



**PLANNING BOARD
STAFF REPORT
September 21, 2023**

Site Plan Review

CASE # 2

APPLICANT: Angelo Ingrassia, 58 S Main Fairport, LLC
PROJECT ADDRESS: 58 South Main Street
ZONING DISTRICT: B-1 Business District, Design Overlay District
SECTION OF CODE: Chapter 550 Article VI; Article IX

REQUEST: To construct an addition at the rear of the existing structure on Lot 1; to make changes to the exterior of the existing structure, including removal the attached drive-through from the existing structure; to create an outdoor seating area; and to construct a 2,500 square foot building to be used as a restaurant on Lot 2, including an outdoor seating area.

PROJECT INFORMATION: The applicant proposes to construct an addition at the rear of the existing local landmark building (former Bank of America building) located at 58 South Main Street (Lot 1). Please note that a Certificate of Appropriateness is required for this action.

The applicant proposes to construct a 2,500 square foot building to be used as a restaurant on Lot 2. Please note that a Certificate of Appropriateness is required for this action.

CODE COMPLIANCE: Please see the attached memorandum to the Planning Board.

STANDARDS: The following standards will be used to evaluate the application:

550-19 Factors for Consideration

A. The Planning Board's review of a preliminary site plan shall include but is not limited to the following considerations:

- (1) The adequacy and arrangement of vehicular traffic access and circulation, including intersections, road widths, channelization structures and traffic controls.
- (2) The adequacy and arrangement of pedestrian traffic access and circulation, including the separation of pedestrian from vehicular traffic, walkway structures, control of intersections with vehicular traffic and pedestrian convenience.
- (3) The location, arrangement, appearance and sufficiency of off-street parking and loading areas.

- (4) The location, arrangement, size and design of buildings, lighting and signs.
 - (5) The adequacy, type and arrangement of trees, shrubs and other landscaping constituting a visual and/or a noise-detering buffer between these and adjoining lands.
 - (6) In the case of an apartment house, townhouse or multiple dwelling, the adequacy of usable open space for playgrounds and informal recreation.
 - (7) The adequacy of stormwater and sanitary waste disposal facilities.
 - (8) The adequacy of structures, roadways and landscaping in areas with a moderate to high susceptibility to flooding and ponding and/or erosion.
 - (9) The protection of adjacent properties against noise, glare, unsightliness or other objectionable features.
- B. In its review, the Planning Board may consult with the Village Engineer and other Village, town and county officials, as well as with representatives of federal and state agencies, including the Soil Conservation Service and the New York State Department of Environmental Conservation. The Planning Board may require that the exterior design of all structures be made by or under the direction of a registered architect, whose seal shall be affixed to the plans.
- C. When reviewing a site plan because of a change in the use or occupancy of land, a building or any portion thereof, the Planning Board shall consider the impact of the proposed change upon other uses within the same building or parcel. To the extent practical, the Planning Board may require such modification thereto as will promote the most efficient use of land consonant with compliance with the provisions of this chapter. In no event shall the Planning Board waive the direct application of a local law provision to the changed use or occupancy under review.

Article IX Design Overlay District

Please see the attached memorandum to the Planning Board

550-45 District design principles.

The following principles shall guide all development and redevelopment in the Design Overlay District and provide additional regulatory criteria for the Planning Board in its site plan review process:

- A. Create, maintain and/or reinforce pedestrian-oriented and human-scaled streetscapes that promote safe pedestrian movement, access and circulation, and a pleasant experience for pedestrians.
- B. Encourage and promote direct visual and physical access to and from the Erie Canal and Main Street.



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Site Plan Review

- C. Promote the design of buildings and sites to be an integral part of the public realm with identifiable buildings entrances, active storefronts, attractive parking areas, and an effective/efficient circulation system.
- D. Encourage and promote the design of buildings, sites and public spaces through the use of design elements, details, architectural styles and materials or treatments that reflect traditional Village character.
- E. Locate off-street parking areas to the side or rear of the structure and encourage the use of existing public lots whenever possible and, in cases where parking is adjacent to the street or sidewalk, provide clear separation with the use of landscaping, knee walls, fencing, or other methods viewed as appropriate by the Planning Board.
- F. Utilize landscaping to soften hard edges and buffer adjacent properties whenever possible.

CODE ENFORCEMENT:

The subject property is not currently in code enforcement.



39 Cascade Drive / Rochester, NY 14614 / Phone (585) 458-7770

July 24, 2023

Ms. Jill Wiedrick
Village of Fairport
31 South Main Street
Fairport NY 14450

Re: The Cub Room Restaurant & Starbucks Coffee Shop
58 S Main Street (NYS Route 250)
Village of Fairport, Monroe County

Dear Jill,

On behalf of our client, Angelo Ingrassia (58 S Main Fairport, LLC), we are pleased to submit the above-referenced project for your review. We request this application be placed on the Planning Board agenda of August 7, 2023, to initiate the process for Site Plan Approval.

The project site is on the west side of South Main Street, abutting the south side of the entrance drive into the Fairport Village Landing Plaza. The 0.38-acre parcel, which is zoned B-1 Commercial Business (Design Overlay District) will be subdivided. The northern lot of 0.20± acres will contain a restaurant, The Cub Room, in the 8,700± SF former Bank of America building, for which a one-story 700± SF addition is proposed. The southern lot of 0.18± acres will contain a Starbucks coffee shop in a 2,500± SF building to be constructed. Each use is an allowed use.

A patio will be constructed between the buildings, with seating under a covered portion adjacent to the coffee shop. The existing pavement area on the westernmost portion of the parcels adjacent to the municipal parking lot will be reconfigured to contain 11 parking spaces (including 2 accessible spaces), adding 9 parking spaces which will be posted as reserved for use by patrons of Starbucks – use of the accessible spaces is not restricted.

Sufficient parking is available in the adjacent municipal parking facility to the west and north, as well as other nearby public parking lots at Packett's Landing. No variances have been identified – a waiver from the Planning Board is required as the proposed Starbucks building is one-story, which is less than the minimum Design Overlay District requirement of two stories and provides less than the required width to height ratio.

The applicant is looking forward to re-energizing this location. The Cub Room is a superb re-use of a vacant building that has been the centerpiece of the village for close to 100 years. Starbucks provides an active, engaging street-front with outdoor seating that will add to the ambience and general vitality of the area.

Going the distance for you.


The Cub Room Restaurant & Starbucks Coffee Shop
58 S Main St, Village of Fairport
07/24/2023

Enclosed is the following information to aid in your review:

- 15 copies of this Letter of Intent
- 1 copy of the Site Plan Approval Application Form
- 1 copy of the Short Environmental Assessment Form (SEAF)
- 1 check for Planning Board fee in the amount of \$480
- 15 copies of the Site Plan Set (11x17)
- 15 copies of the Architectural Elevations for The Cub Room (11x17)
- 15 copies of the Architectural Elevations for Starbucks (11x17)
- 15 copies of the Site Plan Set (full size)

We look forward to presenting this project to the Planning Board. If you have any questions, please do not hesitate to contact our office.

Respectfully submitted,



Matt Tomlinson
MARATHON ENGINEERING

cc: Angelo Ingrassia



SITE PLAN APPLICATION

PROJECT ADDRESS 58 S Main St
ZONING DISTRICT B-1: Commercial Business, Design Overlay District
PROPOSED USE OF SITE
The Cub Room Restaurant & Starbucks Coffee Shop

APPLICANT INFORMATION

Name Angelo Ingrassia, 58 S Main Fairport, LLC
Mailing Address 550 Latona Rd. Bldg E, Ste 501, Rochester NY 14626
Phone Number 585-350-8590
Email Address autoange@aol.com

Interest in Property Owner Lessee Other

Signature *Matt Tomlinson - As agent.* Date *7/24/23*

PROPERTY OWNER INFORMATION (if other than above)

Name Same as applicant
Mailing Address
Phone Number
Email Address

Signature Date

PLAN PREPARER

Name Matt Tomlinson, Marathon Engineering
Mailing Address 39 Cascade Dr Rochester NY 14614
Phone Number 585-458-7770
Email Address mtomlinson@marathoneng.com



SITE PLAN APPLICATION

Please note the State and Federal Permits Needed (list type and appropriate department)

Total Site Area (square feet or acres)

0.38 acres

Anticipated Construction Time

12 months

Will the development be staged? Yes No

Is any portion of the site in a floodplain? Yes No

Character of surrounding property (suburban, agriculture, wetlands)

Suburban (village)



SITE PLAN APPLICATION

DETAILED PROJECT DESCRIPTION – Please detail the primary and secondary uses, including the ground floor area, height and number of stories for each building. For residential projects, please include the number of dwelling units and number of parking spaces. For commercial uses, please include the total floor area, total sales area and the number of automobile and truck parking spaces. Additional information can be attached.

The Cub Room: 9,400+/- SF; Starbucks: 2,500+/- SF

11 parking spaces will be constructed on the western side of the two buildings, adjacent to the existing municipal parking lot

A patio will be constructed between the buildings, with seating under a covered portion adjacent to the coffee shop.



Board Member Site Visits

As part of their responsibilities for reviewing your application, Board Members and Village Staff conduct site visits of the subject property to enable them to observe the property and the context of the neighborhood and adjacent properties. Some applications involve a project that is not visible from the public right-of-way and it may be necessary for Board Members and Village Staff to access your property to observe portions of the exterior of the property not visible from the right of way.

Please note that if you do not authorize Board Members and Village Staff to access your property, you must provide additional photographic evidence of the area of your property that is not visible from the public right-of-way.

I, Angelo Ingrassia (owner of property),

located at 58 S Main St, Fairport (subject property address) hereby grant permission to members of the Fairport Planning Board, Zoning Board of Appeals, Historic Preservation Commission and Village Staff to enter upon and review my premises in connection with the application submitted for the review.

Matt Tomlinson - as Agent

Signature of Property Owner

Date 7/24/23



**Statement of Applicant and Owner with Respect
to Reimbursement of Professional and Consulting Fees**

In conjunction with an application made to the Village of Fairport, the undersigned states, represents and warrants the following:

1. I/We am/are the applicant and/or owner with respect to an application to the Village of Fairport.
2. I/We have been advised of, are aware of and understand the obligation to reimburse the Village of Fairport for consulting and professional fees incurred in relation to my/our application(s), all in accordance with the Village of Fairport Consultant Fee Reimbursement Law.
3. I/We understand that this obligation shall not be dependent upon the approval or success of the application.

Owner Angelo Ingrassia

Signature *Matt Tomlinson - as Agent*

Dated *7/24/23*

Applicant (if different from Owner)

Signature

Dated

Engineer's Memorandum
FOR
Proposed Restaurant Building
and Starbucks

58 South Main Street
Village of Fairport
Monroe County, New York
7/24/2023

Prepared By:



Prepared For:

58 S Main Fairport, LLC



1.0 Introduction

This project proposes subdividing the existing lot at 58 South Main Street into two lots and constructing improvements on each. On Lot 1, a 1-story building addition will be added to the rear of the existing structure. On Lot 2, a new 1-story building will be constructed. Between the two buildings a walkway, landscaping, and patios will be constructed.

2.0 Utilities

Lot 1 will be served by existing utility connections. On the existing sanitary sewer lateral, a grease trap will be installed to allow a restaurant to occupy the building. No other utility modifications will be made.

Lot 2 will be served by a new 6" PVC sewer lateral with grease trap and a new 1" domestic water service. Fire sprinklers are not required to be installed as part of this project; therefore, no fire service line is proposed.

Runoff from the proposed site will generally follow the flow pattern of existing runoff. Existing conditions runoff is collected by roof drains on the existing building and two catch basins. Proposed conditions runoff will be collected by 6-yard drains, two catch basins, and roof drains on both buildings. In both the existing and proposed conditions, runoff from the upslope private and municipal parking will be collected by on-site catch basins. All inlets will convey runoff to an existing 12-inch storm pipe that connects to the municipal stormwater system.

2.0 Parking

Per Village code § 550-49 B.(9) one space is required per four occupants and per four outdoor seats. The following table summarizes occupancy and outdoor seating for both structures.

| | Restaurant Building | Starbucks |
|---|---------------------|-----------|
| Indoor occupancy | 120 | 28 |
| Outdoor Seating | 40 | 32 |
| Total of indoor occupancy and outdoor seating | 160 | 60 |



Based on these values, 55 parking spaces are required for the two lots. Though 55 spaces are required by code, it is not anticipated that these businesses will require this much parking at any one time, as their peak hours do not overlap. The peak hours for Starbucks are in the morning, and the restaurant will not be open during these hours. Additionally, Starbucks parking spaces have a high turnover rate that is not accounted for in the demand calculation within the code.

Parking on site will consist of 9 spaces marked as reserved for the new Lot 2 structure, and two unreserved accessible spaces. The remaining 44 parking spaces required will be provided by the adjacent municipal parking lots. To ensure these lots have capacity to accommodate parking for the proposed project, a representative of the landlord counted available municipal spaces at peak weekend morning and afternoon times on several days in May and July 2023. Average available space counts from those days are included in the following table.

| Location | Day and Time | | | |
|--|---|--------------------|-----------------|-------------------|
| | Saturday Morning | Saturday Afternoon | Weekday Morning | Weekday Afternoon |
| Village Landing South of Main Street entrance (Immediately adjacent to site) | 0 (Farmers Market occupying this space) | 45 | 45 | 45 |
| Village Landing North of Main Street entrance | 12-20 (quick turnover) | 180+ | 160+ | 100+ |

Additionally, the adjacent lot to the South, 70 South Main Street, has indicated in correspondence that their parking may be used by 58 South Main Street during hours when the business at 70 South Main Street is closed. A copy of this correspondence is attached.

Based on these counts, and the select availability of parking at 70 South Main Street, there is sufficient parking to accommodate the proposed Lot 1 and Lot 2 tenants.



3.0 Code Review

The following project statistics table compares the proposed site against zoning regulations for the business commercial district. Rows highlighted in yellow vary from requirements. See site plan sheet C3.0 for additional information.

PROJECT STATISTICS

1. GENERAL:

- 1.1 PROPERTY ADDRESS - 58 S. MAIN STREET
- 1.2 TAX ACCOUNT - 153.13-1-16.1
- 1.3 PARCEL SIZE - 0.381 ACRES

2. ZONING REGULATIONS:

- 2.1 ZONING DISTRICT - B-1 COMMERCIAL BUSINESS (ARTICLE VII.550-32)
DESIGN OVERLAY DISTRICT (ARTICLE IX)

- 2.2 PROPOSED USES -
RESTAURANTS ARE PERMITTED USES WITHIN THE ZONING DISTRICT

| 2.3 CODE REQUIREMENTS - | REQUIRED | PROPOSED LOT 1 | PROPOSED LOT 2 |
|--------------------------------|--------------|----------------|----------------|
| MAXIMUM BUILDING COVERAGE | 80% | 44% | 32% |
| MAXIMUM PARKING/ LANE COVERAGE | 20% | 16.7% | 15.7% |
| MINIMUM LOT AREA | 5000 SF | 8,697 SF | 7,892 |
| MINIMUM LOT WIDTH | 40' | 62' | 56' |
| MINIMUM LOT DEPTH | 125' | 140' | 140' |
| FRONT SETBACK | 0' | 6.7'(EXIST.)** | 16** |
| SIDE SETBACK (MIN.-MAX) | 0-10' | 8.7'(EXIST.) | 6.5' |
| REAR SETBACK | 30' | 36.4' | 47.7' |
| MIN. BUILDING HEIGHT | 24-45' | EXISTING | 22' |
| PARKING LOCATION * | SIDE OR REAR | REAR | REAR |

*MUNICIPAL LOT WITHIN 500' OF PROJECT

** PLANNING BOARD CAN INCREASE FOR OUTDOOR EATING/ SEMIPUBLIC USES

4.0 Hours of Operation

Cub Room, the tenant on Lot 1, is anticipated to operate on the following schedule.

| Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday |
|--------|---------|-------------|-------------|-----------------|-----------------|--------------|
| Closed | Closed | 5 PM – 9 PM | 5 PM – 9 PM | 5 PM – 10:30 PM | 5 PM – 10:30 PM | 10 AM – 2 PM |

Starbucks, the tenant on Lot 2, is anticipated to operate on the following schedule.

| Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday |
|----------------|----------------|----------------|----------------|----------------|-------------|-------------|
| 5 AM – 8:30 PM | 5 AM – 8:30 PM | 5 AM – 8:30 PM | 5 AM – 8:30 PM | 5 AM – 8:30 PM | 5 AM – 7 PM | 5 AM – 7 PM |

August 30, 2023

Mr. Angelo Ingrassia
550 Latona Rd, Bldg E Suite 501
Rochester, New York 14625

RE: 58 South Main St Development, Village of Fairport, NY
Trip Generation & Distribution Assessment

Dear Mr. Ingrassia:

The purpose of this technical letter is to provide a trip generation and distribution assessment, and to understand the possible traffic impacts resulting from the proposed project located at 58 South Main St in the Village of Fairport, NY. **Figure 1** illustrates the project site location and study area. This letter details the current traffic conditions at the site driveway and South Main St, projected trip generation estimates, and future trip distribution at the site driveway and South Main St. The scope of work for this project was reviewed and approved by the Village of Fairport. All supporting materials are included in the attachments.

EXISTING HIGHWAY SYSTEM

The project is located to the west of South Main St, and along the south of the Fairport Village Landing property in the Village of Fairport, NY. **Table 1** provides a description of the roadway characteristics for the adjacent highway: South Main St. **Figure 2** depicts the lane geometry and traffic control at the study intersections and the Annual Average Daily Traffic (AADT) volumes on South Main St.

Table 1: Existing Highway System

| ROADWAY | CLASS ¹ | AGENCY ² | SPEED LIMIT ³ | TRAVEL LANES ⁴ | TRAVEL PATTERN/DIRECTION | EST. AADT & SOURCE ⁵ |
|----------------------------|--------------------|---------------------|--------------------------|---------------------------|--------------------------|---------------------------------|
| South Main Street (NY-250) | 14 | NYSDOT | 30 | 2 | Two-way/ North-South | 11,216 NYSDOT (2018) |

Notes:

1. State Functional Classification of Roadway: 14 = Urban Principal Arterial
2. Jurisdictional Agency of Roadway. "NYSDOT" = New York State Department of Transportation
3. Posted or Statewide Limit in Miles per Hour (mph).
4. Number of travel lanes. Excludes turning/auxiliary lanes developed at intersections.
5. Estimated AADT in Vehicles per Day (vpd). AADT Source (Year).

Urban Principal Arterial (Class 14)

An urban principal arterial serves major activity centers, can interconnect, and augment higher level arterials, serve trips of moderate length, and serve demand for intra-area travel between the central business district and outlying residential areas. Unlike access-controlled arterials, abutting land uses can be served directly.

PROJECT DESCRIPTION

The proposed project consists of a stand-alone ±2,500 square foot (SF) Starbucks Coffee Shop (without a drive thru) and a second/new location for "The Cub Room" restaurant. The new restaurant

will be housed in the existing/renovated ±3,883 square foot (SF) two story building on the site; a ±750 SF one story addition will be constructed along the west side of the building. Access is provided via the existing Fairport Village Landing driveway along South Main St directly north of the proposed project and the existing Fairport Village Landing driveway along Perrin St.

Eleven parking spaces will be constructed along the west side of the proposed project and will be reserved for the proposed project. There is additional public parking in the Fairport Village Landing, and Packett's Landing Municipal parking lot, which are both walking distance from the proposed project. Additionally, the property owner at 70 South Main St has indicated that their parking lot may be used for the proposed project when the business at 70 South Main St is closed.

TRIP GENERATION

The volume of traffic generated by a site is dependent on the intended land use and size of the development. Trip generation is an estimate of the number of trips generated by a specific building or land use. These trips represent the volume of traffic entering and exiting the development. Trip Generation Manual (11th Edition) published by the Institute of Transportation Engineers (ITE) is used as a reference for this information. The trip rate for the peak hour of the generator may or may not coincide in time or volume with the trip rate for the peak hour of adjacent street traffic. Volumes generated during the peak hour of the adjacent street traffic and proposed land use, in this case, the weekday AM and PM peak hours represent a more critical volume when analyzing the capacity of the system; those intervals will provide the basis of this analysis.

According to the ITE, the following steps are recommended when determining trip generation for proposed land uses:

- i. Check for the availability of local trip generation rates for comparable uses.
- ii. If local trip data for similar developments are not available and time and funding permit, conduct trip generation studies at sites with characteristics similar to those of the proposed development.

Trip generation data for the proposed Starbucks was derived from count data collected at a similar site at 1806 Penfield Rd, Penfield, NY given the similar services provided at the proxy site and that both the proposed South Main St site and the Penfield site do not have a drive thru. Trip generation data was collected at the Penfield location on Friday, August 11, 2023 between 6:30-9:00 AM. The Penfield site is located in the walkable "four corners" area of Penfield. Given that the AADT of Penfield Rd adjacent to the proxy site is significantly greater than the AADT of South Main St in Fairport, a ratio of the two AADTs was applied to the collected trip generation data to determine the site generated trips for the proposed project. Additionally, the proposed site is located in the center of the Village of Fairport. As such, the proposed project is likely to get more pedestrian traffic from the offices and residential areas nearby and less vehicular traffic, unlike the Penfield Rd site which exhibited greater vehicular traffic. Trip generation data was not collected during the PM peak hour as Starbucks does not generate a significant volume of traffic during that time period.

Additionally, historical trip generation data was obtained for two former stand-alone Starbucks locations along Route 31 in Pittsford, NY and West Ridge Rd in Greece, NY. Neither of these locations had a drive thru when they were operational. Trip generation data was collected at these locations on Wednesday, December 13, 2000 between 7:00-9:00 AM. These trip generations volumes are used solely for comparison in **Table 2**. It should be noted that the ITE trip generation database contains data from all time periods dating back to the 1990s. Considering that the data for the Pittsford and Greece locations is 23 years old, using this historical data for comparison purposes remains applicable.

Similar to the Penfield location mentioned above, the proposed location is likely to generate more pedestrian traffic compared to the historical Pittsford and Greece locations, which were located along more heavily trafficked corridors and weren't as pedestrian friendly as the proposed site.

Trip generation data for the proposed "The Cub Room" restaurant was derived from count data collected at the existing location at 739 South Clinton Ave, Rochester, NY. Trip generation data was collected at The Cub Room on Thursday, August 10, 2023 between 5:00-7:00 PM. Data was not collected during the AM peak hour as the restaurant does not operate during the weekday AM peak hour.

Table 2 shows historical trip generation data taken from the Route 31, Pittsford NY and West Ridge Rd, Greece, NY former Starbucks locations, trip generation data collected at the Starbucks at 1806 Penfield Rd, Penfield, NY, and the estimated site generated trips that will be added to the existing roadway system under full project development. All trip generation information is included in the Appendices.

Table 2: Site Generated Trips

| DESCRIPTION | SIZE | AADT ¹ | AM PEAK HOUR | | PM PEAK HOUR | |
|-----------------------------------|-----------|-------------------------|--------------|-----------|--------------|----------|
| | | | ENTER | EXIT | ENTER | EXIT |
| Route 31 Pittsford Starbucks | | 16,000 NYSDOT (1997) | 56 | 52 | N/A | N/A |
| West Ridge Road Greece Starbucks | | 39,600 NYSDOT (2000) | 47 | 51 | N/A | N/A |
| 1806 Penfield Road Starbucks | | 32,539 NYSDOT (2018) | 78 | 78 | N/A | N/A |
| Proposed Starbucks | ±2,500 SF | 11,216 NYSDOT (2018) | 27 | 27 | N/A | N/A |
| Proposed "The Cub Room" | ±4,633 | - | 0 | 0 | 22 | 0 |
| Total Site Generated Trips | | | 27 | 27 | 22 | 0 |

Note:

1. Estimated AADT in Vehicles per Day (vpd). AADT Source (Year).

The proposed project is expected to generate approximately 27 entering/27 exiting vehicle trips during the AM peak hour and 22 entering/0 exiting vehicle trips during the PM peak hour.

TRIP DISTRIBUTION

The cumulative effect of site-generated traffic on the transportation network is dependent on the origins and destinations of that traffic. The proposed arrival/departure distribution of traffic generated by the proposed project is considered a function of several parameters, including:

- Residential and commercial centers in the area using US Census Data (e.g., OnTheMap).
- Site access location.
- Existing traffic patterns.

Figure 3 depicts the anticipated trip distribution pattern percentages for the traffic from the proposed project and **Figure 4** illustrates the peak hour site generated traffic based on those percentages for the project's site generated trips.

THRESHOLDS FOR THE REQUIREMENT OF A TRAFFIC IMPACT STUDY

Many reviewing agencies, including the NYSDOT and Monroe County Department of Transportation (MCDOT), use a guideline in determining whether a project warrants the preparation of a Traffic Impact Study (TIS). The applicable guideline is that if a proposed project is projected to add 100 or more site generated vehicles per hour (vph) to an adjacent intersection during either peak study period, then that intersection should be studied for potential traffic impacts.

Based upon the projected trip generation data and the resulting traffic assignment estimates shown in **Figure 4**, 54 or fewer peak hour trips are added to a single intersection during the peak hours studied. Therefore, the proposed project does not warrant a TIS.

CONCLUSIONS AND RECOMMENDATIONS

Given the projected site generated traffic, the anticipated site traffic distribution (54 or fewer peak hour trips added to a single adjacent intersection during the peak hours studied), the thresholds for completing a TIS, and the roadway characteristics previously described, a full TIS report is not warranted for the development proposed at this site. The proposed development is not expected to have a significant adverse impact on traffic operations at the site driveway or adjacent roadway.

