE	SOLID SOD	SOLID	SLAB/ROLL	WEED FREE & ACTIVELY GROWING
FILL AREA		SHREDDED HARDWOOD MULCH	DOUBLE - HAMMERED	4" MIN DEPTH	SOLID	BULK	BROWN COLOR - DEPTH TO BE MEASURED AFTER SETTLING
23		JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	#1 (GAL) / 6" - 10" SPD	36" O.C.	CONT	FULL PLANT, NO BROKEN BRANCHES

NOTE: ALL SIZES AND CONDITION OF NURSERY STOCK SHALL MEET THE STANDARDS ESTABLISHED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, OR A MIN. OF FLORIDA NO.1 GRADE, WHICHEVER IS APPLICABLE.

**PARKING LOT ISLAND PREPARATION**

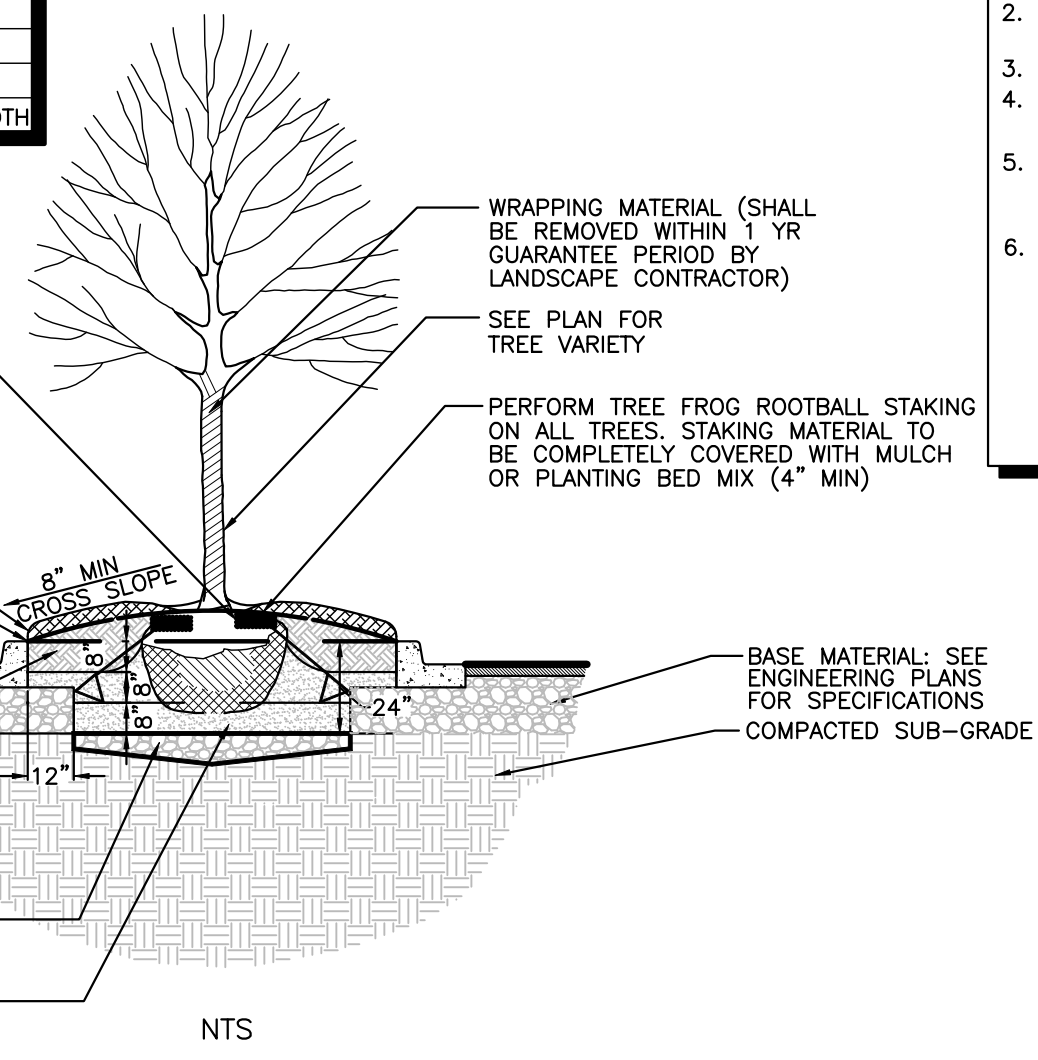
- REMOVE ALL THE COMPACTED STONE AND FILL DIRT OUT OF THE CENTER OF THE ISLANDS DOWN TO A DEPTH OF 28" BELOW THE TOP OF THE CONCRETE CURB. MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS. DO NOT EXCAVATE SUB-GRADES OF ADJACENT PAVING, STRUCTURES, HARDSCAPES, OR OTHER NEW OR EXISTING IMPROVEMENTS.
- SCARIFY SIDES OF EXCAVATION PIT SWEARED OR SMOOTHED DURING EXCAVATION.
- NOTIFY OWNER'S GEC IF SUBSOIL CONDITIONS SHOW SIGNS OF UNEXPECTED WATER SEEPAGE OR RETENTION WITHIN EXCAVATION AREA.
- LINE BOTTOM OF PIT W/ NON-WOVEN GEOTEXTILE FABRIC AND ADD A 4" - 8" LAYER (SLOPED BOTTOM) OF WASHED GRAVEL IN THE BOTTOM OF THE ISLAND TO PROVIDE ADEQUATE DRAINAGE.
- COVER ENTIRE GRAVEL LAYER WITH NON-WOVEN GEOTEXTILE FABRIC.
- ADD 16" LAYER OF SUITABLE TOPSOIL IN 8" LIFTS, TAMP EACH LIFT.
- ADD 8" OF SUITABLE PLANTING BED MIX ON TOP OF THE SUITABLE TOPSOIL. LIGHTLY TAMP THE PLANTING BED MIX AROUND THE BASE OF ALL TREES.
- GRADE AREAS TO FINISH GRADES, FILLING AS NEEDED TO ALLOW POSITIVE DRAINAGE. FLOAT AREAS TO A SMOOTH, UNIFORM GRADE AS INDICATED ON THE DRAWINGS.
- ADD ANOTHER LAYER OF PLANTING BED MIX IN ADDITION TO THE 8" LAYER TO ACHIEVE THE REQUIRED BERMING EFFECT. MAKE SURE TO ADD THE NECESSARY AMOUNT OF PLANTING BED MIX TO ACHIEVE THE CORRECT BERMING HEIGHT.
- INSTALL DEWITT WEED BARRIER ON TOP OF THE PLANTING BED MIX AND PLACE 4" OF SHREDDED HARDWOOD MULCH ACROSS THE ENTIRE ISLAND.

**BERMING CHART**

WIDTH OF ISLAND	BERM HEIGHT
3' - 4'	6"
4' - 6'	8"
6' - 8'	12"
> 8'	1-1/2" / 1'-0" WIDTH

USE THE BERMING CHART ABOVE TO CALCULATE BERM HEIGHTS FOR EACH ISLAND.

TREE FROG - BELOW GROUND SYSTEM ANCHORS ARE TO BE DRIVEN TO DEEPEST POSSIBLE DEPTH ACCORDING TO SOIL TYPE



- NOTES:**
- SEE PLANTING NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
  - PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
  - BRANCHING HEIGHT TO AAN STANDARDS.
  - SEE PLANS & SPECS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
  - CARE SHALL BE TAKEN NOT TO CUT, CRIMP, OR PINCH ANY DRIP IRRIGATION TUBING WHILE INSTALLING TREE FROG TREE STAKING.
  - IN HIGH WIND SITUATIONS, T-POST(S) SHALL BE ADDED IN ADDITION TO THE STAKING SHOWN ON THIS DETAIL AND THE TREE GUYED PERPENDICULAR TO THE TRUNK AT CHEST HEIGHT. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT OR WALMART CONSTRUCTION MANAGER PRIOR TO INSTALLING ANY ABOVE-GROUND STAKING. CONTRACTOR SHALL REMOVE ABOVE-GROUND STAKING AT THE END OF THE WARRANTY PERIOD.

**PLANTING BED MIX:**

- 20% EXISTING APPROVED ON-SITE SOIL
- 15% ORGANIC MATTER
- 40% SAND
- 25% SUITABLE TOPSOIL
- FERTILIZE AS RECOMMENDED BY EXTENSION SERVICE FOR ORNAMENTAL PLANTINGS.

USE ONLY IN ABSENCE OF LOCALLY AVAILABLE LANDSCAPE PLANTING MIX

**TYPICAL ISLAND**

**PLANTING NOTES**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APURTANCES, ETC WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST. NO PLANTING SHALL BE INSTALLED IN CONTACT WITH UTILITIES.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ON THE PROJECT SITE AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS PRIOR TO PROCEEDING.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- ALL LANDSCAPED AREAS SHALL BE SPRAYED WITH HERBICIDE 4 WEEKS PRIOR TO INSTALLATION OF LANDSCAPING. THE EXISTING MATERIAL SHALL BE REMOVED BEFORE ANY INSTALLATION OF PLANT MATERIAL OR SEED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL NEW TREES SHALL HAVE 'MYCOR TREE SAVER' OR EQUAL MYCORIZAL FUNGAL TREATMENT INSTALLED AT RATE RECOMMENDED BY MANUFACTURER AT THE TIME OF INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL SHRUB BED AREAS SHALL RECEIVE A MIN OF 8" OF PLANTING BED MIX AS DESCRIBED IN PLANTING BED PREP DETAIL (THIS PAGE).
- ALL BED AREAS SHALL BE BERMED A MINIMUM OF 8" TO PROMOTE GOOD BED DRAINAGE (AFTER GENTLE TOPSOIL TAMPING). BEDS WILL BE MOUNDED FROM SIDES TO CENTER, PROMOTING GOOD DRAINAGE.
- ALL CONSTRUCTION AREAS TO RECEIVE TURFGRASS SHALL RECEIVE A 4" MIN DEPTH OF SUITABLE TOPSOIL MIX PER DETAILS AND SPECIFICATIONS. RESULTS OF TOPSOIL ANALYSIS ARE TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR THE APPROVAL PRIOR TO ANY TURFGRASS OPERATIONS TAKING PLACE.
- PRIOR TO PLANTING OR SEEDING, MULTIPLE REPRESENTATIVE SAMPLES OF THE TOPSOIL SHALL BE TAKEN AND SENT TO THE STATE EXTENSION AGENCY FOR ANALYSIS. FERTILIZE SUITABLE TOPSOIL IN TURFGRASS AREAS AS PER EXTENSION SERVICE'S RECOMMENDATIONS FOR TURFGRASS SPECIES SPECIFIED ON PLANS. THE PLANTING BED MIX TO BE USED IN SHRUB PLANTING BEDS IS TO BE FERTILIZED AS PER EXTENSION SERVICE'S RECOMMENDATIONS FOR ORNAMENTAL PLANTINGS.
- ALL PLANTING BEDS SHALL HAVE 'SURFLAN' OR EQUAL PRE-EMERGENT HERBICIDE BROADCAST AT RATE RECOMMENDED BY MANUFACTURER.
- PLANTING OPERATIONS SHOULD ONLY TAKE PLACE DURING SUITABLE WEATHER CONDITIONS. PLANTS ARE NOT TO BE INSTALLED WHEN THE SOIL IS EITHER HIGHLY SATURATED OR FROZEN.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE TO REPLACE EACH PLANT NO MORE THAN ONCE EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH THE REQUIREMENTS.
- DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VIABLE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL PLANTING AREAS, SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS, ARE TO BE COMPLETELY COVERED WITH SHREDDED HARDWOOD MULCH AND SHALL MAINTAIN A MINIMUM LAYER OF FOUR INCHES (4") IN DEPTH AFTER SETTLING.
- THERE IS NO SEPARATE PAY ITEM FOR DRESSING OUT SHRUB BEDS OR TREE SAUCERS WITH SHREDDED HARDWOOD MULCH, IT SHALL BE INCLUDED WITH THE COST OF ALL PLANT MATERIALS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- ALL DISTURBED AREAS ARE TO RECEIVE A 4" LAYER OF SUITABLE TOPSOIL AND HYDROSEED AND/OR SOD (WHERE SHOWN). WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.
- ALL PLANT MATERIALS AND WORK SHALL BE UNCONDITIONALLY GUARANTEED IN ACCORDANCE WITH THE FOLLOWING EXTENDED MAINTENANCE/WARRANTY CHART AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.

**EXTENDED MAINTENANCE / WARRANTY CHART**

SUBSTANTIAL COMPLETION DATE	EXTENDED MAINT / WARRANTY EXP	DURATION
DECEMBER	JULY	19 MONTHS
JANUARY	JULY	18 MONTHS
FEBRUARY	JULY	17 MONTHS
MARCH	JULY	16 MONTHS
APRIL	JULY	15 MONTHS
MAY	JULY	14 MONTHS
JUNE	JULY	13 MONTHS
JULY	AUGUST	12 MONTHS
AUGUST	SEPTEMBER	12 MONTHS
SEPTEMBER	OCTOBER	12 MONTHS
OCTOBER	NOVEMBER	12 MONTHS
NOVEMBER	NOVEMBER	12 MONTHS

- PLANTS NOT IN A HEALTHY GROWING CONDITION SHALL BE REMOVED FROM THE SITE AT THE DIRECTION OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS WITH PLANTS AS SPECIFIED FOR THE REMAINDER OF THE WARRANTY.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL GUY WIRES AT THE END OF THE WARRANTY PERIOD.
  - REFER TO SAM'S SITEWORK SPECIFICATIONS FOR ADDITIONAL INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.

**PLANTING NOTES**

ALL MINIMUM SIZES LISTED IN PLANT SCHEDULE SHALL BE MET: CALIPER, HEIGHT, AND ROOT BALL

**SHADE AND FLOWERING TREES**

MEASURED 4" ABOVE GRADE	CALIPER		HEIGHT TYPE 2	MINIMUM DIAMETER BALL	BALL DEPTH
	INCHES	FEET			
1"	8"-10"	6'-7"	16"	12"	
1-1/2"	10"-12"	8'-9"	20"	15"	
2"	12"-14"	8'-10"	24"	16"	
2-1/2"	12"-14"	8'-10"	28"	18"	
3"	14"-16"	10'-12"	32"	19"	
3-1/2"	14"-16"	10'-12"	38"	23"	
4"	16"-18"	10'-12"	42"	25"	
4-1/2"	16"-18"	10'-12"	48"	29"	
5"	18"+	12"+	54"	32"	
5-1/2"	18"+	12"+	57"	34"	
6"	20"+	14"+	60"	36"	
7"	24"+	16"+	70"	42"	
8"	26"+	18"+	80"	48"	

SOURCE: AMERICAN STANDARD FOR NURSERY STOCK  
CALIPER TAKES PRECEDENCE OVER HEIGHT FOR TYPE 1 SHADE TREES. BOTH MINIMUMS MUST BE MET.

**TYPE 1 (LARGE SHADE TREES)**

ACER RUBRUM	PLATANUS SPP
ACER SACCHARUM	QUERCUS SPP
BETULA SPP	TAXODIUM SPP
GINKGO SPP	SALIX SPP
GLEDITSIA SPP	ZELKOVA SPP

**TYPE 2 (MEDIUM/SLOW SHADE TREES)**

AESCULUS SPP	MAGNOLIA GRANDIFLORA
CELTIS SPP	NYSSA SPP
CLADRASTIS LUTEA	OLEA EUROPA
FAGUS SYLVATICA	QUERCUS ALBA
KOELREUTERIA SPP	SORBUS SPP
LABURNUM SPP	TILIA CORDATA
LIQUIDAMBAR SPP	ULMUS PARVIFOLIA

**TYPE 3 (SMALL UPRIGHT TREES)**

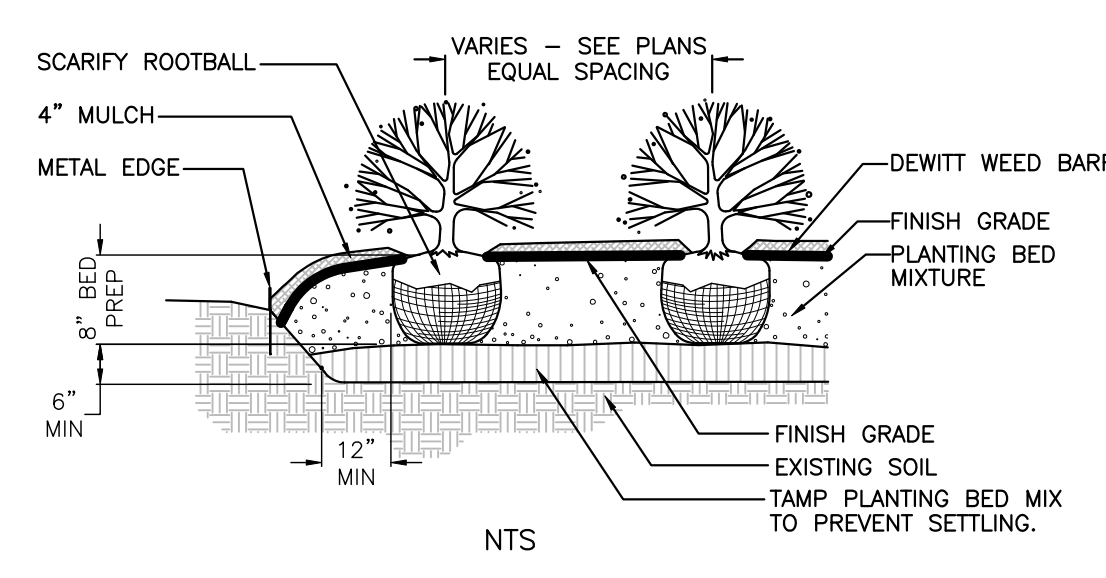
ACER CAMPESTRE	MAGNOLIA VIRGINIANA
AMELANCHIER SPP	PRUNUS SPP
CARPINUS SPP	PYRUS SPP
CERCIS SPP	STYRAX SPP
CRATAEGUS SPP	SYRINGA RETICULATA
OXYDENDRUM SPP	

**TYPE 4 (SMALL SPREADING TREES)**

ACER PALMATUM
ACER GRiseum
CORNUS SPP
LAGERSTROMIA SPP
MAGNOLIA SOULANGIANA
MAGNOLIA STELLATA
VITEX SPP

**TREE SIZE/ROOT BALL RELATIONSHIP**

- TYPICAL BED LAYOUT:**
- LAYOUT PERIMETER PLANTING SPACED AS PER PLAN.
  - FILL IN PLANTING BED WITH TRIANGULAR SPACING.
  - ADJUST AS PER LANDSCAPE ARCHITECT'S INSTRUCTIONS.



\* NOTE: MULCH SHALL BE A 4" LAYER OF SHREDDED HARDWOOD MULCH AFTER SETTLING - UNLESS OTHERWISE NOTED

MULCH TO BE KEPT AWAY FROM THE TRUNK OF ALL PLANT MATERIAL

**SHRUB AND GROUNDCOVER PLANTINGS W/ EDGING**

- PLANTS NOT IN A HEALTHY GROWING CONDITION SHALL BE REMOVED FROM THE SITE AT THE DIRECTION OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS WITH PLANTS AS SPECIFIED FOR THE REMAINDER OF THE WARRANTY.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL GUY WIRES AT THE END OF THE WARRANTY PERIOD.
- REFER TO SAM'S SITEWORK SPECIFICATIONS FOR ADDITIONAL INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.

