

ORDINANCE NO. 7428

AN ORDINANCE AMENDING THE GARLAND DEVELOPMENT CODE OF THE CITY OF GARLAND, TEXAS, BY APPROVING (1) AN AMENDMENT TO PLANNED DEVELOPMENT (PD) DISTRICT 21-01 TO ALLOW ELDER CARE-INDEPENDENT LIVING BASED IN THE MULTI-FAMILY-0 (MF-0) DISTRICT AND (2) A DETAIL PLAN FOR ELDER CARE-INDEPENDENT LIVING ON A 12.787-ACRE TRACT OF LAND LOCATED AT 2055 ARAPAHO ROAD; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; PROVIDING A PENALTY UNDER THE PROVISIONS OF SEC. 10.05 OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A NOTICE OF CONDITIONS OF COMPLIANCE CLAUSE; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 10th day of April, 2022, the Plan Commission did consider and make recommendations on a certain request for (1) an Amendment to Planned Development (PD) District 21-01 to allow Elder Care- Independent Living based in the Multi-Family-0 (MF-0) District and (2) a Detail Plan for Elder Care-Independent Living by **Jerry Handy**; and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, THAT:

Section 1

The Garland Development Code is hereby amended by (1) an Amendment to Planned Development (PD) District 21-01 to allow Elder Care-Independent Living based in the Multi-Family-0 (MF-0) District and (2) a Detail Plan for Elder Care- Independent Living on a 12.787-acre tract of land located at 2055 Arapaho Road and being more particularly described in Exhibit "A," attached hereto and made a part hereof.

Section 2

Development shall be in conformance with the conditions, restrictions, and regulations set forth in the Garland Development Code.

Section 3

That a violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 4

NOTICE OF CONDITIONS OF COMPLIANCE: Notwithstanding the provisions of any other ordinance of the City, the full, complete, and continuing compliance with all the conditions, restrictions, and regulations of this Ordinance is a condition to the issuance and continuation of any permit, approval, authorization or consent by the City, including without limitation the issuance or continuation of any certificate of occupancy for any building or structure located on any portion of the property described in Exhibit "A". All promises, representations, obligations and undertakings made or assumed by the applicant to the City Council at any public presentation in connection with the granting of this Ordinance are hereby incorporated into and made a part of this Ordinance as if expressly set forth herein at length. No substantial deviation from any material portion of the conditions, restrictions, and regulations contained within this Ordinance are allowed except as may be provided by the City Council after a public hearing.

Section 5

That the Garland Development Code, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 6

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 7

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

FILE NO. Z 22-80

PASSED AND APPROVED this _____ day of _____,
2023.

THE CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File Z 22-80

BEING a 12.787-acre tract of land situated a portion of Lot 1, Block 1, Woodlands Arapaho Addition, an addition to the City of Garland, Dallas County, Texas as recorded in Instrument Number 201900194914, Official Public Records of Dallas County, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a 5/8 inch iron rod with a red plastic cap stamped "KHA" found at the most northerly northeast corner of said Lot 1;

THENCE South 45°51 '58" East, with the east line of said Lot 1, a distance of 578.37 feet to the POINT OF BEGINNING;

THENCE South 45°51 '58" East, continuing with the east line of said Lot 1, a distance of 150.10 feet to a 5/8 inch iron rod with a red plastic cap stamped "KHA" found in the "L" corner of said Lot 1, for corner;

THENCE North 44°08'37" East, with the north line of said Lot 1, a distance of 431.38 feet to a 1/2 inch iron rod found with a plastic cap stamped "3941 ", said iron rod being the northeast corner of said Lot 1, for corner;

THENCE South 45°51 '58" East, with the east line of said Lot 1, a distance of 763.95 feet to a point, for corner;

THENCE South 44°08'02" West, departing the east line of said Lot 1, a distance of 284.04 feet to the beginning of a curve to the right;

ZONING FILE NUMBER Z 22-80

THENCE westerly with said curve to the right, having a radius of 65.00 feet, a central angle of 90'00'00" and a chord that bears South 89'08'02" West a distance of 91.92 feet, for an arc distance of 102.10 feet to the end of said curve;

THENCE North 45°51 '58" West, a distance of 236.22 feet, to a point, for corner;

THENCE South 44'13'25" West, at a distance of 176.45 feet passing through a 1/2 inch iron rod found, said iron rod in an "L" corner of said Lot 1, continuing with the south line of Lot 1, for a total distance of 496.44 feet to a point, for corner;

THENCE North 45' 46'35" West, departing the south line of said Lot 1, a distance of 611.25 feet to a point, for corner;

THENCE North 44°00'48" East, a distance of 413.14 feet, to the POINT OF BEGINNING, containing a calculated area of 12.787 acres (556,995 square feet) of land.

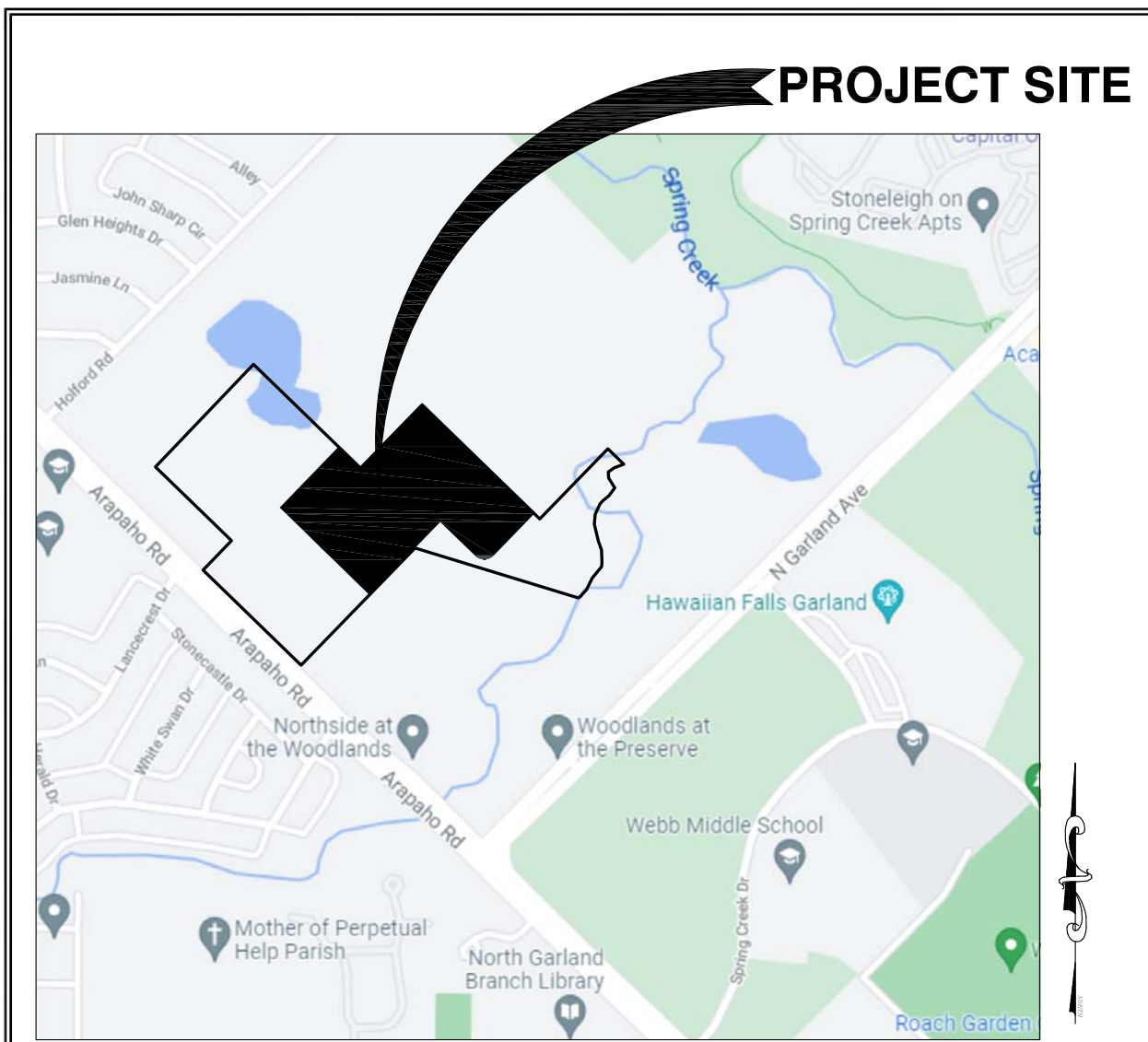
PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 22-80