If you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

SRF Associates
A Passero Associates Company



Amy C. Dake, P.E., PTOE
Senior Managing Traffic Engineer

Attachments

Y:\Projects-New\2023\20233655\20233655.0001\Report\2023-08-15 - 58 South Main St Development Letter.docx

ATTACHMENT

August 30, 2023

Letter to
Mr. Angelo Ingrassia

58 South Main Street Development

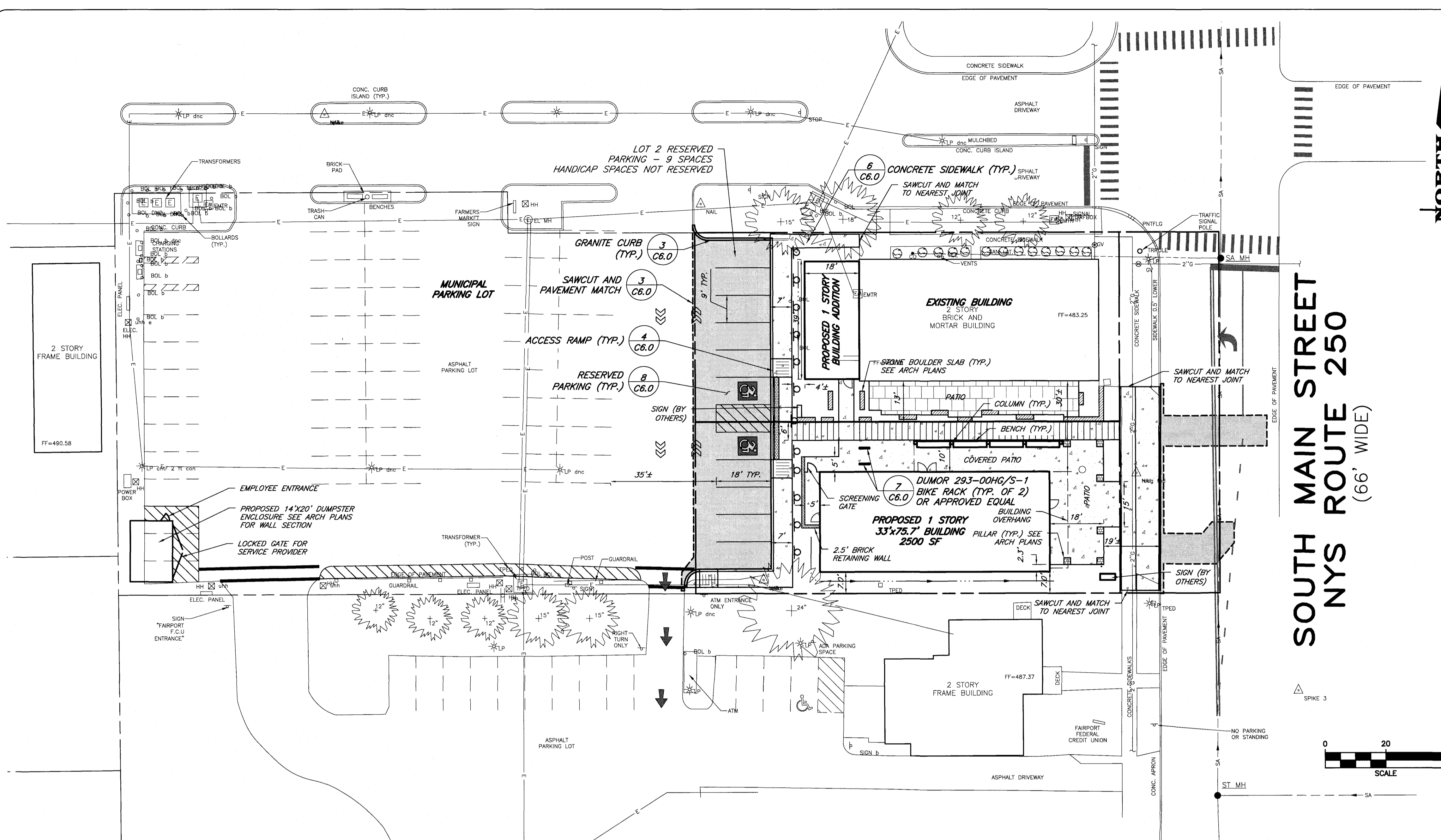
Trip Generation and Distribution Assessment

Village of Fairport
Monroe County, New York



242 West Main Street, Suite 100 Rochester, NY 14614
T 585.325.1000 | www.srfa.net | www.passero.com

File: Z:\Engineering\Job Files\1454-22 Drawings\Sheets\C3.0.dwg, Last saved: 7/24/2023, Plot Date: 7/24/2023, By: JOHN SCHELL, Plot Style: -



PROJECT STATISTICS

1. GENERAL:

1.1 PROPERTY ADDRESS - 58 S. MAIN STREET
 1.2 TAX ACCOUNT - 153.13-1-16.1
 1.3 PARCEL SIZE - 0.381 ACRES

2. ZONING REGULATIONS:

2.1 ZONING DISTRICT - B-1 COMMERCIAL BUSINESS (ARTICLE VII.550-32)
 DESIGN OVERLAY DISTRICT (ARTICLE IX)

2.2 PROPOSED USES:
 RESTAURANTS ARE PERMITTED USES WITHIN THE ZONING DISTRICT

2.3 CODE REQUIREMENTS:

| REQUIRED | PROPOSED LOT 1 | PROPOSED LOT 2 | |
|-------------------------------|----------------|----------------|-------|
| MAXIMUM BUILDING COVERAGE | 80% | 44% | 32% |
| MAXIMUM PARKING/LANE COVERAGE | 20% | 15.7% | 15.7% |
| MINIMUM LOT AREA | 9000 SF | 8,697 SF | 7,892 |
| MINIMUM LOT WIDTH | 40' | 62' | 56' |
| MINIMUM LOT DEPTH | 125' | 140' | 140' |
| FRONT SETBACK | 0' | 6.7'(EXIST)** | 16'' |
| SIDE SETBACK (MIN-MAX) | 0-10' | 8.7'(EXIST) | 5.5' |
| REAR SETBACK | 30' | 36.4' | 47.7' |
| MIN. BUILDING HEIGHT | 24-45' | EXISTING | 22' |
| PARKING LOCATION* | | REAR | REAR |

*MUNICIPAL LOT WITHIN 500' OF PROJECT
 ** PLANNING BOARD CAN INCREASE FOR OUTDOOR EATING/ SEMIPUBLIC USES

GENERAL NOTES

- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- UTILITY STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHS). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.
- INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

LEGEND:

- ADJACENT PROPERTY LINE
- PROJECT PROPERTY LINE
- NEW PROPERTY LINE
- SETBACK LINE
- CURB
- SIGN
- CONCRETE
- ASPHALT

ABBREVIATIONS

| | | | |
|----------|---------------------------------------|----------|--------------------------------|
| AC | ACRE | LP | LIGHT POST (PRIVATE) |
| AHD | AUTOMATIC HOOD EXHAUSTION | L.S. | LUMP SUM |
| A/W | AUTOMATED TELLER MACHINE | L.P. | LEFF |
| A.O.B.E. | AS ORDERED BY ENGINEER | M.B. | MAIL BOX |
| ASH | ASBESTOS | M.D. | MERCIE ORDINATE |
| AZ | AZIMUTH | M.O.N. | MONUMENT OR MORN |
| B | BREAKLINE | M.C.S. | MUNIC. COUNTY GEODESIC SURVEY |
| BM | BENCHMARK | N.C. | NECESSARY |
| CD | CENTERLINE | N.L.C. | NOT IN CONTRACT |
| CLP | CHAIN LINKED FENCE | NTS | NOT TO SCALE |
| CLD | CLEAR CUT | N.Y.F. | NEW OR FORMERLY |
| CONC. | CONCRETE | PAVT. | PAVEMENT |
| CPD | CORROGATED POLYETHYLENE PIPE | PE | POLYETHYLENE PIPE |
| CSP | CORROSPONDING STEEL PIPE | PPH | PERFORATED POLYETHYLENE PIPE |
| COV. | COVER | PC | POINT OF CURVATURE |
| CB | CONCRETE BOX | PI | POINT OF INTERSECTION |
| CT | CURB YARD | PT | POINT OF TANGENCY |
| D | DIAMETER | PVP | POINT OF VERTICAL CURVATURE |
| D.A. | DIRECTION OF CURVE | PVI | POINT OF VERTICAL INTERSECTION |
| D.L.P. | DUCTILE IRON PIPE | PVI' | POINT OF VERTICAL TANGENCY |
| D.M. | DRAIN MAN | PP | PERMANENT PILE |
| E.C. | ENGINEER IN CHARGE | P.L. | PROPERTY LINE |
| ELEV. | ELEVATION | R | RADIUS |
| EP | EDGE OF PAVEMENT | RCP | REINFORCED CONCRETE PIPE |
| FF | FINISH FLOOR = FINISH FLOOR ELEVATION | RGE | ROCHESTER GAS AND ELECTRIC |
| FT | FIELD TABLE | R.O.W. | RIGHT-OF-WAY |
| FR | FRAM | R.F. | ROOFTOP |
| FT | FIRST FLOOR = GARAGE FLOOR ELEVATION | R.T.S. | ROCHESTER TELEPHONE COMPANY |
| FT | FIRST FLOOR = GARAGE FLOOR ELEVATION | SA | SEWAGE SANITARY SEWER |
| FT | FIRST FLOOR = GARAGE FLOOR ELEVATION | ST | STATION |
| GAL | GALLON | STP | SEWAGE TREATMENT PLANT |
| G.C. | GRADE CONTROL | STY | SQUARE YARD |
| G.S. | GRADE SAIL | ST | STAKE |
| H.O. | HORIZONTAL CONTROL LINE | T.D. | TANGENT DISTANCE |
| H.W. | HORIZONTAL CONTROL LINE | T.D.L.C. | TANGENTIAL CURVE LINE |
| INVT | INVERT | TRP | TRIP |
| IRV | IRON PIPE OR IRON PIN | VC | VERTICAL CURVE |
| L | LENGTH OR LENGTH OF CURVE | VTP | VERTIFIED TILE PIPE |
| L.F. | LINEAR FEET | A | CENTRAL ANGLE |

**SOUTH MAIN STREET
NYS ROUTE 250
(66' WIDE)**

MARATHON ENGINEERING
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 ITHACA LOCATION
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 ITHACA, NY 14850
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PRELIM/FINAL SITE AND SUBDIVISION PLANS
 for
PROPOSED RESTAURANT BUILDING AND STARBUCKS BUILDING
 58 SOUTH MAIN STREET
 MONROE COUNTY
 VILLAGE OF FAIRPORT
 STATE OF NEW YORK

JOB NO: 1454-22
 SCALE: 1"=20'
 DRAWN: JWS
 DESIGNED: MPT
 DATE: 7/24/2023

REVISIONS

| DATE | BY | REVISION |
|------|----|----------|
| | | |
| | | |

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 146, SECTION 1403 FOR ANY PERSON UNDER CONTRACT WITH THE OFFICE OF A LICENSED PROFESSIONAL ENGINEER TO ENDORSE, ASSIST OR SUPERVISE THE WORK OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR WITHOUT THE SIGNATURE OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IN ATTENDANCE. THE SIGNATURE OF A LAND SURVEYOR SHALL BE IN THE PRESENCE OF THE PROFESSIONAL ENGINEER BY WHOM THE SURVEY WAS MADE AND THE DATE OF SUCH SIGNATURE, AND A SPECIFIC DESCRIPTION OF THE SURVEY.

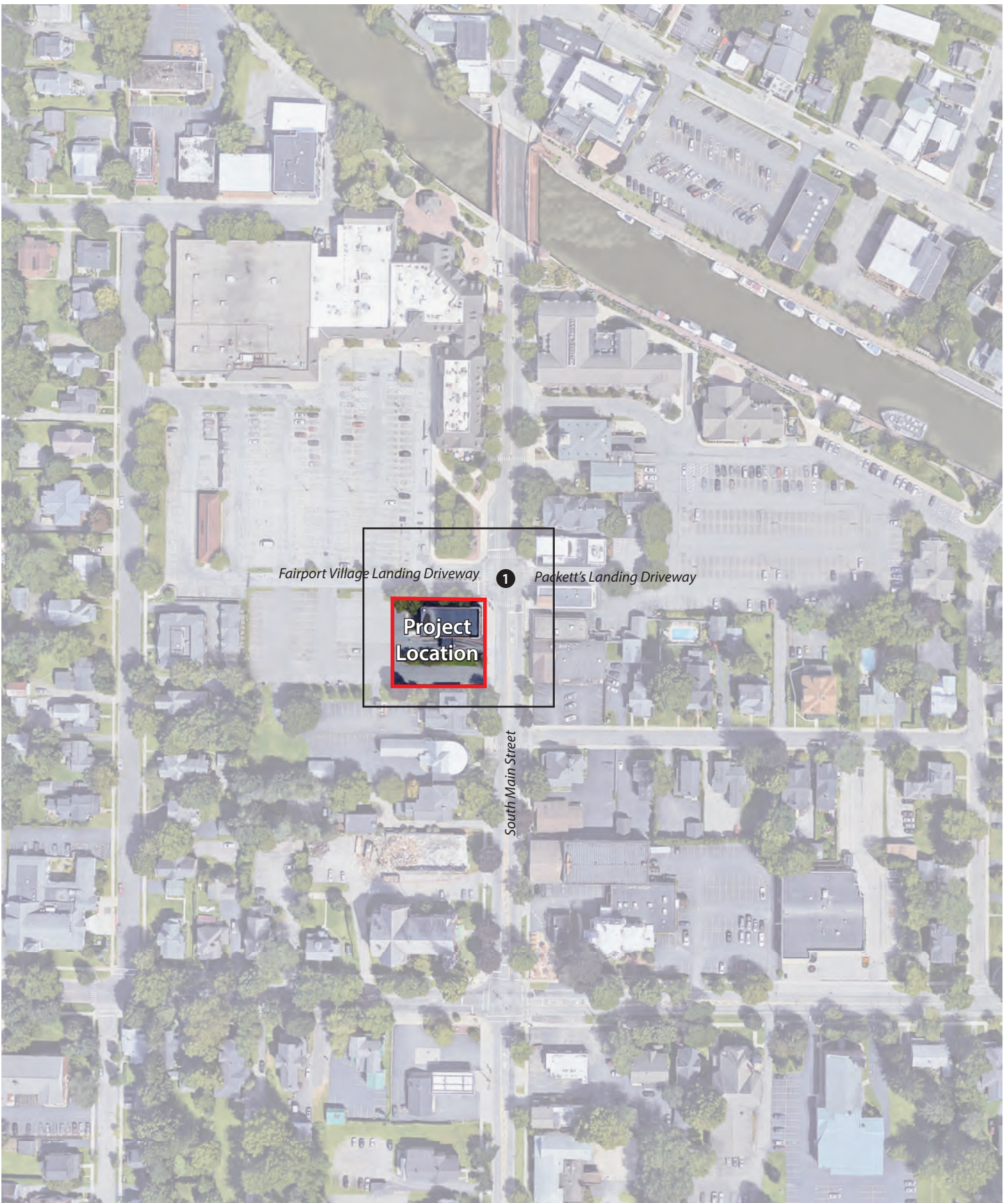
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ROBERT P. BRINGLEY

DRAWING TITLE:
LAYOUT PLAN

4 of 9
 SHEET No: **C3.0**
 1454-22
 JOB No: DRAWING No:

Figure 1



82 South Main St Development | Village of Fairport, Monroe County, NY

Site Location and Study Area

- Key:
- # Study Intersection
 - Study Area

Figure 2

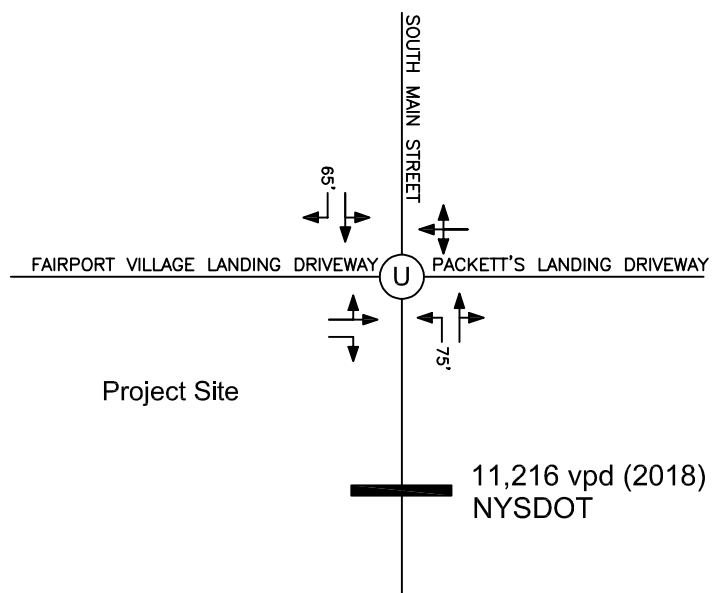
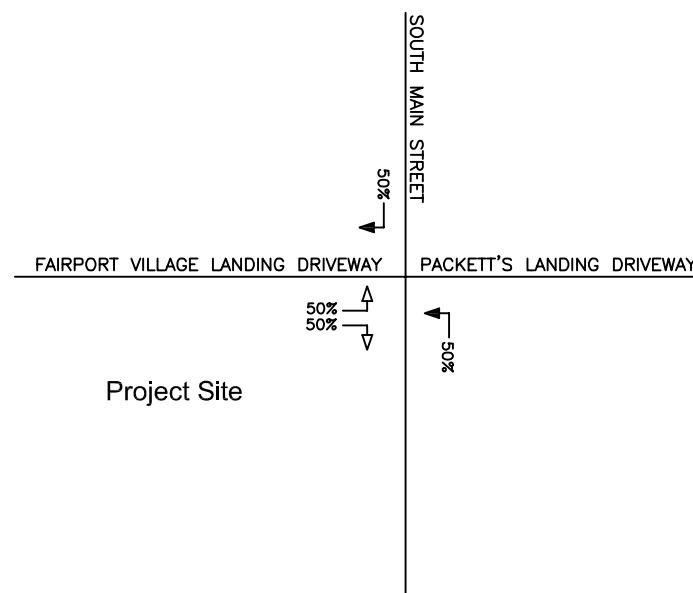


Figure 3



Lane Geometry and Average Daily Traffic

58 South Street Development | Village of Fairport, NY

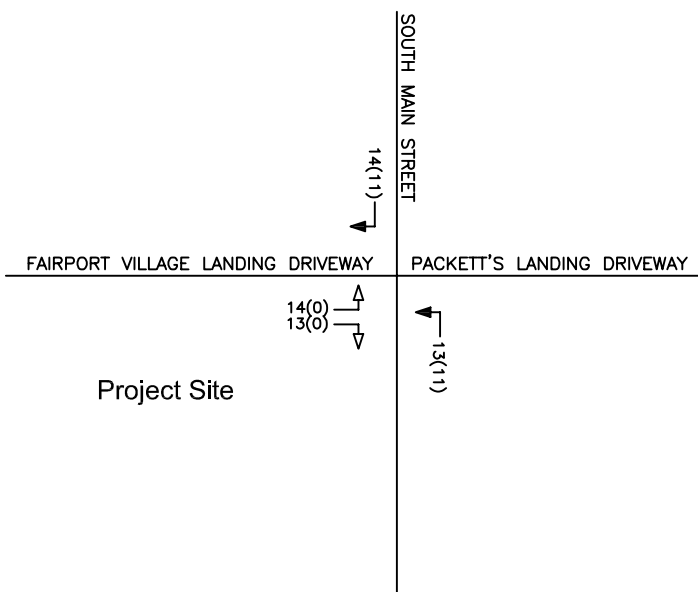
Trip Distribution



NOT TO SCALE

- KEY:
- 00(00) = AM(PM)
 - Entering Trip
 - ⇨ Exiting Trip
 - Proposed Access

Figure 4



Site Generated Trips

58 South Street Development | Village of Fairport, NY



NOT TO SCALE

- KEY:
- 00(00) = AM(PM)
 - Entering Trip
 - ⇨ Exiting Trip
 - Proposed Access

8/10/2023 5-7pm Cub Room, 739 S Clinton Avenue, Rochester

| | <u># people from Right/Main Lot</u> | <u># people from vehicles entering restaurant</u> | <u># people exiting restaurant into vehicles</u> | <u># of pedestrians entering restaurant</u> | <u># of pedestrians exiting restaurant</u> | <u>Left Parking Lot</u> | <u># people from vehicles entering restaurant</u> | <u># people exiting restaurant into vehicles</u> | <u># of pedestrians entering restaurant</u> | <u># of pedestrians exiting restaurant</u> | <u>Rideshare Pick- Ups/Drop-Offs in front</u> |
|-----------|---|---|--|---|--|-----------------------------|---|--|---|--|---|
| 5:00-5:15 | | - | - | 1 | 1 | | 1 | - | - | - | - |
| 5:15-5:30 | | 0 | 1 | - | - | | - | - | - | - | - |
| 5:30-5:45 | | 1 | - | - | - | | 1 | - | - | - | - |
| 5:45-6:00 | | 7 | - | 1 | - | | - | - | - | - | - |
| 6:00-6:15 | | - | - | 2 | - | | - | - | - | - | - |
| 6:15-6:30 | | - | - | - | - | | 8 | - | 6 | - | - |
| 6:30-6:45 | | 5 | - | - | - | | 3 | - | - | - | - |
| 6:45-7:00 | | 4 | - | 2 | 2 | | 2 | - | 2 | - | - |
| | | 9 | 0 | 4 | 2 | | 13 | 0 | 8 | 0 | - |

8/11/2023 6:30-9am Starbucks, 1806 Penfield Road, Penfield

| | <u>Front Lot</u> | <u># people from vehicles entering SB</u> | <u># people exiting SB into vehicles</u> | <u># of pedestrians entering SB</u> | <u># of pedestrians exiting SB</u> | <u>Rear Lot</u> | <u># people from vehicles entering SB</u> | <u># people exiting SB into vehicles</u> | <u># of pedestrians entering SB</u> | <u># of pedestrians exiting SB</u> | | |
|-----------|------------------|---|--|---|--|-----------------|---|--|---|--|----|-----|
| 6:30-6:45 | | 6 | 6 | 1 | 1 | | 2 | 2 | 1 | 1 | 16 | |
| 6:45-7:00 | | 7 | 6 | 1 | 1 | | 3 | 3 | - | 1 | 19 | |
| 7:00-7:15 | | 7 | 3 | 2 | 1 | | 2 | 2 | - | - | 14 | |
| 7:15-7:30 | | 12 | 8 | - | - | | 3 | 2 | - | - | 25 | 74 |
| 7:30-7:45 | | 17 | 12 | - | - | | 5 | 8 | - | - | 42 | 100 |
| 7:45-8:00 | | 7 | 12 | - | - | | 2 | 4 | 1 | - | 25 | 106 |
| 8:00-8:15 | | 11 | 16 | - | - | | 7 | 5 | - | - | 39 | 131 |
| 8:15-8:30 | | 11 | 9 | - | - | | 6 | 4 | - | 1 | 30 | 136 |
| 8:30-8:45 | | 17 | 9 | - | - | | 5 | 13 | - | - | 44 | 138 |
| 8:45-9:00 | | 19 | 16 | - | - | | 2 | 6 | - | - | 43 | 156 |
| | | 58 | 50 | 0 | 0 | | 20 | 28 | 0 | 1 | | |

PRELIM/FINAL SITE AND SUBDIVISION PLANS for PROPOSED RESTAURANT BUILDING AND STARBUCKS

58 SOUTH MAIN STREET

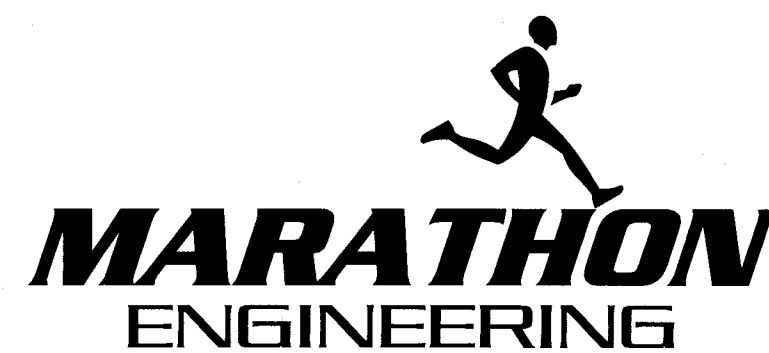
SITUATE IN:

VILLAGE OF FAIRPORT - MONROE COUNTY - STATE OF NEW YORK



LOCATION MAP

NOT TO SCALE



ROCHESTER LOCATION

39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770

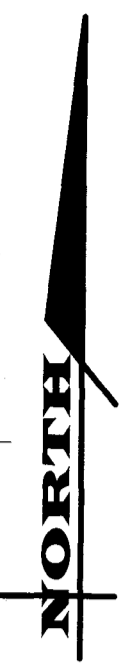
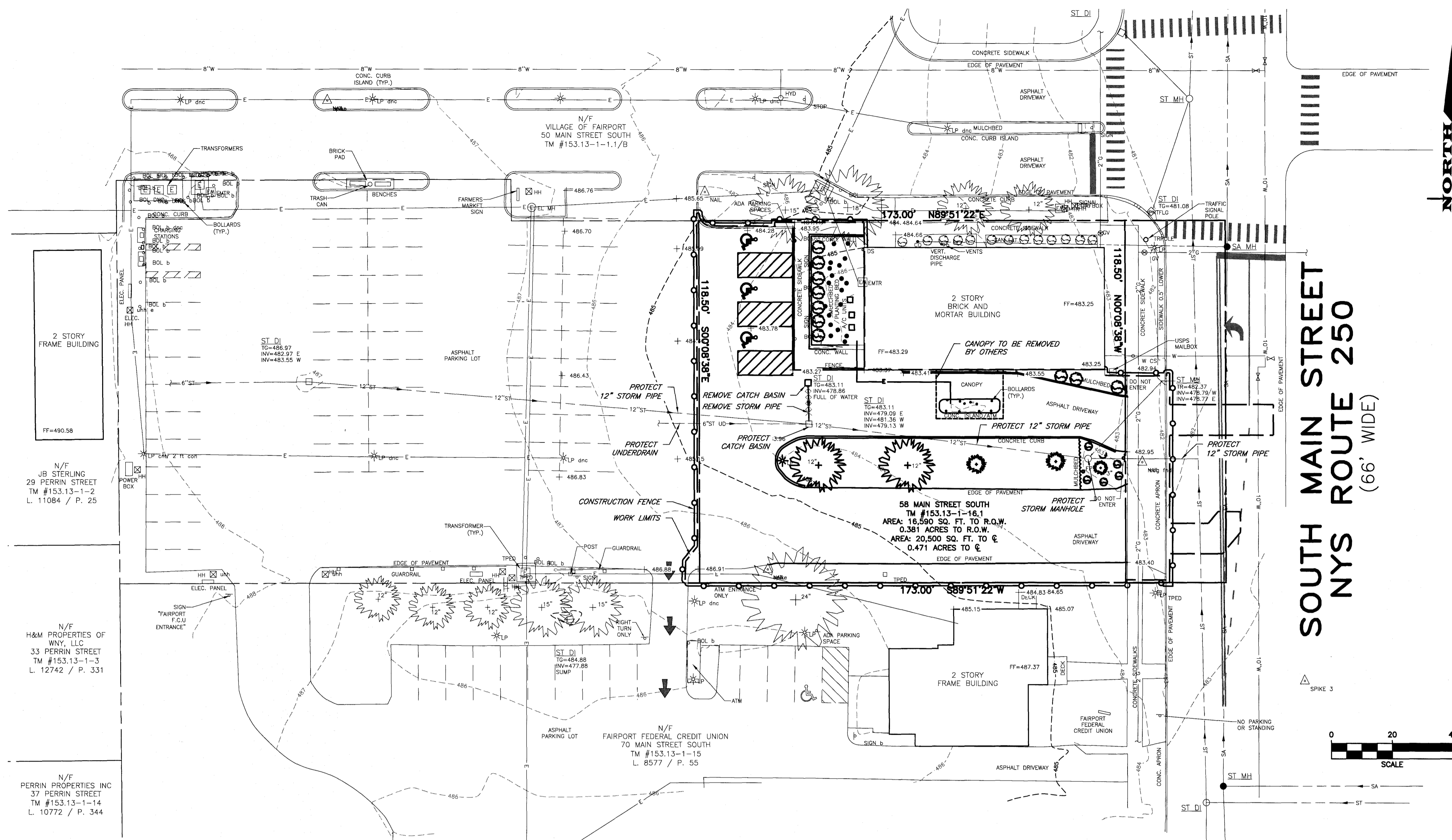
ITHACA LOCATION

840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917

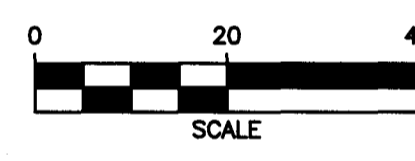
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| LIST OF DRAWINGS | | |
|------------------|----------|---|
| No. | DWG. No. | Description |
| 1 | C0.0 | COVER SHEET |
| 2 | C1.0 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| 3 | C2.0 | SUBDIVISION PLAT |
| 4 | C3.0 | LAYOUT PLAN |
| 5 | C4.0 | UTILITY PLAN |
| 6 | C5.0 | GRADING AND EROSION CONTROL PLAN |
| 7 | C6.0 | CONSTRUCTION DETAILS |
| 8 | C6.1 | CONSTRUCTION DETAILS |
| 9 | C6.2 | CONSTRUCTION DETAILS |

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**SOUTH MAIN STREET
NYS ROUTE 250
(66' WIDE)**



- LEGEND:**
- ADJACENT PROPERTY LINE
 - - - PROJECT PROPERTY LINE
 - - - EASEMENT LINE
 - - - EXISTING GAS MAIN & VALVE
 - - - EXISTING ELECTRIC CONDUIT & STRUCTURE
 - - - EXISTING STORM MAIN, MANHOLE, AND INLET
 - - - EXISTING SANITARY MAIN & MANHOLE
 - - - EXISTING WATER MAIN, VALVE, & HYDRANT
 - - - CONSTRUCTION FENCE
 - - - EXISTING CONTOUR
 - - - DEMOLISH UTILITY
 - - - WORK LIMITS

N/F
JB STERLING
29 PERRIN STREET
TM #153.13-1-2
L. 11084 / P. 25

N/F
H&M PROPERTIES OF
WNY, LLC
33 PERRIN STREET
TM #153.13-1-3
L. 12742 / P. 331

N/F
PERRIN PROPERTIES INC
37 PERRIN STREET
TM #153.13-1-14
L. 10772 / P. 344

N/F
VILLAGE OF FAIRPORT
50 MAIN STREET SOUTH
TM #153.13-1-1.1/B

N/F
FAIRPORT FEDERAL CREDIT UNION
70 MAIN STREET SOUTH
TM #153.13-1-15
L. 8577 / P. 55

**58 MAIN STREET SOUTH
TM #153.13-1-16.1
AREA: 16,590 SQ. FT. TO R.O.W.
0.381 ACRES TO R.O.W.
AREA: 20,500 SQ. FT. TO E
0.471 ACRES TO E**

MARATHON ENGINEERING
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ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917
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PRELIM/FINAL SITE AND SUBDIVISION PLANS
for
**PROPOSED RESTAURANT
BUILDING AND STARBUCKS**
STATE OF NEW YORK
VILLAGE OF FAIRPORT
MONROE COUNTY
58 SOUTH MAIN STREET

JOB NO: 1454-22
SCALE: 1"=20'
DRAWN: JWS
DESIGNED: MPT
DATE: 7/24/2023

| REVISIONS | | |
|-----------|----|----------|
| DATE | BY | REVISION |
| | | |

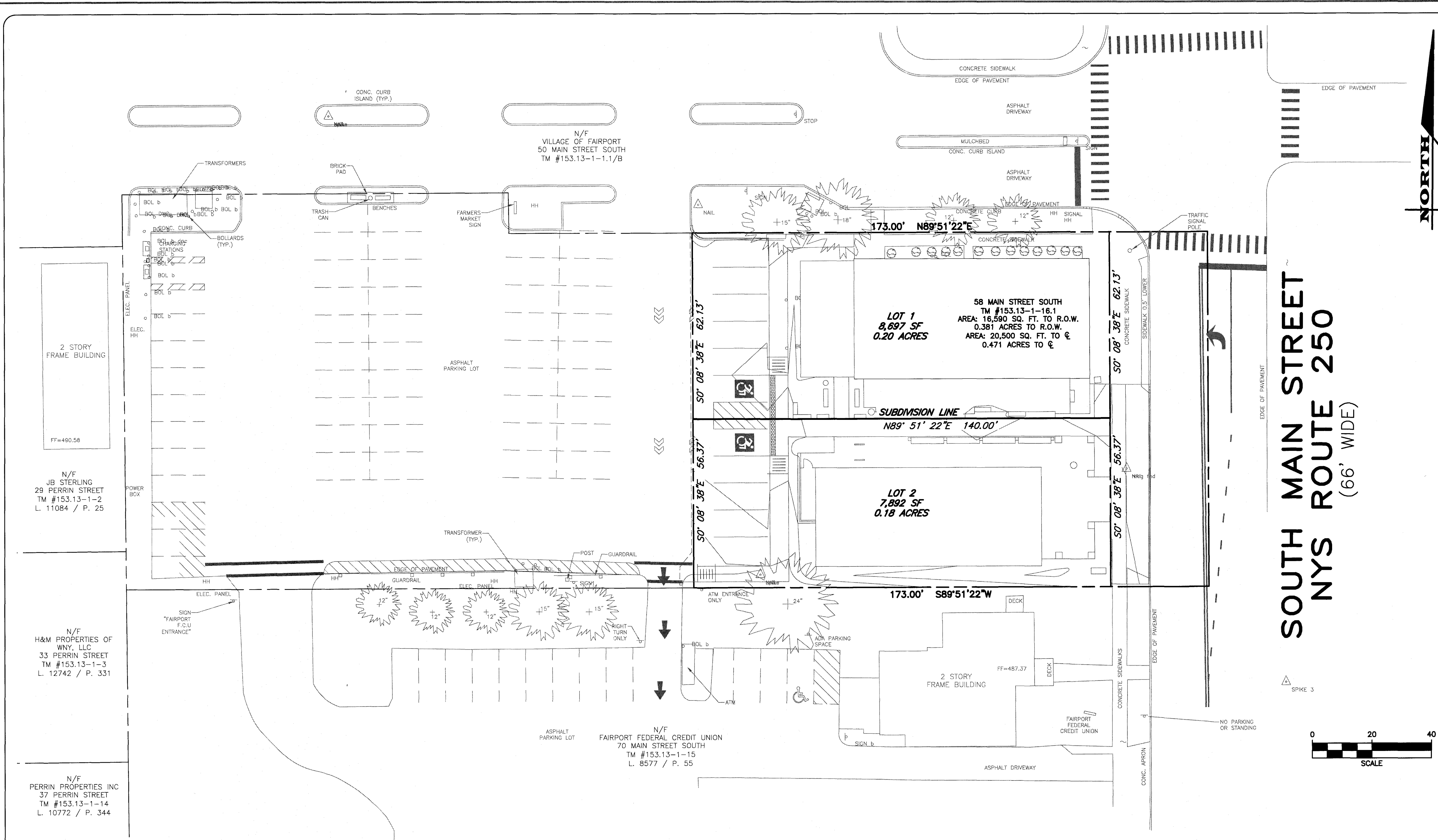
THIS IS A PRELIMINARY PLAN AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND UTILITIES SHOWN ON THIS PLAN. ANY CHANGES TO THIS PLAN SHALL BE MADE BY A REVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION AFTER COMPLETION OF THE PROJECT. COPYRIGHT © 2023 MARATHON ENG.

STATE OF NEW YORK
ROBERT P. BRINGLEY
LICENSED PROFESSIONAL ENGINEER
NO. 066924

DRAWING TITLE:
**EXISTING
CONDITIONS AND
DEMOLITION PLAN**

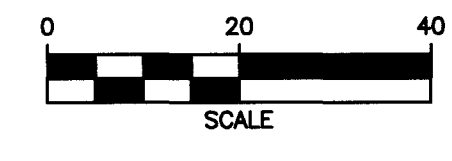
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SHEET No: **C1.0**
1454-22
JOB No: DRAWING No:

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LEGEND:
 - - - - - ADJACENT PROPERTY LINE
 - - - - - PROJECT PROPERTY LINE
 - - - - - NEW PROPERTY LINE

**SOUTH MAIN STREET
 NYS ROUTE 250
 (66' WIDE)**



PROJECT STATISTICS

- 1. GENERAL:**
 1.1 PROPERTY ADDRESS - 58 S. MAIN STREET
 1.2 TAX ACCOUNT - 153.13-1-16.1
 1.3 PARCEL SIZE - 0.381 ACRES

SURVEY NOTES:

THE HORIZONTAL DATUM (NAD 1983, 2011) TO THE N.Y.S. PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR SYSTEM. BEARINGS SHOWN HEREON ARE REFERENCED TO GRID. DISTANCE SHOWN ARE GROUND. COORDINATES SHOWN HEREON ARE GRID. ELEVATIONS SHOWN HEREON ARE NAVD83 (GEOID 12A)
 SURVEY WORK TO ESTABLISH EXISTING FEATURES FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 25,000 (1:20,000) OR BETTER.
 SURVEY WORK TO ESTABLISH MONUMENTATION AND OUTSIDE CONTROL WAS ESTABLISHED BASED ON GPS OBSERVATIONS USING RTK METHODS USING CORS STATION NYHB AS BASE CONTROL. NETWORK POSITIONAL ACCURACY ESTABLISHED WITH 0.025 TO 0.05 ACCURACY.
 USING ABOVE RTK METHODS THE FOLLOWING MONUMENTS WERE USED TO ESTABLISH COORDINATES & BEARINGS.

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IF A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 141, SECTION 1209 FOR ANY REASON, SHALL BE FOUND TO EXIST, THE DESIGNER OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL BE SUBJECT TO ALL THE PENALTIES OF SUCH A PROFESSIONAL ENGINEER OR LAND SURVEYOR AS APPLIED BY THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. ANY ALTERATION, ADDITION, DELETION, OR REMOVAL OF ANY PART OF THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE DESIGNER AND A SPECIFIC DESCRIPTION OF THE ALTERATION SHALL BE PROVIDED.

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 DOUGLAS W. MAGDE

DRAWING TITLE:
 SUBDIVISION PLAT

| | |
|---------------------|-------------|
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| 1454-22 JOB No: | |
| | DRAWING No: |

WE, MARATHON ENGINEERING, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY COMPLETED ON 07/07/22 AND FROM THE REFERENCES LISTED HEREON, SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

DOUGLAS W. MAGDE, L.S. LIC. #049957

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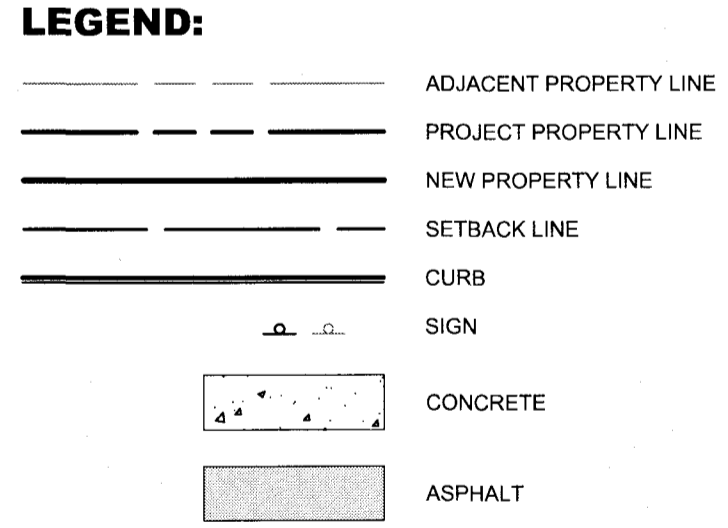
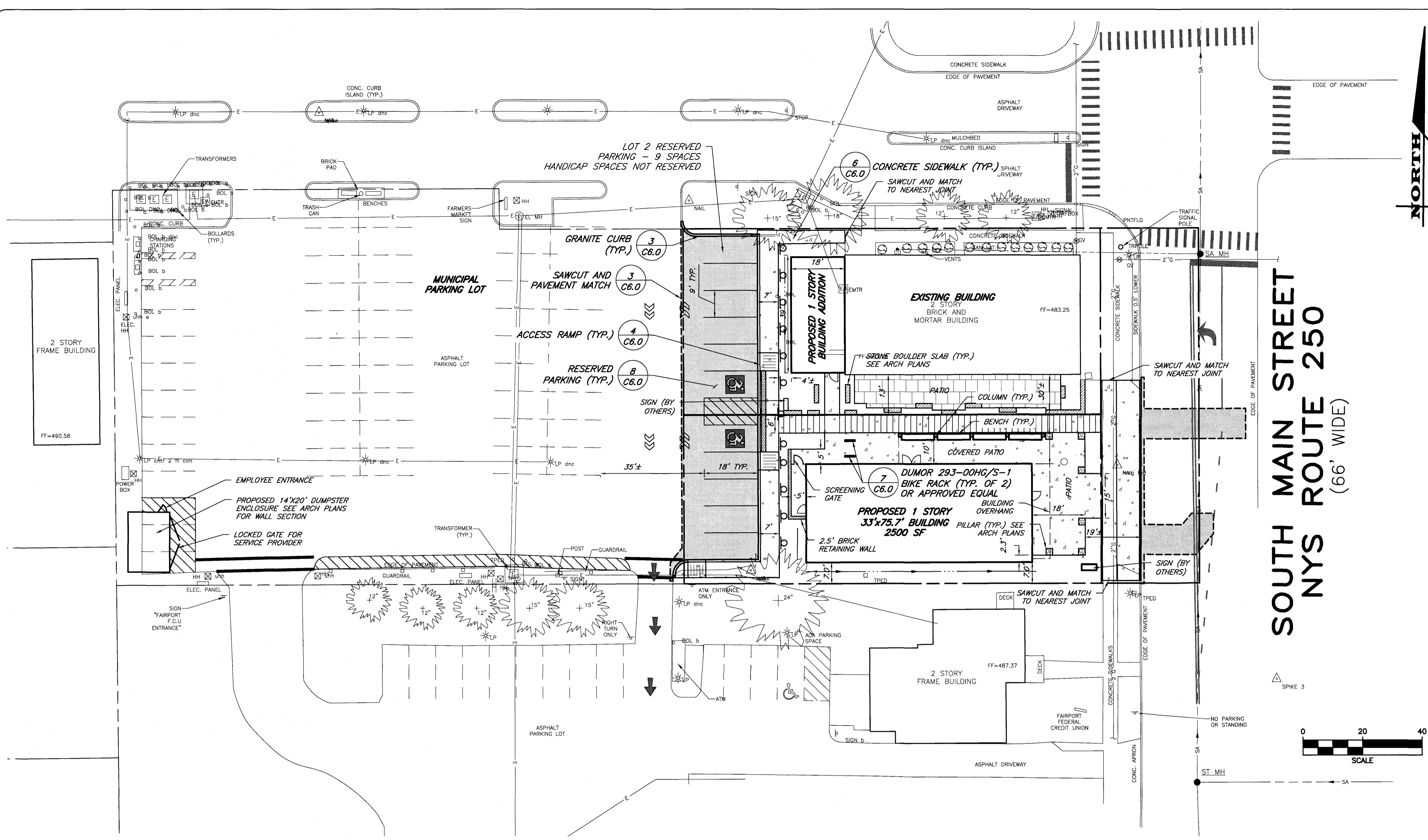


Table with 2 columns: Abbreviations and their corresponding full names. Includes terms like AC (Acres), AD (Asphalt Driveway), and various utility symbols.

PROJECT STATISTICS

- 1. GENERAL: 1.1 PROPERTY ADDRESS - 58 S. MAIN STREET, 1.2 TAX ACCOUNT - 153.13-1-16.1, 1.3 PARCEL SIZE - 0.381 ACRES. 2. ZONING REGULATIONS: 2.1 ZONING DISTRICT - B-1 COMMERCIAL BUSINESS (ARTICLE VII 550-32) DESIGN OVERLAY DISTRICT (ARTICLE IX). 2.2 PROPOSED USES - RESTAURANTS ARE PERMITTED USES WITHIN THE ZONING DISTRICT. 2.3 CODE REQUIREMENTS - Table with columns: REQUIRED, PROPOSED LOT 1, PROPOSED LOT 2.

*MUNICIPAL LOT WITHIN 500' OF PROJECT ** PLANNING BOARD CAN INCREASE FOR OUTDOOR EATING/ SEMIPUBLIC USES

GENERAL NOTES

- 1. MAPPING - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE. 2. UTILITY STAKEOUT - THE CONTRACTOR SHALL NOTIFY UDG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER. 3. PROPERTY PROTECTION - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE. 4. ACCESS - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION. 5. SITE SAFETY - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHS). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR. 6. EXCAVATIONS - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY. 7. MAINTENANCE - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE. 8. CONSTRUCTION STORAGE - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE. 9. PERMIT(S) - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT. 10. INTERIM CONDITIONS - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION

- 1. STAKEOUT - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE 'LAYOUT' PLAN. THE BUILDING FOOTPRINT(S), DATED 7/21/2023, WERE PROVIDED BY HANLON ARCHITECTS. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION. 2. LAYOUT - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE. 3. DEMOLITION - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE 'WORK LIMIT LINE' AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN. 4. COORDINATION - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS. 5. STAGING - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREAMETHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE. 6. CLOSE-OUT - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE: • REMOVAL OF ANY CONSTRUCTION DEBRIS. • CLEANING PAVEMENT AND WALKWAY SURFACES. • RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS. • PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS. • PROVIDING REDLINES FOR RECORD DRAWING. • COMPLETION OF FINAL PUNCH LIST ITEMS.

MARATHON ENGINEERING ROCHESTER LOCATION 39 CASCADE DRIVE ROCHESTER, NY 14614 585-458-7770 ITHACA LOCATION 840 HANSHAW RD, STE 6 ITHACA, NY 14850 607-241-2917 www.marathoneng.com

PRELIM/FINAL SITE AND SUBDIVISION PLANS for PROPOSED RESTAURANT BUILDING AND STARBUCKS 58 SOUTH MAIN STREET MONROE COUNTY VILLAGE OF FAIRPORT STATE OF NEW YORK

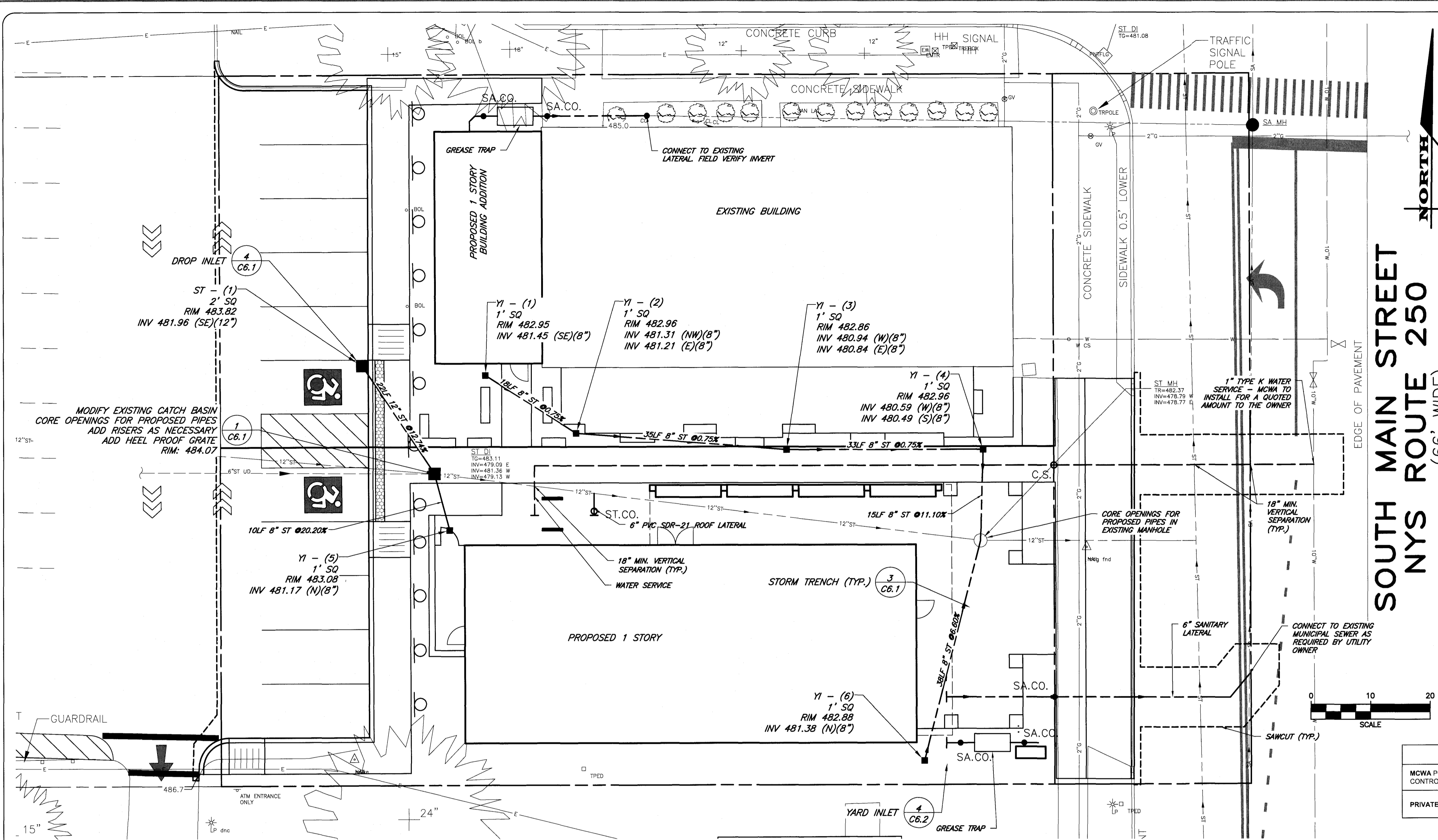
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Table with columns: DATE, BY, REVISION.