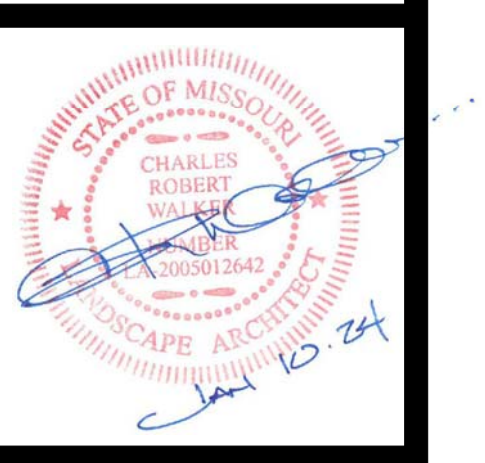
**PLANTING PLAN**

**REVISIONS**

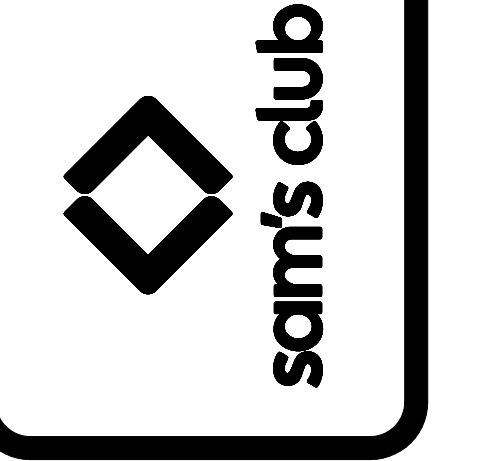
NO.	DATE	BY

**CARLSON CONSULTING ENGINEERS, INC.**

7068 LEDGESTONE COMMONS  
BARTLETT, TENNESSEE 38133  
(901) 368-0417 (FAX)  
MISSOURI CORPORATION COA #200609899



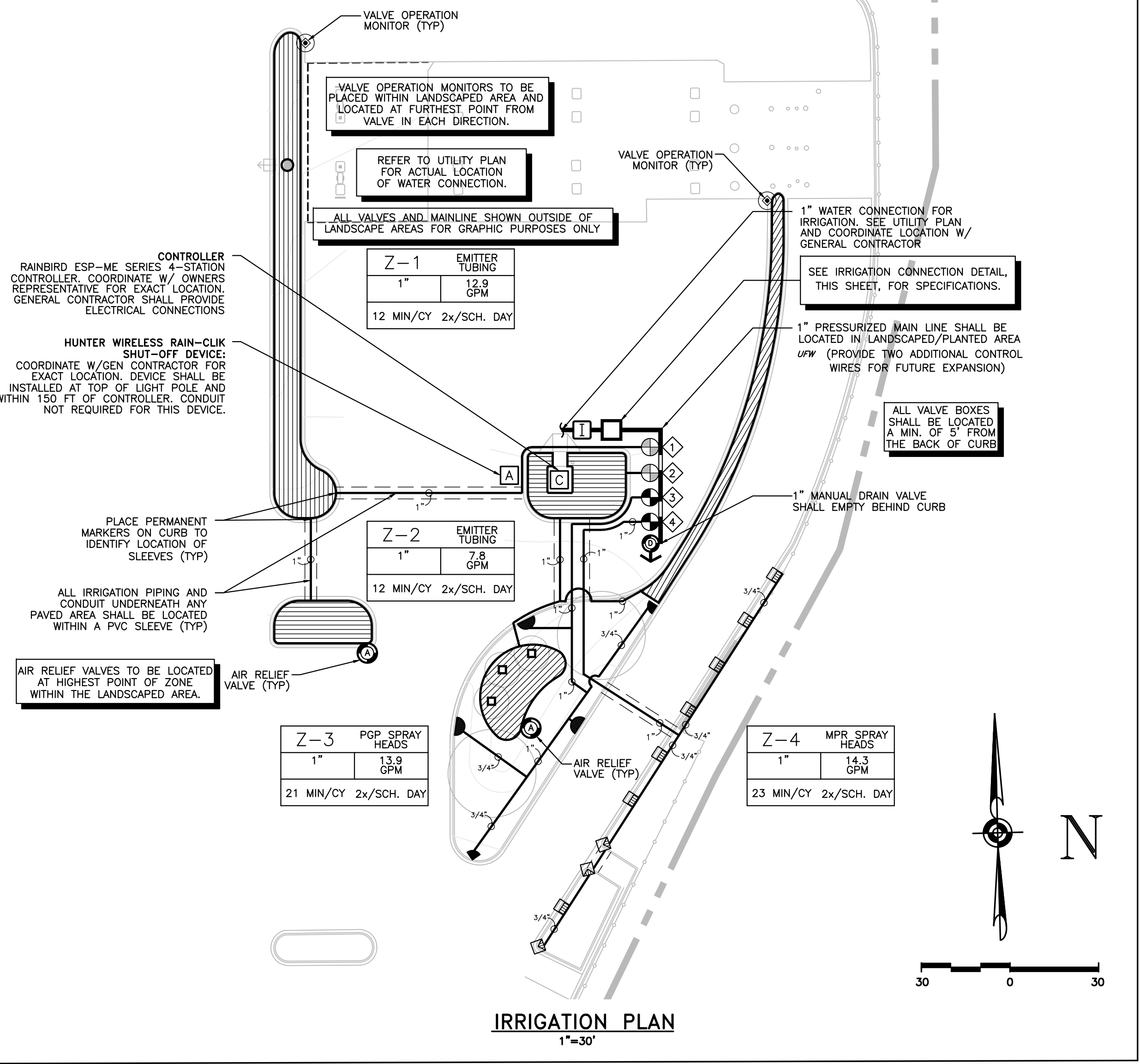
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SAM'S CLUB  
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BENTONVILLE, AR 72716



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1"=30'  
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5 OF 9 SHEETS



**NOTE:**  
PVC LATERAL LINE "SPINE" IN EACH DRIP IRRIGATION ZONE IS TO REDUCE THE LAG TIME AND FACILITATE THE RAPID DISTRIBUTION OF WATER THROUGHOUT EACH ZONE. THE INLINE EMITTER TUBING NETWORK SHALL ONLY CONNECT TO THE PVC LATERAL LINE AS NECESSARY FOR THE EFFICIENT AND UNIFORM DISTRIBUTION OF WATER TO THE PLANTING BEDS. USE OF 1/2" FLEXIBLE TUBING MANIFOLDS ARE RECOMMENDED IN LIEU OF ALL PVC-EMITTER TUBING CONNECTIONS SHOWN



- MAINLINE FOR IRRIGATION SYSTEM SHALL BE BEDED WITHIN TRENCH AS PER WATERLINE SPECIFICATIONS. LATERAL LINES MAY BE AND SHALL BE BACKFILLED AS PER SPECIFICATIONS IN A COMMON TRENCH WITH THE MAIN LINE PROVIDED MINIMUM SEPARATION IS PROVIDED.
- MAINLINE FOR IRRIGATION SYSTEM SHALL NOT ENCR OACH UPON R.O.W. OR OTHER LOTS. ALL COMPONENTS OF THE IRRIGATION SYSTEM SHALL REMAIN ON OWNERS' PROPERTY.
- ALL IRRIGATION HEADS SHALL BE LOCATED SO THAT OTHER SITE FEATURES DO NOT OBSTRUCT SPRAY OF IRRIGATION HEADS.
- GENERAL CONTRACTOR SHALL ENSURE THAT SLEEVES INSTALLED ARE LARGE ENOUGH TO ACCOMMODATE ALL NECESSARY PIPING, AS PER SPECIFICATIONS.
- PERMANENT MARKERS SHALL BE PLACED ON CURBS TO IDENTIFY LOCATIONS OF ALL IRRIGATION SLEEVES.
- CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

THE DOMESTIC STATIC BOR PRESSURE AT THE F.F.E. FOR THIS SITE WAS NOT AVAILABLE WHEN THE IRRIGATION PLAN WAS PREPARED.

THE IRRIGATION SYSTEM REQUIRES A MINIMUM OF: 52.5 PSI FOR EFFICIENT OPERATION.

THE CONTRACTOR SHALL CONFIRM THAT THE AVAILABLE WATER PRESSURE AT THE SITE MEETS THE MINIMUM NECESSARY FOR EFFICIENT OPERATION.

REFER TO THE IRRIGATION NOTES (THIS SET) FOR ADDITIONAL INFORMATION.

**CONTROLLER (RAINBIRD ESP-ME SERIES 4-STATION CONTROLLER) PROGRAMMING SCHEDULE**

IRRIGATION INTERVAL	EVERY DAY		
# OF START TIMES/SCHEDULED DAY	2		
SCHEDULED START TIMES FOR PROGRAM	2:00 AM 3:30 AM		
ZONE	ZONE DESCRIPTION	RUN TIME	TOTAL RUN TIME/SCHEDULED DAY
Z-1	DRIP-WESTERN ISLANDS	12 MIN/CYCLE	24 MIN
Z-2	DRIP-KIOSK & EASTERN ISLAND	12 MIN/CYCLE	24 MIN
Z-3	TURF-EASTERN ISLAND	21 MIN/CYCLE	42 MIN
Z-4	TURF-ACROSS DRIVE	23 MIN/CYCLE	46 MIN
<b>RUN TIME TOTALS</b>		1 HR 08 MIN PER CYCLE	2 HRS 16 MIN PER SCHEDULED DAY

CONTROLLER PROGRAMMING SCHEDULE IS BASED UPON THE BEST KNOWLEDGE OF THE ANTICIPATED POST CONSTRUCTION SITE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING SITE CONDITIONS AND ADJUSTING IRRIGATION WATERING SCHEDULE AS NECESSARY TO MAINTAIN PLANT HEALTH.

**PLANT WATER REQUIREMENTS**

TREES	ETc = 0.18"/DAY	1.23"/WEEK
TURFGRASS	ETc = 0.25"/DAY	1.75"/WEEK
SHRUB PLANTER	ETc = 0.25"/DAY	1.75"/WEEK

**IRRIGATION LEGEND**

CONTRACTOR PROVIDED COMPONENTS

- 4-STATION IRRIGATION CONTROLLER, WALL MOUNTED IN LOCKING CABINET-RAINBIRD ESP-ME SERIES
- WIRELESS RAIN/FREEZE SENSOR - HUNTER MINI-CLK
- IRRIGATION CONNECTION COMPONENTS
- IRRIGATION WATER TAP AND CITY WATER METER ON POTABLE WATER UTILITY LINE WITH BACKFLOW PREVENTER, PROVIDED BY CONTRACTOR. COORDINATE SOURCE LOCATION WITH GENERAL CONTRACTOR. SEE UTILITY PLAN FOR SIZE.
- REDUCED PRESSURE BACKFLOW DEVICE (LINE SIZE), PER LOCAL CODES PROVIDE GREEN FIBERGLASS INSULATED ENCLOSURE, VERIFY EXACT LOCATION IN FIELD. FEBCO 825Y, OR EQUAL.
- ISOLATION VALVE (LINE SIZE). PROVIDE 15" VALVE BOX WITH EXTENSIONS. BRONZE THREAD ON TYPE WITH WHEEL HANDLE.
- BRONZE QUICK COUPLER VALVE (LINE SIZE) MOUNT ON SPEARS PVC IN 15" STANDARD PLASTIC VALVE BOX. "X" IS ZONE DESIGNATION. MOUNT IN 15" RECTANGULAR VALVE BOX. PROVIDE ONE (SIZE APPROPRIATE) OQC PER FOUR QUICK COUPLER VALVES. RAINBIRD 4 RC.
- VALVE OPERATION MONITOR - CAPPED IRRIGATION SPRAY HEAD
- MANUAL DRAIN-VALVE: MAIN LINE SIZE
- AIR RELIEF VALVES WITH REMOVABLE FLUSH CAPS TO BE LOCATED AT ALL ZONES WHERE INLINE EMITTER TUBING IS USED.
- ELECTRIC IRRIGATION VALVE. PLASTIC BODY WITH FLOW CONTROL MOUNTED IN 15" STANDARD PLASTIC VALVE BOX. SIZE INDICATED ON DRAWING RAINBIRD PEB SERIES. "X" IS ZONE DESIGNATION. FOR USE IN TURF ZONES.
- 1" WIDE FLOW VALVE WITH 40 PSI PRESSURE REDUCER MOUNTED IN 15" STANDARD PLASTIC VALVE BOX. "X" IS ZONE DESIGNATION. FOR USE IN ZONES WHERE THE FLOW RATE IS BETWEEN 0.3 GPM AND 20.0 GPM.
- UNDERGROUND FEEDER WIRE NO. 14 AWG DIRECT BURIAL RUN IN CONDUIT.
- PVC SLEEVE SCHEDULE 40 PVC UNDER ALL PAVED SURFACES. SEE SCHEDULE FOR SIZE. PLACE PERMANENT MARKERS ON CURB TO IDENTIFY LOCATION.
- PVC MAINLINE PIPE, SCHEDULE 40, PVC PIPE, 2.5" AND SMALLER-SOLVENT WELD PIPE AND PVC SOLVENT WELD FITTINGS. PVC SLEEVES SHALL BE REQUIRED UNDER SIDEWALKS, CURBS, OR ANY PAVED SURFACES. REFER TO SPECIFICATIONS FOR SIZES OF SLEEVES.
- PVC LATERAL PIPE, CLASS 200, SOLVENT WELD, PVC PIPE FOR PIPE OVER 1" IN DIAMETER. SIZE LATERAL PIPE AS SHOWN AT VELOCITIES OF 5 FEET PER SECOND OR LESS. PVC SLEEVES SHALL BE REQUIRED UNDER SIDEWALKS, CURBS, OR ANY PAVED SURFACES. REFER TO SPECIFICATIONS FOR SIZES OF SLEEVES.
- PVC LATERAL PIPE, CLASS 315, SOLVENT WELD, PVC PIPE FOR PIPE 1" IN DIAMETER OR LESS. SIZE LATERAL PIPE AS SHOWN AT VELOCITIES OF 5 FEET PER SECOND OR LESS. PVC SLEEVES SHALL BE REQUIRED UNDER SIDEWALKS, CURBS, OR ANY PAVED SURFACES. REFER TO SPECIFICATIONS FOR SIZES OF SLEEVES.
- RAINBIRD 1/2" POLYETHYLENE TUBING TO BE EITHER:
  - PRESSURE COMPENSATING INLINE EMITTER TUBING WITH 0.9 GAL/HOUR EMITTERS AT 18" SPACING O.C. OR
  - XBS 1/2" BLANK TUBING, AS LABELED ON PLANS.
- PIPE SIZE - UNLABELED PIPE BETWEEN 2 SIZES SHALL BE THE LARGER SIZE.
- PIPE JOINT
- PIPES CROSS. DO NOT INTERSECT

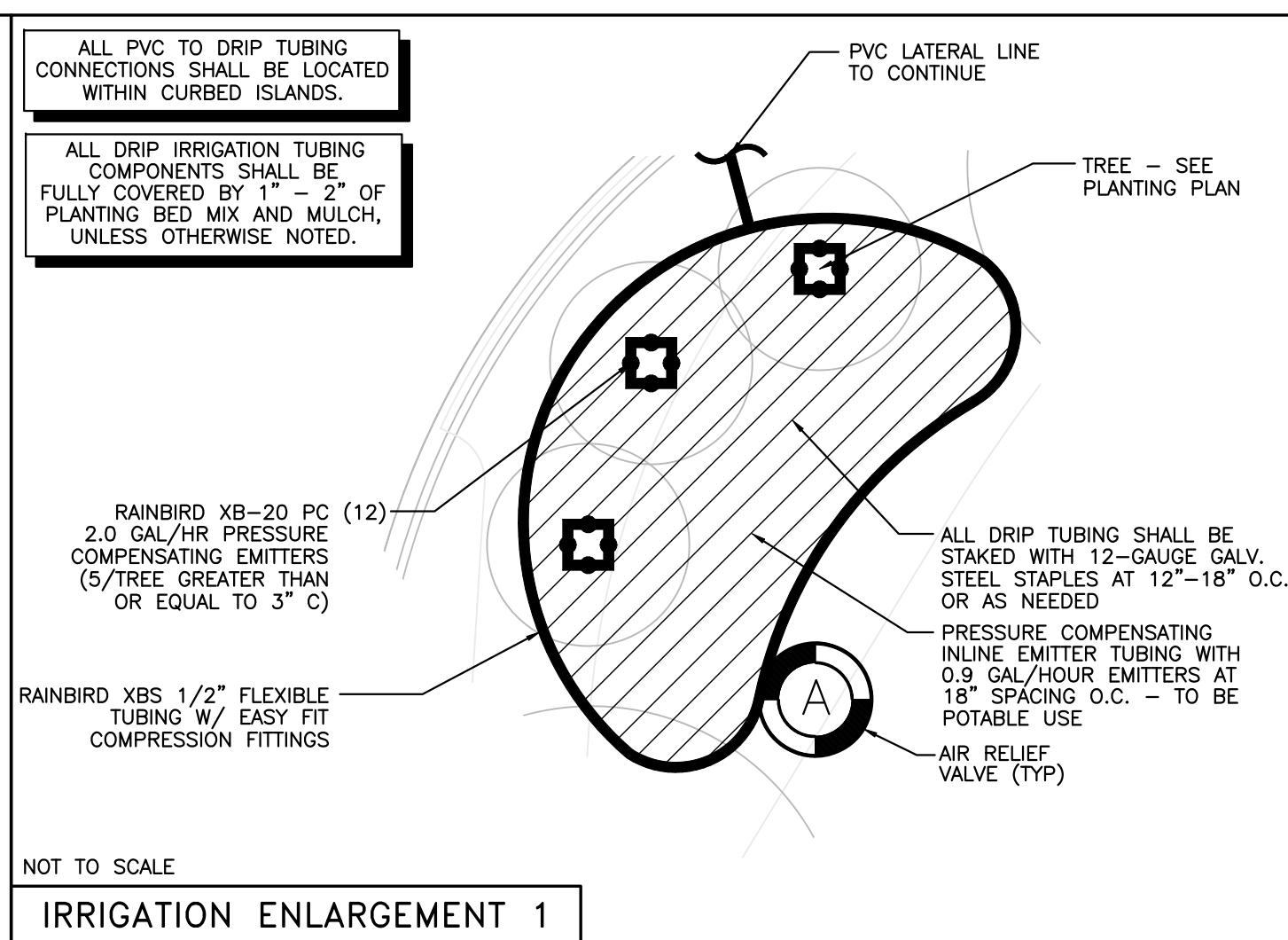
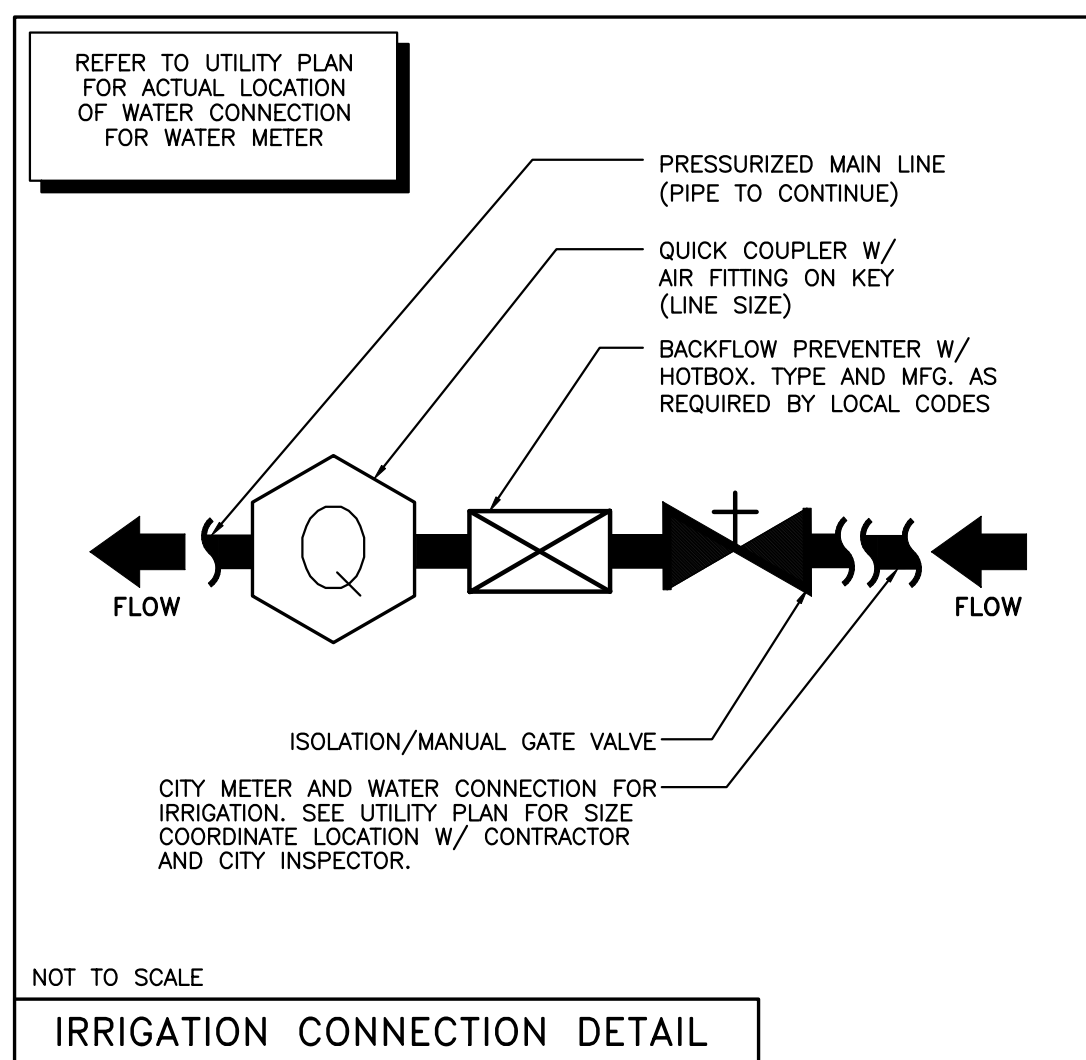
LEGEND FOR ZONE SCHEDULES:

- XX.XX - CONTROLLER STATION NUMBER
- X - GALLONS PER MINUTE
- X - SIZE OF VALVE
- XX.XXX.XX - FREQUENCY AND DURATION OF ZONE RUN TIME

1. THE POINT OF CONNECTION IS A WATERLINE STUBBED AT THE NORTHEAST CORNER OF THE SITE. SERVICE COMES FROM METER AND BACKFLOW PREVENTER.  
2. REFER TO UTILITY PLAN, THIS SET, FOR ADDITIONAL INFORMATION.