2055 Arapaho Road

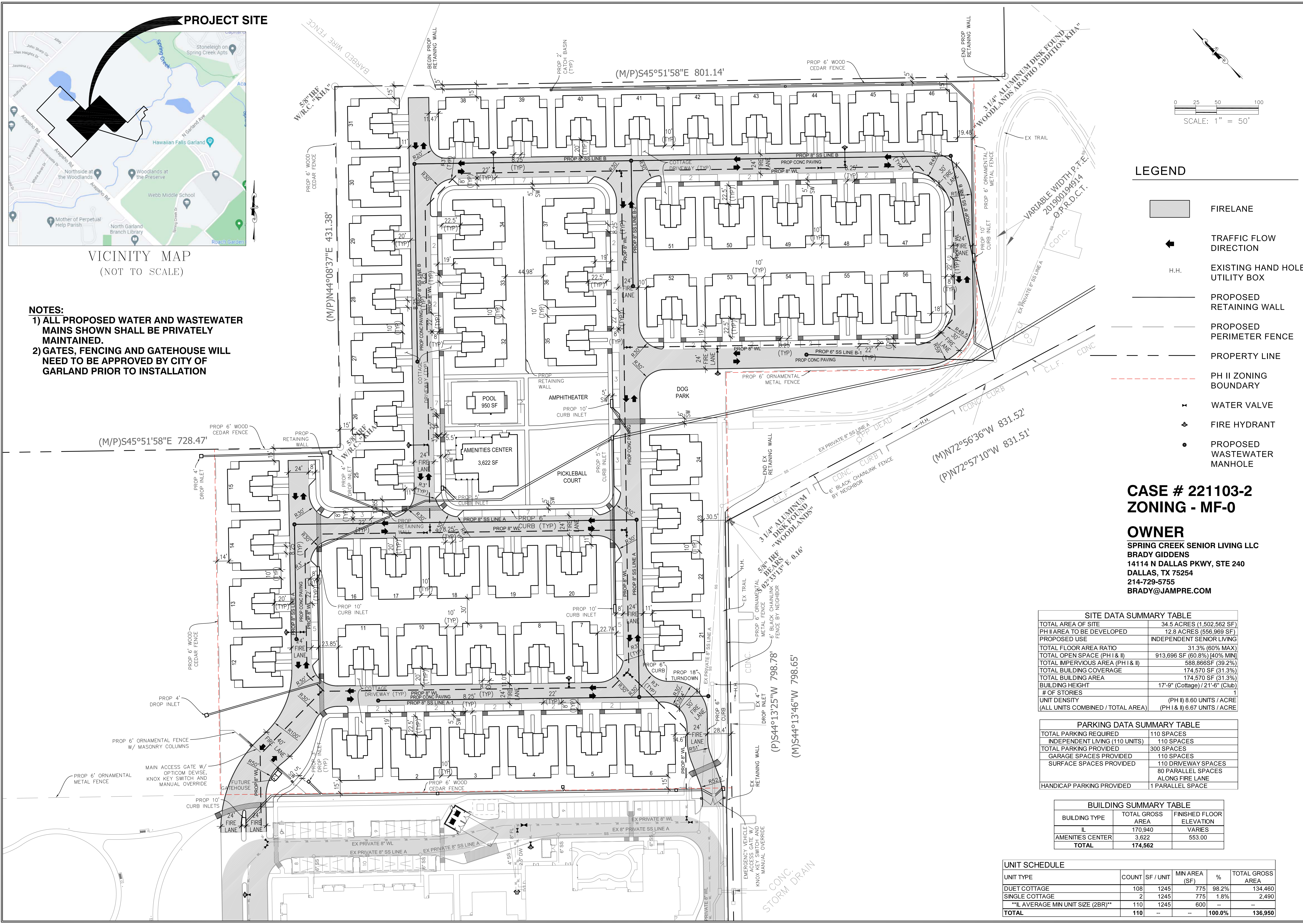
- I. Statement of Purpose:** The purpose of this Planned Development is to approve an Elder Care-Independent Living development.
- II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Multi-Family-0 (MF-0) District and Special Standards of the Elder Care Living Facilities and Elder Care- Assisted Living as set forth in Chapter 2 of the Garland Development Code and Planned Development (PD) District 21-01 are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
- Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply. Future Development on the subject property shall require Detail Plan approval.
- V. Specific Conditions:**
- A. Permitted Uses: Only an Elder Care - Independent Living use shall be permitted on the subject property.
- B. Site Plan: The site layout, building placement, parking and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.
- C. Dwelling Units: A total of 110 dwelling units shall be permitted.

- D. Amenities: Amenities shall be provided as shown on the Exhibits C and D.
- E. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D. In addition, a six (6)-foot ornamental fence with masonry columns along with the evergreen high-level screening shrubs shall be provided.
- F. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.
- G. Waste Disposal Restrictions:
1. On the development's residential waste collection day appointed by the City of Garland, residents of cottage units 15 and 31 shall place the unit's waste disposal can alongside the neighboring unit's waste disposal can, being units 14 and 30 respectively.
 2. Waste disposal cans shall be placed along the curb at the edge of the driveway as to not block access to any cottage unit driveway.
 3. Waste disposal cans shall be placed far enough before a change in direction of the waste disposal truck's path to prevent the truck from backing up to collect the waste disposal can.
 - a. The City of Garland Sanitation Department guidelines prohibit the waste disposal truck from backing up when collecting residential waste in this development.