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DRAWING TITLE: LAYOUT PLAN 4 of 9 SHEET No: C3.0 1454-22 JOB No: DRAWING No:

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UTILITIES

1. SANITARY

- 1.1 MATERIALS**
- MAINS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
 - ASTM D-3034 (4" THRU 15")
 - ASTM F-679 (18" THRU 48")
 - LATERALS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
 - JOINTING MATERIALS - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
 - MANHOLES - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.
- 1.2 INFILTRATION/EXFILTRATION** - MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM F1417 ENTITLED STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC NON-PRESSURE SEWER LINES USING LOW-PRESSURE AIR. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EX-FILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
- 1.4 TESTING** - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL. IT SHALL HAVE A DIAMETER EQUAL TO 85% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- 1.5 SEPARATION** - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

2. STORM

- 2.1 REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY AND ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.
- 2.2 MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:
 - REINFORCED CONCRETE PIPE (RCP), CLASS III
 - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-284, TYPE S, ASTM D-3350.
- 2.3 ROOF DRAINAGE** - ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.
- 2.4 TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

3. WATER

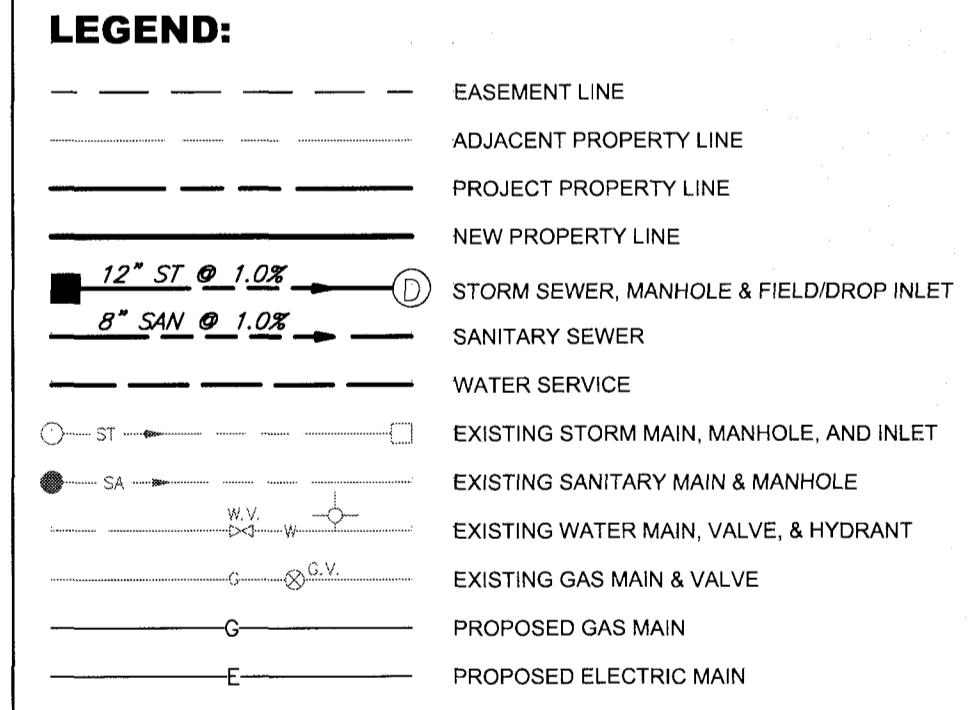
- 3.1 WATER SERVICE LINES** SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.
- 3.2 WATER SERVICE LINES** SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- 3.3 WATER SERVICE LINES** SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
- 3.4 WATER SERVICE LINES** SHALL BE IDENTIFIED AS:

| LATERAL IDENTIFICATION | SIZE (ø) | MATERIAL | TYPE (c) |
|---|----------|---------------|----------|
| MCWA PORTION = FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY EASEMENT LINE | 1" | COPPER TYPE K | DS |
| PRIVATE PORTION = FROM THE CONTROL VALVE TO THE METER | 1" | COPPER TYPE K | DS |

MINIMUM SIZE IS 1-INCH.
ACCEPTABLE MATERIAL FOR PRIVATE PORTION IS EITHER TYPE "K" COPPER OR POLYETHYLENE PLASTIC (PE) #4710, SDR 9, ASTM 2757, NSF-PW, 250 PSI (1.125" OD)
SERVICE TYPES INCLUDE: DOMESTIC = DS, FIRE = FS, OR COMBINED = CMB

3.5 THE WATER AUTHORITY'S PORTION OF THE SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION OF SERVICE IS INSTALLED.

3.6 WATER METER(S) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S), OR IN A METER TILE WHEN CONDITIONS WARRANT. A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METERS. METER INSTALLATIONS GREATER THAN 1-INCH MAY REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.



Monroe County Department of Public Health

These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval

Director of Public Health

By _____ Public Health Engineer Date _____

Monroe County Department of Public Health

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRR5 of the State Sanitary Code subject to conditions of Approval

Director of Public Health

By _____ Public Health Engineer Date _____

MARATHON ENGINEERING

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PRELIM/FINAL SITE AND SUBDIVISION PLANS
for
PROPOSED RESTAURANT BUILDING AND STARBUCKS

STATE OF NEW YORK
MONROE COUNTY
VILLAGE OF FAIRPORT
58 SOUTH MAIN STREET

JOB NO: 1454-22
SCALE: 1"=10'
DRAWN: JWS
DESIGNED: MPT
DATE: 7/24/2023

REVISIONS

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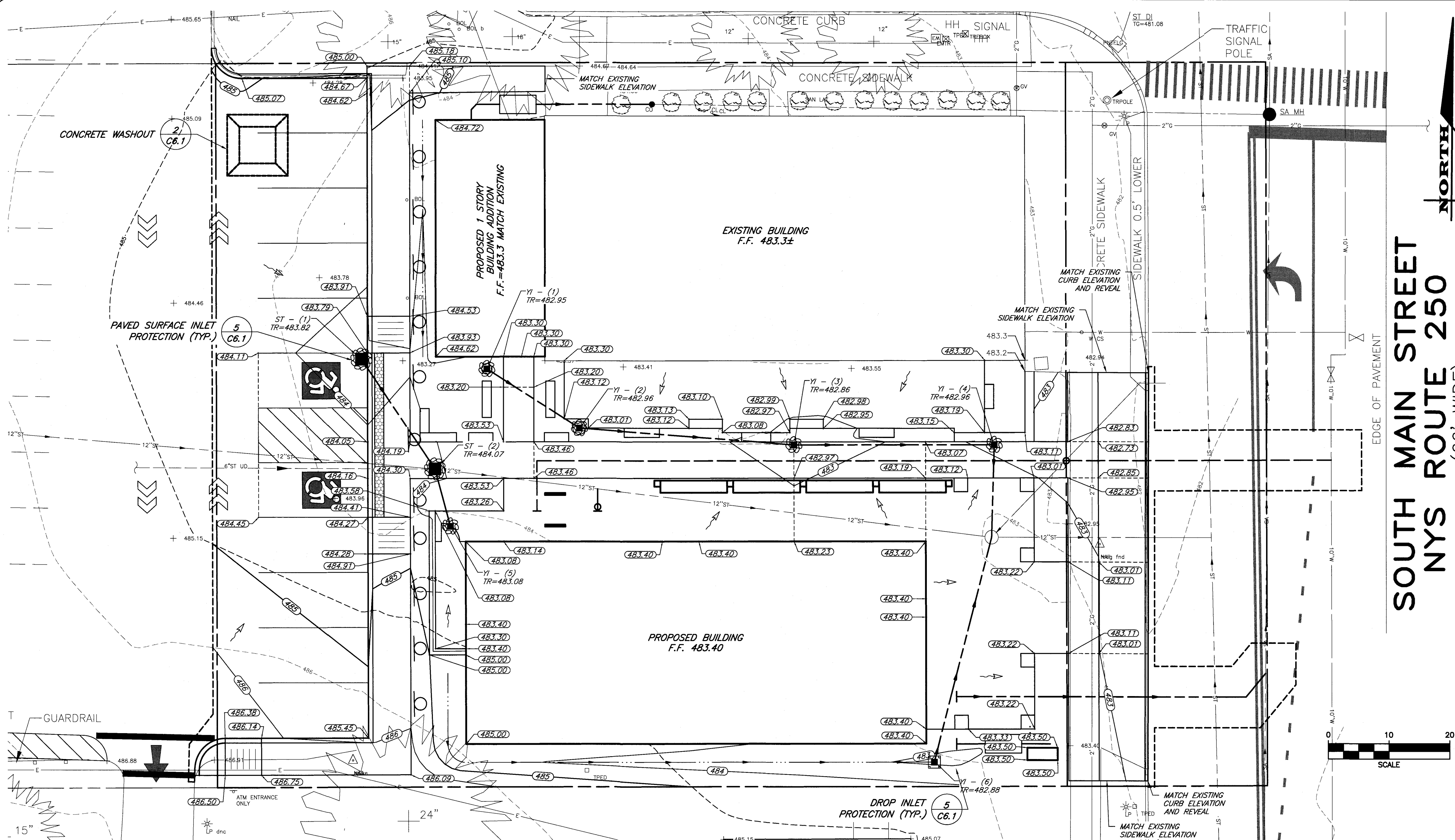
STATE OF NEW YORK
ROBERT P. BRINGLEY
LICENSED PROFESSIONAL ENGINEER
NO. 066924
ROBERT P. BRINGLEY

DRAWING TITLE:
UTILITY PLAN

5 of 9
SHEET No: **C4.0**

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- LEGEND:**
- ADJACENT PROPERTY LINE
 - PROJECT PROPERTY LINE
 - NEW PROPERTY LINE
 - STORM SEWER, MANHOLE & FIELD/DROP INLET
 - GRADE BREAK
 - EXISTING CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - DRAINAGE FLOW ARROW
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION

- EARTHWORK**
- PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
 - **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - **CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
 - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
 - RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
 - **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
 - **COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND "EMBANKMENT" ARE INTERCHANGEABLE.
 - **CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
 - TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
 - 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
 - 85% IN REMAINING AREAS
- THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.
- LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
 - PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.
- EROSION CONTROL**
- PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 - TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
 - DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
 - OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
 - WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDDED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
 - TEMPORARY STABILIZATION** - TEMPORARY STABILIZATION SHALL REQUIRE 4 TONS OF STRAW/ACRE OF DISTURBANCE PLACED WITH TACKIFIER OR ROLLED WITH A TRACKED VEHICLE TO ENSURE NOT DISPLACED.
 - WINTER STABILIZATION** - ALL WINTER STABILIZATION METHODS IDENTIFIED IN THE NYS 'BLUE BOOK' SHALL BE FOLLOWED FOR ANY DISTURBANCE OR NON-STABILIZED AREAS FROM NOVEMBER 15TH - APRIL 1ST.
 - SLOPES**
 - SIDEWALKS SHALL BE 5% IN THE DIRECTION OF TRAVEL AND HAVE A 2% MAXIMUM CROSS SLOPE.
 - SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
 - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

SOUTH MAIN STREET
NYS ROUTE 250
(66' WIDE)

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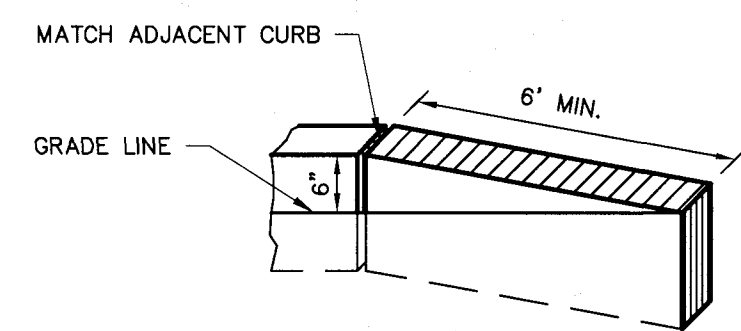
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 148, SECTION 1209 FOR ANY PERSON, UNDER ANY TITLE, TO ACT AS THE DESIGNER OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ATTEMPT TO SEAL OR SIGN ANY DRAWING OR PLAN OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IF AT THE TIME OF SEALING OR SIGNING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS NOT THE SEAL OF THE LICENSEE REGISTERED AS LAND SURVEYOR OR SEAL AREA TO THE FIRM THESE SEAL AND THE PERSON'S TITLE IS NOT IDENTICAL TO THE FIRM'S SEAL AND THE DATE OF SUCH ACTIVATION, AND A SPECIFIC DESCRIPTION OF THE VIOLATION.

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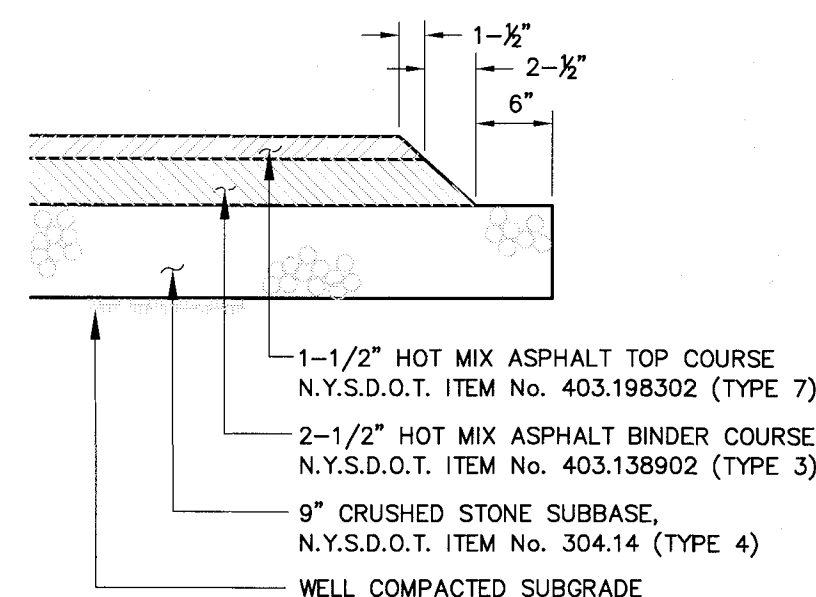
ROBERT P. BRINGLEY

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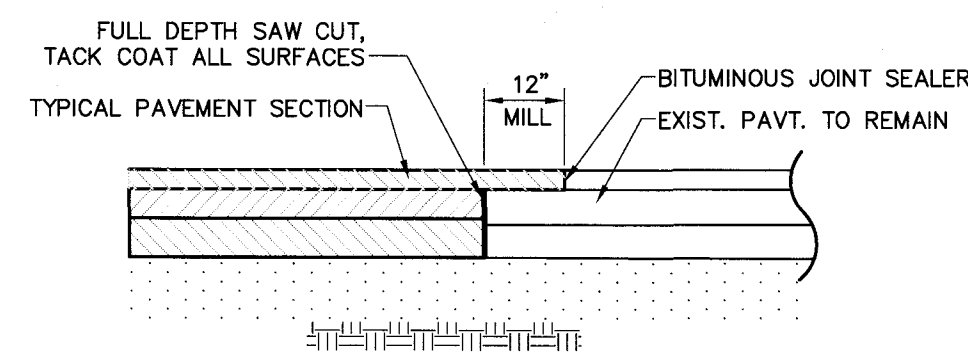


1 CURB TRANSITION

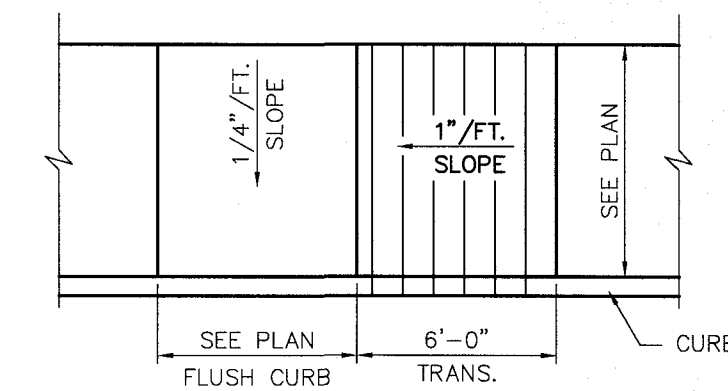


NOTES:
 1. CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP PAVEMENT SPECIFICATION NUMBERS REFERENCE THE 2008 NYSDOT STANDARD SPECIFICATION BOOK.

2 PAVEMENT SECTION

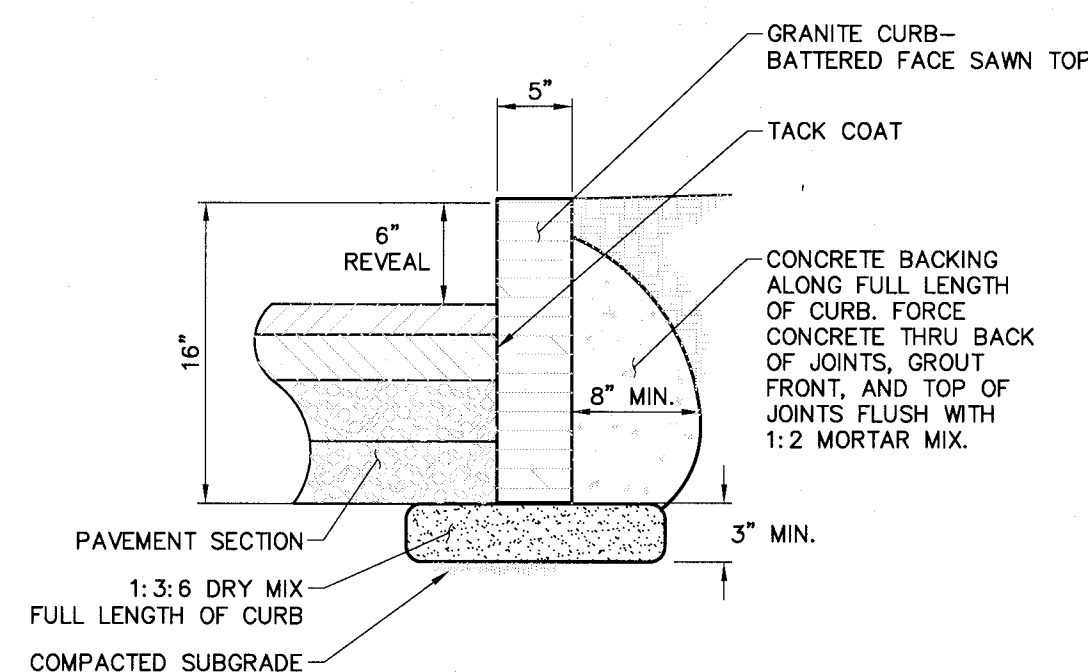


3 PAVEMENT MATCH

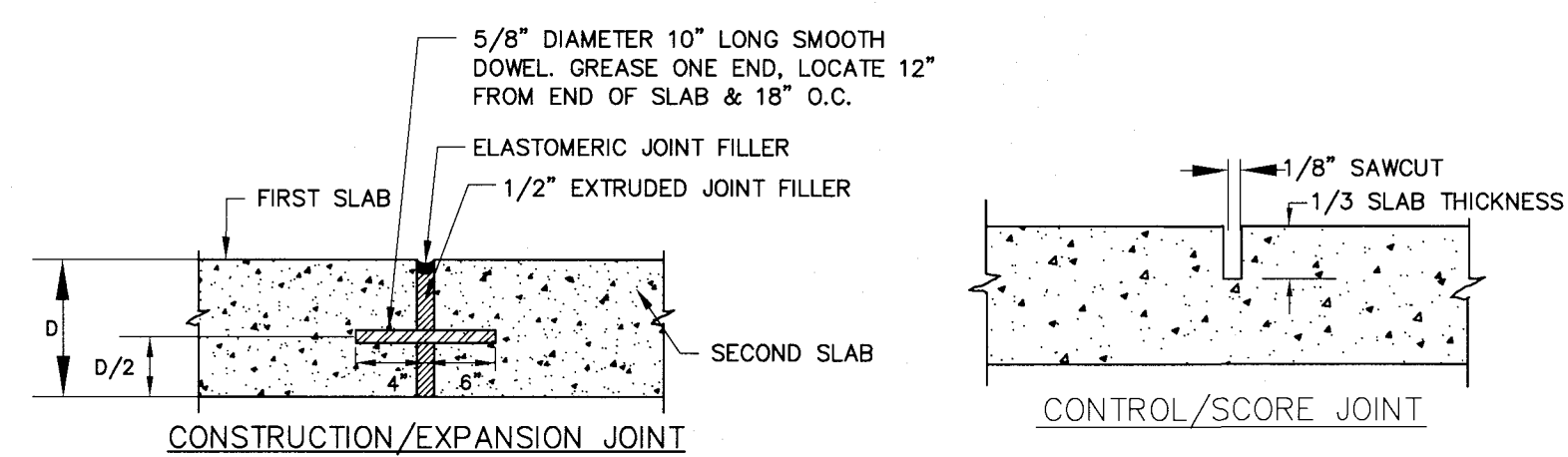


NOTES:
 1. SURFACE TEXTURE OF RAMP SHALL BE COARSE BROOM FINISHED TRANSVERSE TO RAMP.
 2. REFER TO TYPICAL SIDEWALK DETAIL FOR MATERIAL SPECIFICATIONS.

4 ACCESS RAMP

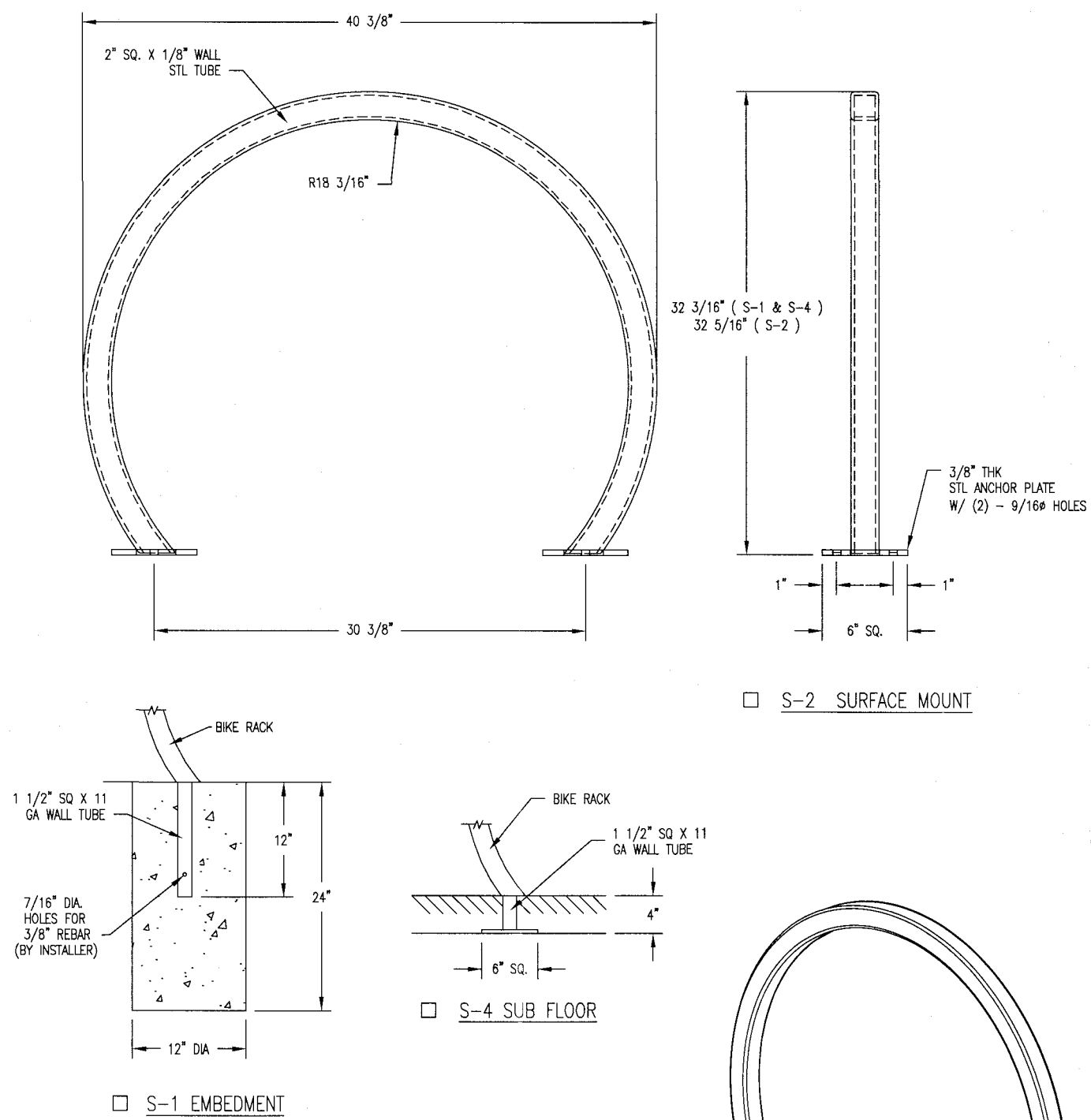


5 GRANITE CURB



NOTES:
 1. CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
 2. CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
 3. EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 50' ALONG THE SIDEWALK.
 4. CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS AND CONCRETE CURBS.
 5. CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
 6. SCORE PATTERN - SCORING PATTERN SHALL BE 5' X 5' SQUARE, MAY VARY IN CERTAIN AREAS-COORDINATE WITH OWNERS ONSITE REP PRIOR TO SCORING SIDEWALKS.
 7. SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
 8. 'SNAP-CAP' OR EQUAL SHALL BE USED FOR SHAPING EXPANSION JOINTS.