**MP ROTATOR INFORMATION**

SYM	MANUFAC.	HEAD	NOZZLE	PSI	GPM	ARC	RADIUS
□	HUNTER	PRS40	MP2000-90'	35	0.37	90'	18'
■	HUNTER	PRS40	MP2000-180'	35	0.69	180'	18'
▣	HUNTER	PRS40	MP2000-210'	35	0.80	210'	18'
▤	HUNTER	PRS40	MP2000-270'	35	1.03	270'	18'
▥	HUNTER	PRS40	MP2000-360'	35	1.37	360'	18'
SYM	MANUFAC.	HEAD	NOZZLE	PSI	GPM	ARC	RADIUS
●	HUNTER	PGP-ULTRA	2.0 BLUE-90'	35	1.7	90'	33'
●	HUNTER	PGP-ULTRA	2.5 BLUE-90'	35	2.1	120'	35'
●	HUNTER	PGP-ULTRA	4.0 BLUE-180'	35	3.5	180'	39'
●	HUNTER	PGP-ULTRA	5.0 BLUE-210'	35	4.5	210'	39'
●	HUNTER	PGP-ULTRA	6.0 BLUE-270'	35	5.6	270'	40'
●	HUNTER	PGP-ULTRA	8.0 BLUE-360'	35	7.0	360'	41'



**REVISIONS**

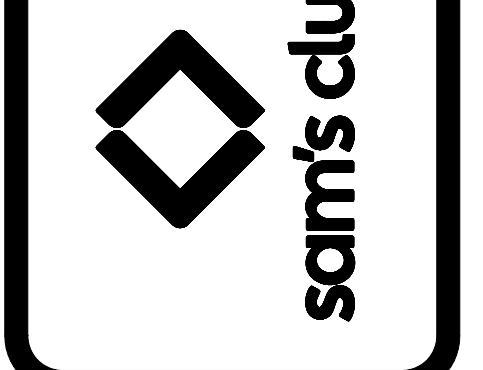
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7088 LEDGESTONE COMMONS  
BARTLETT, TENNESSEE 38133  
TEL: 615.341.3941 FAX: 615.341.3940  
MISSOURI CORPORATION COA #200609899

SAM'S CLUB #4741-1003  
CRESTWOOD, MISSOURI

SAM'S CLUB  
2101 SE SIMPLE SAVINGS DRIVE  
BENTONVILLE, AR 72716



**IRRIGATION PLAN**

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CMQ  
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DATE  
01/10/24  
SCALE  
1"=30'  
JOB No.  
4741-1003  
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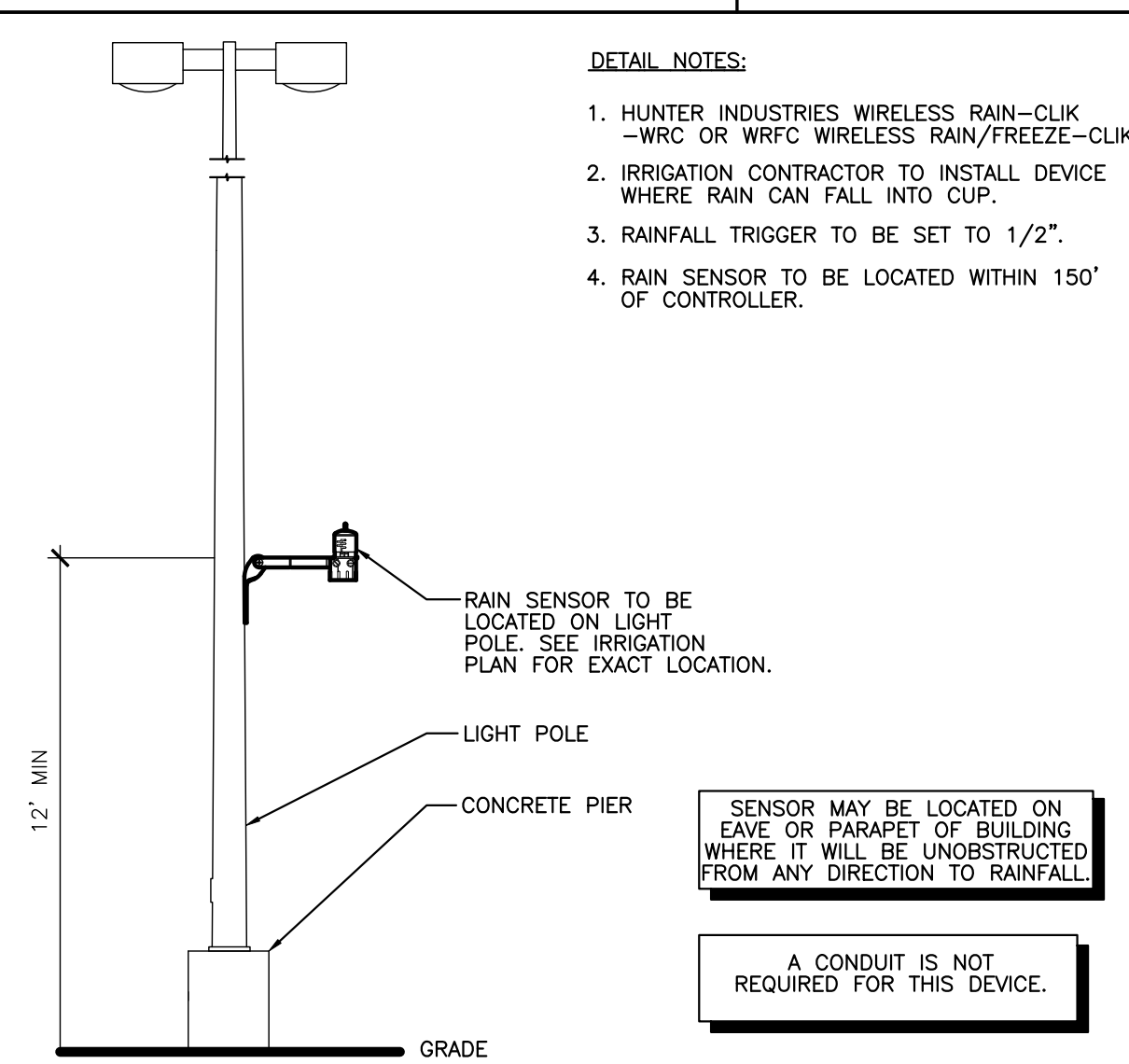
**IRRIGATION NOTES**

1. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR TO FULLY EXECUTE, GUARANTEE, AND MAINTAIN THE SYSTEM AS REQUIRED. THE TOTAL WORK SHOWN ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH SPECIFICATIONS, AND ALSO AS PER INSTRUCTIONS OF THE CONTRACTING OFFICER.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING WORK.
5. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC WHICH OCCURS AS A RESULT OF THE IRRIGATION CONSTRUCTION TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST.
7. NO PART OF THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFLICT WITH UTILITIES. THE CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS IN THE PROPOSED IRRIGATION SYSTEM TO AVOID CONFLICTS WITH EXISTING STRUCTURES, PAVING, AND UTILITIES.
8. ALL CALCULATIONS INDICATED ON THIS SHEET ARE SAMPLE CALCULATIONS AND SHOULD NOT BE CONSTRUED AS ACCURATE.
9. 53.3 PSI STATIC WATER PRESSURE IS REQUIRED FOR THE EFFICIENT OPERATION OF THE IRRIGATION SYSTEM AS DESIGNED. VERIFY 55.0 PSI STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT IF THE MINIMUM WATER PRESSURE IS NOT AVAILABLE.
10. IRRIGATION CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN MINIMUM REQUIRED WATER PRESSURE.
11. IF STATIC WATER PRESSURES ARE NOT ADEQUATE, TO OPERATE IRRIGATION SYSTEM, A PUMP SYSTEM IS TO BE DESIGNED BY AN IRRIGATION SYSTEM DESIGNER. IRRIGATION PUMP MUST BE INSTALLED MUST BE COORDINATED WITH THE ELECTRICAL CONTRACTOR. PUMP MUST BE INSTALLED WITH A TAMPER PROOF ENCLOSURE.
12. IF STATIC WATER PRESSURES EXCEEDS 75 PSI, PRESSURE COMPENSATING HEADS MUST BE USED.
13. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY SHALL HAVE A WATTS, FEBCO, OR WILKINS REDUCED PRESSURE BACKFLOW PREVENTER (ASSE# 1013) INSTALLED, OR AS REQUIRED BY LOCAL CODES.
14. ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION.
15. THE LOCATION OF THE AUTOMATIC CONTROL CLOCK IS GENERALLY INDICATED ON THE DRAWING AND WILL BE SPECIFICALLY LOCATED ON-SITE BY THE CONTRACTING OFFICER. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL CONNECTIONS FROM CONTROL VALVES TO THE CONTROL CLOCK.
16. EACH CONTROL CLOCK HAS STATIONS THAT ARE NOT BEING UTILIZED. THERE IS TO BE A FIELD WIRE INSTALLED TO THE FURTEST CONTROL VALVE IN ANY ONE DIRECTION FROM THE CONTROL CLOCK. FOR EVERY VACANT STATION PLUS WIRE IS TO BE INSTALLED IN CASE OF A FAULTY WIRE.
17. VALVE WIRE SHALL BE #14 GAUGE UL-UF SINGLE STRAND DIRECT BURIAL COPPER RUN IN A BURIED CONDUIT. ALL SPIRES ARE TO BE MADE WITH MANUFACTURER'S PACKAGED KIT CONSISTING OF INSULATING, SPRING-TYPE CONNECTOR OR CRIMPED JOINT AND EPOXY RESIN MOISTURE SEAL, SUITABLE FOR DIRECT BURIAL. COIL WIRE EVERY 100' FOR EXPANSION AND CONTRACTION PURPOSES.
18. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO HAVE ALL PLANTING AREAS FLAGGED BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION. REFER TO THE PLANTING PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
19. EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
20. THE CONTRACTOR SHALL PROTECT ALL EXISTING LANDSCAPE IMPROVEMENTS DURING THE EXECUTION OF THIS WORK. NO SOIL SHALL BE PLACED DIRECTLY UPON EXISTING LANDSCAPING. ANY MATERIALS WHICH, IN THE OPINION OF THE LANDSCAPE ARCHITECT, ARE DAMAGED DURING THE EXECUTION OF THIS WORK SHALL BE IMMEDIATELY REPLACED BY THE IRRIGATION CONTRACTOR AT HIS EXPENSE.
21. LINE LOCATIONS AS INDICATED ON THE PLAN ARE SCHEMATIC. THE CONTRACTOR SHALL LOCATE ALL LINES IN SUCH A WAY AS TO AVOID THE LEAST CONFLICT WITH THE LOCATION OF OTHER SITE AMENITIES. LINES MAY BE SHOWN OFFSET IN SOME HARDSCAPE AREAS AND OUTSIDE OF PROPERTY LINES FOR GRAPHIC CLARITY ONLY. ADJUST HEADS AND LINE LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB COVERAGE AND ACHIEVE COMPLETE COVERAGE. PIPE LINES DRAWN SIDE BY SIDE MAY BE LAID IN THE SAME TRENCH, BUT THEY MUST MAINTAIN A MINIMUM OF 3" HORIZONTAL AND VERTICAL CLEARANCE FROM ALL OTHER PIPES.
22. ALL HEADS, VALVES, AND ACCESSORIES SHALL BE NELSON, HUNTER, RAIN BIRD, OR APPROVED EQUAL.
23. ALL CONTROL VALVES, GATE VALVES, AND QUICK COUPLERS SHALL BE INSTALLED IN LOCKING VALVE BOXES.
24. ALL VALVE BOXES ARE TO BE LOCATED IN PLANT BED OR NATURAL AREAS WHENEVER POSSIBLE.
25. ALL MAIN LINES AND SLEEVES SHALL BE SCHEDULE 40 PVC, ALL LATERAL LINES SHALL BE 125 PSI, STANDARD INSIDE DIMENSION RATIO (SIDR) 11.5 POLYETHYLENE PIPE.
26. POLYETHYLENE (PE) PIPE SHALL BE CONNECTED WITH BARBED FITTINGS AND CLAMPED WITH STAINLESS STEEL CLAMPS. THE CLAMP SHOULD BE PLACED OVER THE BARBED PORTION. FOR PIPES 1-1/2" AND LARGER, TWO STAINLESS STEEL CLAMPS PER BARB SHALL BE USED.
27. ALL MAIN LINES SHALL BE INSTALLED A MAXIMUM OF 2' FROM THE BACK OF CURB WHERE POSSIBLE. LATERAL LINES SHALL BE INSTALLED LIKEWISE WHERE POSSIBLE.
28. ALL LINES LOCATED BENEATH WALKS, CURBS, OR CONCRETE PAVING SHALL BE LOCATED WITHIN SLEEVES. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL UNDER PAVING SLEEVING IS TO BE ACCESSIBLE AND FREE OF OBSTRUCTION. SLEEVE SIZES ARE TO BE ACCORDING TO THE ATTACHED SLEEVE SCHEDULE. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL. UNSIZED PIPE BETWEEN TWO (2) GIVEN SIZES IS ASSUMED TO BE THE LARGER SIZE.
29. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR AND WITHIN 1/2" OF FINISHED GRADES. ALL SPRINKLER HEADS SHALL BE INSTALLED A MINIMUM OF EIGHTEEN INCHES FROM THE BACK OF CURBS AND A MINIMUM OF TWO INCHES FROM SIDEWALKS.
30. ALL IRRIGATION HEADS AT THE LOWER ELEVATIONS OF EACH CONTROL VALVE ZONE SHALL HAVE POP-UP BODIES WITH BUILT-IN CHECK VALVES TO PREVENT LOW HEAD DRAINAGE.
31. EACH CONTROL VALVE ZONE SHALL HAVE AN AUTOMATIC DRAIN VALVE AND A 12" x 24" GRAVEL SUMP INSTALLED AT THE LOWEST POINT WITHIN THE ZONE.
32. ALL RISERS SHALL BE INSTALLED 18" FROM ANY WALL AND A MINIMUM OF 12" FROM ANY SIDEWALK OR ROAD AND SHALL HAVE 2 COATS OF SEMI-FLAT BLACK ENAMEL PAINT.
33. THE CONTRACTOR SHALL ADJUST THE RADIUS AND ARC OF EACH HEAD TO PROVIDE 100% COVERAGE OF ALL PLANTED OR GRASSED ISLANDS, TO MINIMIZE "OVERTHROW", AND TO ELIMINATE DRY SPOTS.
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF ADDITIONAL HEADS TO COVER "DRY SPOTS" OR SLIGHT VARIATIONS FROM THE PLAN TO THE SITE. THE IRRIGATION CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN FOR APPROVAL.
35. THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING.
36. FINAL ADJUSTMENTS TO IRRIGATION SYSTEM & SPRAY PATTERNS ARE TO BE MADE PRIOR TO FINAL INSPECTION.
37. ALL BACKFILLED TRENCHES SHALL BE THOROUGHLY COMPACTED. SEE SPECIFICATIONS FOR BACKFILL MATERIAL AND COMPACTION REQUIREMENTS.
38. THE CONTRACTOR SHALL SET THE IRRIGATION CONTROL SYSTEM TO OPERATE BETWEEN THE HOURS OF 2:00 am AND 6:00 am OR AS DIRECTED BY STORE MANAGER.
39. IRRIGATION CONTRACTOR SHALL OPTIMIZE WATER USAGE AND WATER CONSERVATION TIME ALLOTTED FOR INDIVIDUAL ZONE OPERATION SHALL ALLOW FOR WATER PENETRATION TO A MINIMUM DEPTH OF 8" IN SHRUB BEDS AND 6" IN TURF AREAS.
40. IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH THE OWNER'S REPRESENTATIVE.
41. THE CONTRACTOR SHALL BE RESPONSIBLE AT TIME OF COMPLETION FOR PROVIDING "AS BUILT" DRAWINGS TO INCLUDE THE EXACT LOCATIONS OF ALL CONTROL VALVES (AUTOMATIC AND MANUAL), QUICK COUPLER VALVES, BACKFLOW DEVICES, AND CONTROLLER, WITH TRIANGULATED MEASUREMENTS TO EACH, AS WELL AS ANY DEVIATIONS IN LOCATIONS OF PIPING AND HEADS REPRESENTED AS REPRESENTED BY THE CONTRACT DOCUMENTS.
42. ALL WORK, ADJUSTMENTS, AND INSPECTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
43. REFER TO SITEMARK SPECIFICATIONS FOR ADDITIONAL INFORMATION NEEDED FOR IMPLEMENTATION OF IRRIGATION PLANS.

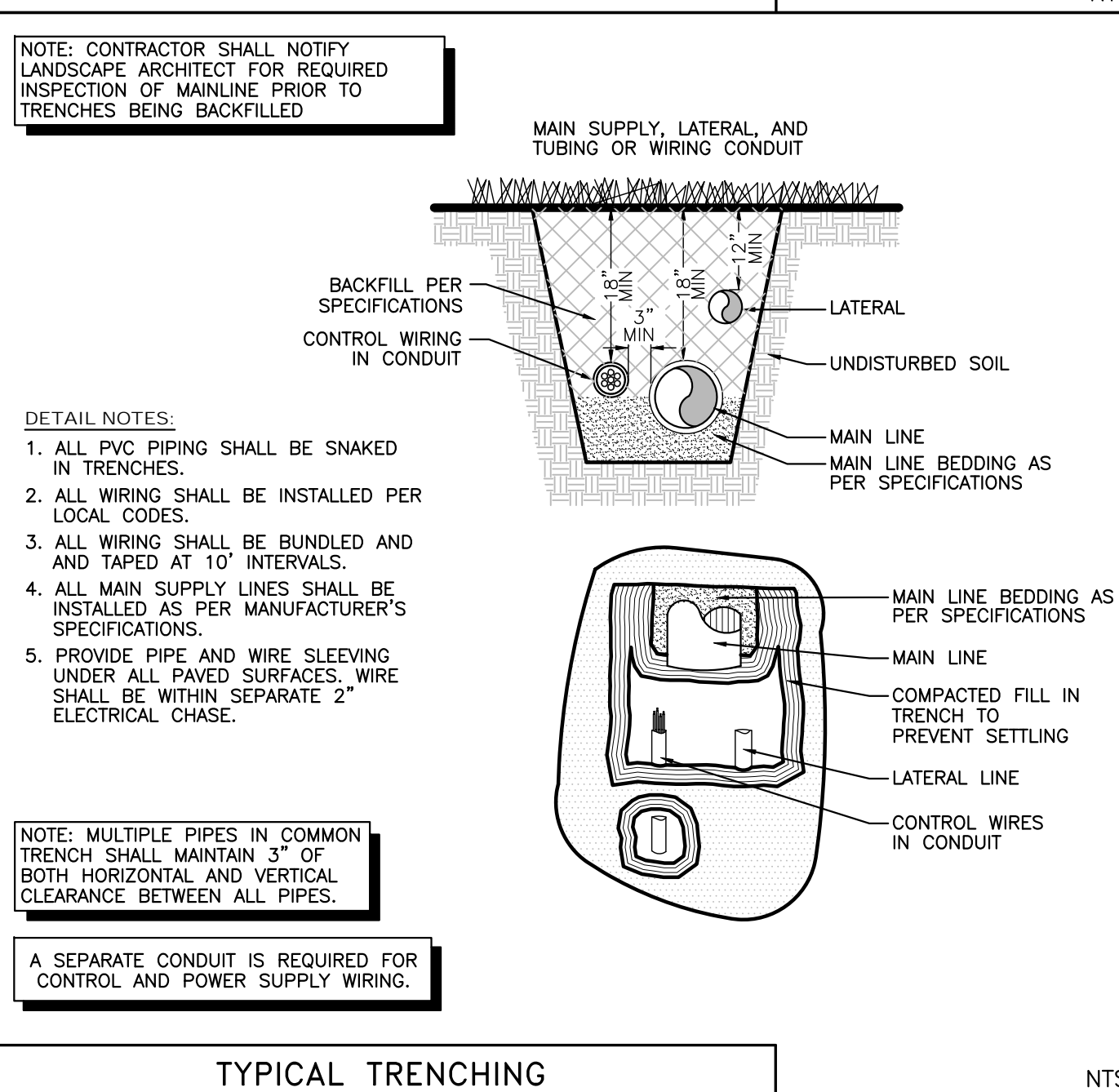
**IRRIGATION NOTES**

**VALVE SCHEDULE:**  
SMALLER THAN 3": FULL PORT BRASS BALL VALVE WITH 600 WOG RATING.  
3" OR LARGER: CAST IRON AND BRONZE MECHANICAL JOINT VALVE.