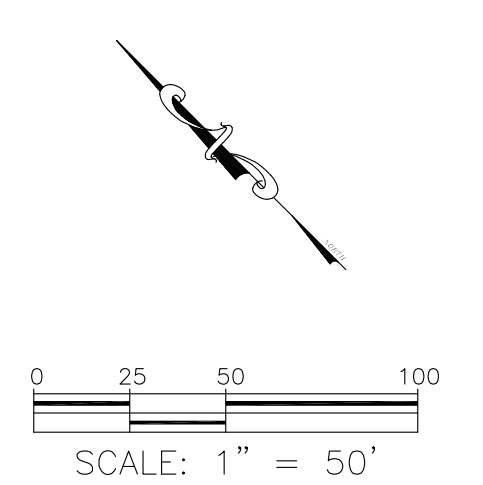
VICINITY MAP
(NOT TO SCALE)

- NOTES:**
- 1) ALL PROPOSED WATER AND WASTEWATER MAINS SHOWN SHALL BE PRIVATELY MAINTAINED.
 - 2) GATES, FENCING AND GATEHOUSE WILL NEED TO BE APPROVED BY CITY OF GARLAND PRIOR TO INSTALLATION



LEGEND

- FIRELANE
- TRAFFIC FLOW DIRECTION
- EXISTING HAND HOLE UTILITY BOX
- PROPOSED RETAINING WALL
- PROPOSED PERIMETER FENCE
- PROPERTY LINE
- PH II ZONING BOUNDARY
- WATER VALVE
- FIRE HYDRANT
- PROPOSED WASTEWATER MANHOLE



**CASE # 221103-2
ZONING - MF-0**

OWNER
 SPRING CREEK SENIOR LIVING LLC
 BRADY GIDDENS
 14114 N DALLAS PKWY, STE 240
 DALLAS, TX 75254
 214-729-5755
 BRADY@JAMPRE.COM

SITE DATA SUMMARY TABLE

TOTAL AREA OF SITE	34.5 ACRES (1,502,562 SF)
PH II AREA TO BE DEVELOPED	12.8 ACRES (556,969 SF)
PROPOSED USE	INDEPENDENT SENIOR LIVING
TOTAL FLOOR AREA RATIO	31.3% (60% MAX)
TOTAL OPEN SPACE (PH I & II)	913,696 SF (60.8%) [40% MIN]
TOTAL IMPERVIOUS AREA (PH I & II)	588,866 SF (39.2%)
TOTAL BUILDING COVERAGE	174,570 SF (31.3%)
TOTAL BUILDING AREA	174,570 SF (31.3%)
BUILDING HEIGHT	17'-9" (Cottage) / 21'-6" (Club)
# OF STORIES	1
UNIT DENSITY	(PH II) 8.60 UNITS / ACRE
(ALL UNITS COMBINED / TOTAL AREA)	(PH I & II) 6.67 UNITS / ACRE

PARKING DATA SUMMARY TABLE

TOTAL PARKING REQUIRED	110 SPACES
INDEPENDENT LIVING (110 UNITS)	110 SPACES
TOTAL PARKING PROVIDED	300 SPACES
GARAGE SPACES PROVIDED	110 SPACES
SURFACE SPACES PROVIDED	110 DRIVEWAY SPACES 80 PARALLEL SPACES ALONG FIRE LANE
HANDICAP PARKING PROVIDED	1 PARALLEL SPACE

BUILDING SUMMARY TABLE

BUILDING TYPE	TOTAL GROSS AREA	FINISHED FLOOR ELEVATION
IL	170,940	VARIES
AMENITIES CENTER	3,622	553.00
TOTAL	174,562	

UNIT SCHEDULE

UNIT TYPE	COUNT	SF / UNIT	MIN AREA (SF)	%	TOTAL GROSS AREA
DUET COTTAGE	108	1245	775	98.2%	134,460
SINGLE COTTAGE	2	1245	775	1.8%	2,490
IL AVERAGE MIN UNIT SIZE (2BR)	110	1245	600	-	-
TOTAL	110	-	-	100.0%	136,950

PROJECT NAME: **Preserve at Spring Creek PHASE II**
 Garland, TX

SHEET TITLE: **SITE PLAN**

PRELIMINARY NOT FOR CONSTRUCTION

JOHN H BEZNER
 PE # 98469

DATE: 5-3-23
 SCALE: 1"=50'
 SHEET: **4**
 OF: **30**

CIVIL POINT ENGINEERS
 5900 SOUTH LAKE FOREST DR
 SUITE 300
 MCKINNEY, TX 75070
 972-554-1100 (Office)
 1-866-682-8129 (Fax)
 TBPE Firm #: 9723

Case No. 221103-2

LANDSCAPE CALCULATIONS

SITE INFORMATION:

ZONING: CR DISTRICT
 TOTAL LOT AREA: 556,960 S.F. (12.78 ACRES)
 PROPOSED USE: MULTIFAMILY COTTAGES

LANDSCAPE AREA:

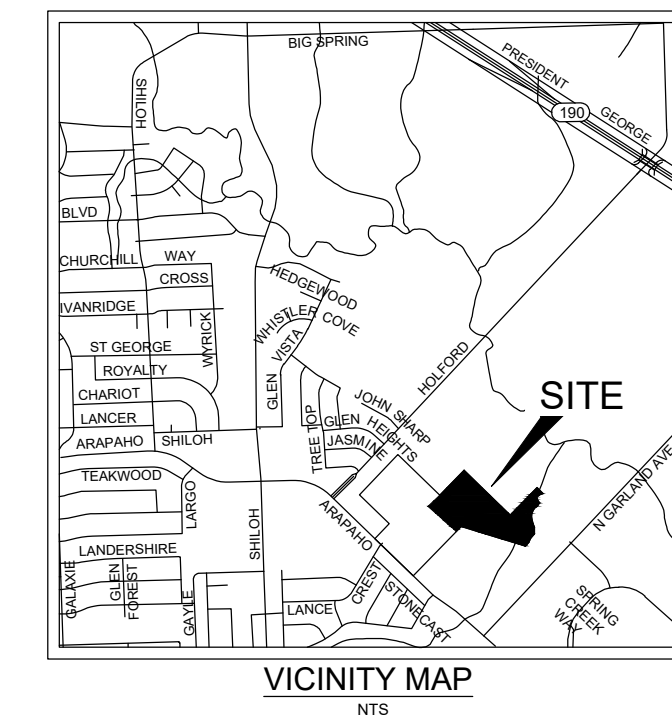
REQUIRED: MINIMUM OF 40% OF GROSS PLATTED SITE MUST BE DEVOTED TO LANDSCAPING, OPEN SPACE AREAS, POOLS, AND SIMILAR OUTDOOR ACTIVITY USE
 556,960 S.F. X 40% = 222,784 S.F. LANDSCAPE AREA

PROVIDED: 202,786 S.F. (36%) LANDSCAPE AREA + 240,000+ S.F. PARK AREA

PARKING LOT:

REQUIRED: (1) CANOPY TREE PER 10 PARKING SPACES (33 SPACES / 10 = 4 TREES)
 (1) CANOPY TREE AT THE TERMINUS OF EVERY PARKING ROW
 EVERY PARKING SPACE WITHIN 65' OF A CANOPY TREE
 LANDSCAPING TO ACCOUNT FOR 5% OF THE PARKING AREA (6,466 X 5% = 324 S.F.)