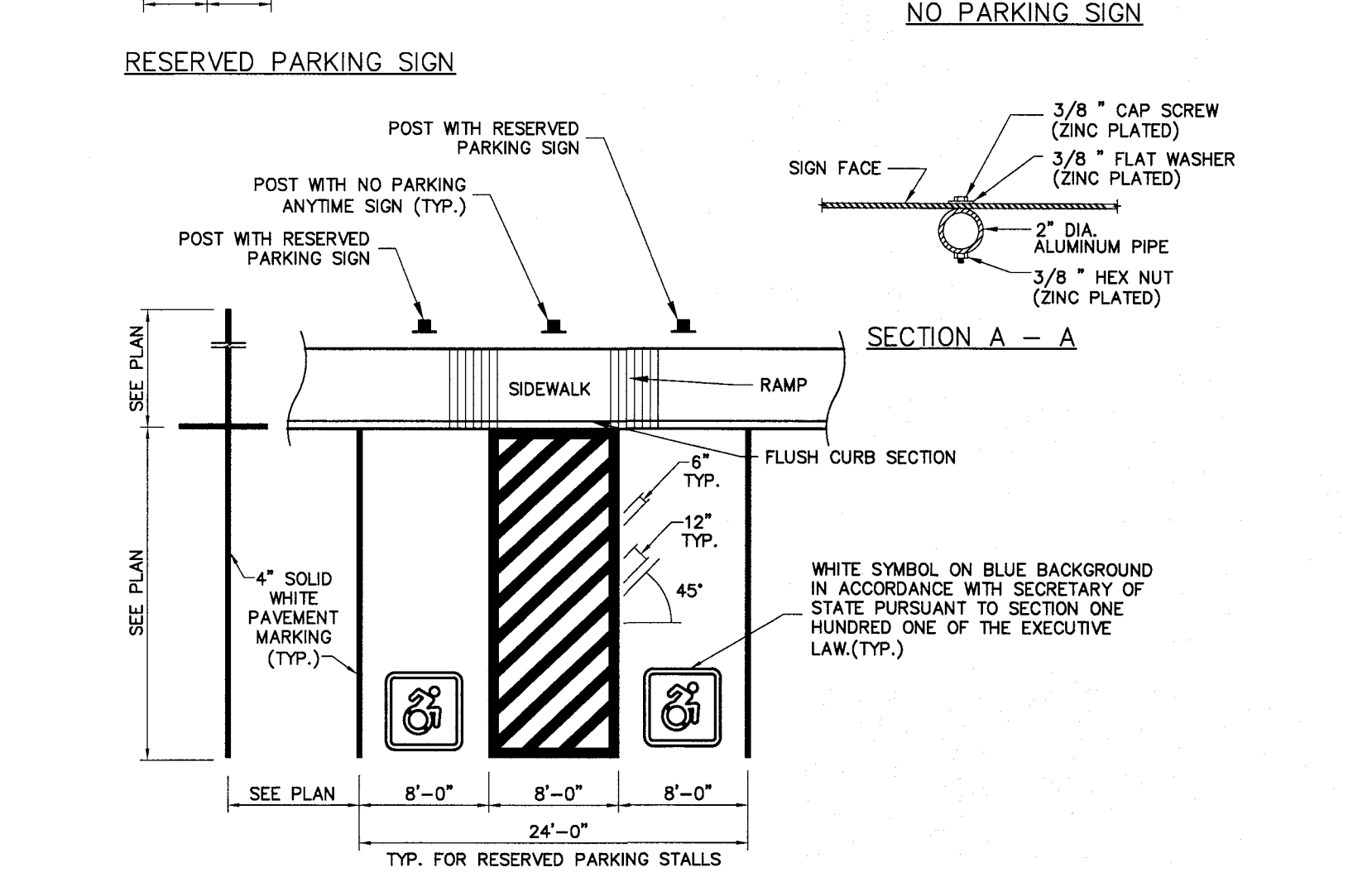
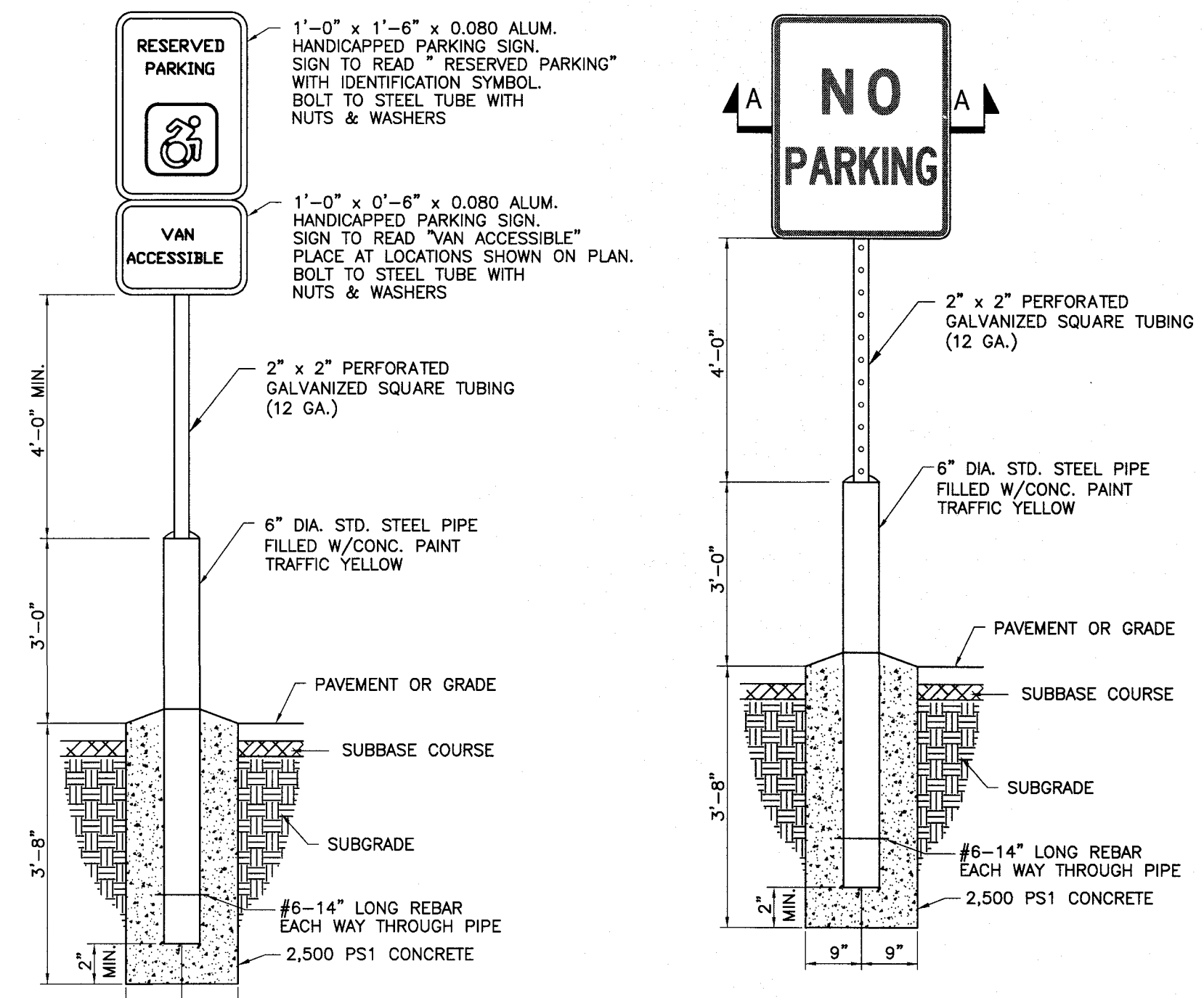
6 CONCRETE SIDEWALK



NOTE:
 1.) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
 2.) 1/2\"/>

DuMor, inc. BIKE RACK DATE DRAWN: 01/27/19 REV: A DRAWING NUMBER: 293 SERIES SHEET: 1 OF 2

7 BIKE RACK



NOTE:
 ALL ACCESSIBLE PARKING AND ROUTES SHALL BE CONSTRUCTED CONSISTENT WITH THE MOST CURRENT ADA GUIDELINES. IN GENERAL ALL PARKING AND LOADING ZONES SHALL HAVE NO MORE THAN 2.0% SLOPE IN ANY DIRECTION. PRIOR TO PAVING CONTRACTOR SHALL VERIFY SLOPES AND REPORT ANY SLOPES GREATER THAN 2% TO THE ENGINEER.

8 RESERVED PARKING AND SIGNAGE

JOB NO: 1454-22
 SCALE: NTS
 DRAWN: JWS
 DESIGNED: MPT
 DATE: 07/24/2023

| REVISIONS | | |
|-----------|----|----------|
| DATE | BY | REVISION |
| | | |

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 121 SECTION 209 FOR ANY PERSON, UNDER PENALTY UNDER THE OATH OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO SEAL OR SIGN ANY DRAWING OR SPECIFICATION OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR & ATTEND, THE ACTING ENGINEER OR LAND SURVEYOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER OR LAND SURVEYOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

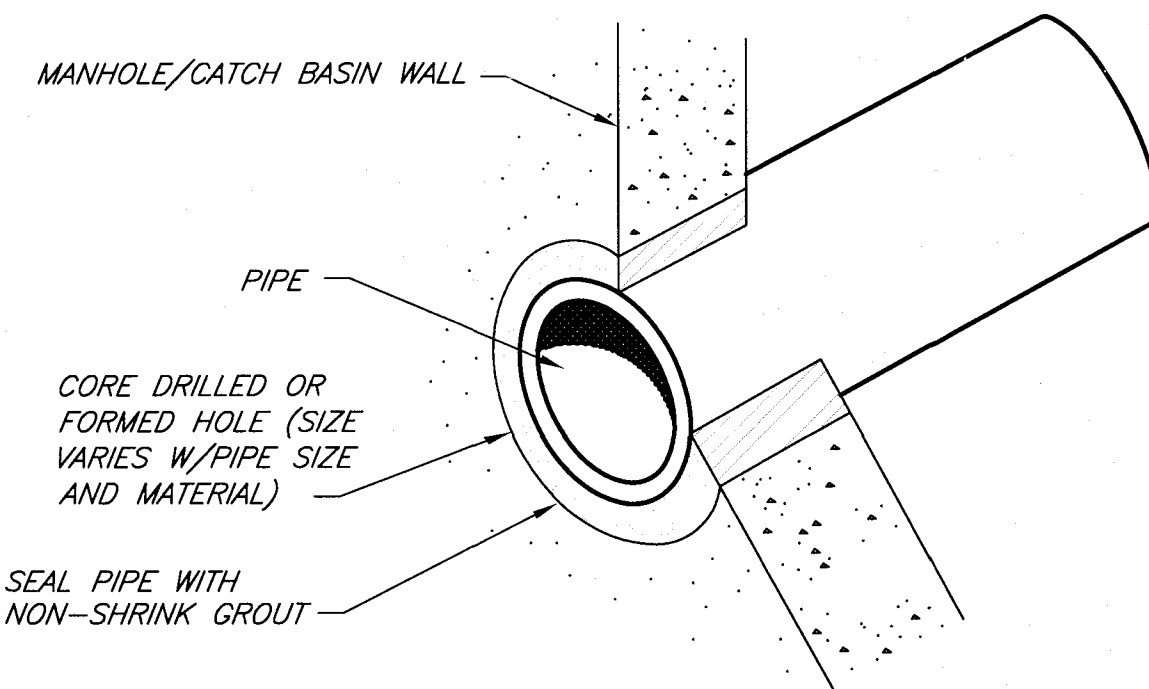
COPYRIGHT © 2023 MARATHON ENG.

ROBERT P. BRINGLEY

DRAWING TITLE:
CONSTRUCTION DETAILS

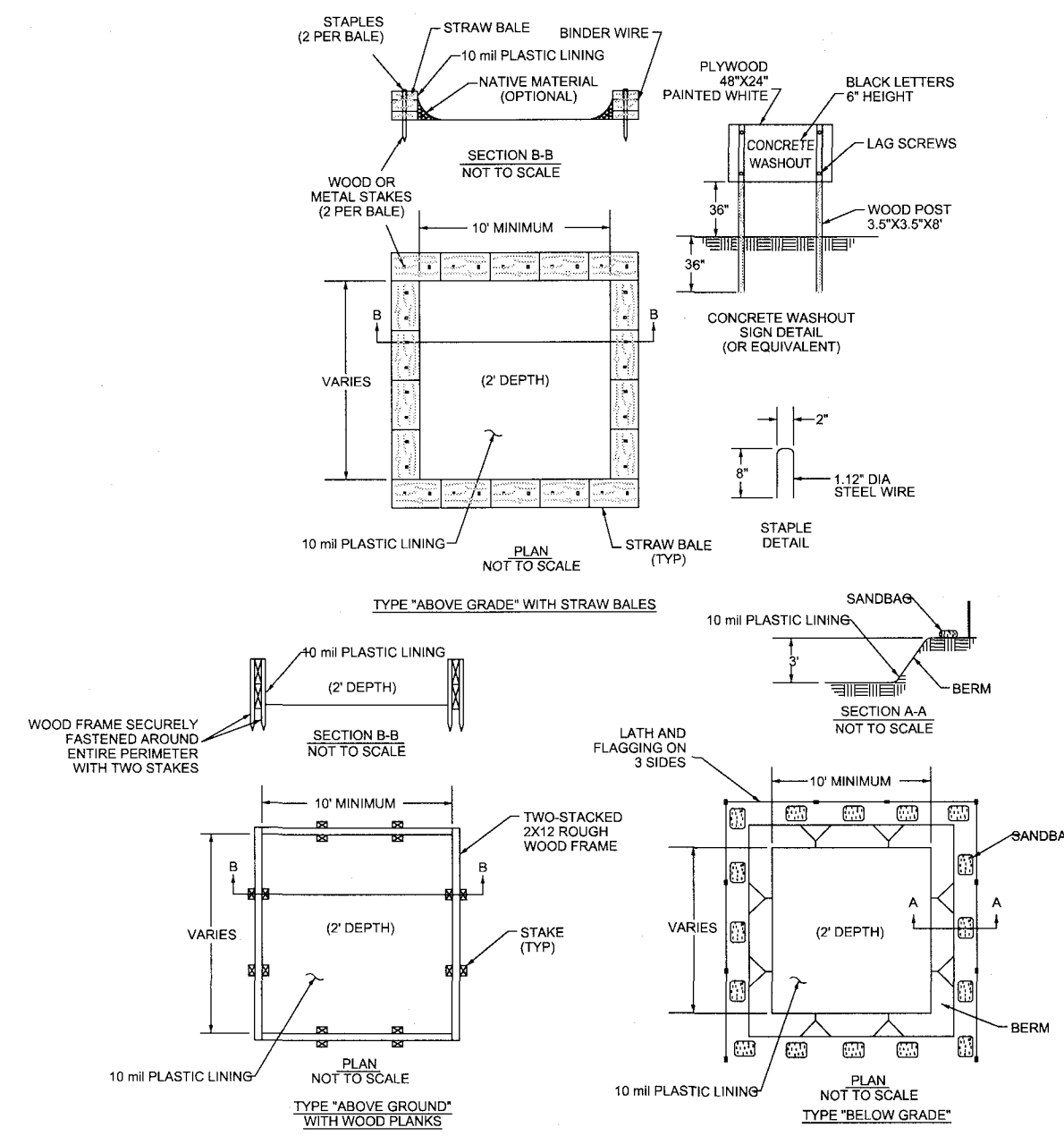
| | |
|---------------------|-------------|
| 7 of 9 SHEET No: | C6.0 |
| 1454-22 JOB No: | DRAWING No: |

File: Z:\Engineering\Job Files\1454-22 Drawings Sheets\CS6.dwg, Last saved: 7/24/2023, Plot Date: 7/24/2023, By: JOHN SCHELL, Plot Style: MARATHON STANDARD.CTB



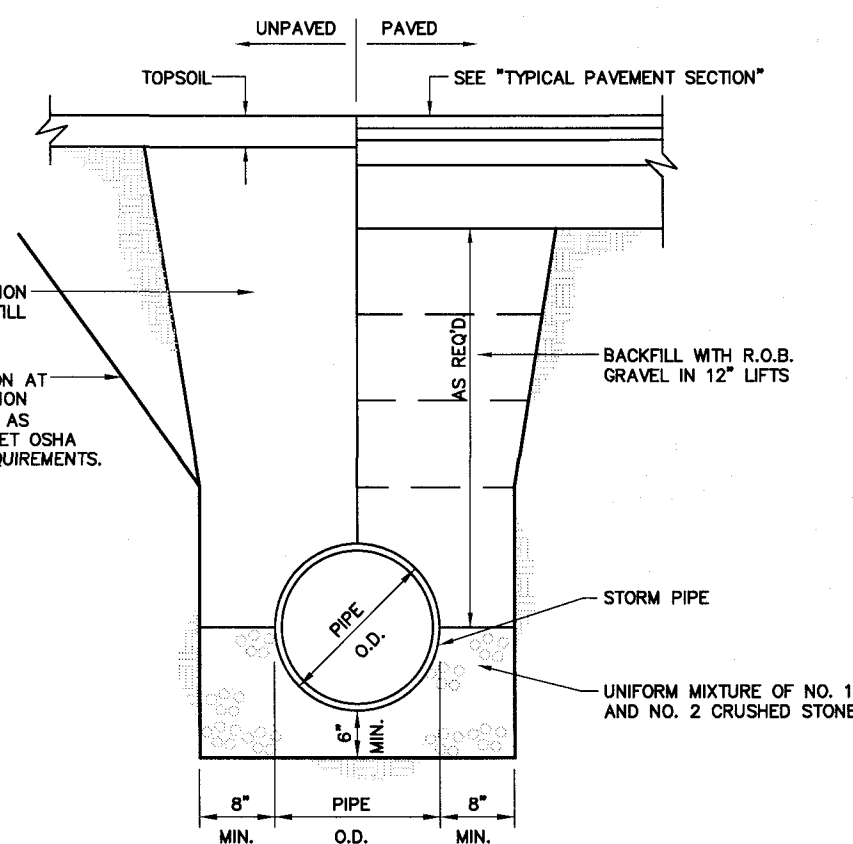
NOTE:
FOR RECONNECTION OF EXISTING PIPES, CONTRACTOR SHALL INSTALL 5' STUB PIECE OF HDPE PIPE THROUGH MANHOLE WALL. TRANSITIONS WILL THEN BE MADE USING FERNCO COUPLINGS OR APPROVED EQUAL.

1 CONNECT TO EXISTING STORM STRUCTURE
SCALE: N.T.S.

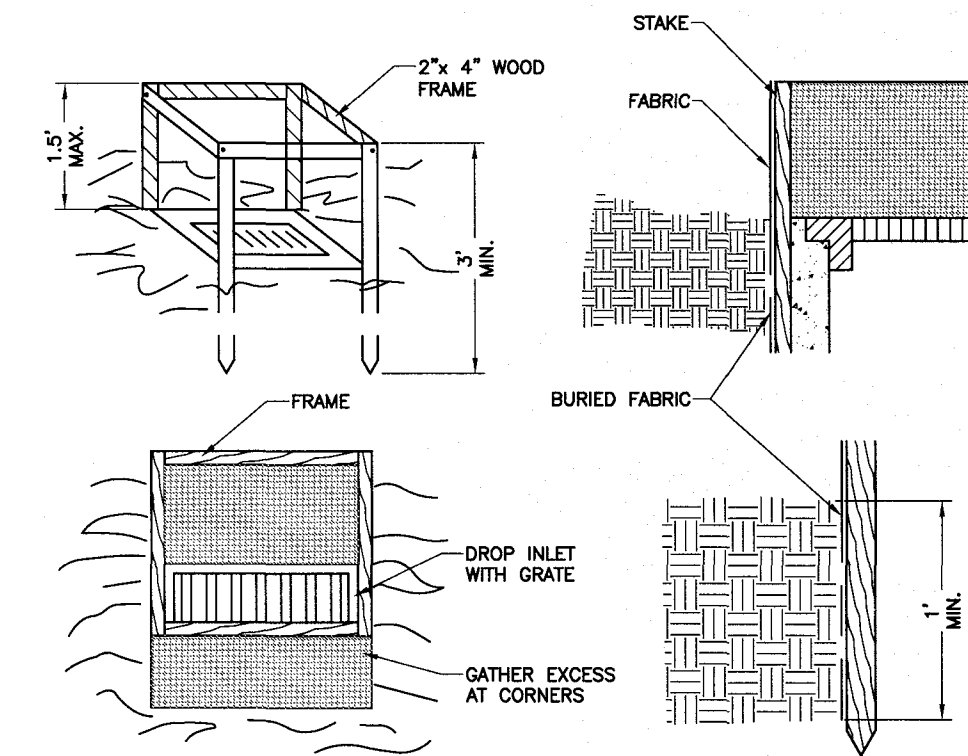


NOTES:
1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

2 CONCRETE WASHOUT AREA
SCALE: N.T.S.

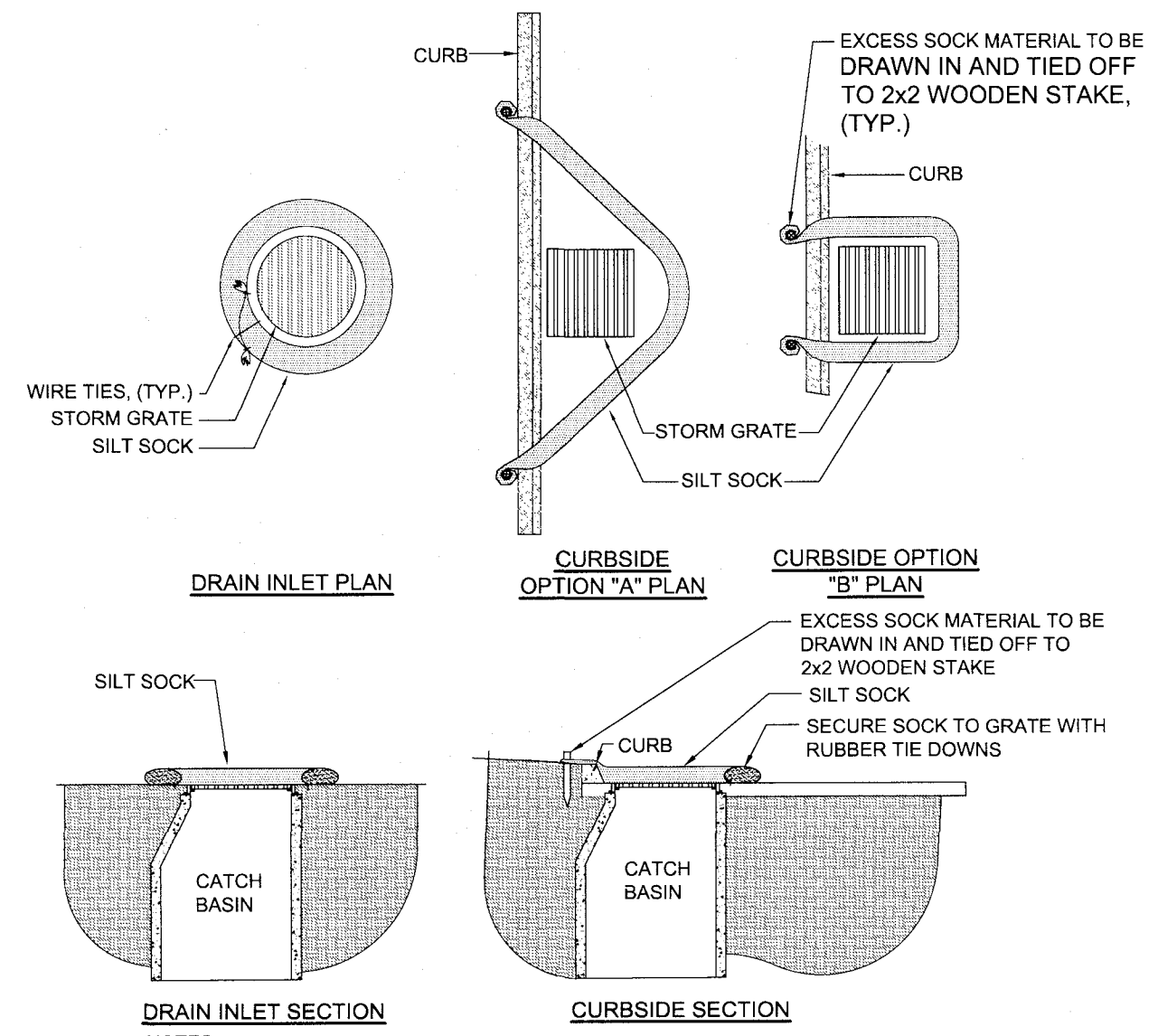


3 STORM TRENCH SOLID PIPE
SCALE: N.T.S.



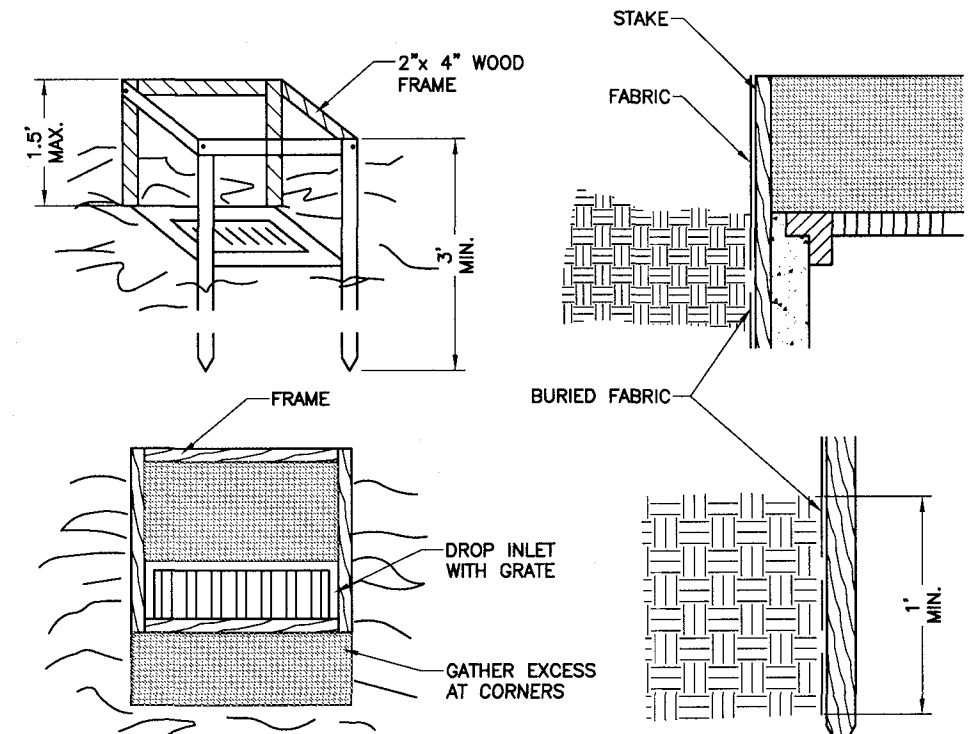
CONSTRUCTION SPECIFICATIONS:
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER LOW STABILITY.