**MANUAL ISOLATION VALVE**

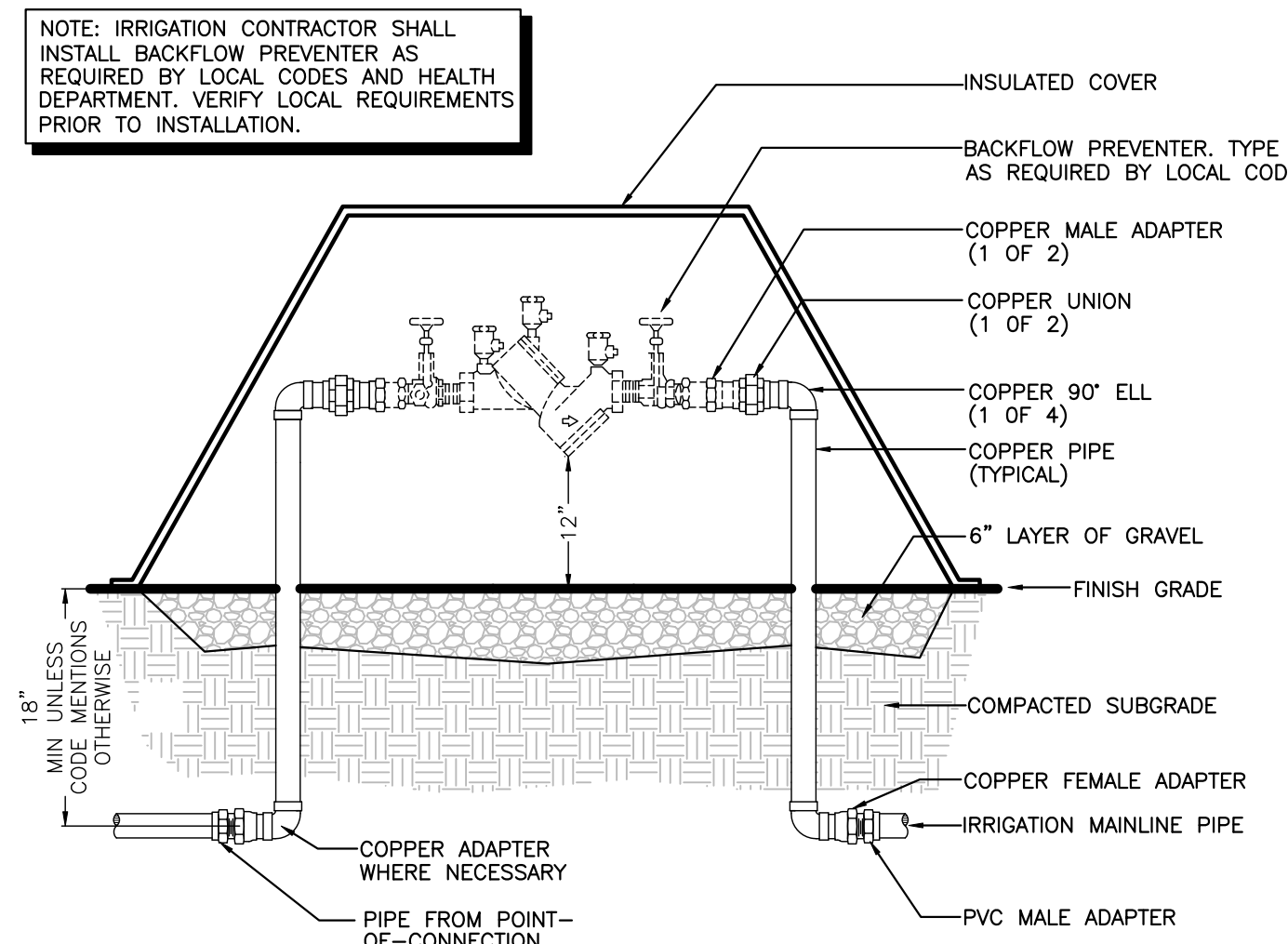


**AUTOMATIC RAIN SHUT-OFF DEVICE**

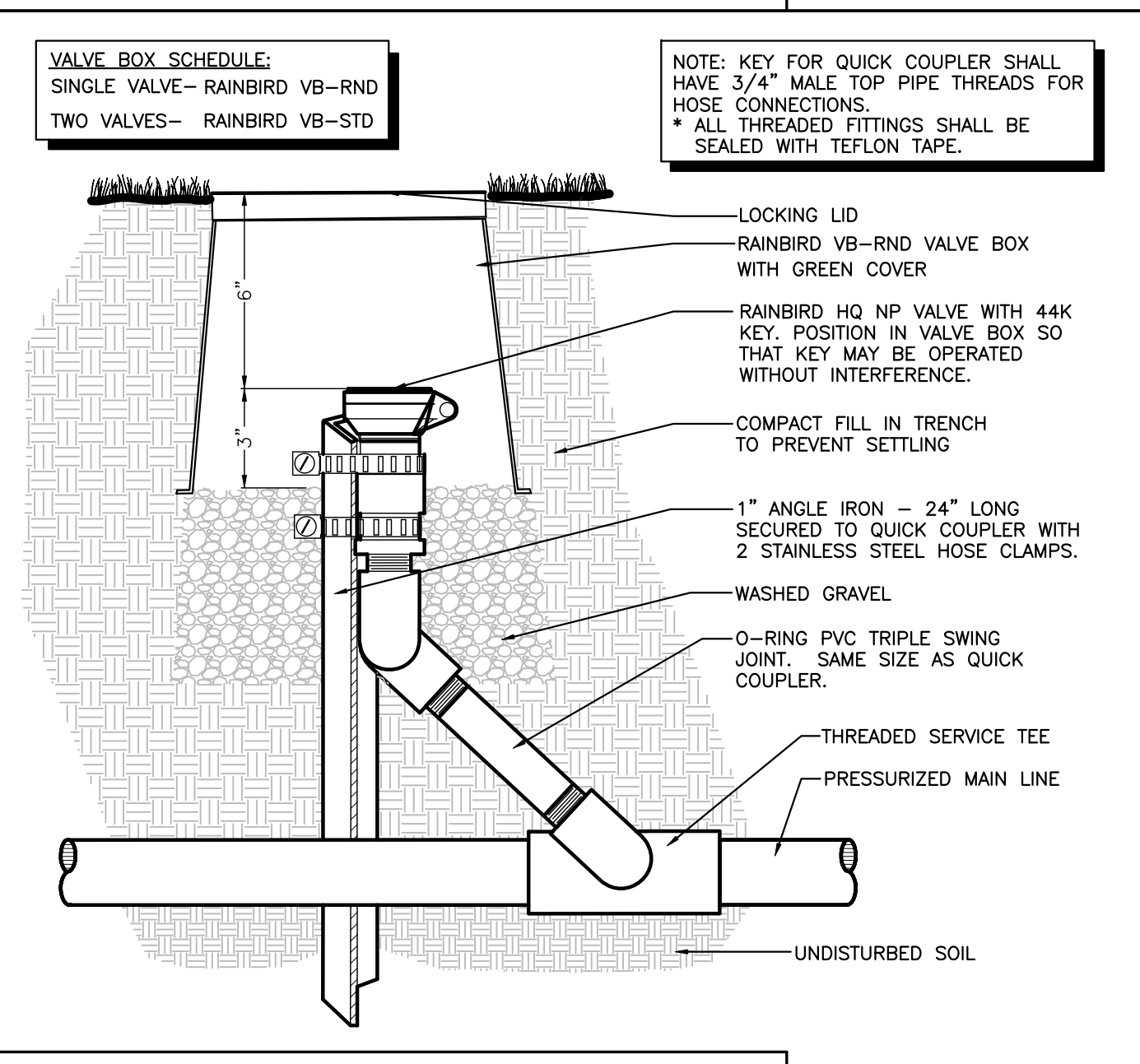


**TYPICAL TRENCHING**

NTS

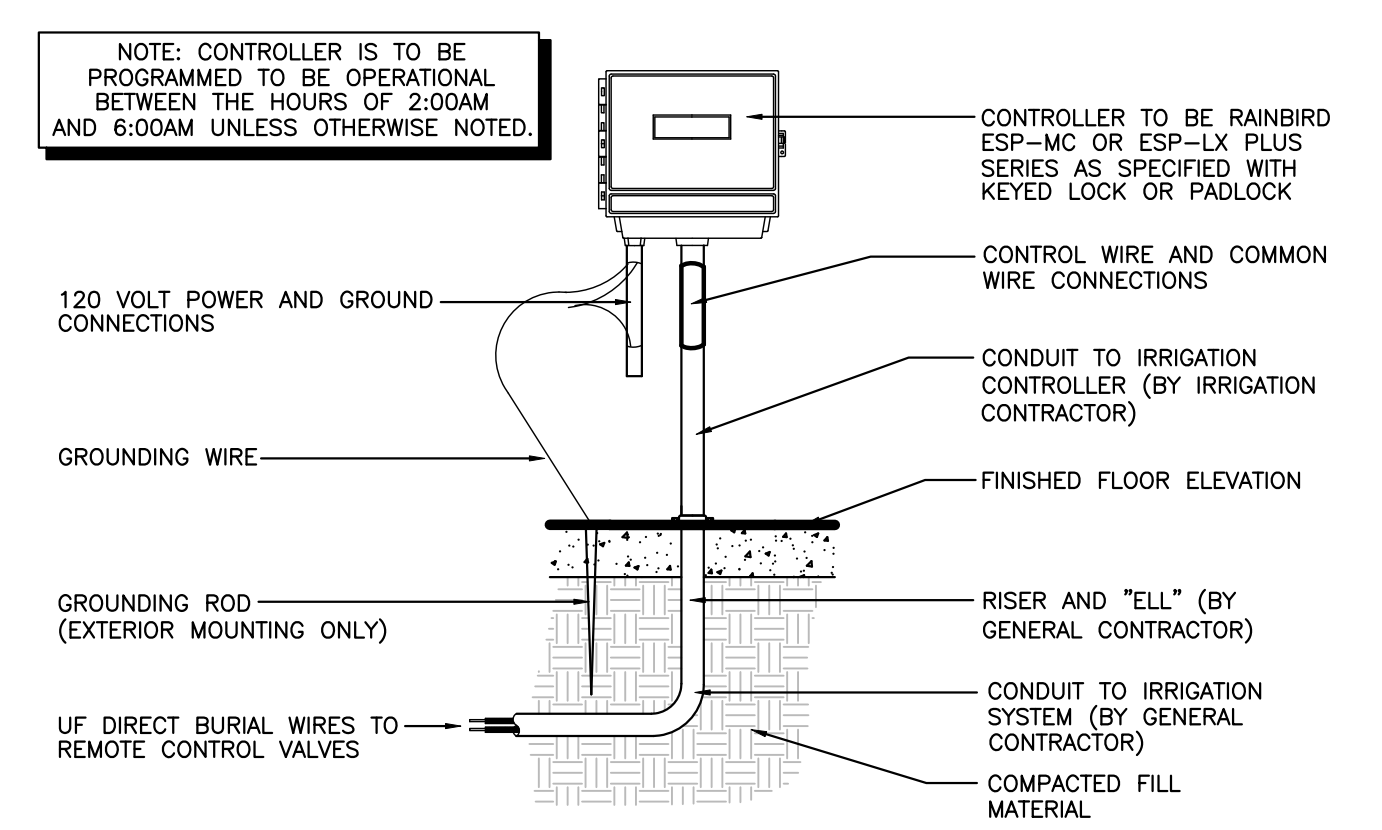


**BACKFLOW PREVENTER**

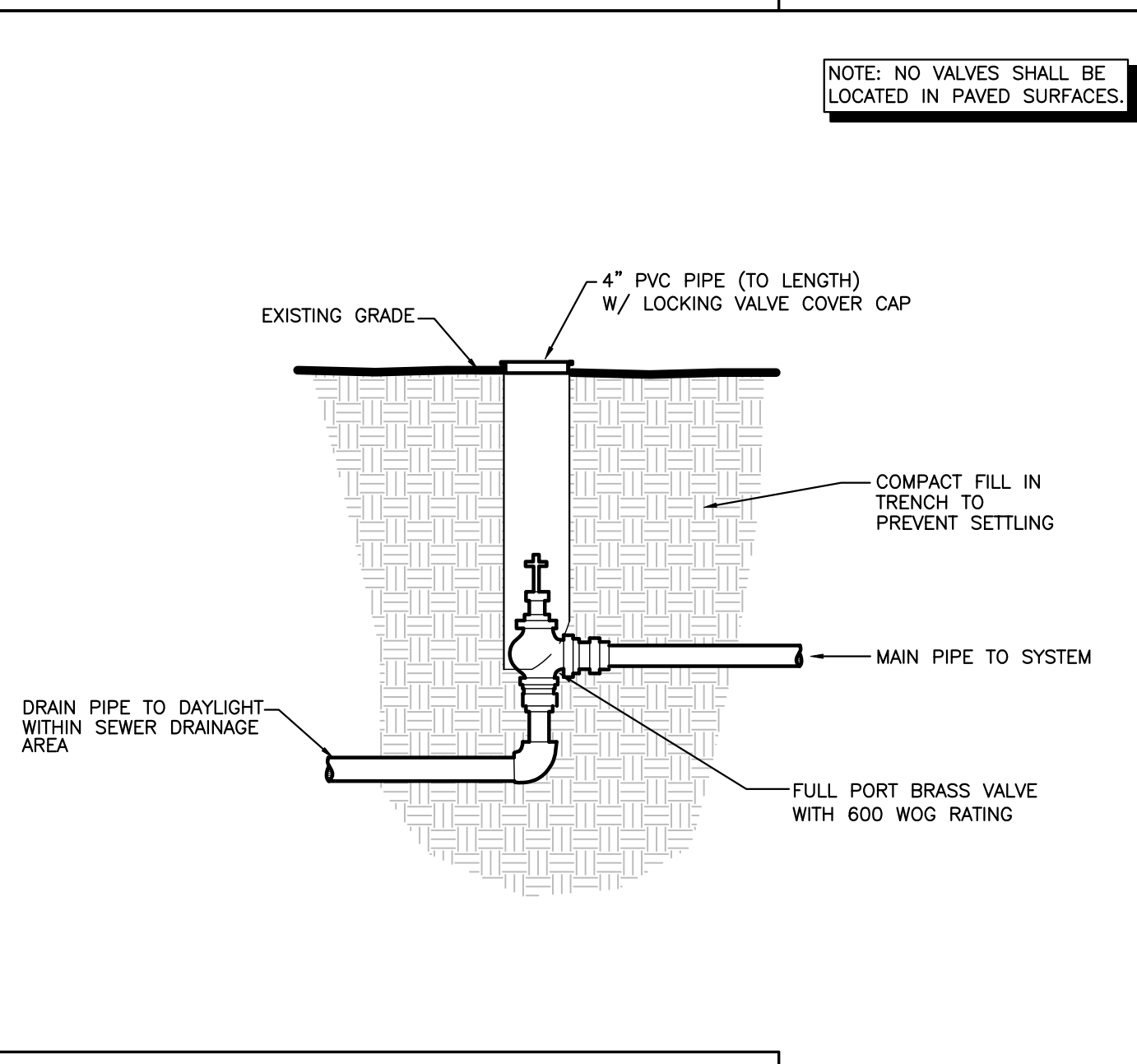


**QUICK COUPLER VALVE**

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**WALL MOUNTED CONTROLLER**

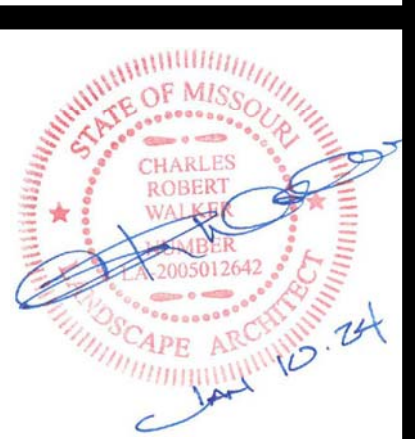


**MANUAL DRAIN VALVE**

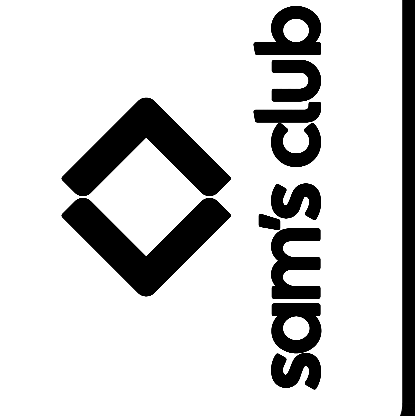
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REVISIONS	BY

**CARLSON CONSULTING ENGINEERS, INC.**  
7088 LEDGESTONE COMMONS  
BARTLETT, TENNESSEE 38133  
TEL: 615-891-5000 FAX: 615-891-5001  
MISSOURI CORPORATION COA #2006069899