PROVIDED: (11) SHADE TREES + 325+ S.F. LANDSCAPE AREA



ISSUES:

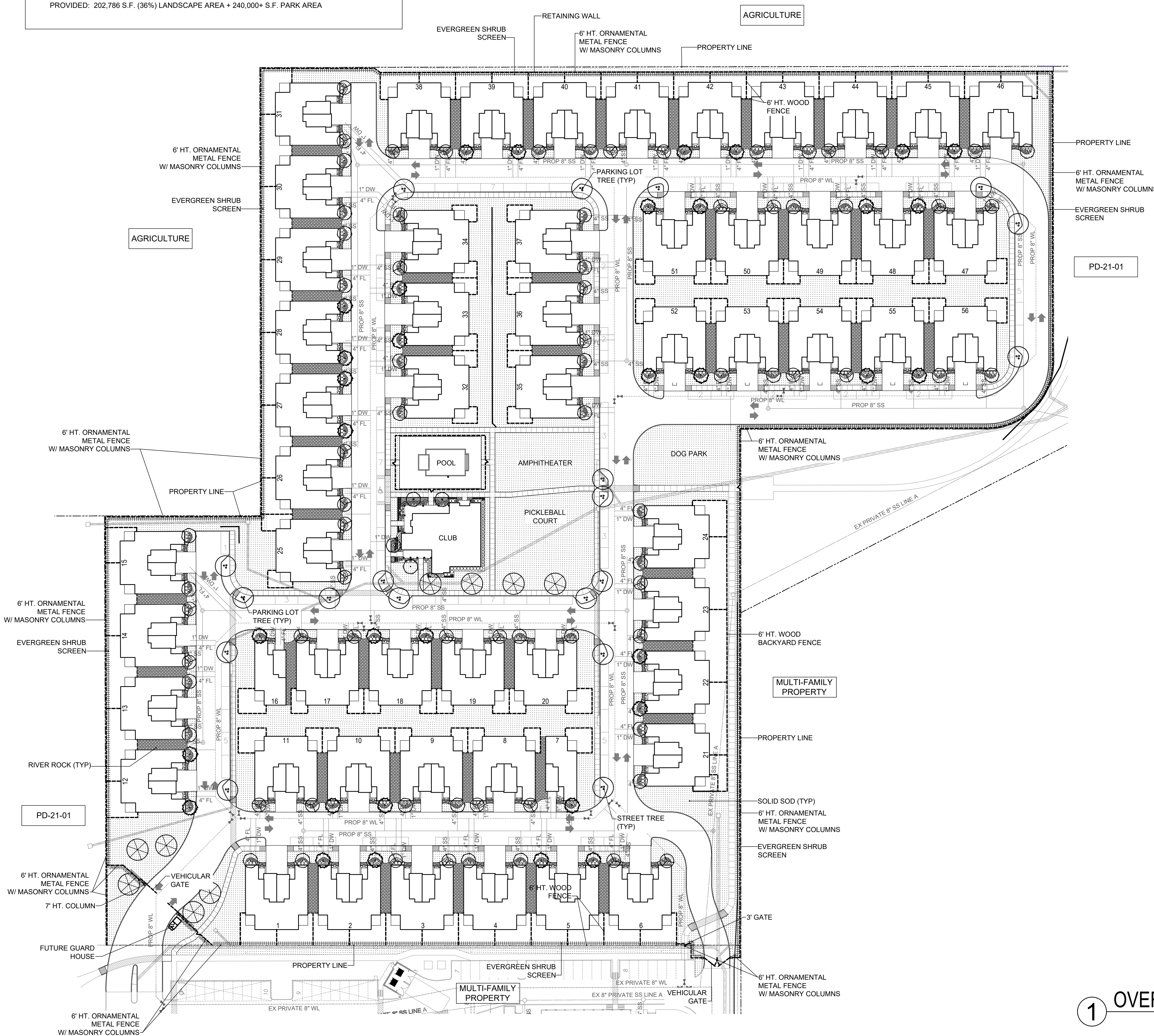
- ① 10-24-22 SITE PLAN SUBMITTAL

REVISIONS:

- ▲ 12-28-22 PER CITY COMMENTS
- ▲ 01-11-23 PER CITY COMMENTS
- ▲ 02-15-23 PER CITY COMMENTS
- ▲ 03-15-23 PER CITY COMMENTS

CLIENT:
 JAMP Enterprises LLC
 14114 N. Dallas Parkway
 Suite 265
 Dallas, TX 75254

EXHIBIT D



SYM	BOTANICAL NAME	COMMON NAME	QUAN	SIZE	REMARKS
LARGE CANOPY TREES					
CE	Ulmus crassifolia	Cedar Elm	19	3" Cal.	12'-14" Ht.
LO	Quercus virginia	Live Oak	09	3" Cal.	12'-14" Ht.
SMALL ORNAMENTAL TREES					
CM	Lagerstroemia indica 'Natchez'	Crepe Myrtle 'Natchez'	42	1.5" Cal.	8' to 10' Ht., 4'-5' spread, 30 gal.
CH	Vitex agnus-castus	Chaste Tree	34	1.5" Cal.	8' to 10' Ht., 4'-5' spread, 30 gal.
YH	Ilex vomitoria	Yaupon Holly	38	1.5" Cal.	8' to 10' Ht., 4'-5' spread, 30 gal.
LOW LEVEL SCREENING SHRUBS					
AB	Abelia grandiflora 'Edward Goucher'	Abelia	94	5 gal.	24" min. ht, 18" min. spread, Plant 36" O.C.
DB	Ilex cornuta 'Burfordii'	Dwarf Burford Holly	139	5 gal.	24" min. ht, 18" min. spread, Plant 36" O.C.
DY	Ilex vomitoria 'nana'	Dwarf Yaupon Holly	212	3 gal.	Plant 24" O.C.
MG	Miscanthus sinensis	'Morning Light' Miscanthus	10	5 gal.	24" min. ht, 18" min. spread, Plant 36" O.C.
PD	Loropetalum chinense 'Plum Delight'	Purple Fringe Flower	178	5 gal.	24" min. ht, 18" min. spread, Plant 36" O.C.
TS	Leucophyllum frutescens	Texas Sage	100	5 gal.	24" min. ht, 18" min. spread, Plant 36" O.C.
AS	Ligustrum lucidum	Autumn Sage	347	3 gal.	Plant 24" O.C.
DI	Raphiolepis indica 'nana'	Dwarf Indian Hawthorn	439	3 gal.	Plant 24" O.C.
MF	Yucca recurvifolia	Mexican Feather Grass	80	3 gal.	Plant 24" O.C.
GROUNDCOVERS					
LIR	Liriope muscari	Liriope 'Big Blue'	1,575	4" pots	12" O.C. Spacing
SS	Cynodon spp.	Common Bermuda	161,000	S.F.	Solid sod/hydromulch
RR	Color: Brown/Earth tone Size: 1.5" - 3" Dia.	River Rock	22,000	S.F.	Min. 4" depth, Install over filter fabric/weed barrier