6 DROP INLET PROTECTION
SCALE: N.T.S.



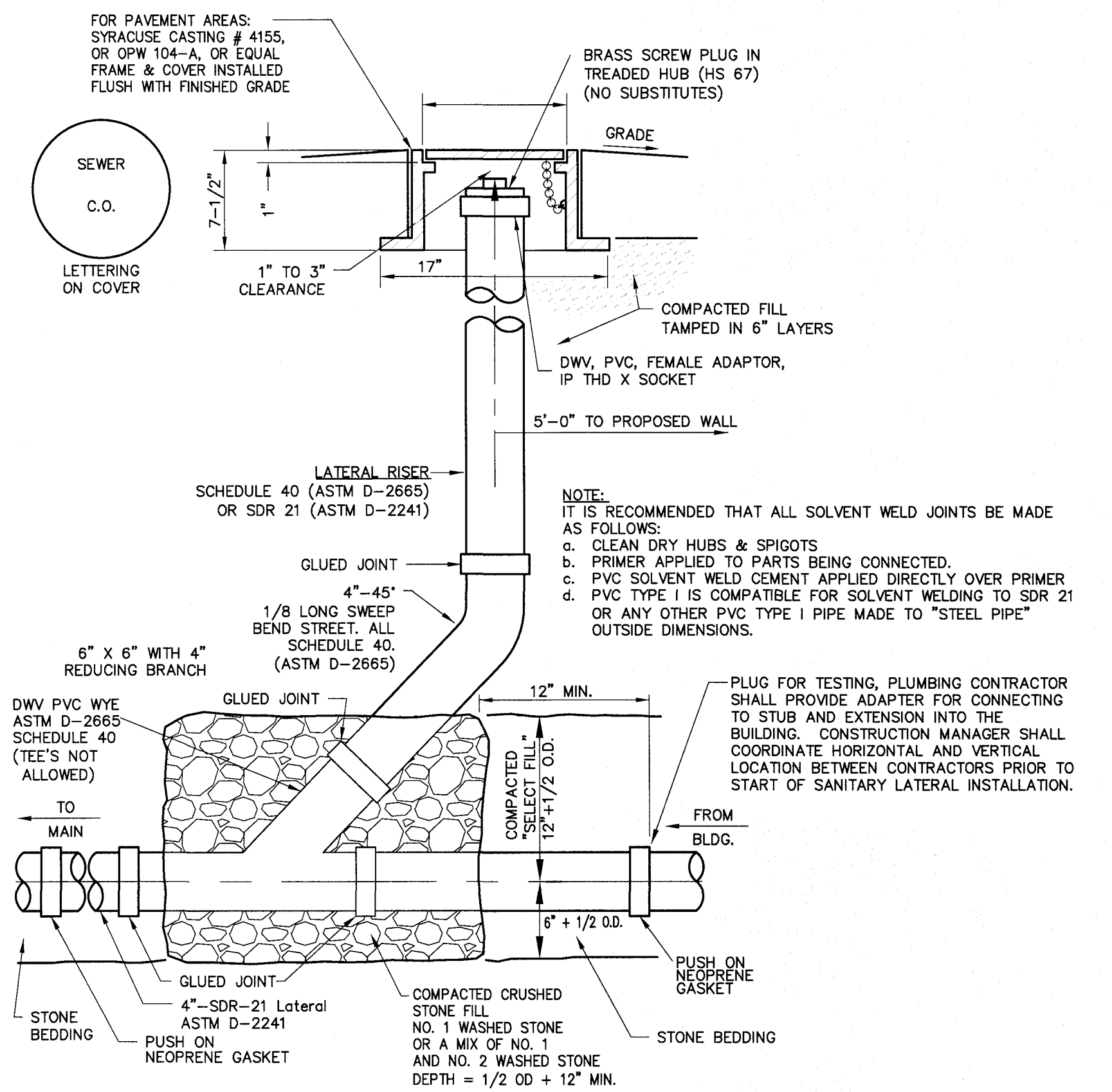
NOTES:
1. USE FILTREX® SILT SOCK™ OR APPROVED EQUAL.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

5 PAVED SURFACE INLET PROTECTION
SCALE: N.T.S.



CONSTRUCTION SPECIFICATIONS:
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER LOW STABILITY.

6 DROP INLET PROTECTION
SCALE: N.T.S.



7 SANITARY CLEANOUT
SCALE: N.T.S.

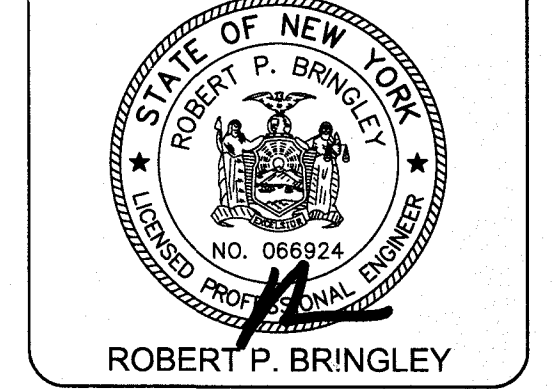
PRELIM/FINAL SITE AND SUBDIVISION PLANS
for
PROPOSED RESTAURANT BUILDING AND STARBUCKS
58 SOUTH MAIN STREET
MONROE COUNTY
STATE OF NEW YORK
VILLAGE OF FAIRPORT

JOB NO: 1454-22
SCALE: NTS
DRAWN: JWS
DESIGNED: MPT
DATE: 7/24/2023

REVISIONS

| DATE | BY | REVISION |
|------|----|----------|
| | | |

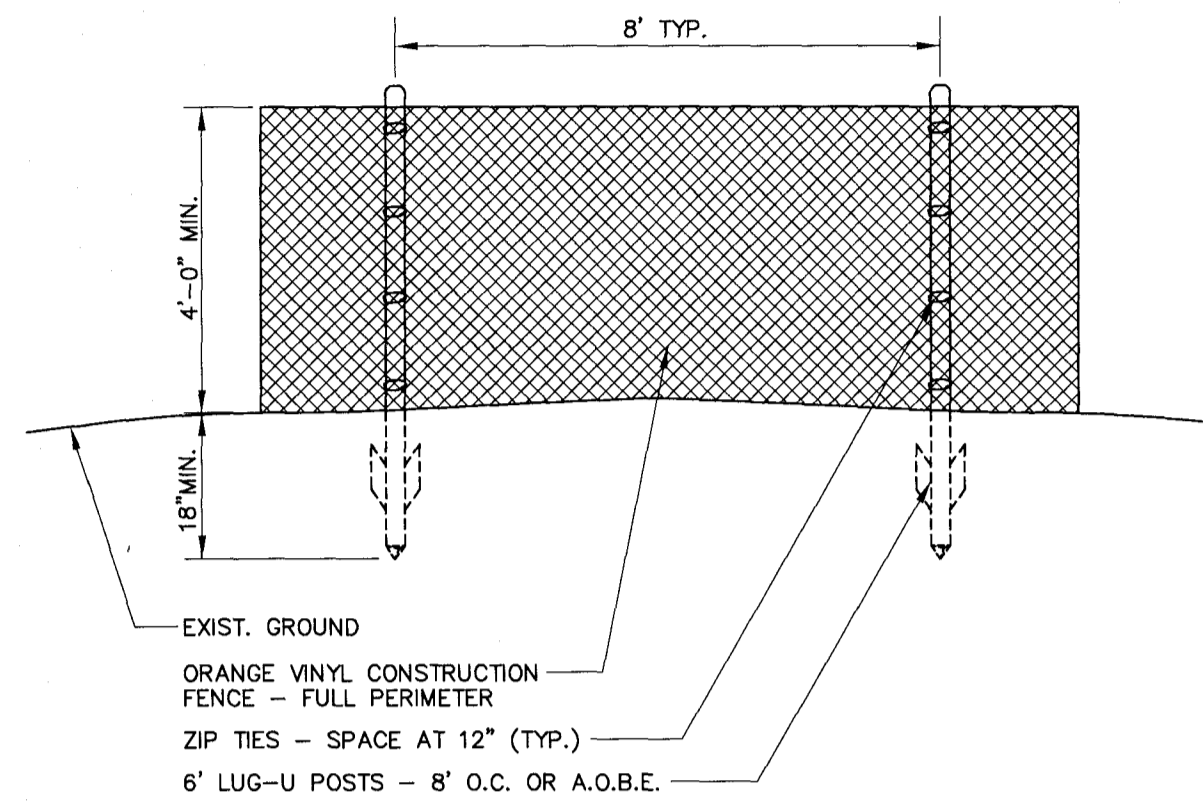
IF A MODIFICATION FROM STATE EDUCATION LAW ARTICLE 141, SECTION 1703 FOR ANY PROFESSION, UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO A SEAL IN ANY STATE, THE SEALING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IF AN INDIVIDUAL BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A PARTY TO THE ACTING ENGINEER OR LAND SURVEYOR, THE SEALING SHALL BE VALID AND THE INDIVIDUAL BEARING THE SEAL SHALL BE RESPONSIBLE FOR THE SEALING.



DRAWING TITLE:
CONSTRUCTION DETAILS

8 of 9
SHEET No: **C6.1**
1454-22
JOB No: DRAWING No:

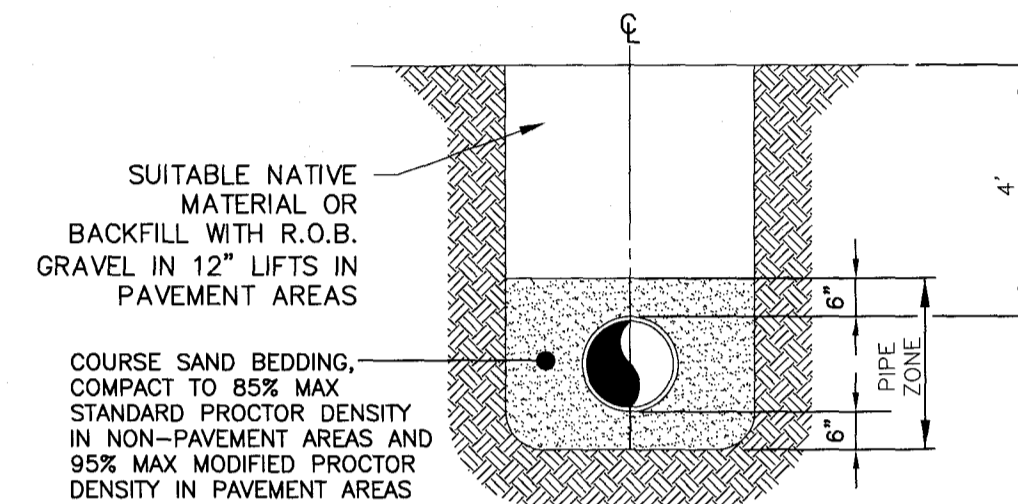
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EXIST. GROUND
 ORANGE VINYL CONSTRUCTION FENCE - FULL PERIMETER
 ZIP TIES - SPACE AT 12" (TYP.)
 6' LUG-U POSTS - 8' O.C. OR A.O.B.E.

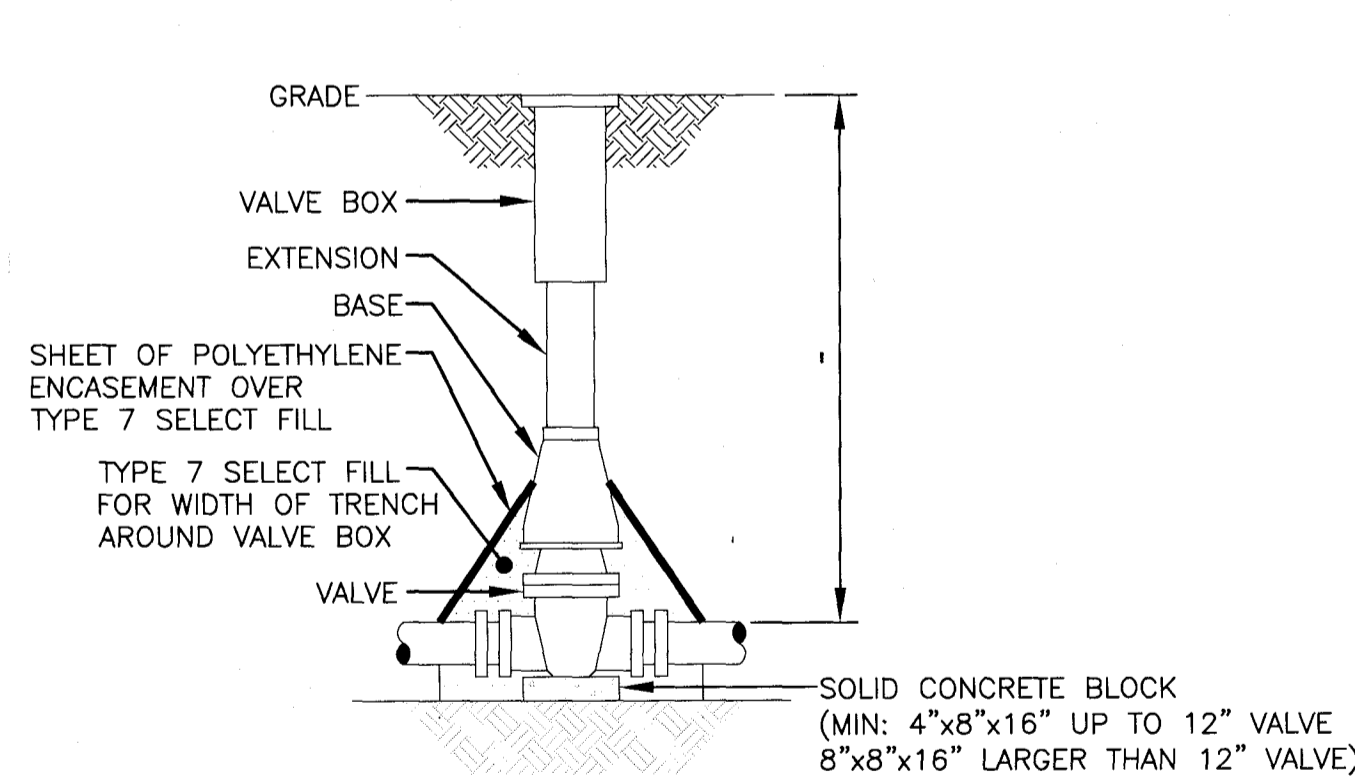
- NOTES:
 1. FENCE SHALL BE INSTALLED BY CONTRACTOR AS INDICATED IN CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION.
 2. FENCING SHALL BE MAINTAINED BY CONTRACTOR A.O.B.E.

1 CONSTRUCTION FENCE



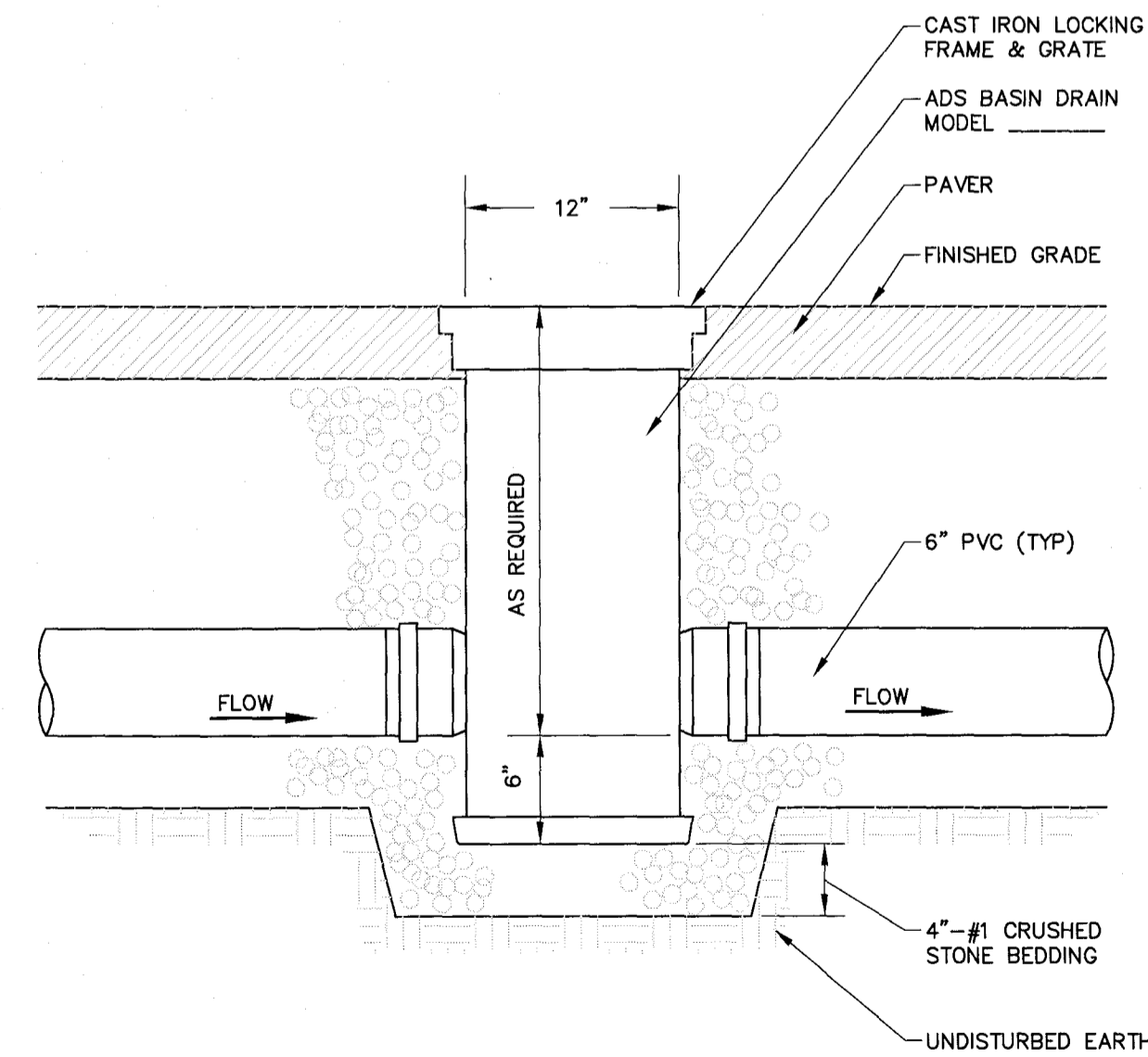
SUITABLE NATIVE MATERIAL OR BACKFILL WITH R.O.B. GRAVEL IN 12" LIFTS IN PAVEMENT AREAS
 COURSE SAND BEDDING, COMPACT TO 85% MAX STANDARD PROCTOR DENSITY IN NON-PAVEMENT AREAS AND 95% MAX MODIFIED PROCTOR DENSITY IN PAVEMENT AREAS

2 WATER TRENCH
 NTS

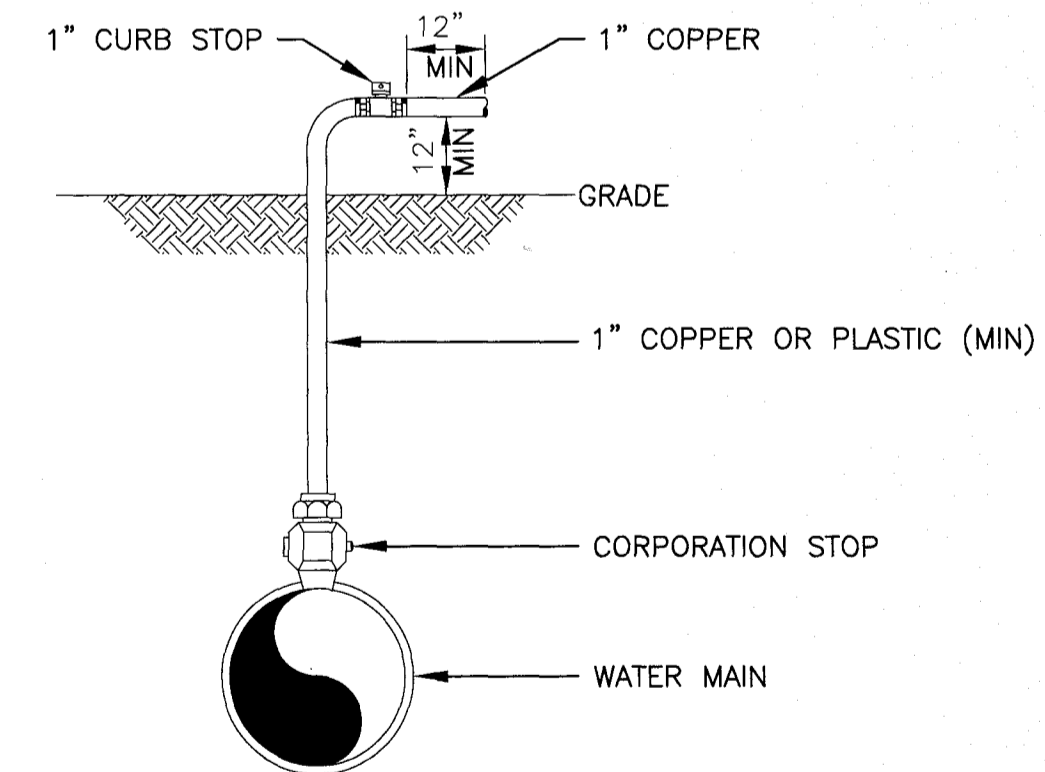


- NOTES:
 1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
 2. VALVE SHALL NOT SUPPORT VALVE BOX.
 3. ALL VALVES SHALL BE OPEN LEFT EXCEPT:
 TOWN OF WEBSTER - VALVES 12" AND SMALLER SHALL OPEN RIGHT.
 TOWN OF HENRIETTA - SHALL OPEN RIGHT

3 WATER VALVE
 NOT TO SCALE



4 YARD INLET



NOTE: IN THE PRESENCE OF A WATER AUTHORITY REPRESENTATIVE REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY DISINFECTION/SAMPLE TAPS AND REPLACE WITH THREADED BRASS PLUGS.

5 DISINFECTION/BLOW-OFF/SAMPLING TAP (TEMPORARY)
 NOT TO SCALE

JOB NO: 1454-22
 SCALE: NTS
 DRAWN: JWS
 DESIGNED: MPT
 DATE: 7/24/2023

| REVISIONS | | |
|-----------|----|----------|
| DATE | BY | REVISION |
| | | |

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 130, SECTION 203(1) AND FEDERAL LAWS CONCERNING THE PRACTICE OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO PRACTICE IN ANY STATE WITHOUT BEING THE SIGN OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF YOU ARE BEING THE SIGN OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IN ANY STATE, THE SIGNING ENGINEER OR LAND SURVEYOR SHALL BE RESPONSIBLE FOR THE DESIGN AND THE ACCURACY THEREOF AS INDICATED BY THEIR SIGNATURE AND THE DATE OF SUCH ACTION, AND A SPECIFIC INDICATION OF THE ACTION TAKEN.