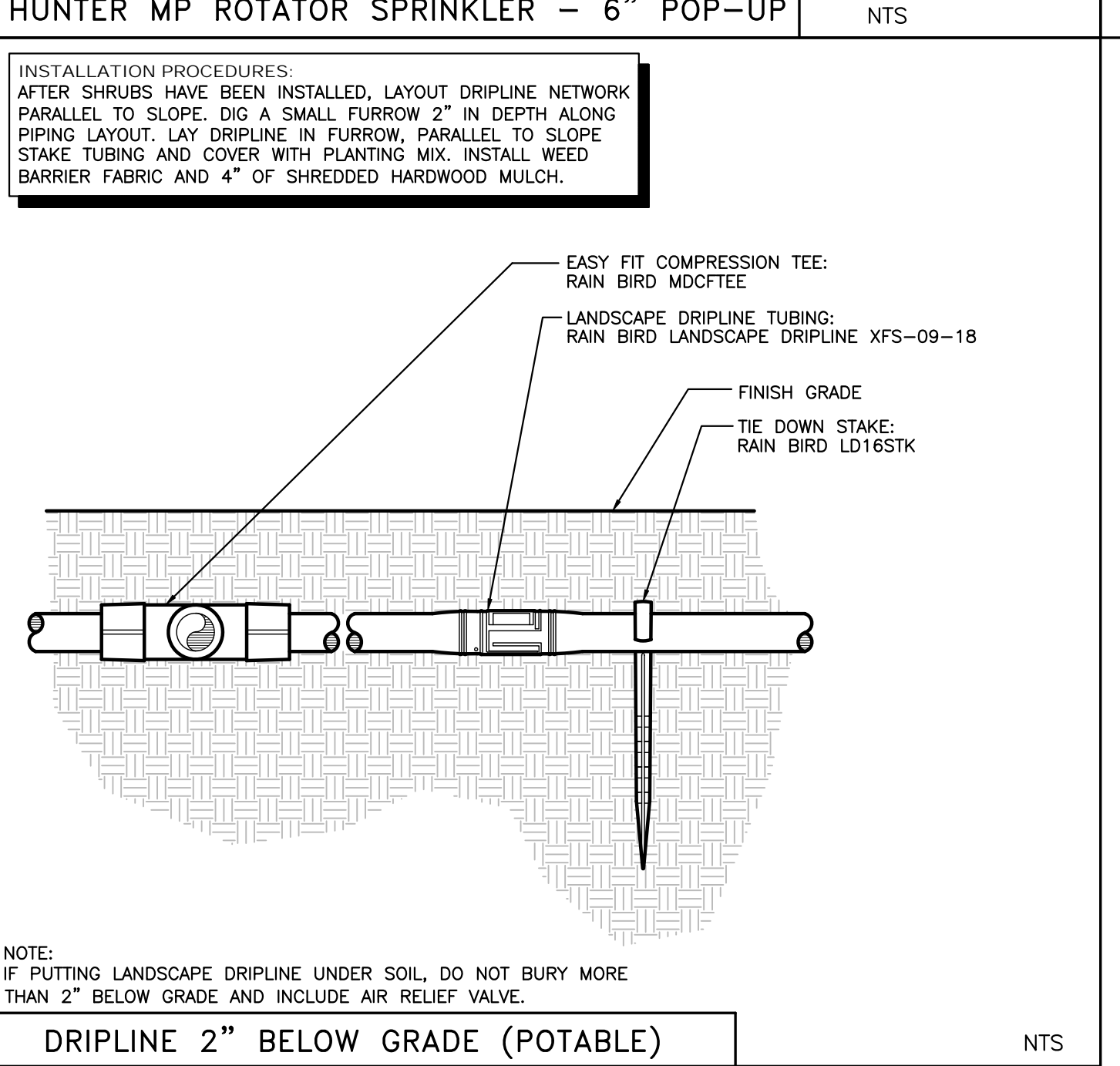
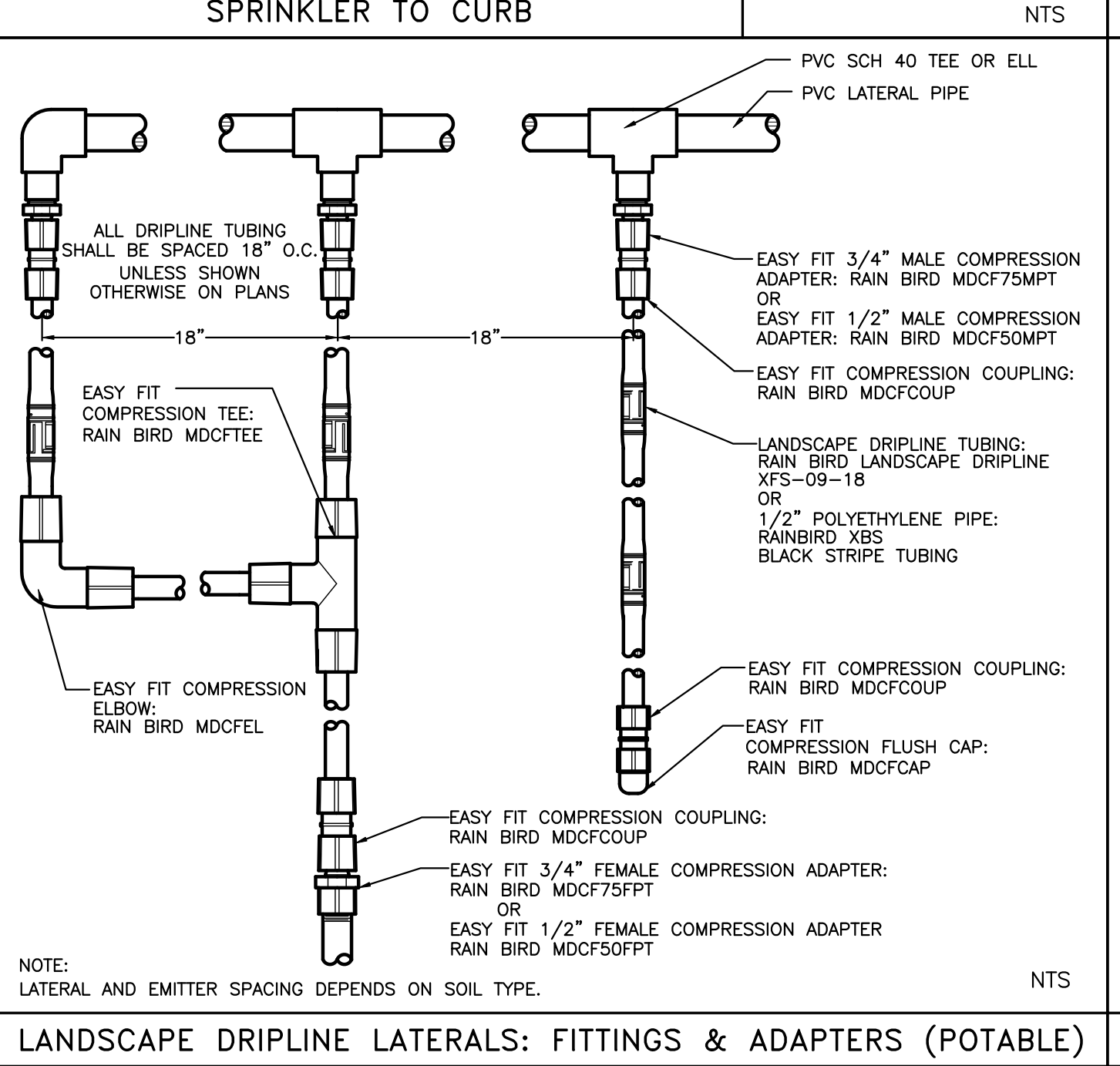
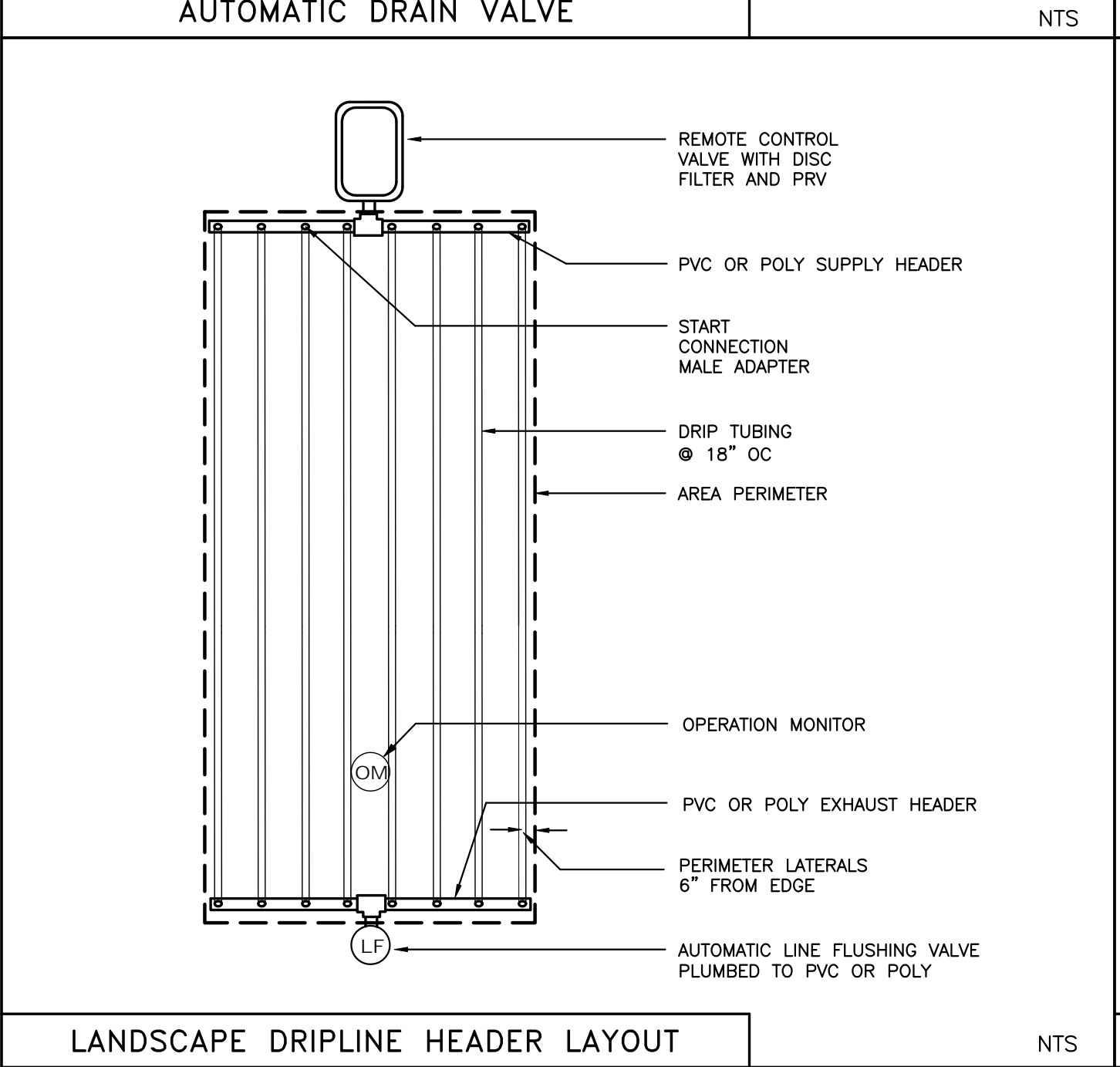
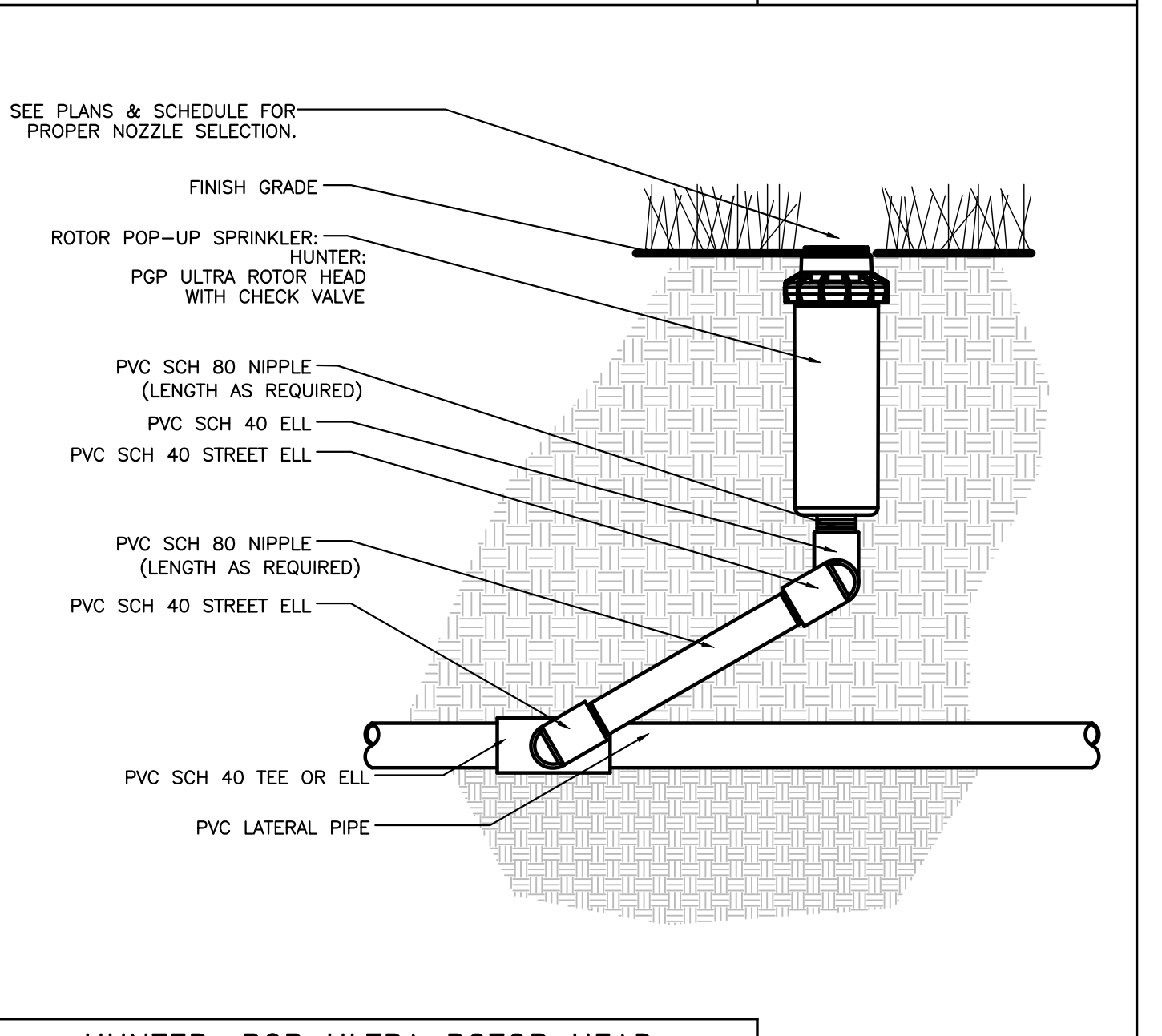
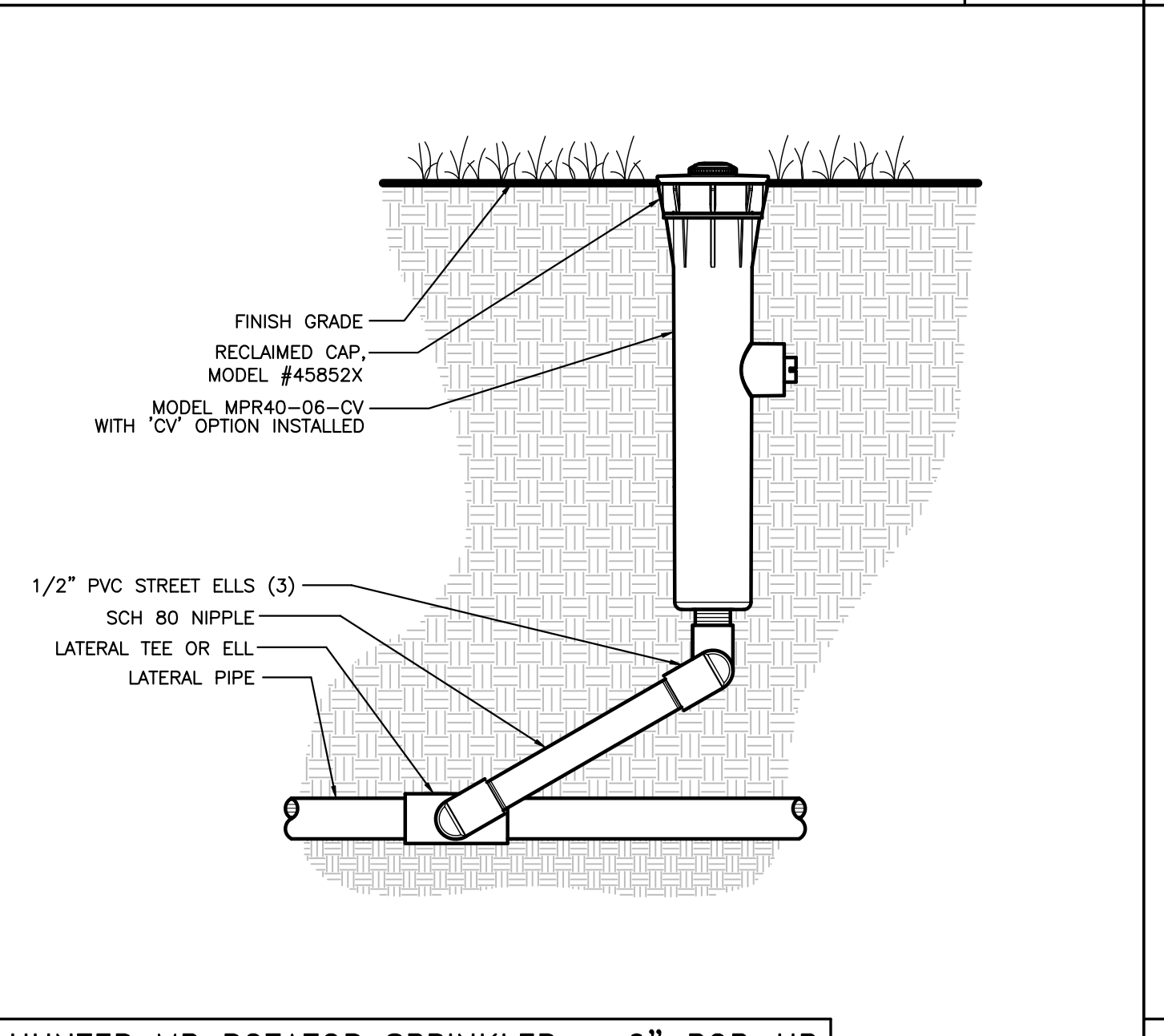
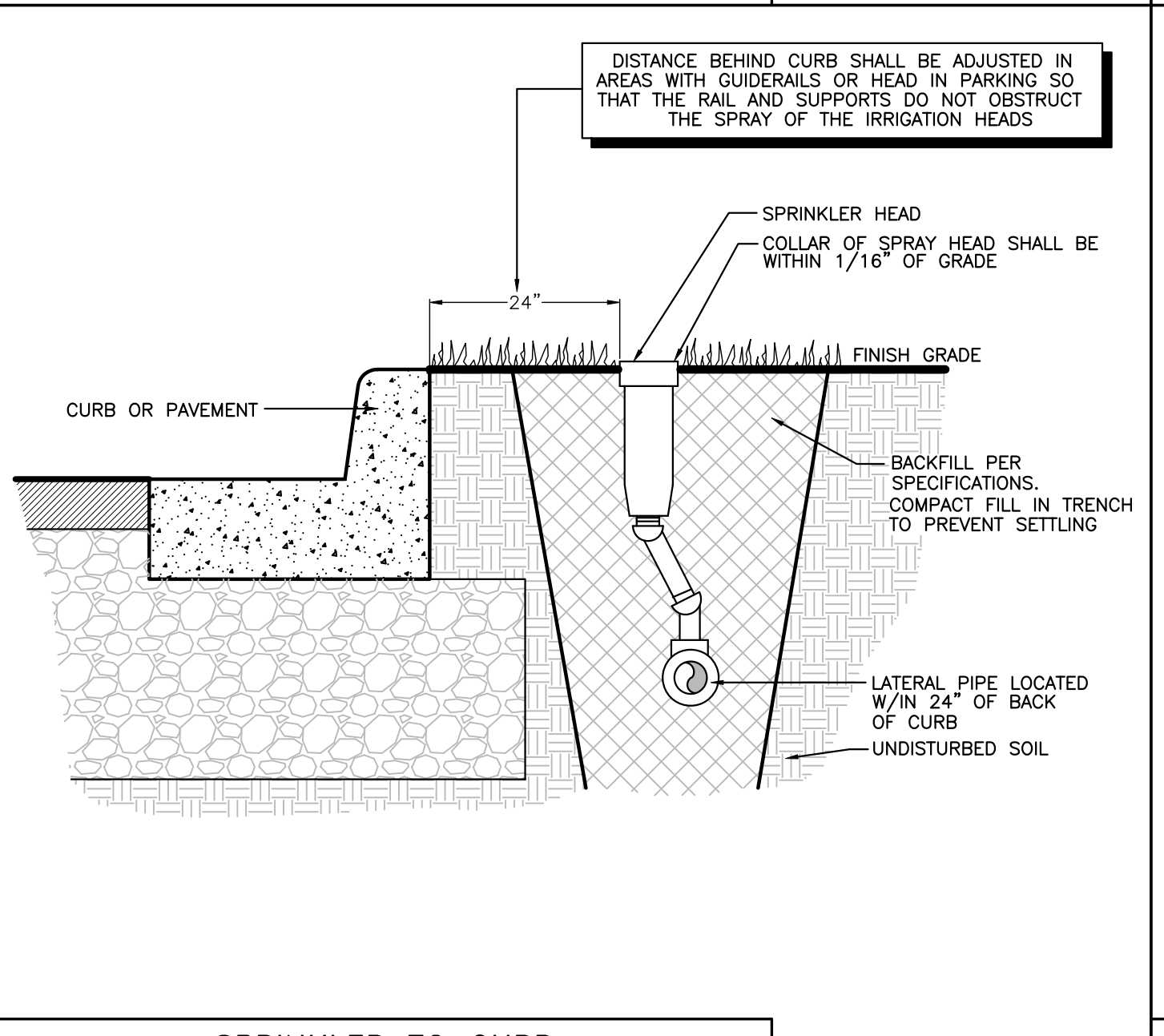
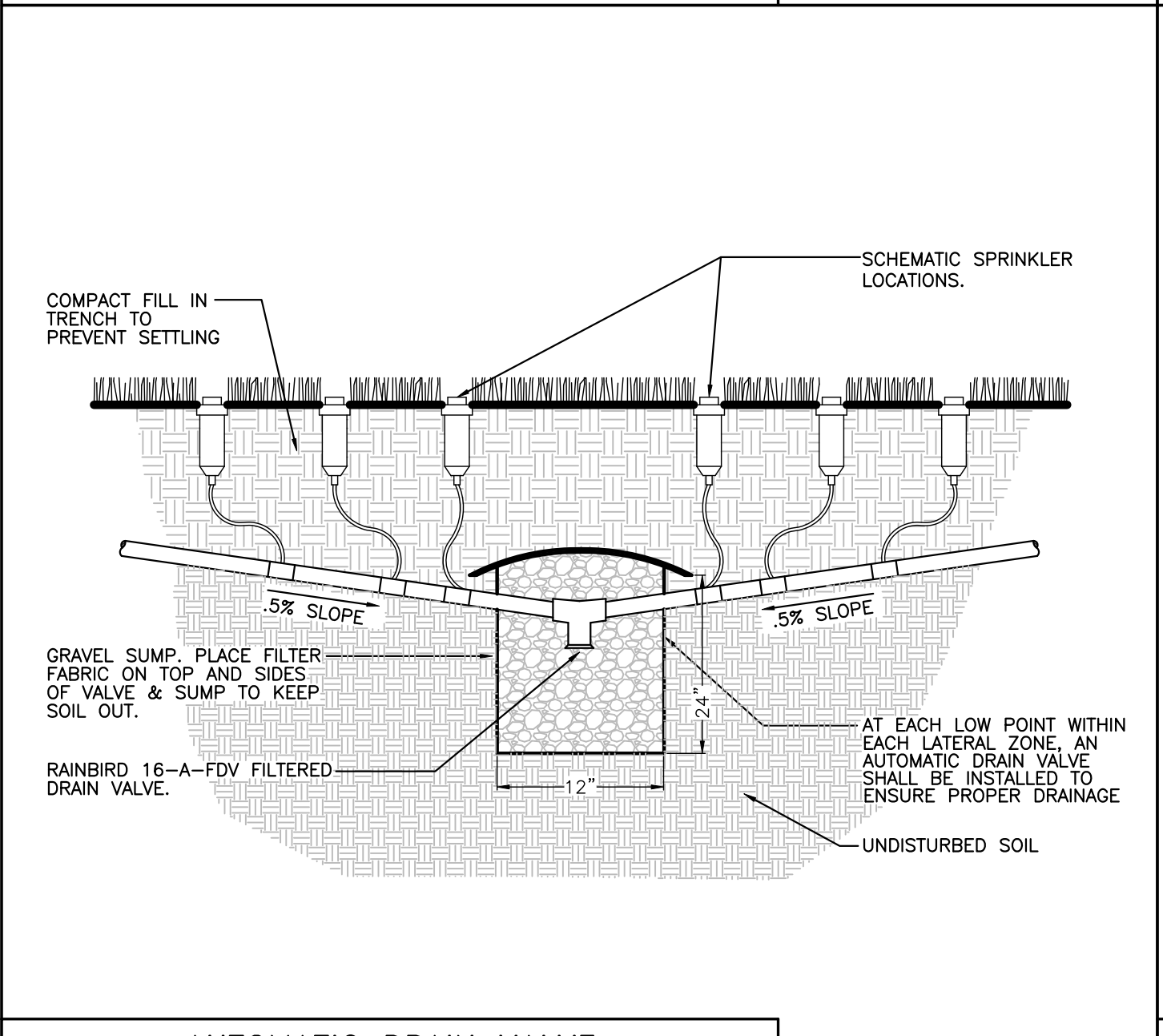
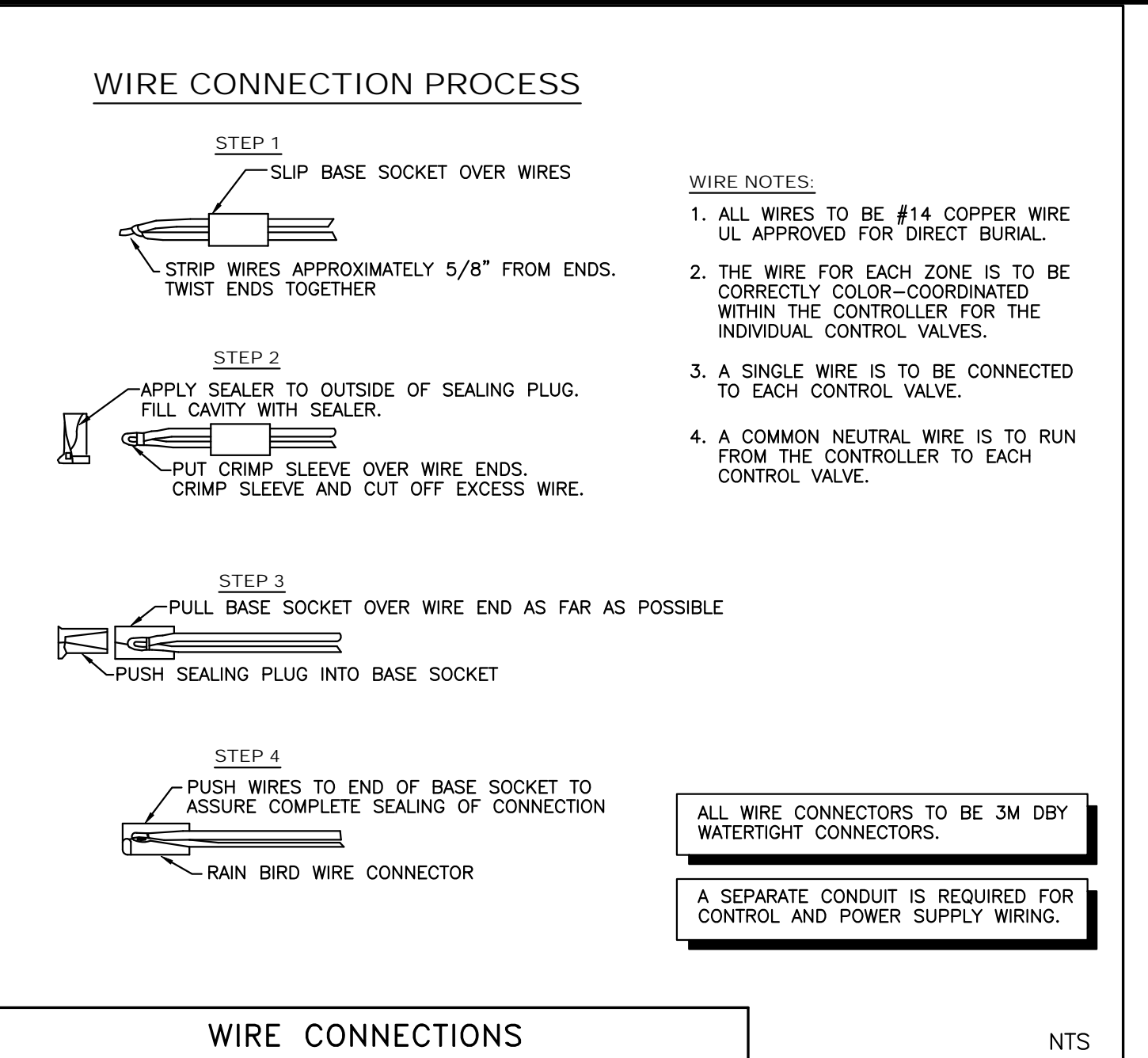
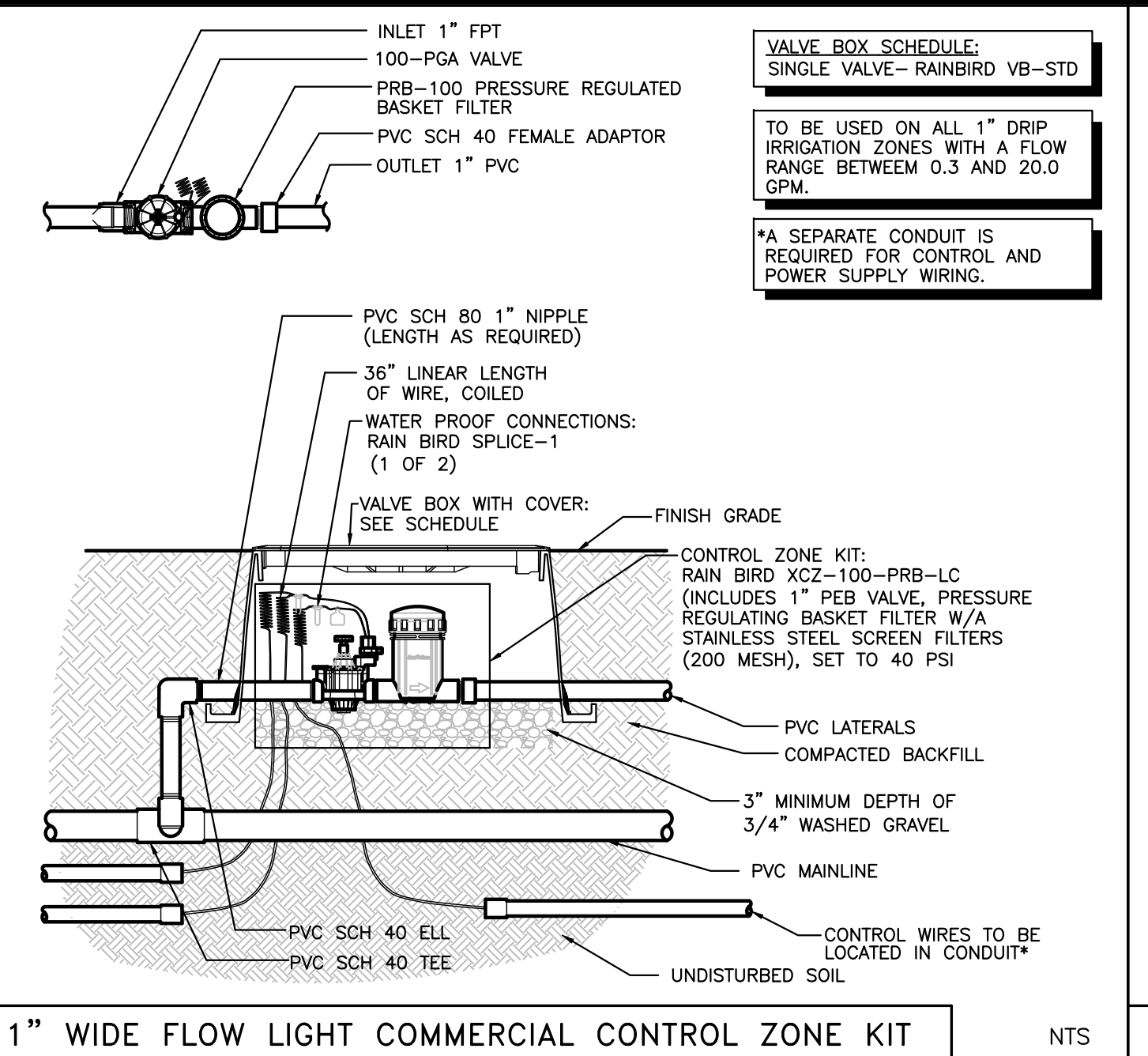
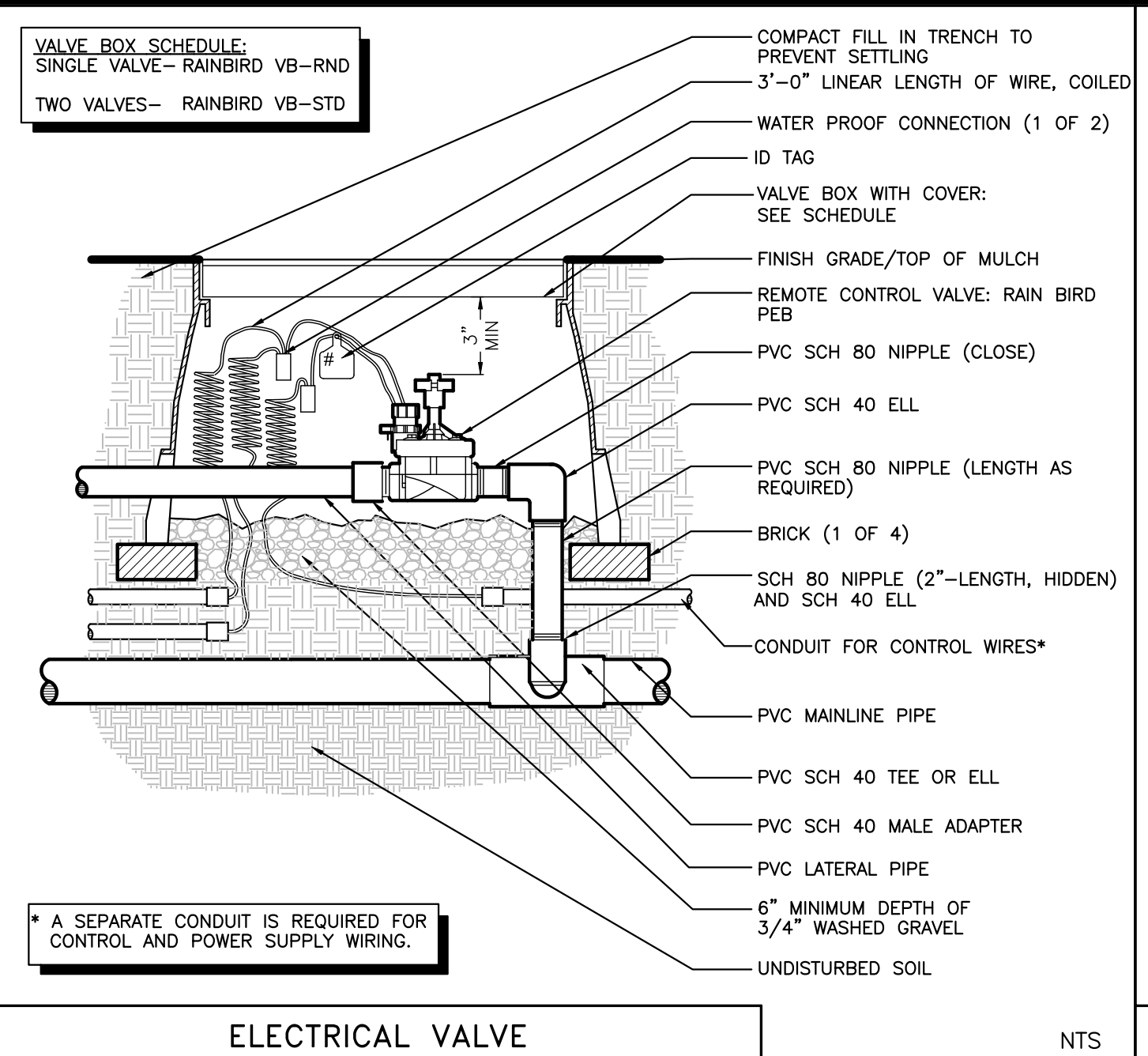
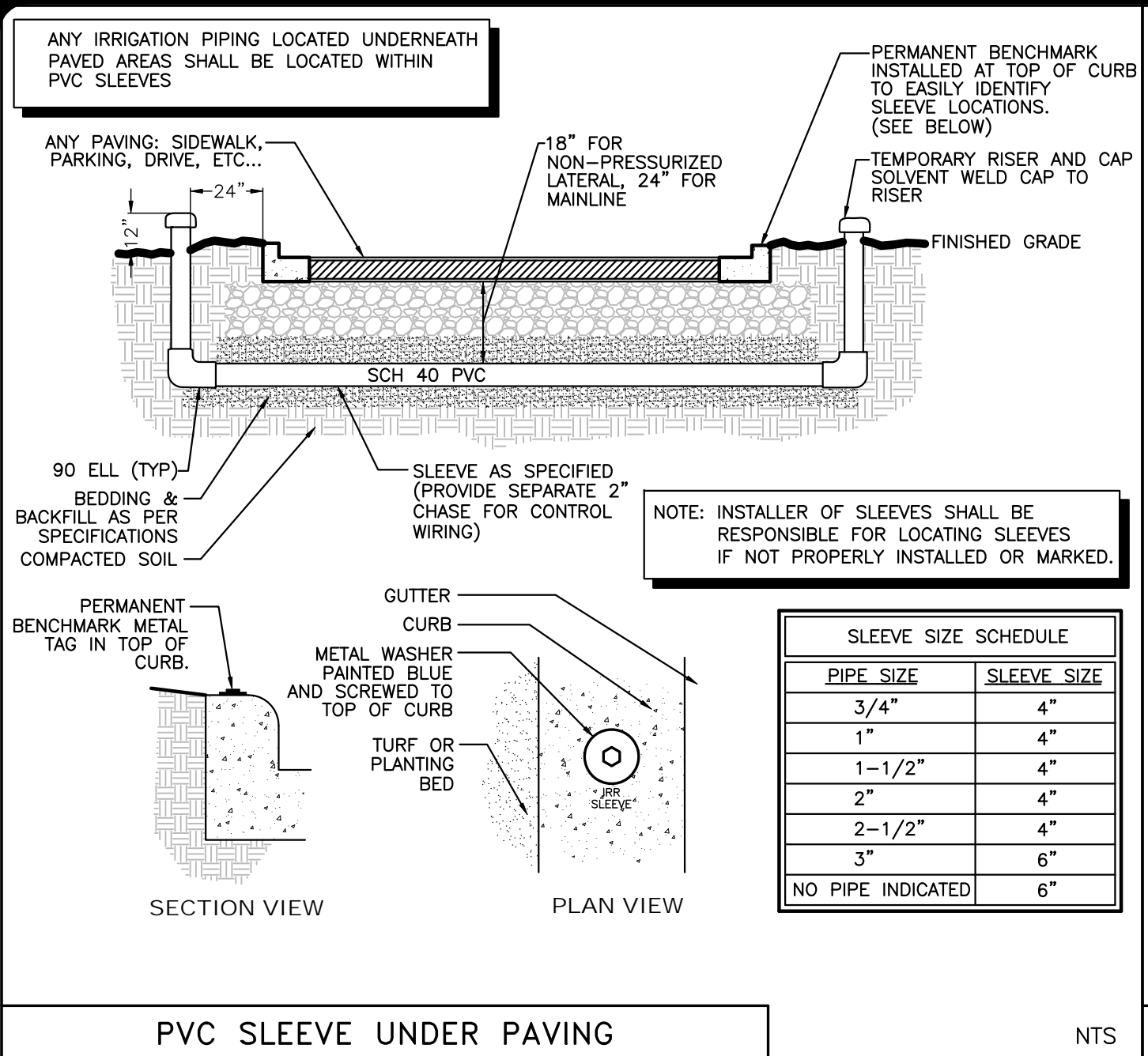
SAM'S CLUB #4741-1003  
CRESTWOOD, MISSOURI  
SAM'S CLUB  
2101 SE SIMPLE SAVINGS DRIVE  
BENTONVILLE, AR 72716