LANDSCAPE INSTALLATION & MAINTENANCE

- TREES AND LANDSCAPE MATERIALS THAT ARE PLANTED PURSUANT TO THIS ARTICLE 3 (FROM THE CITY'S APPROVED PLANT LIST, DIVISION 7 OF THIS ARTICLE 3) MUST BE INSTALLED IN ACCORDANCE WITH PROFESSIONAL INSTALLATION STANDARDS.
- THE PROPERTY OWNER MUST SUFFICIENTLY MAINTAIN TREES AND LANDSCAPE MATERIALS SO THAT THEY REMAIN IN A HEALTHY, LIVING, GROWING, AND THRIVING CONDITION.
- PROPERTY OWNERS MAY BE REQUIRED TO REPLACE TREES AND LANDSCAPE MATERIALS THAT ARE NOT HEALTHY OR WHICH HAVE DIED.
- IRRIGATION SYSTEMS.
 - ALL IRRIGATION SYSTEMS MUST BE MAINTAINED AND KEPT FULLY OPERABLE.
 - ANY LEAKS IN THE IRRIGATION SYSTEM, WHETHER ABOVE OR BELOW GROUND, MUST BE PROMPTLY REPAIRED.
 - IRRIGATION SYSTEMS MUST HAVE FREEZE AND MOISTURE SENSORS.
 - IRRIGATION SYSTEMS MUST BE CALIBRATED AND SET TO PROVIDE PERIODIC WATERING IN AN AMOUNT SUFFICIENT TO MAINTAIN ALL TREES AND LANDSCAPE MATERIALS.

NO LANDSCAPING SUCH AS TREES, SHRUBS, ABOVE AND UNDERGROUND STRUCTURES SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHT OF WAY WITHOUT APPROVED CITY'S REAL PROPERTY IMPROVEMENT AUTHORIZATION FORM OR CITY'S LICENSE AGREEMENT

PUBLIC RIGHT OF WAY, EASEMENTS AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD.

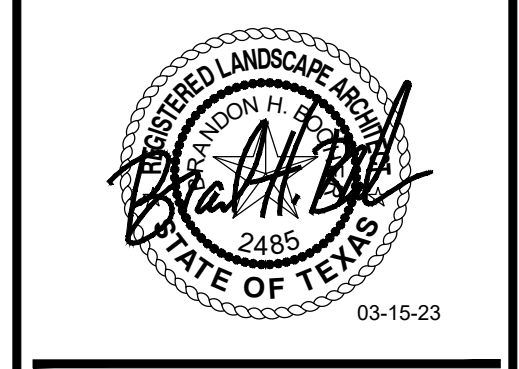
LANDSCAPE ARCHITECT

MECKS DESIGN GROUP, INC.
 BRANDON BOOHER
 1755 NORTH COLLINS BLVD, STE 300
 RICHARDSON, TX 75080
 (972) 690-7474

APPLICANT/OWNER

JAMP ENTERPRISES, LLC
 14114 N. DALLAS PARKWAY
 SUITE 265
 DALLAS, TX 75254

THE PRESERVE AT SPRING CREEK
 (PHASE II)
 GARLAND, TEXAS
 CASE NO: 221103-2



SITE PLAN SUBMITTAL

THE PRESERVE AT
 SPRING CREEK
 GARLAND, TEXAS
 JOB NUMBER: JAM-2101

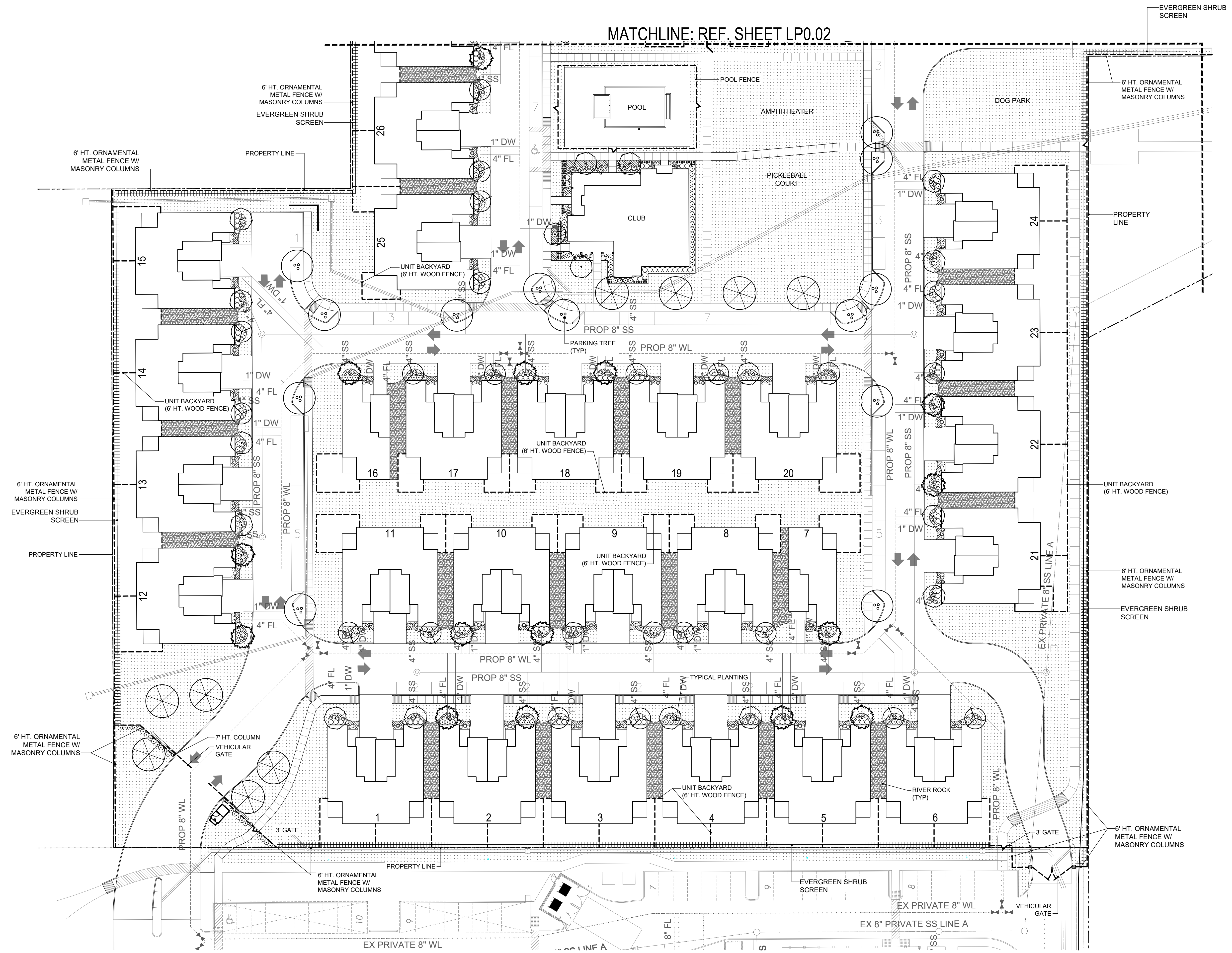
OVERALL LANDSCAPE PLAN

LP0.00

① **OVERALL LANDSCAPE PLAN**
 SCALE: 1"=50'-0"