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 ROBERT P. BRINGLEY

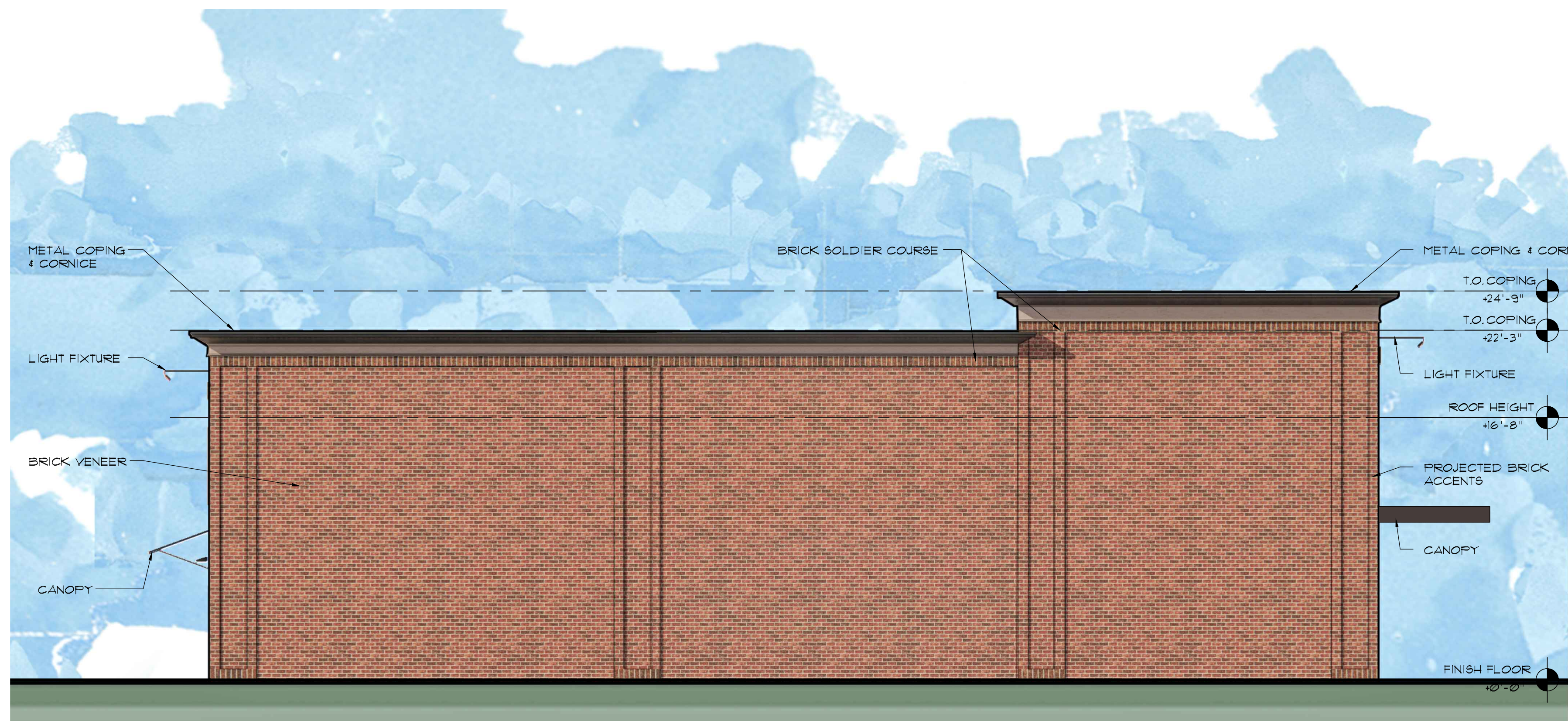
DRAWING TITLE:
**CONSTRUCTION
 DETAILS**
 9 of 9
 SHEET No: **C6.2**
 1454-22
 JOB No: DRAWING No:



The CUB Room



STARBUCKS



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



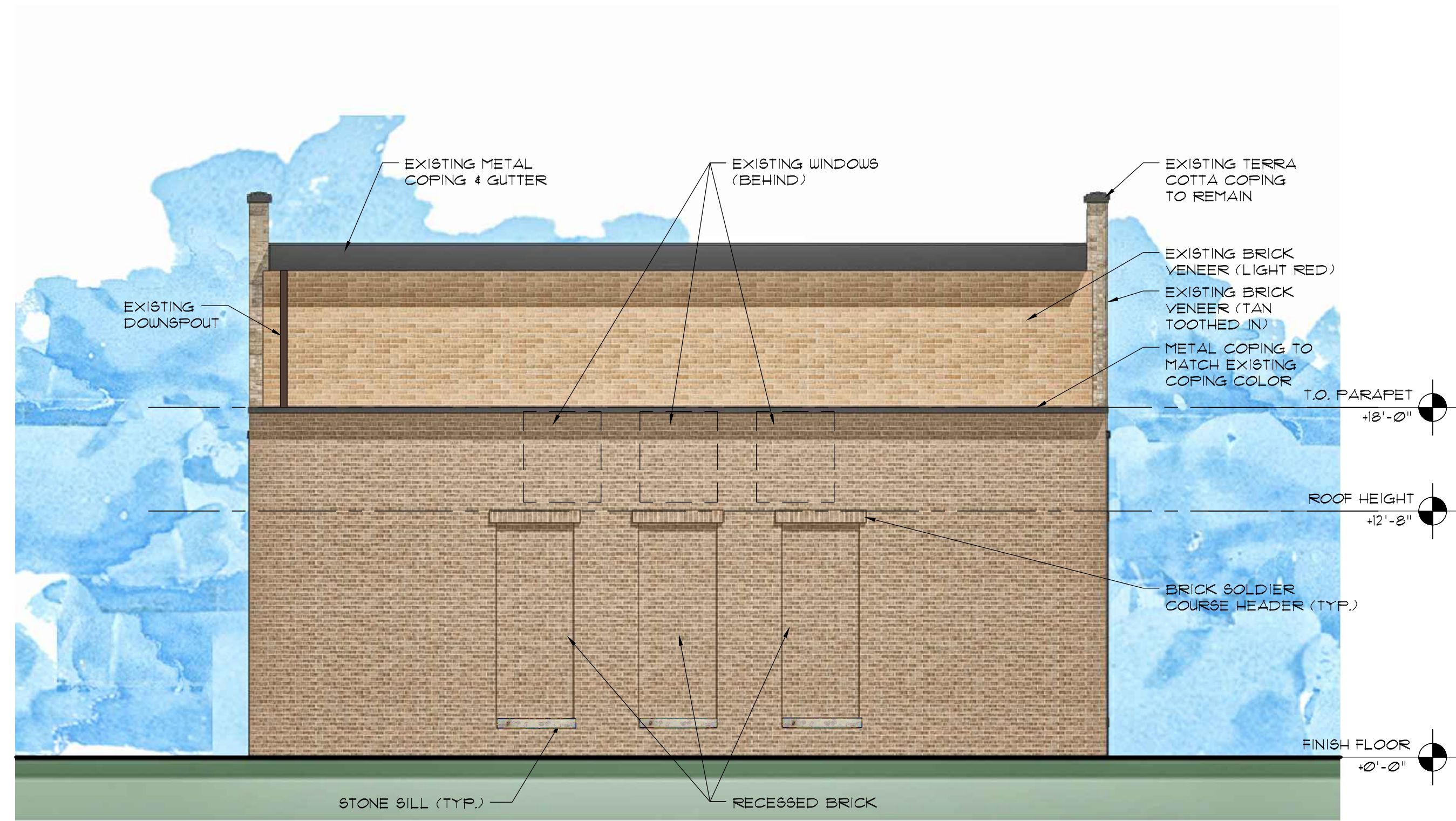
3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



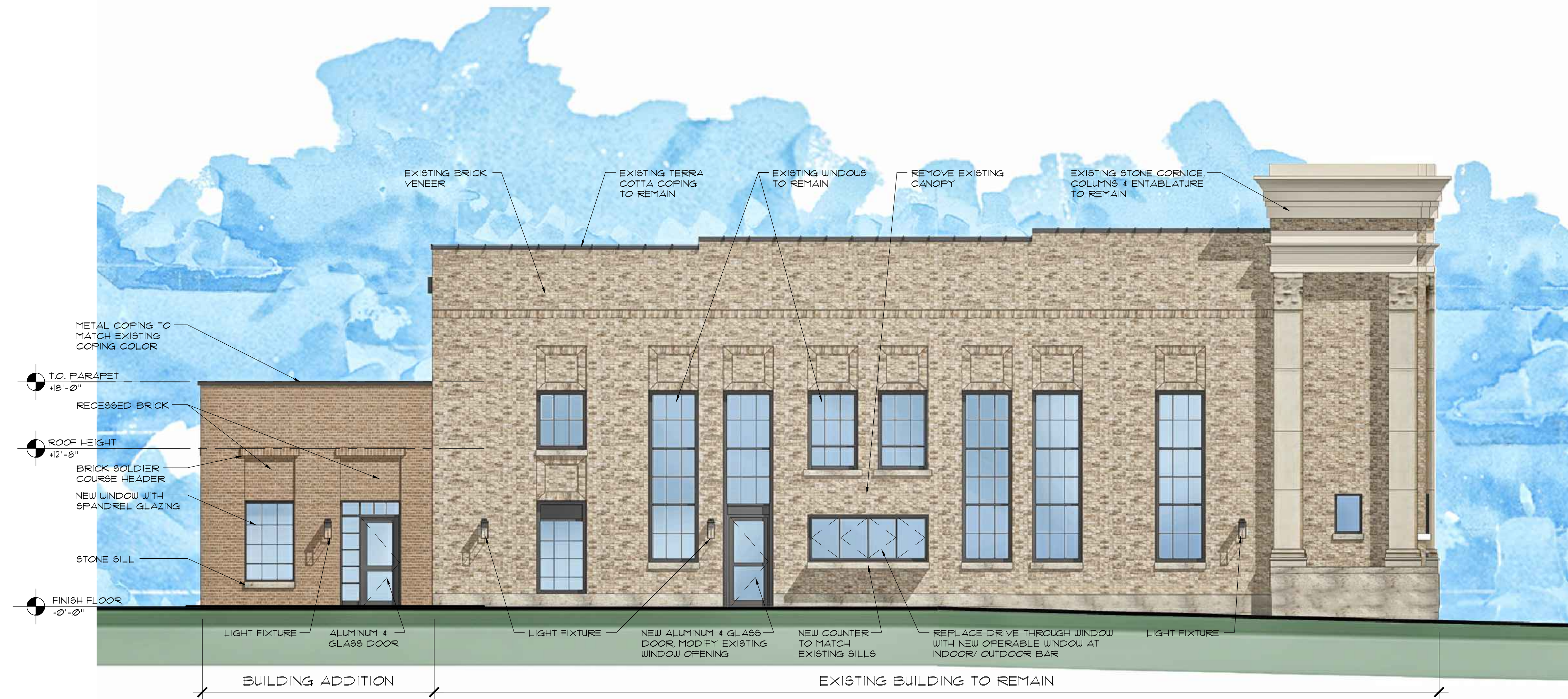
1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2

WEST ELEVATION

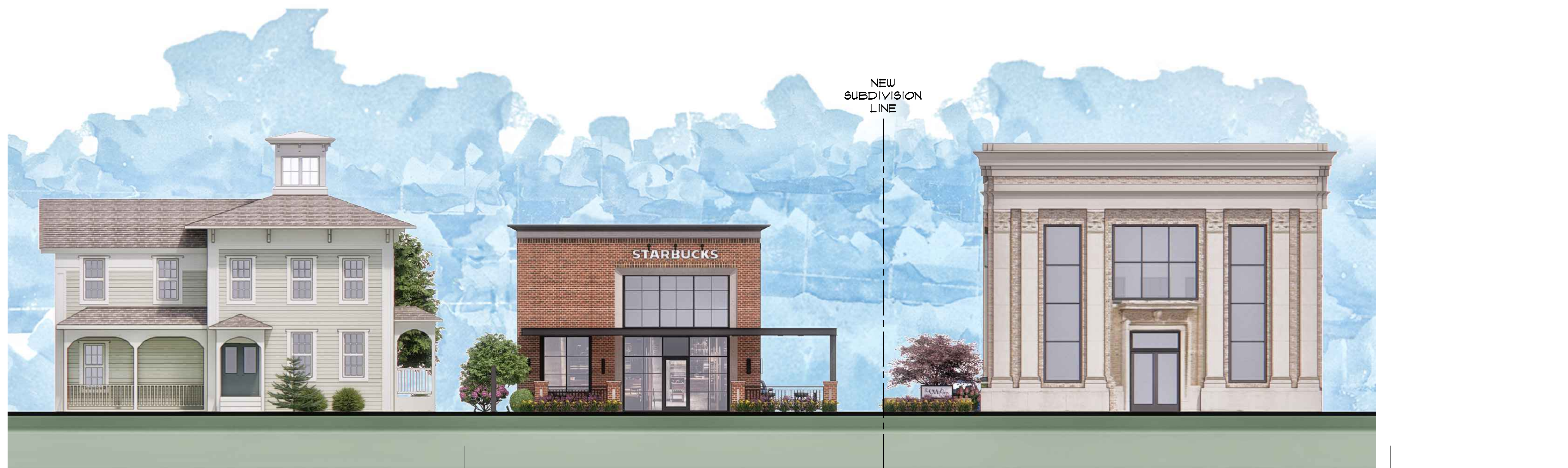
SCALE: 3/16" = 1'-0"



1

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



← 70 S. MAIN | 58 S. MAIN | MUNICIPAL PARKING ENTRANCE →

1

MAIN STREET ELEVATION
SCALE: 1/8" = 1'-0"

REVISED:

DATE: 7/24/23
MAIN STREET ELEVATION
PRELIMINARY SIGNAGE

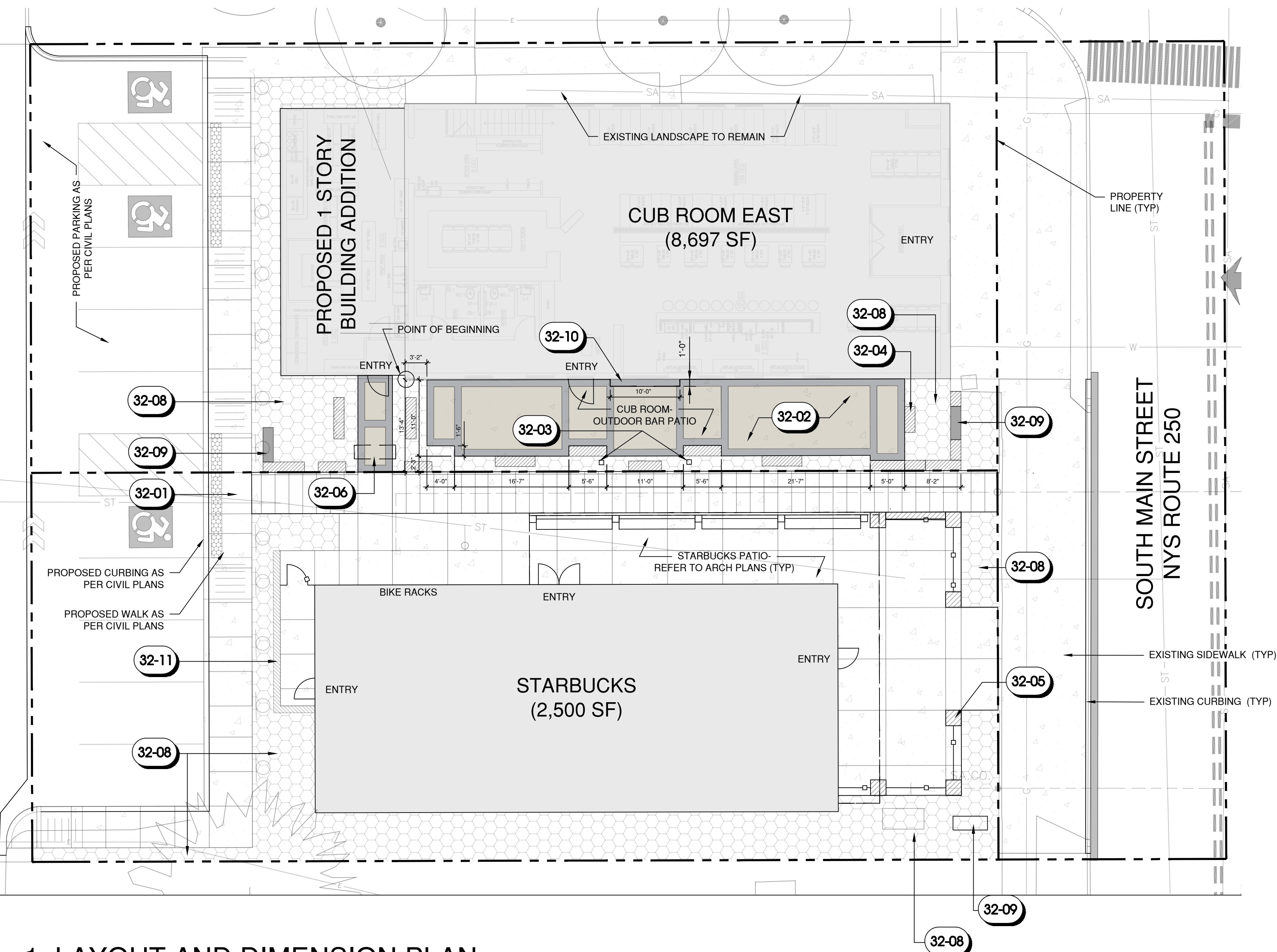
DRAWING TITLE:

A3
SHEET NO.

PROJECT NO: 22-166

GENERAL NOTES:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL AREAS WITHIN SCOPE OF WORK PRIOR TO START OF LANDSCAPE CONSTRUCTION. CONTACT THE LANDSCAPE ARCHITECT, THE OWNER, OR OWNER'S REPRESENTATIVE IMMEDIATELY TO REVIEW AND APPROVE ANY FIELD ISSUES DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND CONSTRUCTION QUALITY ASSURANCES AND WARRANTIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. ANY DAMAGE OCCURRING TO UTILITIES OR PROPERTY DURING EXCAVATION AND CONSTRUCTION WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR WILL SUBMIT PRODUCT DATA AND SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS FROM THE MUNICIPALITY AS NECESSARY. TO ALSO INCLUDE ANY NECESSARY PERMITTING FOR TRAFFIC REDIRECTION AND DISRUPTION.
6. THE CONTRACTOR SHALL MAINTAIN SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES THROUGHOUT THE CONSTRUCTION PROCESS.



1. LAYOUT AND DIMENSION PLAN

| 32 EXTERIOR IMPROVEMENTS SCHEDULE | |
|-----------------------------------|---|
| CODE | DESCRIPTION |
| 32-01 | PROVIDE CONCRETE PAVING TO AREAS SHOWN (+/-3,200 SF)- MEDIUM BROOM FINISH, SCORING PATTERN REFLECTED ON PLAN |
| 32-02 | PROVIDE SPECIALTY PAVING TO AREAS SHOWN W/ 12-INCH BANDING (+/- 830 SF)- FIELD TO BE EXPOSED AGGREGATE CONCRETE W/ INTEGRAL COLOR SANDSTONE 5237 ON THE DAVIS CHART, BANDING TO BE BRUSHED CONCRETE, LIGHT BROOM FINISH, WITH AN INTEGRAL COLOR GRAPHITE CARBON 8084 ON THE DAVIS COLOR CHART |
| 32-03 | PROVIDE TWO VERTICAL BLACK ALUMINUM POSTS- 8' X 8' W/ 9'-0" H. POSTS TO BE MOUNTED ON A FULL DEPTH FOOTING |
| 32-04 | PROVIDE RECLAIMED SANDSTONE THERMAL SLABS- LENGTHS VARY- 3', 4', 5' AND 6' PIECES AS SHOWN, HEIGHTS AND THICKNESS TO BE +/-18" |
| 32-05 | PROVIDE (6) 42" HEIGHT BRICK PIER WITH PRECAST CAPPING |
| 32-06 | PROVIDE DECORATIVE ENTRY ARBOR- WROUGHT IRON. DIMENSIONS TO BE 6'-0" WIDE AND 7'-0" TALL. POSTS TO BE MOUNTED IN FULL DEPTH FOOTINGS |
| 32-08 | PROPOSED LANDSCAPE BED - REFER TO SPECIFICATIONS ON PLANTING PLAN CUB ROOM: 1,010 SF STARBUCKS: 1,620 SF |
| 32-09 | FREESTANDING SIGN- REFER TO L1.3 |
| 32-10 | PROVIDE 4-INCH THICK THERMAL SANDSTONE SLAB COUNTERTOP W/ ROCK FACE TO MATCH BANK MATERIALS. |
| 32-11 | RETAINING WALL AS PER CIVIL PLANS- MATERIALS TO MATCH BRICK PIERS |



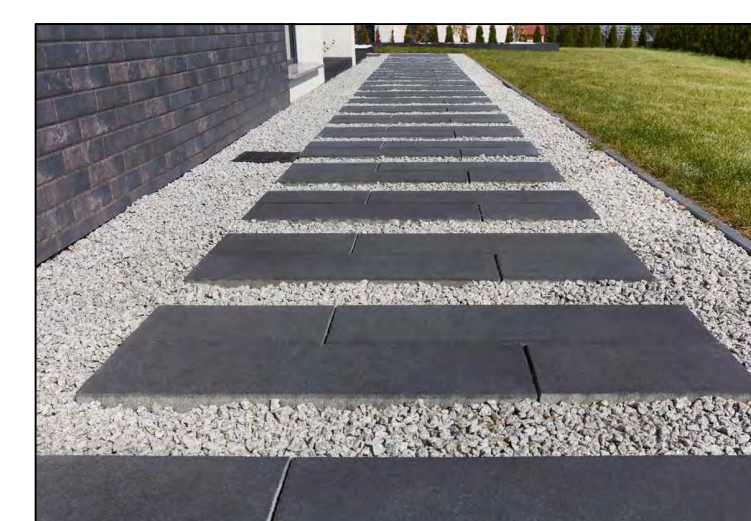
WROUGHT IRON ARBOR LOCATED AT CUBROOM ENTRY



RECLAIMED SANDSTONE SLABS W/ THERMAL FINISH TO MATCH BANK MATERIALS



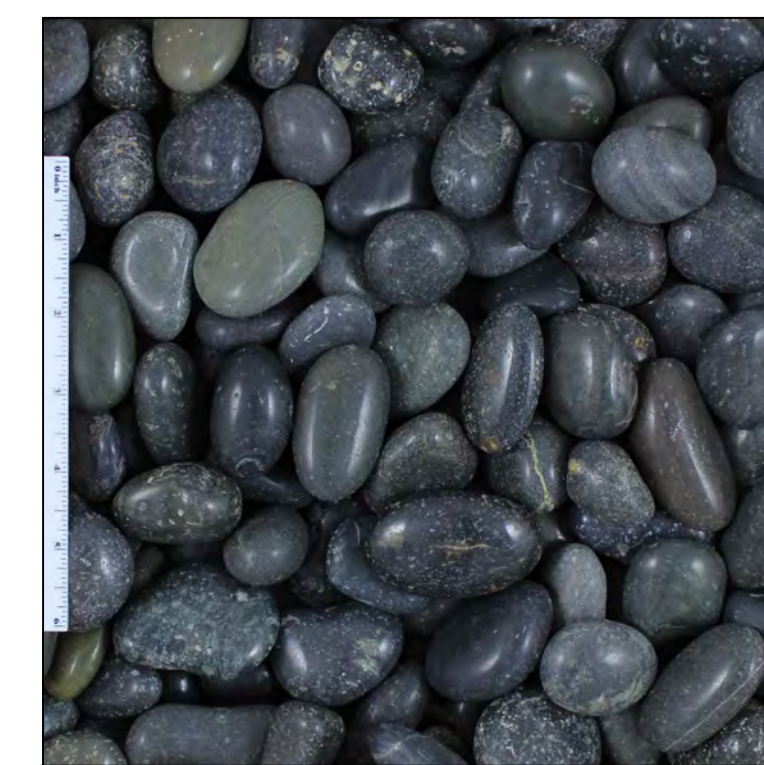
EXPOSED AGGREGATE-COLOR SANDSTONE FOR CUBROOM PATIO FIELD AREAS



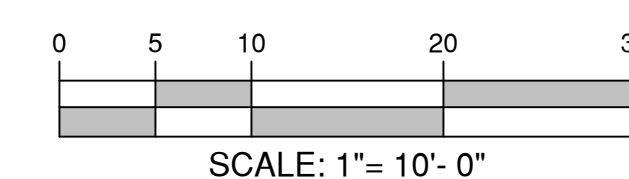
GRAPHITE CARBON COLOR BANDING AROUND CUB ROOM PATIO



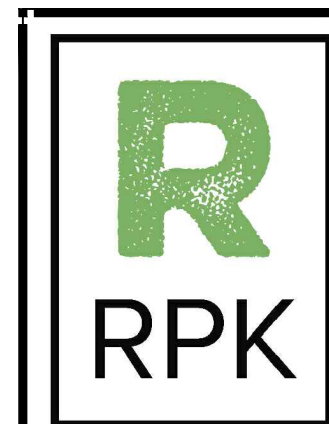
BRICK PIER W/ BLACK RAIL FENCE LOCATED ON STARBUCKS PATIO



MEXICAN BEACH PEBBLE IN CUBROOM PATIO LANDSCAPE AREAS



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*811



www.rpkla.com

(P) 585-502-7529
rkelly@rpkla.com



WARNING:
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LANDSCAPE ARCHITECT IS ALTERED, THE ALTERING LANDSCAPE ARCHITECT SHALL AFFIX HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

| DATE | DESCRIPTION |
|------|-------------|
| | |
| | |

PROJECT NAME

PROPOSED RESTAURANT BUILDING & STARBUCKS
58 SOUTH MAIN STREET
FAIRPORT, NEW YORK

| | |
|--------------|---------------------|
| DRAWN BY | COB |
| CHECKED BY | RPK |
| ISSUE DATE | JULY 24, 2023 |
| JOB NUMBER | |
| SHEET NAME | LAYOUT & DIMENSIONS |
| SHEET NUMBER | |