**IRRIGATION DETAILS**

DRAWN	CMQ
CHECKED	BKM
DATE	01/10/24
SCALE	1"=30'
JOB No.	4741-1003
SHEET	7 OF 9 SHEETS





REVISIONS	BY

**CARLSON CONSULTING ENGINEERS, INC.**  
 7088 LEDGESTONE COMMONS  
 BARTLETT, TENNESSEE 38133  
 (615) 394-0710  
 MISSOURI CORPORATION COA #200609899

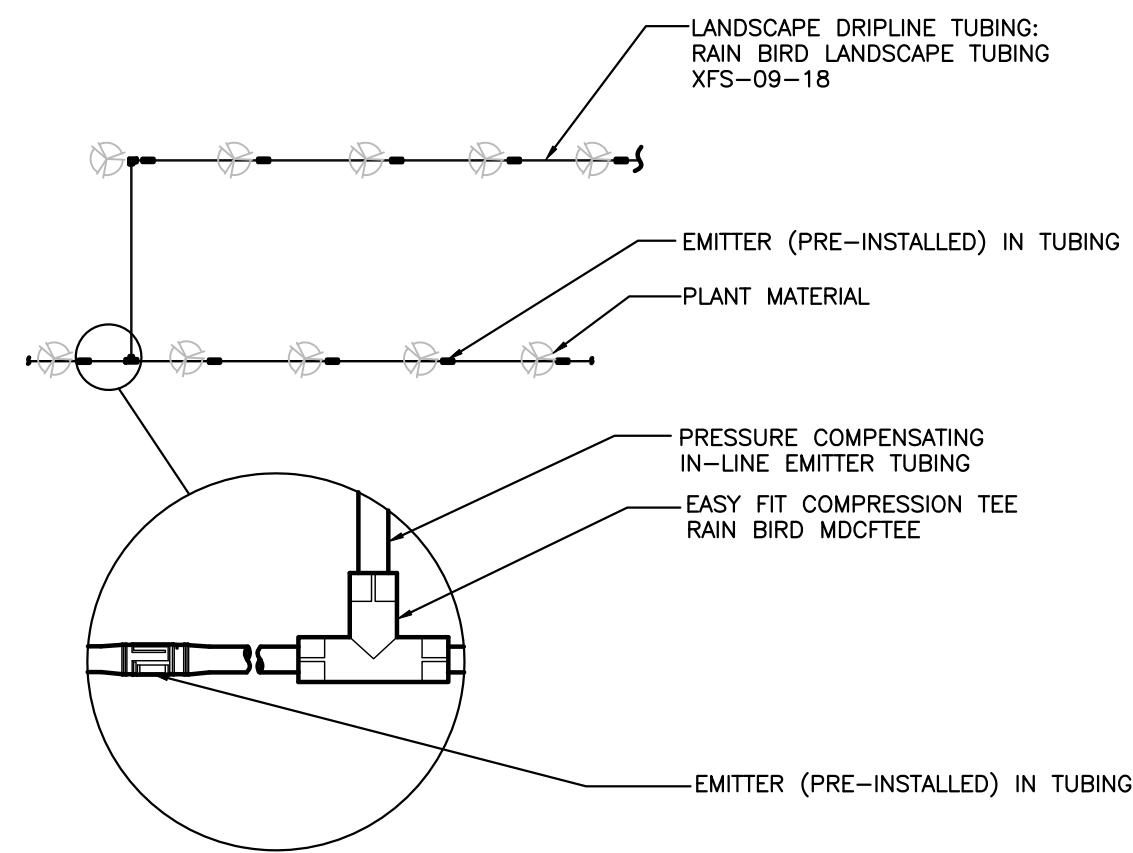
SAM'S CLUB #4741-1003  
 CRESTWOOD, MISSOURI  
 SAM'S CLUB  
 2101 SE SIMPLE SAVINGS DRIVE  
 BENTONVILLE, AR 72716

DRAWN	CMQ
CHECKED	BKM
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SCALE	1"=30'
JOB No.	4741-1003
SHEET	8 OF 9 SHEETS



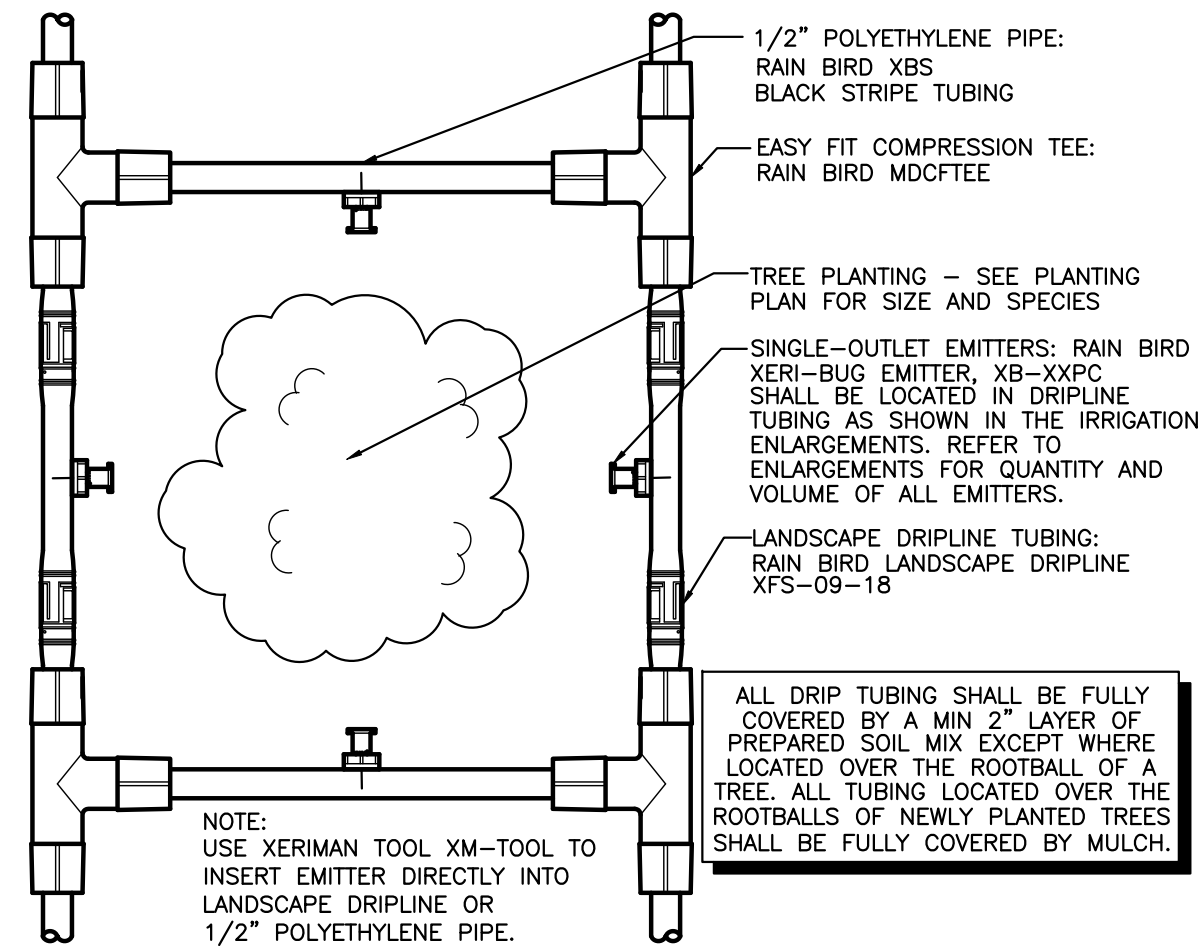
IRRIGATION DETAILS





DRIPLINE CONNECTIONS (POTABLE)