EXHIBIT D

MATCHLINE: REF. SHEET LP0.02



ISSUES:

10-24-22	SITE PLAN SUBMITTAL
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REVISIONS:

12-28-22	PER CITY COMMENTS
01-11-23	PER CITY COMMENTS
02-15-23	PER CITY COMMENTS
03-15-23	PER CITY COMMENTS

CLIENT:
 JAMP Enterprises LLC
 14114 N. Dallas Parkway
 Suite 265
 Dallas, TX 75254

**THE PRESERVE AT SPRING CREEK
 (PHASE II)
 GARLAND, TEXAS**

CASE NO: 221103-2

mgb
 landscape architects
 MEEKS DESIGN GROUP, INC.
 1755 N. COLLINS BLVD., SUITE 300
 RICHARDSON, TX 75080
 PH (972) 690-7474
 F (972) 690-7878

LANDSCAPE ARCHITECT
 MEEKS DESIGN GROUP, INC.
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SITE PLAN SUBMITTAL

THE PRESERVE AT SPRING CREEK
 GARLAND, TEXAS
 JOB NUMBER: JAM-2101

LANDSCAPE PLAN

LP0.01

1 LANDSCAPE PLAN

SCALE: 1"=30'-0"

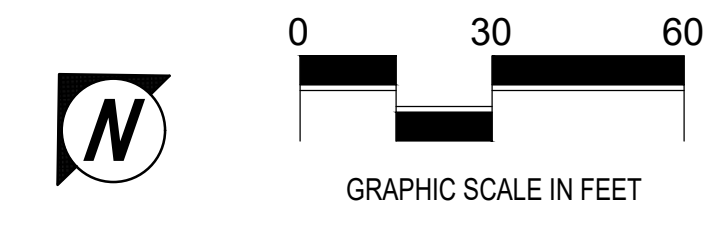
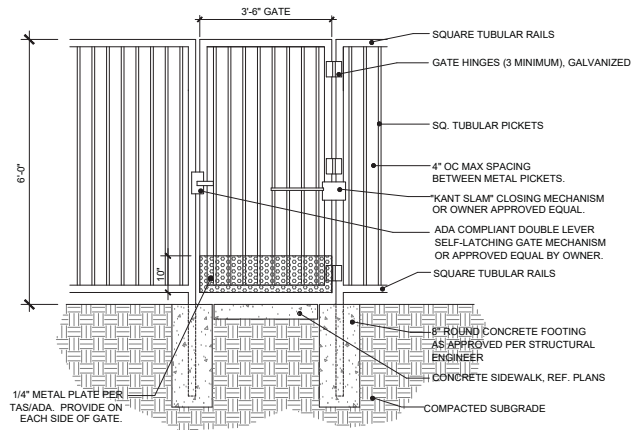
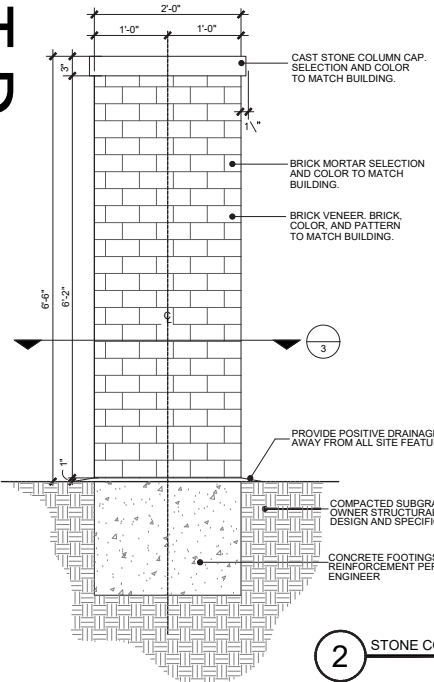


EXHIBIT D

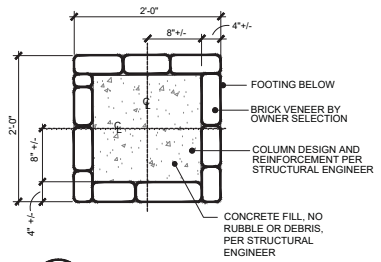


6 6' HT. METAL GATE DETAIL
SCALE: 3/4"=1'-0"

NOTE: GATE TO HAVE MAX. SLB. PRESSURE OPENING REQUIREMENT & 3 SECOND RETURN TIME (FROM 70° OPENING ANGLE)



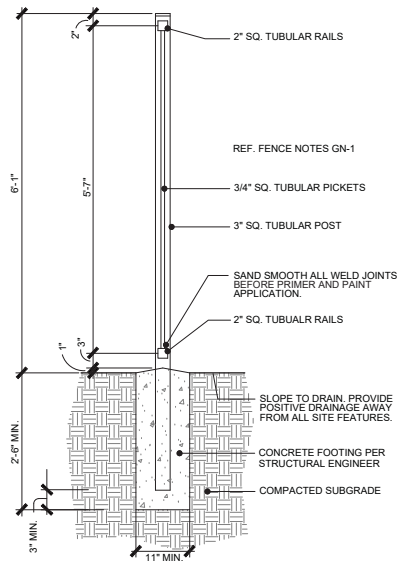
2 STONE COLUMN ELEVATION
SCALE: 1"=1'-0"



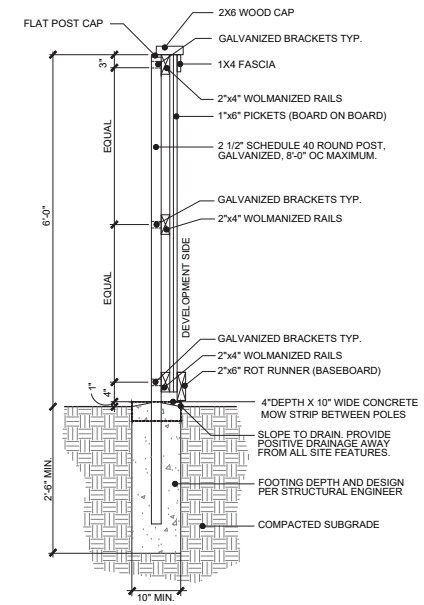
3 BRICK COLUMN SECTION
1"=1'-0"

STRUCTURAL ENGINEERING REQUIREMENTS AND DESIGN FOR ALL DETAILS, SHALL BE PROVIDED BY OWNER'S STRUCTURAL ENGINEER OR PROVIDED BY PARTICULAR TRADES' STRUCTURAL ENGINEER, WITH SEALED STRUCTURAL ENGINEERING DRAWINGS SUBMITTED FOR REVIEW.