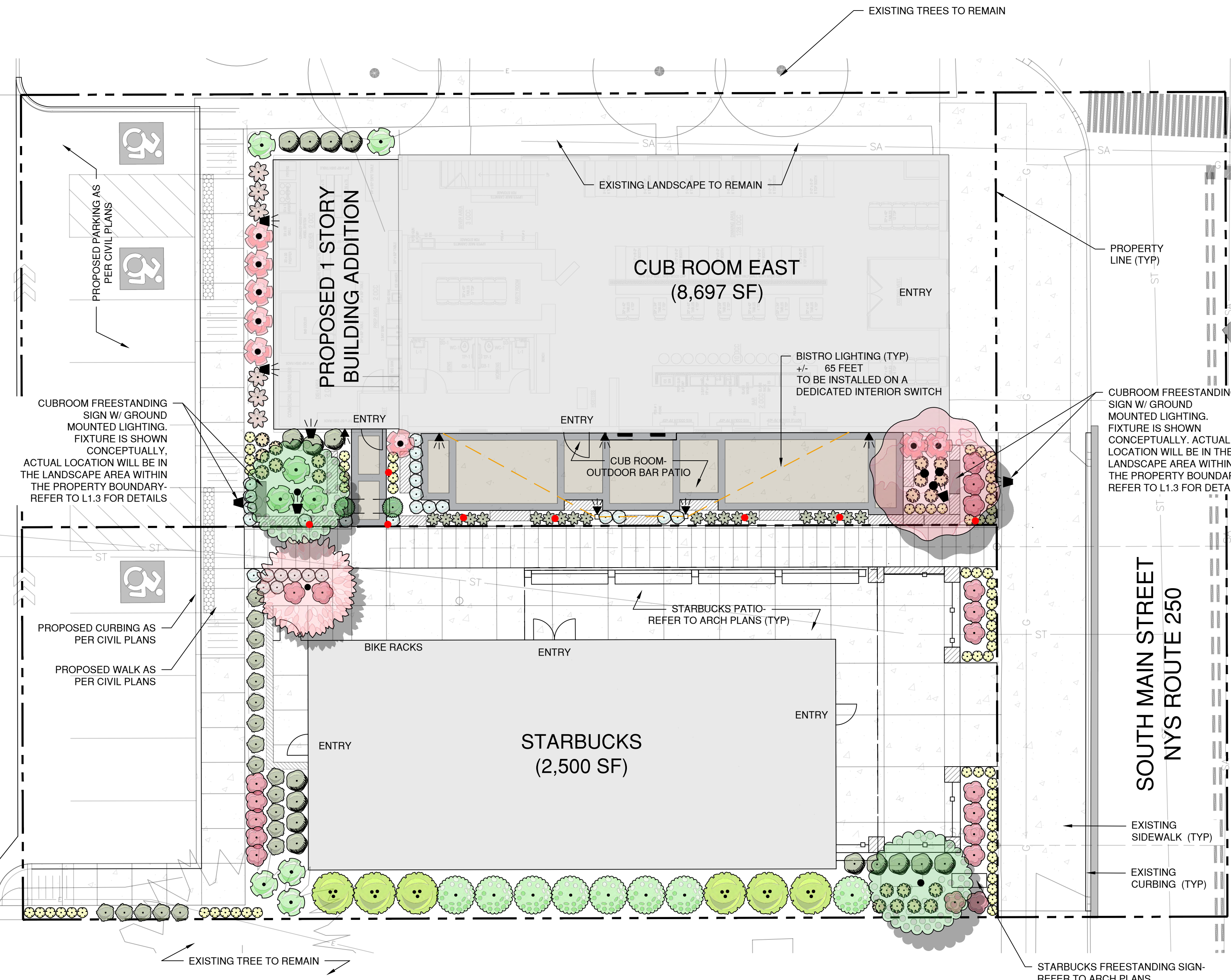
L1.1

PLANTING NOTES:

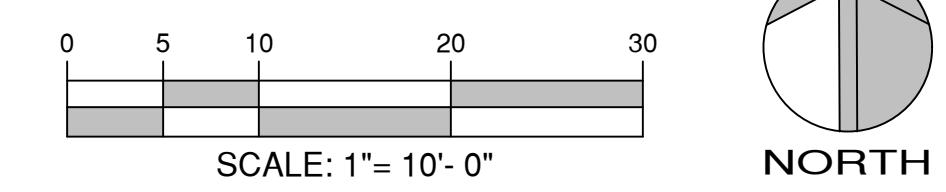
- A. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT AND MATERIAL QUANTITIES PRIOR TO BIDDING AND PROCUREMENT.
- B. FIRST REPURPOSE ALL FILL FROM LANDSCAPE CONSTRUCTION FOR PLANTING OPERATIONS. ALL IMPORTED FILL FOR USE IN PLANTING BEDS WILL BE UNSCREENED TOPSOIL WITH COMPOST ADDED AT A RATE OF APPROX. 1.5 CU. FT. PER 1 CU. YD. OF TOPSOIL.
- C. LANDSCAPE ARCHITECT WILL APPROVE ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- D. ALL WOODY PLANTS WILL BE OBTAINED FROM NURSERY SOURCE(S) WITH SIMILAR CLIMATE AND SOIL CONDITIONS AS THE PROJECT SITE.
- E. ALL MATERIALS WILL BE PLANTED AS PER DETAILS PROVIDED.
- F. BASE BID: ALL PLANT MATERIALS WILL BE PROVIDED WITH A 2-YEAR WARRANTY.
- G. BID ALTERNATE: ALL PLANT MATERIALS TO BE PROVIDED WITH A 3-YEAR WARRANTY.
- H. ALL PLANT MATERIALS WILL BE WATERED AT THE TIME OF INSTALLATION.
- I. PROVIDE 3" LAYER OF UNDYED, TRIPLE-GROUND HARDWOOD MULCH IN DARK BROWN COLOR TO ALL PLANTING BEDS, UNLESS OTHERWISE NOTED.
- J. ALL PLANTS PROVIDED SHALL BE STRAIGHT SPECIES OR NON-STERILE CULTIVARS, UNLESS OTHERWISE NOTED ON PLANT SCHEDULE.
- K. CONTRACTOR SHALL PROVIDE A NATURAL SPADED-EDGE BED LINE TO ALL PLANTING AREAS, UNLESS OTHERWISE NOTED.
- L. **WATERING BAGS: ALL NEWLY PLANTED TREES SHALL BE PROVIDED EACH WITH A 'TREEDIAPER36' MODEL #1036VA BY ZYNNNOVATION LLC. OR APPROVED EQUAL. CONTRACTOR SHALL PRE-SOAK TREEDIAPERS TO FILL, UPON INSTALLATION. INSTALL TREEDIAPERS AS PER MANUFACTURER'S INSTRUCTIONS AND COVER WITH MULCH.**
- M. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING ETC.) AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER OR OWNER'S REPRESENTATIVE.

| LIGHTING SCHEDULE | | |
|-------------------|---|-----|
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY |
| ● | FX LUMINAIRE PM MODERN PATH LIGHT WITH POWDER-COATED FINISH. 2.5IN. DIA X 14.0IN. H. PM-XT FOR EXTRA TALL 18.5IN. ORDER CODE: PM, ALUMINUM ALLOY, (FB) FLAT BLACK, DECK MOUNT FOR PM LAMP: PM-1LED, 2.2W 2.2VA, 2700K, BEAMSPREAD: VERY WIDE FLOOD | 8 |
| ◀ | FX LUMINAIRE QL DIE-CAST ALUMINUM DOWN LIGHT WITH POWDER COATED FINISH. 1.5IN. W X 2.3IN. H X 2.2IN. D. ORDER CODE: QL, ALUMINUM, (FB) FLAT BLACK, WALL PLATE, 1 GANG, QL SU LAMP: QL-1LED, 2W 2.4VA, 2700K, BEAMSPREAD: WIDE FLOOD | 6 |
| — | FX LUMINAIRE BP UNDER CAP, RAILING OR EXISTING CONSTRUCTION APPLICATIONS. 6.7IN. W X 0.9IN. H X 0.625IN. D. ORDER CODE: BP, ALUMINUM, (FB) FLAT BLACK, MOUNTING PLATE LAMP: 20W G4 LED, 1.6W 1.7VA, 2700K | 2 |
| ◀ | FX LUMINAIRE XW-70 DIE-CAST ALUMINUM HIGH-OUTPUT WALL WASH LIGHT WITH ADJUSTABLE BODY. IP67 RATED. ORDER CODE: XW-70, ALUMINUM, (FB) FLAT BLACK, 3-PRONG SPIKE LAMP: XW-70-H1, 18W 23VA, 2700K, BEAMSPREAD: ULTRA WIDE FLOOD | 7 |

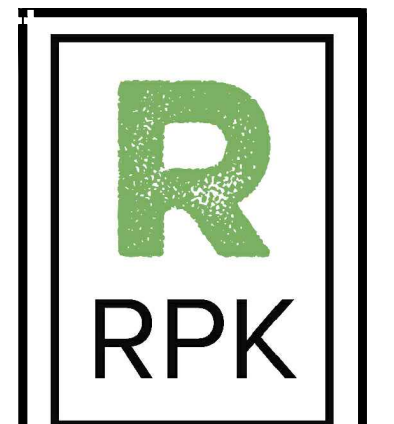
| PLANT SCHEDULE | | | | | | |
|---------------------------|-------------|------------|---------------------------------------|------------------------------|-------------|-------------|
| TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE |
| | JM | 1 | ACER PALMATUM 'BLOODGOOD' | BLOODGOOD JAPANESE MAPLE | B & B | 8- 10' HT. |
| | CV | 1 | CRATAEGUS VIRIDIS 'WINTER KING' | 'WINTER KING' HAWTHORN | B & B | 1.75- 2" |
| | SR | 2 | SYRINGA RETICULATA | JAPANESE TREE LILAC | B & B | 2- 2.5" |
| SHRUBS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE |
| | CS | 6 | CORNUS STOLONIFERA 'ARCTIC FIRE' | ARCTIC FIRE DOGWOOD | #3 CONT. | 18- 24" SP. |
| | RN | 8 | HYDRANGEA PANICULATA 'RENSUN' | STRAWBERRY SUNDAE HYDRANGEA | #3 CONT. | 18- 24" SP. |
| | HF | 8 | HYDRANGEA QUERCIFOLIA 'FLEMYGEA' | SNOW QUEEN OAKLEAF HYDRANGEA | #5 CONT. | 24- 30" SP. |
| | HQ | 8 | HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' | RUBY SLIPPERS HYDRANGEA | #3 CONT. | 18- 24" SP. |
| | TAX | 16 | TAXUS X MEDIA 'DENSIFORMIS' | DENSE YEW | B & B | 18- 24" SP. |
| | WE | 19 | WEIGELA FLORIDA 'SPILLED WINE' | SPILLED WINE WEIGELA | #3 CONT. | 18- 24" SP. |
| ANNUALS/PERENNIALS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE |
| | OR | 68 | HEMEROCALLIS X 'STELLA DE ORO' | STELLA DE ORO DAYLILY | #2 CONT. | |
| | HB2 | 27 | LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE' | HIDCOTE BLUE LAVENDER | #1 CONT. | |
| GRASSES | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE |
| | OVD | 20 | CALAMAGROSTIS X ACUTIFLORA 'OVERDAM' | OVERDAM FEATHER REED GRASS | #2 CONT. | |
| | DC2 | 20 | DESCHAMPSIA CESPITOSA 'GOLDTAU' | GOLD DEW TUFTED HAIR GRASS | #1 CONT. | |
| | PVS | 6 | PANICUM VIRGATUM 'SHENANDOAH' | SWITCH GRASS | #2 CONT. | |
| | SH2 | 19 | SPOROBOLUS HETEROLEPIS | PRAIRIE DROPSEED | #3 CONT. | |
| VINE/ESPAIER | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE |
| | ANO | 2 | HYDRANGEA ANOMALA PETIOLARIS | CLIMBING HYDRANGEA | #3 CONT. | 2'- 3' |



1. PLANTING & LIGHTING PLAN



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WARNING:
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LANDSCAPE ARCHITECT IS ALTERED, THE ALTERING LANDSCAPE ARCHITECT SHALL AFFIX HIS SEAL AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

| DATE | DESCRIPTION |
|------|-------------|
| | |
| | |

PROJECT NAME

**PROPOSED RESTAURANT
BUILDING & STARBUCKS**
58 SOUTH MAIN STREET
FAIRPORT, NEW YORK

| | |
|--------------|---------------|
| DRAWN BY | COB |
| CHECKED BY | RPK |
| ISSUE DATE | JULY 24, 2023 |
| JOB NUMBER | |
| SHEET NAME | PLANTING PLAN |
| SHEET NUMBER | L1.2 |

To: Planning Board

From: Jill M. Wiedrick, AICP, Village Planner

Date: September 13, 2023

Re: 58 South Main Street – Site Plan Review

The applicant proposes to change the use of the existing building located at 58 South Main Street (Lot 1) from a financial institution to a restaurant (a permitted use in the District), including an outdoor seating area on the south side of the building. An addition will also be constructed at the rear of the existing building. Exterior changes to the existing structure, such as removal of the drive-through from the existing structure are proposed. This building is currently vacant.

The applicant proposes to construct a 2,500 square foot building on Lot 2. This building is proposed to be used as a restaurant (a permitted use in the District). An outdoor seating area is proposed between the lot line and the building.

In between the two buildings will be outdoor seating and a walkway that connects the sidewalk on South Main Street to the parking spaces on site and ultimately, the public parking lot. A total of 11 parking spaces (2 accessible spaces) will be located at the rear of the parcels.

The proposal includes the addition of landscaping on both Lot 1 and Lot 2. In addition, the curb cuts on South Main Street will be closed, with vehicle access occurring at the rear of the site.

Please note that the proposal detailed above is subject to review by the Historic Preservation Commission

Signage is proposed and will be reviewed under the Sign Site Plan Review and Certificate of Appropriateness processes.

Should the Planning Board choose to approve the Site Plan, it is recommended that an approval be conditioned on the following;

- Approval of an access agreement by the Village Board
- Approval of a licensing agreement (refuse) by the Village Board
- Filing of a storm sewer access and maintenance easement and a hold harmless agreement between the property owner and the Village Board

Code Compliance

Purpose of District

The purpose of the district is to preserve and enhance the primary business and canal front districts in the Village of Fairport through architectural and site design that is representative in scale and character of traditional Village design; to create public and private spaces that enhance the public realm in the commercial and business district; and to reflect the vision of the community as set forth in the Village Comprehensive Plan.

To accomplish the foregoing, the Design Overlay District is created and regulations therefore established which shall supersede any conflicting provisions in this chapter applicable to the underlying zoning districts.

Design Overlay District Review

§ 550-46 Buildings standards.

B. Height. Structures shall be a minimum of two stories and 24 feet in height and a maximum of 45 feet. Other building heights can be approved by the Planning Board with consideration given to:

- (1) Height of adjacent buildings.
- (2) Enclosure created by the building in relation to street width (building-face to building-face).
- (3) Vistas and views.
- (4) Structures that possess unique value to the Village and maintain the vision set forth in the Comprehensive Plan and these design standards.

The existing Bank of America building is 35' 6" feet tall and is one story.

The proposed building is 24' 9" tall and is one story.

The proposed building complies with the height requirement, but does not comply with the minimum number of stories. Please note that the Bank of America building is one story and the building immediately to the south of the proposed building (70 South Main Street) is a two-story structure.



C. Width to height ratio. Buildings shall have a width to height ratio between 1:1 and 1:2.

The existing building (Bank of America) does not meet the width to height ratio as the width of the building is 40' and the height of the building is 35' 6".

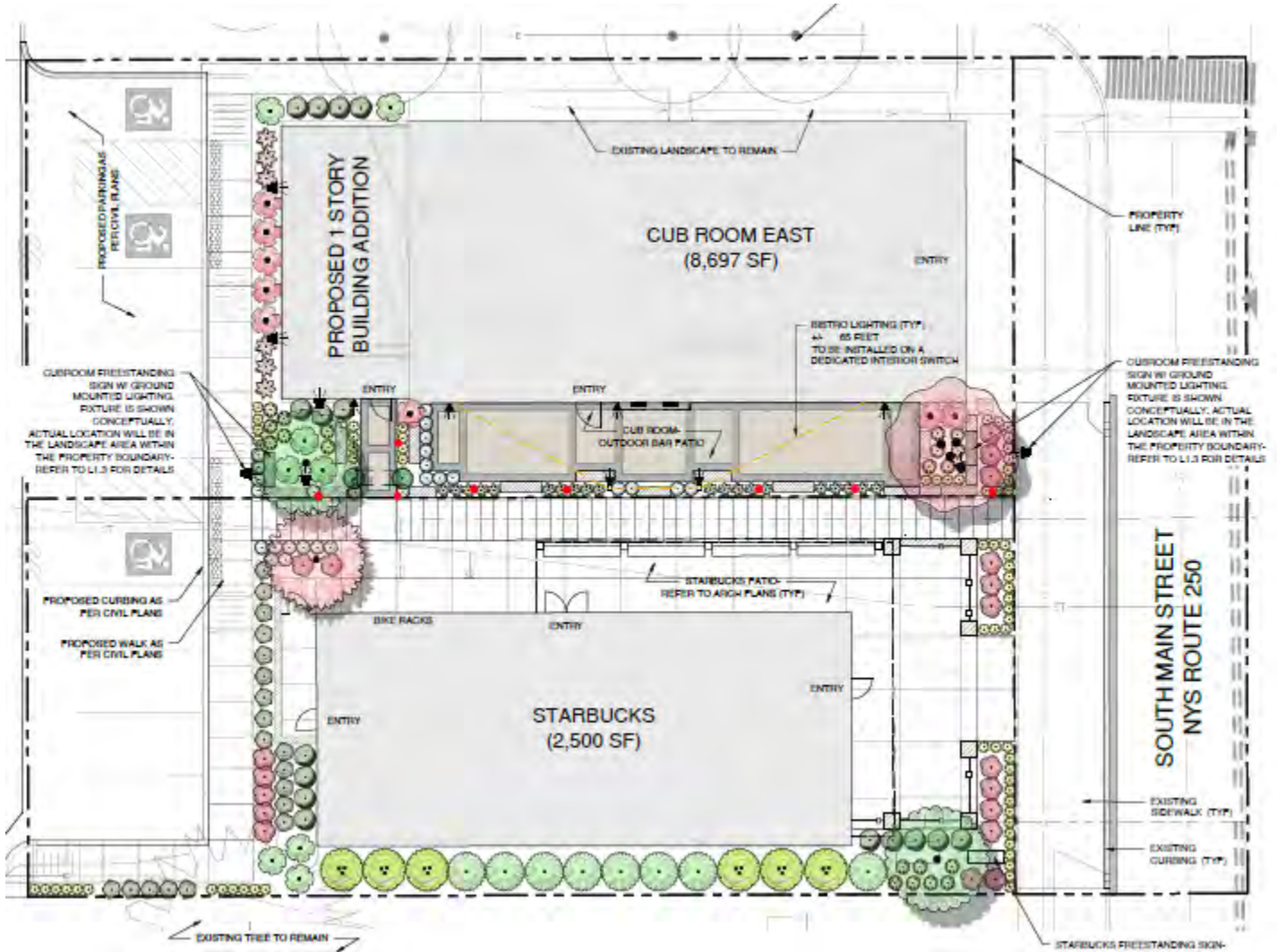
The proposed building does not meet the width to height ratio. The width of the proposed building is 33' and the height is 24' 9".

D. Setbacks.

- (1) Front setback. All structures shall have a front setback of zero feet from the lot line, or when the lot line encroaches in the right-of-way the setback shall be zero feet from the right-of-way. A setback greater than zero feet can be approved by the Planning Board to create space for outdoor eating, public art or other semipublic uses that enliven the public realm. Corner buildings are subject to the front setback requirement on both street frontages.

The existing building does not meet the front setback requirement of zero and is setback 6.7' from the lot line.

The proposed building does not meet the front setback requirement of zero and is setback 16'. It should be noted that an outdoor seating area has been proposed to enliven the public realm.



F. Facade composition.

- (5) Transparency. A minimum of 60% of all first floor facades with street frontage shall consist of pedestrian entrances, display windows or windows affording views into retail, offices, gallery or lobby space. The building wall subject to transparency requirements shall include the portion between three feet and 10 feet above the sidewalk. Blank walls should be avoided and lively facades encouraged.

The transparency of the existing Bank of America building is 34%.

§ 550-47 **Site standards.**

A. Lot coverage.

| Required | BOA Building (Lot 1) | Proposed Building (Lot 2) |
|------------------------------|-----------------------------|----------------------------------|
| Building Coverage 70% | 44% | 32% |
| Parking Lane Coverage 10% | 16.7% | 15.7% |
| Green / Open Space 20% | 12% | 16% |

B. Parking and circulation.

(2) The number of off-street parking spaces required shall be consistent with underlying zoning district.

| Proposed Use | 58 South Main Street – Restaurant (Lot 1) | Proposed Building – Restaurant (Lot 2) |
|--|--|--|
| Required Parking | | |
| Indoor Seating – 1 space per four occupants | Occupancy = 120 persons Parking = 30 spaces | Occupancy = 28 persons Parking = 7 spaces |
| Outdoor Seating – 1 space per four outdoor seats | Outdoor Seats = 40 seats Parking = 10 spaces | Outdoor Seats = 32 seats Parking = 8 spaces |
| Total Required | 40 spaces | 15 spaces |
| Total Required for Lot 1 and Lot 2 | 55 spaces | |
| On-site parking spaces | 11 spaces | |

A parking waiver of 44 spaces is required.

- (3) Where municipal lots are within 500 feet, or ample on-street parking is present, the Planning Board, in its discretion, may reduce or waive off-street parking requirements.

As displayed below, the subject property is within 500 ft of two municipal parking lots.

| Parking lot | Spaces |
|-------------------|-----------------------|
| Village Landing | Upper: 282, Lower: 86 |
| Packett's Landing | 216 |



In addition to being within 500' of two municipal parking lots, the applicant has also submitted written correspondence between the applicant and the representative of the property immediately to the south of the parcel (70 South Main Street) that parking (13 spaces) at 70 South Main Street may be used by the employees of uses located on Lot 1 and Lot 2 during hours when the business at 70 South Main Street is not in operation.

The applicant has also submitted data regarding usage at the Landing municipal lot. Please see Page 2 of the Engineer's Memo. This data provides the average available space counts for peak weekend morning and afternoon time on several days in May and July 2023.

The following standards will be used to evaluate the proposed amendments to the existing Site Plan Approval.

550-19 Factors for Consideration

- A. The Planning Board's review of a preliminary site plan shall include but is not limited to the following considerations:
- (1) The adequacy and arrangement of vehicular traffic access and circulation, including intersections, road widths, channelization structures and traffic controls.
 - (2) The adequacy and arrangement of pedestrian traffic access and circulation, including the separation of pedestrian from vehicular traffic, walkway structures, control of intersections with vehicular traffic and pedestrian convenience.
 - (3) The location, arrangement, appearance and sufficiency of off-street parking and loading areas.
 - (4) The location, arrangement, size and design of buildings, lighting and signs.
 - (5) The adequacy, type and arrangement of trees, shrubs and other landscaping constituting a visual and/or a noise-deterring buffer between these and adjoining lands.
 - (6) In the case of an apartment house, townhouse or multiple dwelling, the adequacy of usable open space for playgrounds and informal recreation.
 - (7) The adequacy of stormwater and sanitary waste disposal facilities.
 - (8) The adequacy of structures, roadways and landscaping in areas with a moderate to high susceptibility to flooding and ponding and/or erosion.
 - (9) The protection of adjacent properties against noise, glare, unsightliness or other objectionable features.
- B. In its review, the Planning Board may consult with the Village Engineer and other Village, town and county officials, as well as with representatives of federal and state agencies, including the Soil Conservation Service and the New York State Department of Environmental Conservation. The Planning Board may require that the exterior design of all structures be made by or under the direction of a registered architect, whose seal shall be affixed to the plans.
- C. When reviewing a site plan because of a change in the use or occupancy of land, a building or any portion thereof, the Planning Board shall consider the impact of the proposed change upon other uses within the same building or parcel. To the extent practical, the Planning Board may require such modification thereto as will promote the most efficient use of land consonant with compliance with the provisions of this chapter. In no event shall the Planning Board waive the direct application of a local law provision to the changed use or occupancy under review.

550-45 District design principles.

The following principles shall guide all development and redevelopment in the Design Overlay District and provide additional regulatory criteria for the Planning Board in its site plan review process:

- A. Create, maintain and/or reinforce pedestrian-oriented and human-scaled streetscapes that promote safe pedestrian movement, access and circulation, and a pleasant experience for pedestrians.
- B. Encourage and promote direct visual and physical access to and from the Erie Canal and Main Street.
- C. Promote the design of buildings and sites to be an integral part of the public realm with identifiable buildings entrances, active storefronts, attractive parking areas, and an effective/efficient circulation system.
- D. Encourage and promote the design of buildings, sites and public spaces through the use of design elements, details, architectural styles and materials or treatments that reflect traditional Village character.
- E. Locate off-street parking areas to the side or rear of the structure and encourage the use of existing public lots whenever possible and, in cases where parking is adjacent to the street or sidewalk, provide clear separation with the use of landscaping, knee walls, fencing, or other methods viewed as appropriate by the Planning Board.
- F. Utilize landscaping to soften hard edges and buffer adjacent properties whenever possible.