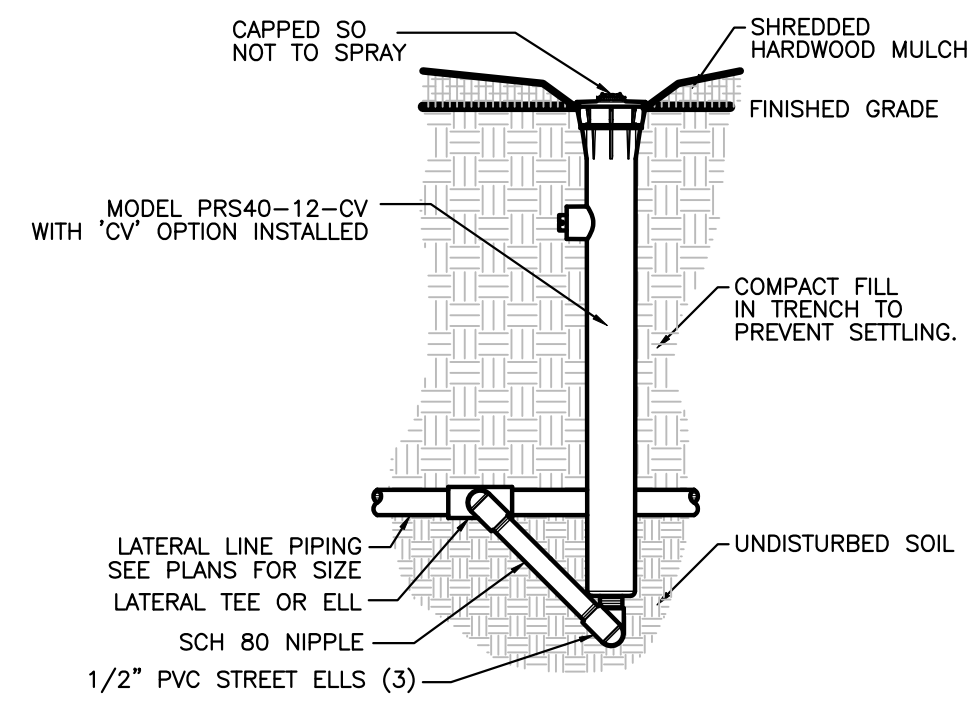
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DRIPLINE WITH SUPPLEMENTAL EMITTERS

NTS

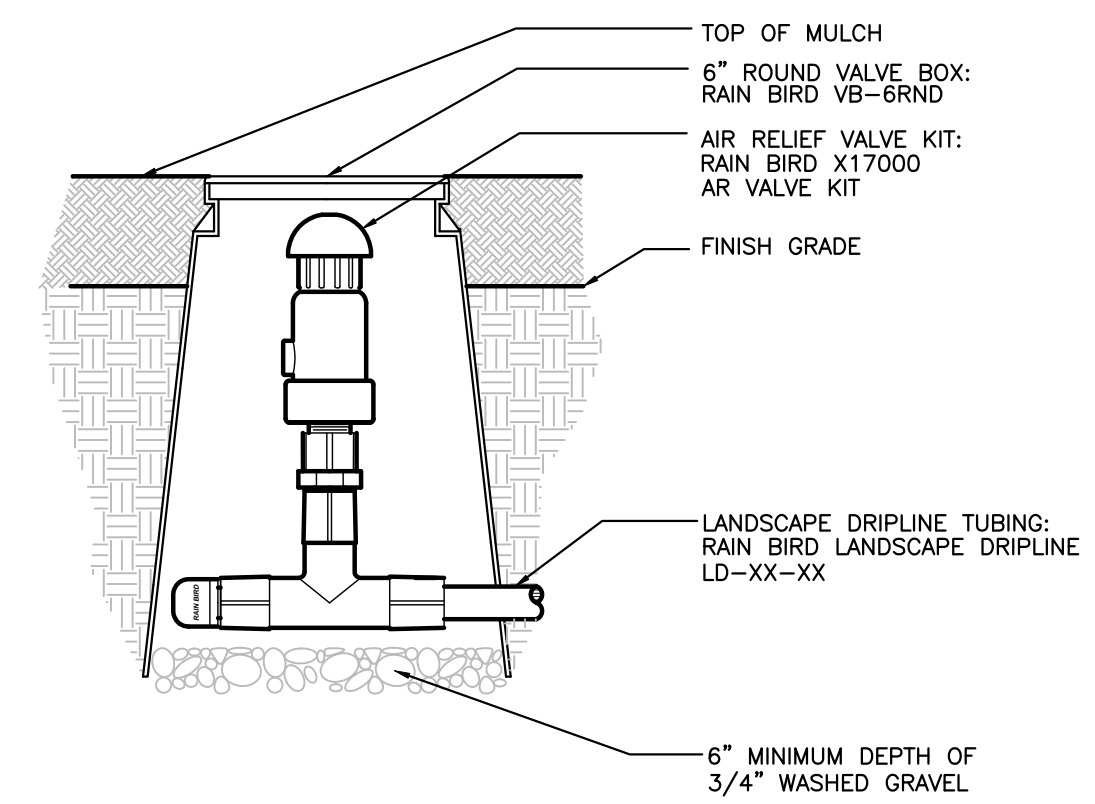
ALL POP-UP HEADS TO BE USED AS ZONE MARKERS SHALL BE CAPPED AND SHALL NOT SPRAY. HEAD SHALL SERVE AS A VISUAL MARKER TO IDENTIFY THE END OF ZONE AND SHOW THAT THE VALVE IS OPERATIONAL.



HUNTER MP ROTATOR POP-UP - VALVE OPERATION MONITOR

NTS

AIR RELIEF VALVES ARE TO BE INSTALLED AT ALL HIGH POINTS OF SUB-SURFACE ZONES. MORE THAN 1 AIR RELIEF VALVE MAY BE REQUIRED DEPENDING ON LAYOUT AND TOPOGRAPHY.



AIR RELIEF VALVE

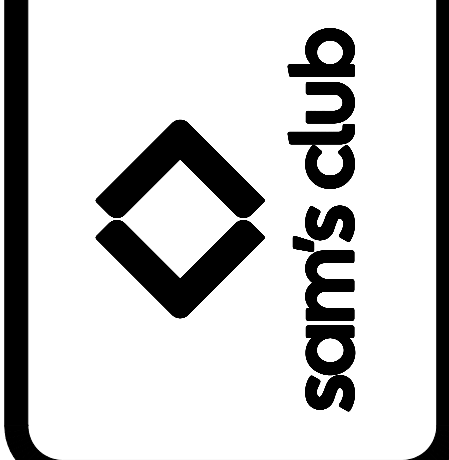
NTS

REVISIONS	BY

**CARLSON CONSULTING ENGINEERS, INC.**  
 7088 LEDGESTONE COMMONS  
 BARTLETT, TENNESSEE 38133  
 661.394.0710  
 MISSOURI CORPORATION COA #200608989



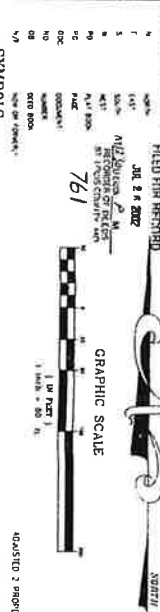
SAM'S CLUB #4741-1003  
 CRESTWOOD, MISSOURI  
 SAM'S CLUB  
 2101 SE SIMPLE SAVINGS DRIVE  
 BENTONVILLE, AR 72716



IRRIGATION DETAILS

DRAWN	CMQ
CHECKED	BKM
DATE	01/10/24
SCALE	1"=30'
JOB No.	4741-1003
SHEET	9 OF 9 SHEETS

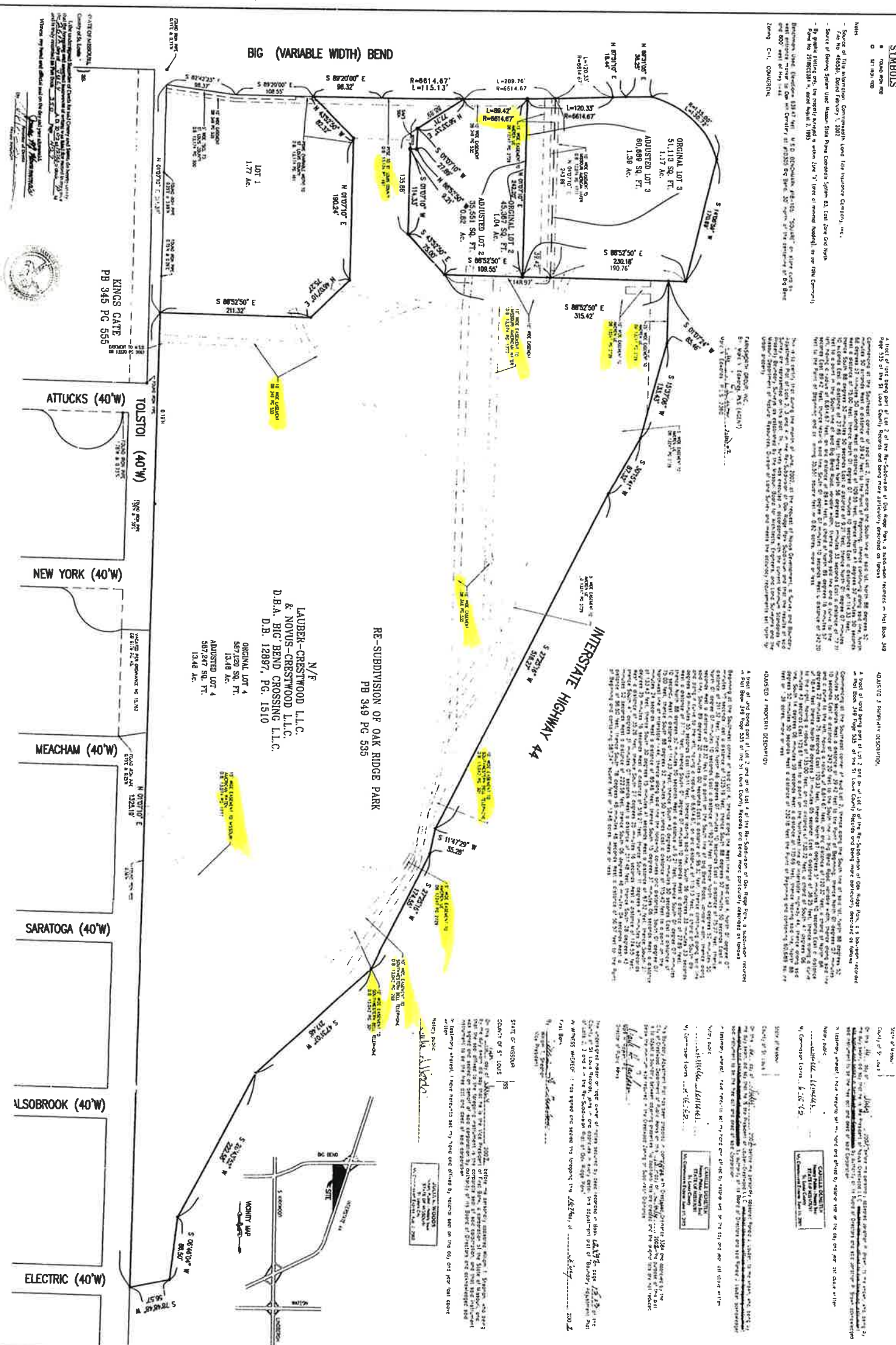




### BOUNDARY ADJUSTMENT PLAT

A FRAGMENT OF LAND BEING PART OF LOTS 2, 3 AND 4 IN THE RE-SUBDIVISION OF OAK RIDGE PARK, RECORDED IN PLAT BOOK 349 PAGE 535 CITY OF CRESTWOOD, ST. LOUIS COUNTY, MISSOURI

- SYMBOLS**
- 1. Lot
  - 2. Boundary
  - 3. Easement
  - 4. Right of Way
  - 5. Survey
  - 6. Monument
  - 7. Corner
  - 8. Station
  - 9. Section
  - 10. Township
  - 11. Range
  - 12. County
  - 13. State
  - 14. City
  - 15. Village
  - 16. Ward
  - 17. Precinct
  - 18. School District
  - 19. Water
  - 20. Sewer
  - 21. Gas
  - 22. Electric
  - 23. Telephone
  - 24. Railroad
  - 25. Road
  - 26. Alley
  - 27. Street
  - 28. Highway
  - 29. Interstate
  - 30. Federal
  - 31. State
  - 32. County
  - 33. City
  - 34. Village
  - 35. Ward
  - 36. Precinct
  - 37. School District
  - 38. Water
  - 39. Sewer
  - 40. Gas
  - 41. Electric
  - 42. Telephone
  - 43. Railroad
  - 44. Road
  - 45. Alley
  - 46. Street
  - 47. Highway
  - 48. Interstate
  - 49. Federal
  - 50. State
  - 51. County
  - 52. City
  - 53. Village
  - 54. Ward
  - 55. Precinct
  - 56. School District
  - 57. Water
  - 58. Sewer
  - 59. Gas
  - 60. Electric
  - 61. Telephone
  - 62. Railroad
  - 63. Road
  - 64. Alley
  - 65. Street
  - 66. Highway
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  - 69. State
  - 70. County
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  - 78. Gas
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  - 80. Telephone
  - 81. Railroad
  - 82. Road
  - 83. Alley
  - 84. Street
  - 85. Highway
  - 86. Interstate
  - 87. Federal
  - 88. State
  - 89. County
  - 90. City
  - 91. Village
  - 92. Ward
  - 93. Precinct
  - 94. School District
  - 95. Water
  - 96. Sewer
  - 97. Gas
  - 98. Electric
  - 99. Telephone
  - 100. Railroad



**ADJUSTED 1 PROPERTY DESCRIPTION**

A lot of one and one-half (1 1/2) acres, more or less, of the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

Beginning at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

1. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

2. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

3. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

4. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

**ADJUSTED 2 PROPERTY DESCRIPTION**

A lot of one and one-half (1 1/2) acres, more or less, of the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

1. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

2. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

3. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

4. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

**ADJUSTED 3 PROPERTY DESCRIPTION**

A lot of one and one-half (1 1/2) acres, more or less, of the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

1. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

2. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

3. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

4. Starting at the Southeast corner of Lot 2, in the Re-Subdivision of Oak Ridge Park, a subdivision recorded in Plat Book 349 Page 535 of the St. Louis County Records and being more particularly described as follows:

**STATE OF MISSOURI**

COUNTY OF ST. LOUIS

BEFORE ME, the undersigned authority, on this day personally appeared **Sally A. Winters**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this 12th day of August, 2024.

*[Signature]*  
Notary Public

### BIG BEND CROSSING

A BOUNDARY ADJUSTMENT OF LOTS 2, 3, AND 4 IN THE RE-SUBDIVISION OF OAK RIDGE PARK CITY OF CRESTWOOD, ST. LOUIS COUNTY, MISSOURI

**BOUNDARY ADJUSTMENT PLAT**

**BAP**

SHEET 1 OF 1

PROJECT NO: 20004421

DATE: 8/12/2024

DESIGNER: NLD

APPROVER: NLD

BOOK NO: 200044-BAD-DWG

FILE NO: 200044-BAD-DWG



20 SOUTH ALSTREE BOULEVARD  
ST. LOUIS, MISSOURI 63119  
314-882-7000 FAX: 314-882-7232

**EXHIBIT "A"**  
Legal Description

Adjusted Lot 4 of the Boundary Adjustment Plat of Lots 2, 3 and 4 in the Resubdivision Plat of Oak Ridge Park, according to the plat thereof recorded in Plat Book 350 page 427 of the St. Louis County, Missouri Records.

*This page is only a part of a 2021 ALTA® Commitment for Title Insurance issued by Chicago Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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APPLICATION NUMBER: CUP-3-24

APPLICATION (PROJECT) NAME: SAM'S CLUB GAS STATION CUP

APPLICANT: SAM'S CLUB  
2101 SE SIMPLE SAVINGS DR.  
BENTONVILLE, AR 72712

PROPERTY OWNER NAME: BEGONIA DEVELOPMENT INC  
541 SOUTH SPRING STREET, STE 204  
LOS ANGELES, CA 90013

APPLICANT'S REQUEST: CONDITIONAL USE PERMIT TO EXPAND AN  
EXISTING "GAS STATION- GENERAL" USE

SITE LOCATION: 10248 BIG BEND BLVD  
CRESTWOOD, MO 63122

PARCEL/LOCATOR NUMBER: 25M543135

EXISTING ZONING / PLANNING DISTRICT: "C-1" LOCAL COMMERCIAL DISTRICT

TOTAL SITE AREA: APPROXIMATELY 13.48 ACRES

P&Z HEARING DATE: FEBRUARY 7, 2024

BOA PUBLIC HEARING DATE: FEBRUARY 27, 2024

REPORT DATE: JANUARY 23, 2024

CASE MANAGER: DANNY JENDUSA, CITY PLANNER

**RECOMMENDATION: APPROVAL WITH CONDITIONS**



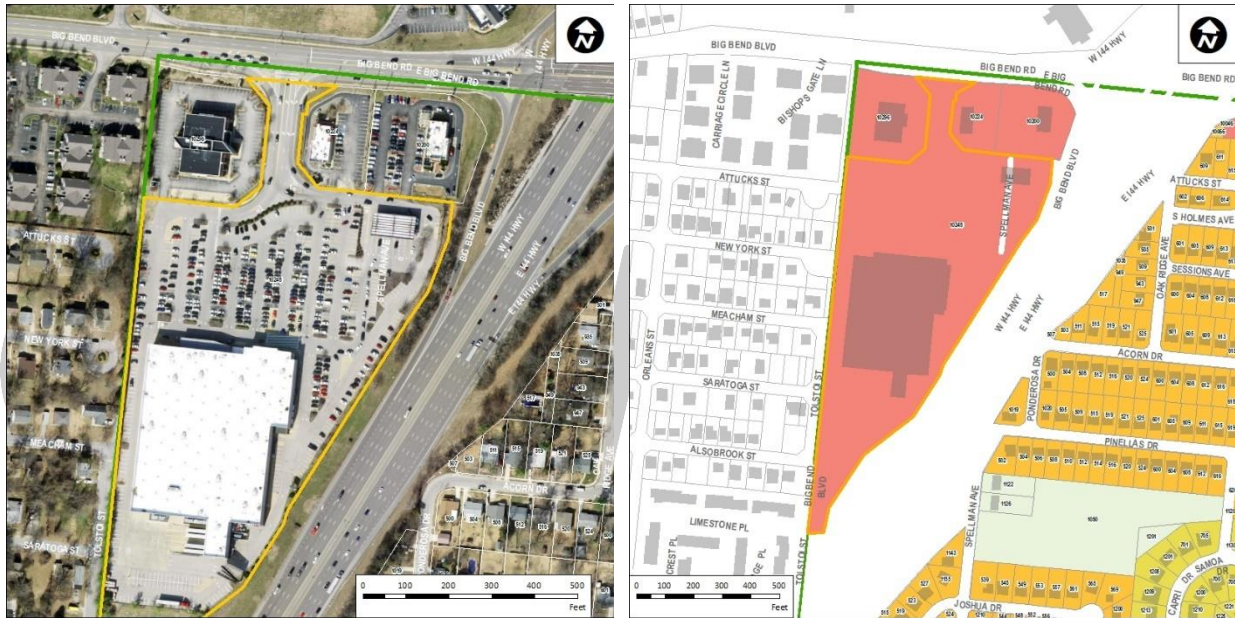




## ZONING CONTEXT & SURROUNDING LAND USE

The subject property is zoned “C-1” Local Commercial District. The district is composed of those areas of the City whose principal use is and ought to be general retail, service, and repair business activities which serve the entire City and surrounding area. This district is provided to permit the development of these business activities, to protect adjacent areas against encroachment by incompatible uses, and to lessen congestion on public streets. To these ends, certain uses which would function more effectively in other districts and would interfere with the operation of these business activities and the purpose of this district have been excluded.

A gas station is a Conditional Use in the “C-1” zoning district.



Cropped image from Figures 2 and 3: Zoning Map with Building Footprints and Aerial

The subject property is located at the northwestern edge of the city limits, bordered by the City of Kirkwood to the west and north, and Interstate 44 to the south and east.