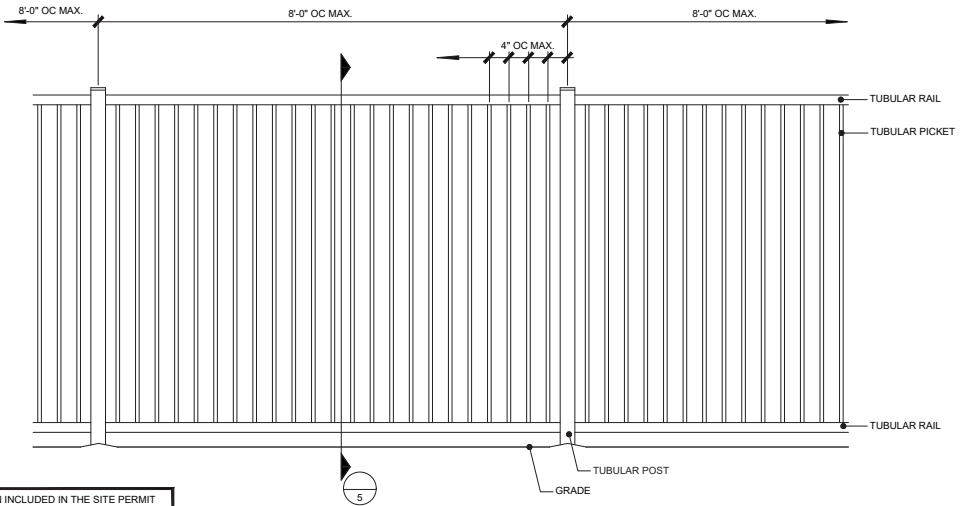
THIS PLAN SHEET HAS BEEN INCLUDED IN THE SITE PERMIT CONSTRUCTION PLANS INFORMATIONAL PURPOSES ONLY. PRIOR TO CONSTRUCTION, A SEPARATE SUBMITTAL, REVIEW AND PERMIT MAY BE REQUIRED FROM THE BUILDING INSPECTION DEPARTMENT. CONTACT THE BUILDING INSPECTION DEPARTMENT AT 972-205-2300 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



5 6'-0" HT. METAL PERIMETER FENCE SECTION
SCALE: 1"=1'-0"



4 6' HT. WOOD FENCE (UNIT BACKYARDS)
SCALE: 1"=1'-0"



1 6'-0" HT. METAL PERIMETER FENCE ELEVATION
SCALE: 1"=1'-0"

ISSUES:	0	10-24-22	SITE PLAN SUBMITTAL
REVISIONS:	1	10-28-22	PER CITY COMMENTS
	2	11-11-22	PER CITY COMMENTS
	3	03-15-23	PER CITY COMMENTS
	4	03-15-23	PER CITY COMMENTS
	5		
	6		
	7		
	8		

CLIENT:
JAMP Enterprises LLC
14114 N. Dallas Parkway
Suite 285
Dallas, TX 75254

THE PRESERVE AT SPRING CREEK
(PHASE II)
GARLAND, TEXAS

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mgb
landscape architects
MEIKO DESIGN GROUP, INC.
1716 N. COLLINS BLVD., SUITE 300
RICHARDSON, TX 75080
PH (972) 690-7474
F. (972) 690-9788