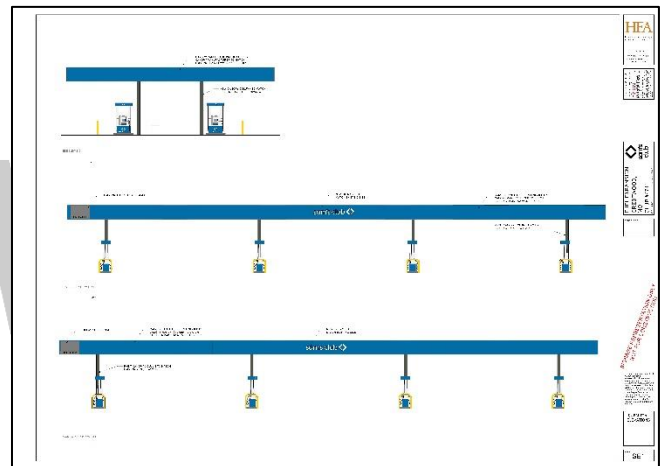
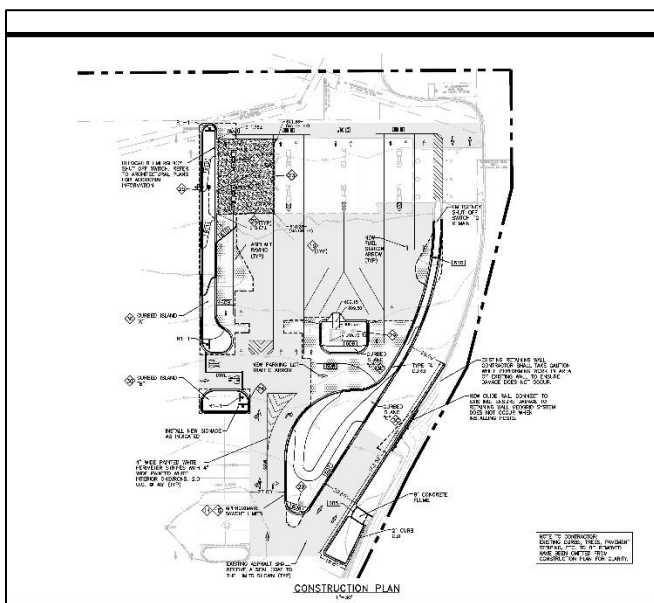
EXISTING CONDITIONS MATRIX			
DIRECTION	EXISTING LAND USE	ZONING	COMMENTS
North	Drive-thru restaurants; Cemetery	“C-1”; unknown	Culver’s & former Burger King; Cemetery north of Big Bend
East	Interstate 44	-	-
South	Retail	“C-1”	Sam’s Club
West	Residential	unknown	Kirkwood residential

## ZONING AND LAND USE HISTORY

The Sam's Club shopping center and existing gas station were built in 2001, following the approval of a Conditional Use Permit and site plan for a six-pump gas station via city ordinance #3670. Because the original CUP only approved a 6-pump station and canopy, a repeal of the former CUP ordinance would be required and a new CUP issued in order to allow for the proposed expansion to an 8-pump facility.

## PROPOSAL SUMMARY

Sam's Club has submitted an application for a Conditional Use Permit to expand an existing six (6)-pump "Gas Station- General" Use to operate with eight (8) gas pumps under a larger canopy structure at 10248 Big Bend Blvd.



## REVIEW CRITERIA

Per Section 26-11(F.), the Board of Aldermen shall not approve any conditional use permit application, or any amendment to an existing conditional use permit, unless the proposed conditional use is consistent with the standards herein, and unless the board determines that the proposed conditional use will not:

1. Substantially increase traffic hazards or congestion;
2. Adversely affect the visual coherence, predominant usage, or development character of surrounding or adjacent neighborhoods;

3. Substantially increase fire, health, or any other public safety hazards, or make difficult access by fire and emergency vehicles;
4. Adversely affect the general welfare of the community;
5. Overtax public utilities, services, or other municipal facilities;
6. Be developed and operated in a manner that is physically and/or visually incompatible with the permitted uses in the surrounding areas;
7. Substantially increase stormwater drainage onto other lots;
8. Create a nuisance.

---

### **BURDEN OF PROOF**

In presenting any application for a Conditional Use Permit, the applicant must further demonstrate that the proposed use meets the burden of proof criteria contained in Section §26-11 (b)(2), Burden of Proof.

- The proposed conditional use complies with all applicable provisions of these applicable district regulations.
- The proposed conditional use at the specified location will contribute to and promote the welfare or convenience of the public.
- The proposed conditional use will not cause substantial injury to the value of other property in the neighborhood in which it will be located.
- The location and size of the conditional use, the nature and intensity of the operation involved in, or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the conditional use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations.

In determining whether the conditional use will so dominate the immediate neighborhood, consideration shall be given to:

1. The location, nature and height of buildings, structures, walls, and fences on the site, and
  2. The nature and extent of proposed landscaping and screening on the site.
- Off-street parking and loading areas will be provided in accordance with the standards set forth in these regulations.
  - Adequate utility, drainage, and other such necessary facilities have been or will be provided.
  - The proposed uses are deemed consistent with good planning practice and are not inconsistent with the goals, objectives, and policies of the Comprehensive Plan; can be operated in a manner that is not detrimental to the permitted developments and uses in the district; can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area; and are deemed essential or desirable to preserve and promote the public health, safety, and general welfare of the city.

## ANALYSIS

An analysis of the seven (7) criteria contained in Section 26-11(F.) follows:

### **SUBSTANTIALLY INCREASE TRAFFIC HAZARDS OR CONGESTION**

The proposed amendments to the site accompanying the station expansion will provide additional queuing space and an additional drive aisle for vehicles to line up to enter the canopy from the south. This will allow for a shorter line of vehicles backing up into the surrounding Sam’s Club parking lot, and will improve access and circulation within the parking lot.

#### **FINDING**

The City Planner finds that the proposed use will not substantially increase traffic hazards or congestion.

---

### **ADVERSELY AFFECT THE VISUAL COHERENCE, PREDOMINANT USAGE, OR DEVELOPMENT CHARACTER OF SURROUNDING OR ADJACENT NEIGHBORHOODS**

The proposed expansion of the canopy structure will be minor and will not be readily visible due to the gas station’s location.

#### **FINDING**

The City Planner finds that the proposed use will not adversely affect the visual coherence, predominant usage, or development character of surrounding or adjacent neighborhoods.

---

### **SUBSTANTIALLY INCREASE FIRE, HEALTH, OR ANY OTHER PUBLIC SAFETY HAZARDS, OR MAKE DIFFICULT ACCESS BY FIRE AND EMERGENCY VEHICLES**

The proposed expansion will not negatively impact public safety or emergency vehicle access. IT will add an additional emergency shutoff valve on the west side of the canopy structure.

#### **FINDING**

The City Planner finds that the proposed use will not substantially increase fire, health, or any other public safety hazards, or make difficult access by fire and emergency vehicles.



**ADVERSELY AFFECT THE GENERAL WELFARE OF THE COMMUNITY**

**FINDING**

The City Planner finds that the proposed use will not adversely affect the general welfare of the community.

**OVERTAX PUBLIC UTILITIES, SERVICES, OR OTHER MUNICIPAL FACILITIES**

**FINDING**

The City Planner finds that the proposed use will not overtax public utilities, services, or other municipal facilities.

**BE DEVELOPED AND OPERATED IN A MANNER THAT IS PHYSICALLY AND/OR VISUALLY INCOMPATIBLE WITH THE PERMITTED USES IN THE SURROUNDING AREAS**

The proposed expansion of the canopy structure will be minor and will not be readily visible due to the gas station's location.

**FINDING**

The City Planner finds that the proposed use will not be developed and operated in a manner that is physically and/or visually incompatible with the permitted uses in the surrounding areas.

**SUBSTANTIALLY INCREASE STORMWATER DRAINAGE ONTO OTHER LOTS**

**FINDING**

The City Planner finds that the proposed use will not substantially increase stormwater drainage onto other lots.

**CREATE A NUISANCE**

**FINDING**

Provided the applicant adheres to the applicable code provisions regulating noise, the City Planner finds that the proposed use will not create a nuisance.

## FINDINGS AND RECOMMENDATION

The City Planner finds that the proposed conditional use will not:

1. Substantially increase traffic hazards or congestion;
2. Adversely affect the visual coherence, predominant usage, or development character of surrounding or adjacent neighborhoods;
3. Substantially increase fire, health, or any other public safety hazards, or make difficult access by fire and emergency vehicles;
4. Adversely affect the general welfare of the community;
5. Overtax public utilities, services, or other municipal facilities;
6. Be developed and operated in a manner that is physically and/or visually incompatible with the permitted uses in the surrounding areas;
7. Substantially increase stormwater drainage onto other lots;
8. Create a nuisance.

As outlined under Section § 26-11 (F).

### BURDEN OF PROOF

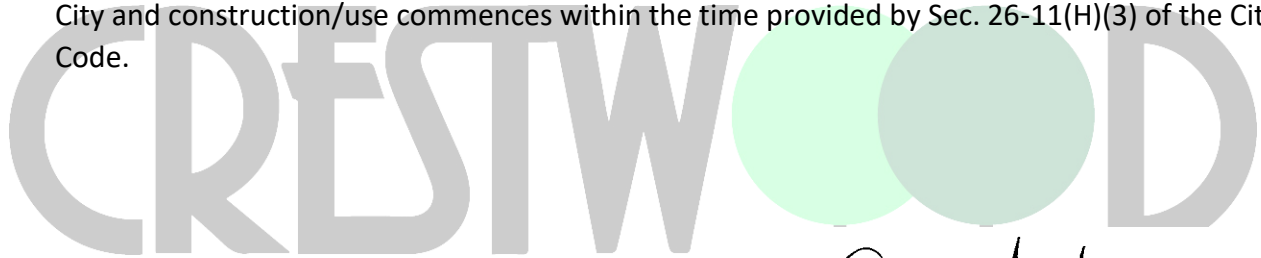
Overall, the City Planner finds that the request **meets** the burden of proof criteria for a Conditional Use Permit, outlined under Section § 26-11 (b)(2).

### RECOMMENDATION

The City Planner recommends the repeal of existing Ordinance #3670 and **approval** of this application for a Conditional Use Permit, incorporating the following conditions- most of which having been carried over from the existing CUP ordinance #3670:

- a. That all signs be in compliance with the present Sign Ordinances of the City of Crestwood, as set forth in Chapter 26 of the City's Code;
- b. That the plans be approved by the City of Crestwood Public Works and Fire Department;
- c. That the applicant shall be responsible for complying with all applicable provisions of the 1990 Americans with Disabilities Act (ADA), as amended;
- d. That the conditional use permit is to be allowed for the C-1 zoning district;
- e. That the plans meet all City of Crestwood Codes;

- f. That no exterior changes are to occur without the proper approvals and permits;
- g. That any interior plans or drawings be approved by the City of Crestwood and St. Louis County;
- h. That the facility meet the requirements of ICC/ANSI A117.1 Standard on Accessible and Useable Buildings and Facilities, with regard to provisions for the disabled;
- i. That the use be operated in conformance with the relevant performance standards contained in Chapter 26 of the City's Code, as amended;
- j. That the hours of operation shall be as follows:
  - a. That the facilities shall be open not earlier than 6:00 am and not later than 9:00 pm
- k. That unleaded and premium unleaded gasoline be the only available items for sale at the fueling station
- l. That cast-in-place concrete vertical curbs be constructed as shown on the approved site plan and properly maintained in a condition satisfactory to the city.
- m. That this approval is given on the condition that all of the above conditions are approved by the City and construction/use commences within the time provided by Sec. 26-11(H)(3) of the City's Code.



Danny Jendusa, AICP  
City Planner

# APPENDIX


The background features a large, light gray watermark of the word "CRESTWOOD". The letters "O" and "O" in "WOOD" are replaced by two overlapping circles, one light green and one medium green, with thin vertical lines extending downwards from their centers, resembling tree trunks.

## SUPPLEMENTAL MAPS AND EXHIBITS

FIGURE 1: AERIAL PHOTOGRAPH



## 10248 Big Bend Blvd- Aerial

 10248 Big Bend Blvd Site Location

Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

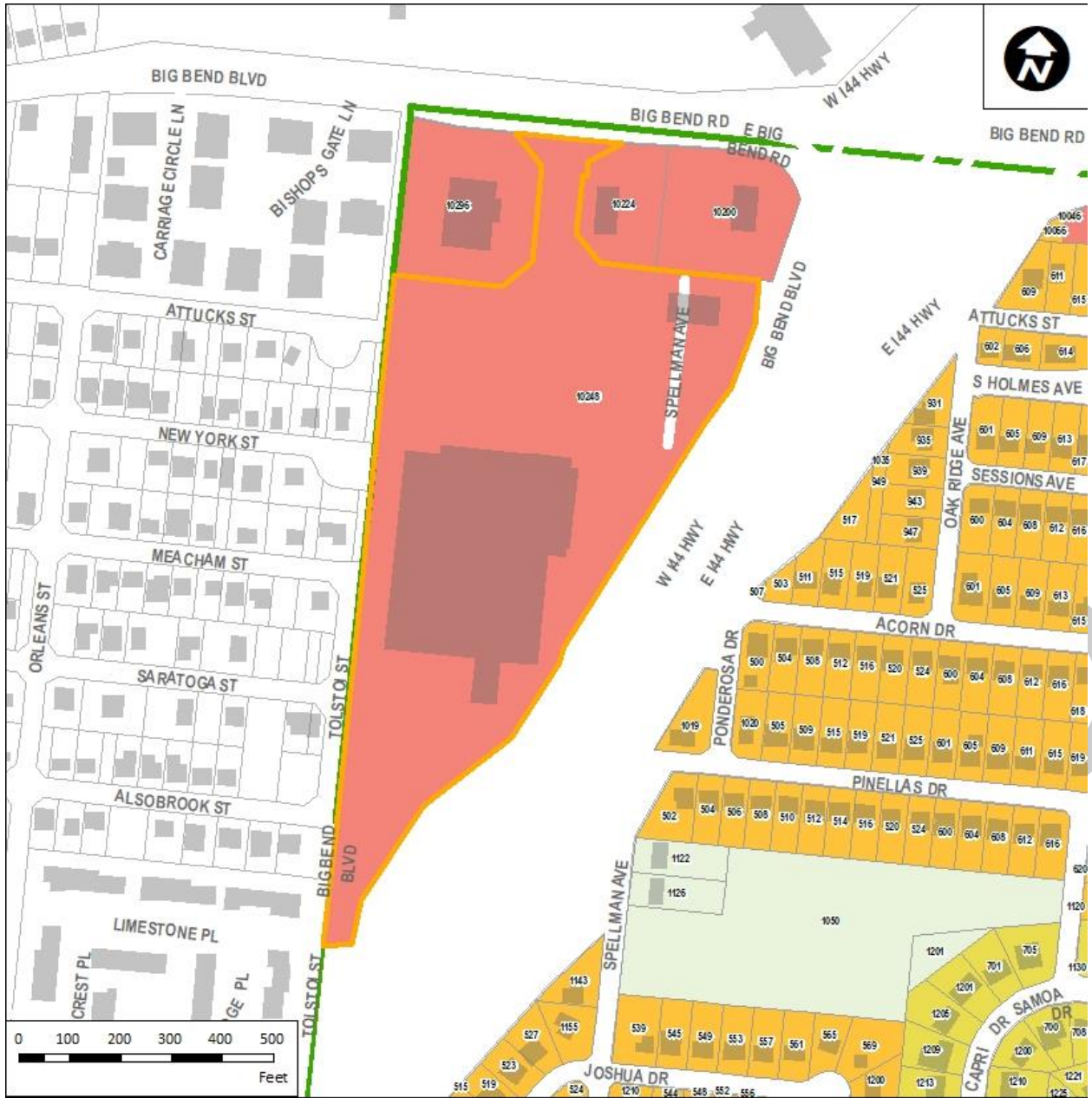


Map by Danny Jendusa  
djendusa@cityofcrestwood.org

January 16, 2024  
Development\Big Bend\10248 Big Bend- Aerial



FIGURE 2: ZONING MAP



**10248 Big Bend Blvd- Zoning**  
**Zoning Graphics Key**

<span style="display:inline-block; width:15px; height:15px; background-color:#d9ead3;"></span> R-1	<span style="display:inline-block; width:15px; height:15px; background-color:#e74c3c;"></span> C-1
<span style="display:inline-block; width:15px; height:15px; background-color:#fff2cc;"></span> R-2	<span style="display:inline-block; width:15px; height:15px; background-color:#d35400;"></span> PD-C
<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4;"></span> R-3	<span style="display:inline-block; width:15px; height:15px; background-color:#9b59b6;"></span> PD-R
<span style="display:inline-block; width:15px; height:15px; background-color:#f1c40f;"></span> R-4	<span style="display:inline-block; width:15px; height:15px; background-color:#27ae60;"></span> M-1
<span style="display:inline-block; width:15px; height:15px; background-color:#f1948a;"></span> R-5	<span style="display:inline-block; width:15px; height:15px; background-color:#2980b9;"></span> Grant's Trail
<span style="display:inline-block; width:15px; height:15px; background-color:#27ae60;"></span> Parks	<span style="display:inline-block; width:15px; height:15px; background-color:#34495e;"></span> PD-MXD

- 10248 Big Bend Blvd Site Location
- Building Footprints



Map by Danny Jendusa  
 djendusa@cityofcrestwood.org  
 January 16, 2024

Development\Big Bend\10248 Big Bend\10248 Big Bend-zoning







EXHIBIT C: ACCESS & CIRCULATION

**REVISIONS**

NO.	DATE	BY	DESCRIPTION

**SAV'S CLUB CONSULTING ENGINEERS, INC.**  
 2101 S.E. SIMPLE SAUVAGE DRIVE  
 BEHNEN, MO 64018  
 TEL: 660.233.1100  
 FAX: 660.233.1101  
 WWW.SAVSCLUBENGINEERS.COM

**SAV'S CLUB**  
 10248 Big Bend Blvd  
 Crestwood, MO 64024

**SAV'S CLUB CONSULTING ENGINEERS, INC.**  
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EXHIBIT D: ARCHITECTURAL RENDERING

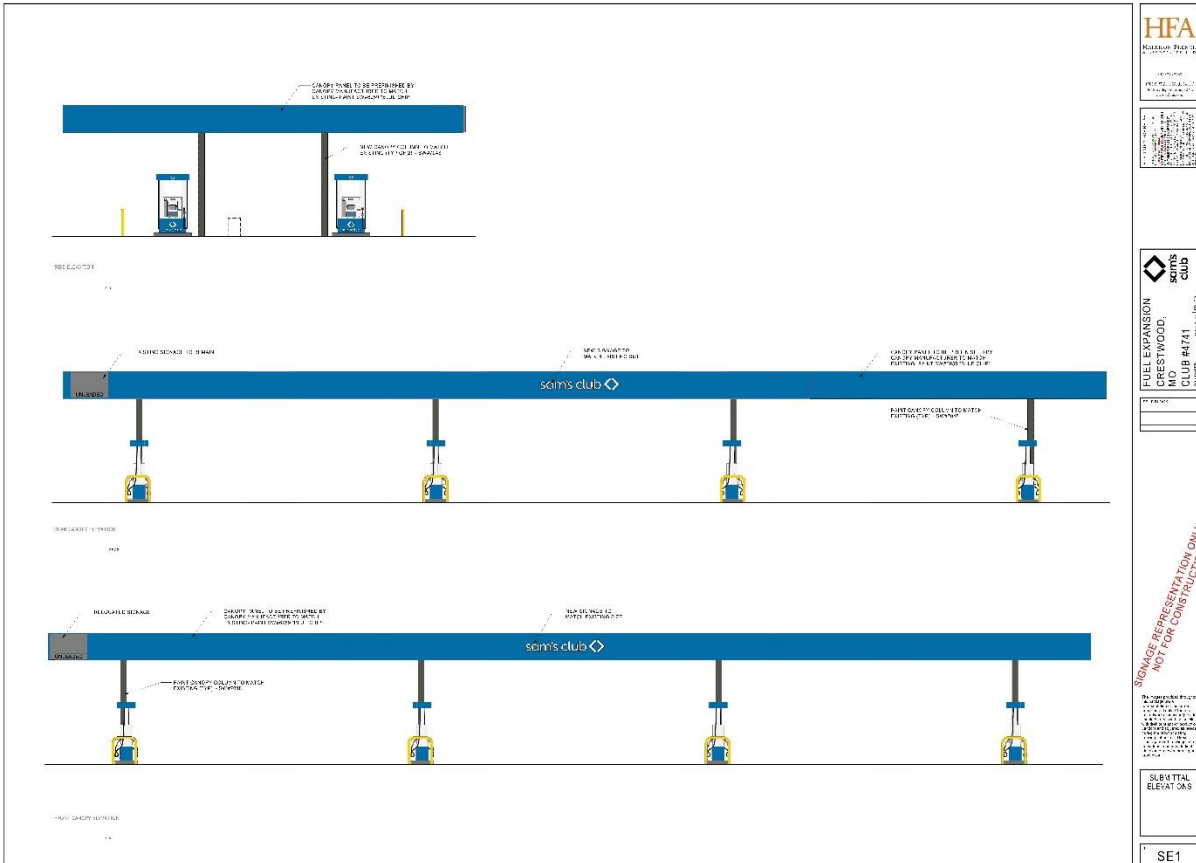


EXHIBIT E: EXISTING CONDITIONS PHOTOS



View from the north



View from the south