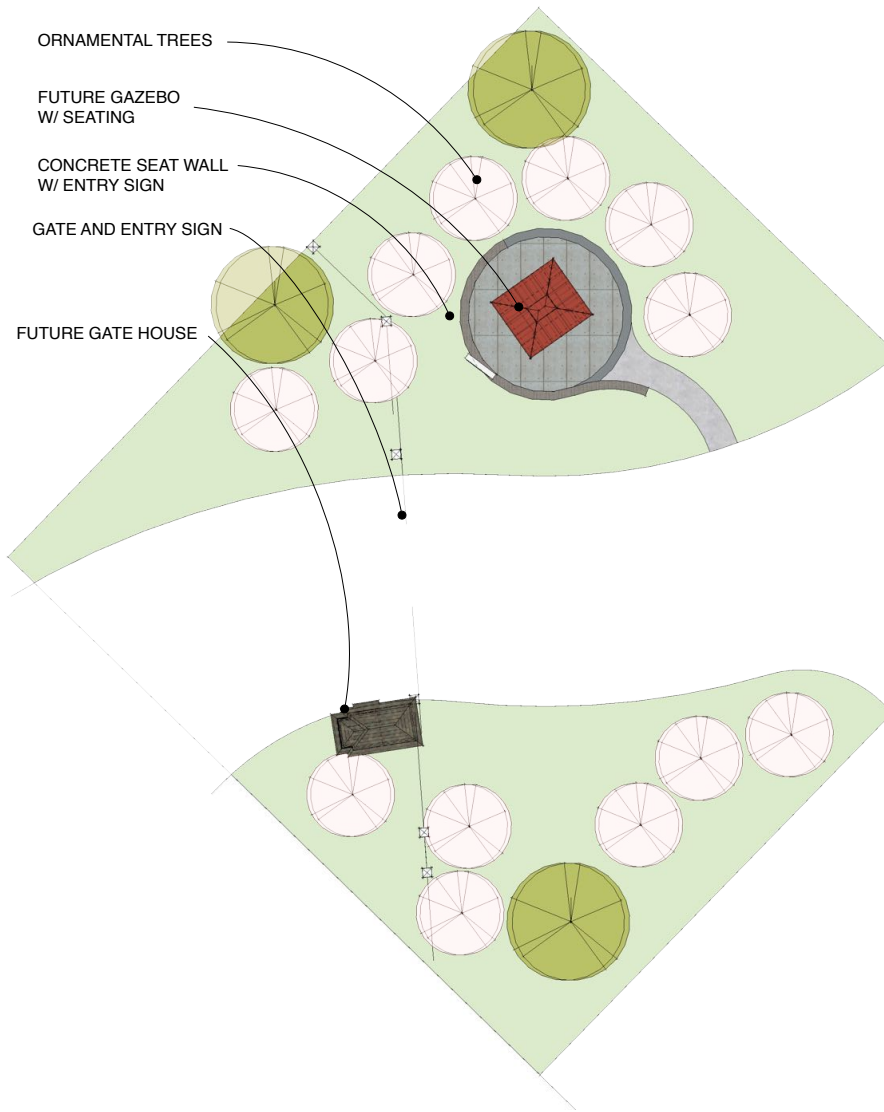


SITE PLAN SUBMITTAL

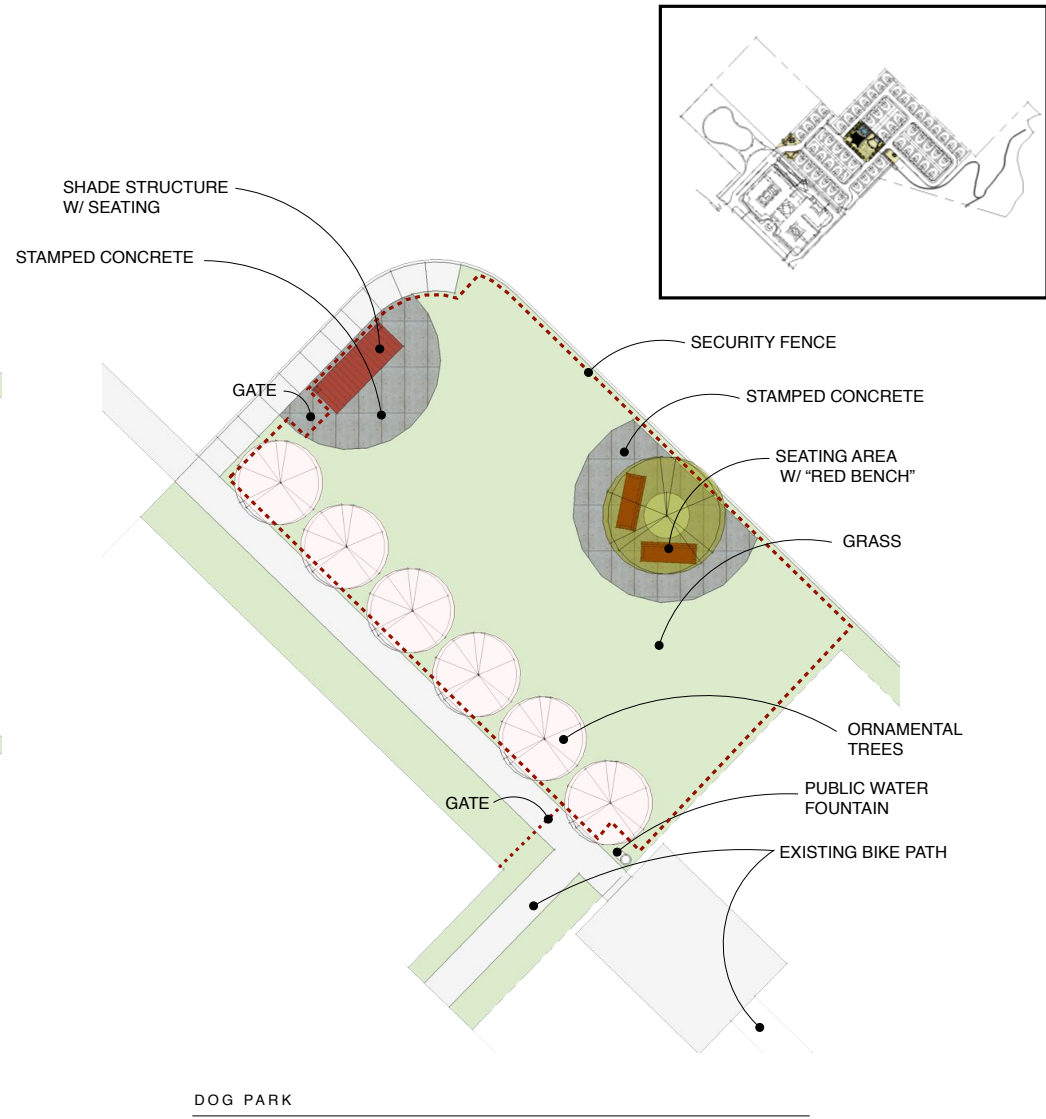
THE PRESERVE AT SPRING CREEK
GARLAND, TEXAS
JOB NUMBER: JAMP2101

DETAILS

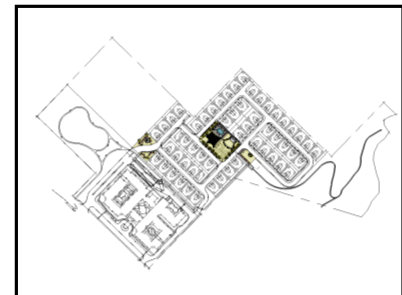
EXHIBIT D



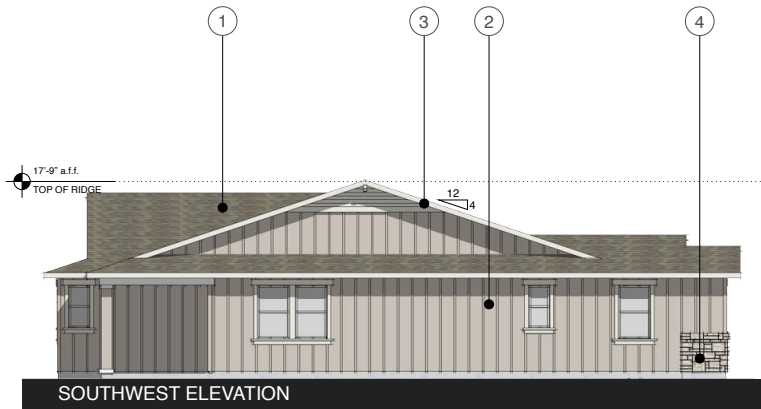
ENTRY PARK & SIGNAGE



DOG PARK



SCHEMATIC CONCEPT | SECONDARY AMENITY AREAS



SOUTHEAST ELEVATION

MATERIAL	SQ. FT	PERCENTAGE
DOOR + WINDOW	206	38%
SIDING	341.38	62%
TOTAL	547.38	100%

SHEET NOTES

PLAN PER UNIT

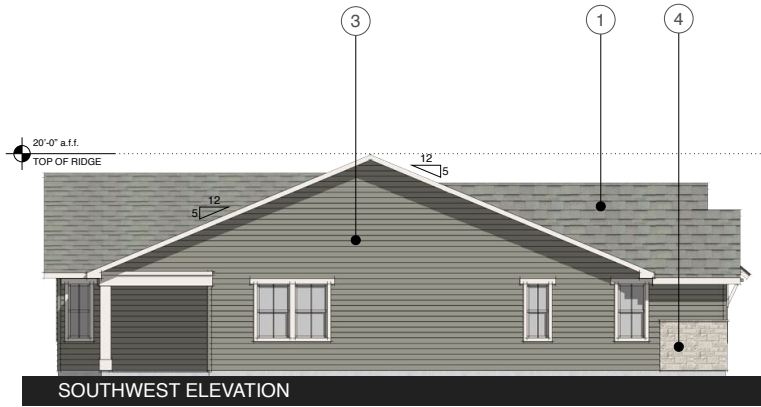
SQUARE FOOTAGE	=	1,245 SF
STORIES	=	1
BEDROOMS	=	2
BATHROOMS	=	2

MATERIALS

- ① **COMPOSITION ROOF**
CERTANTEED (or equivalent) | LANDMARK SOLARIS | WEATHERED WOOD
- ② **SIDING + TRIM**
JAMES HARDIE (or equivalent) | VERTICAL SIDING | BOARD + BATTEN | 2" BATTEN, 16" O.C.
- ③ **SIDING + TRIM**
JAMES HARDIE (or equivalent) | HORIZONTAL SIDING | LAP | 4" EXPOSURE
- ④ **STONE VENEER**
CORONADO STONE | FREEDOM BUILDING | ALAMO SANDS
- ④ **DECORATIVE CORBEL**

ARCHITECTURAL DESIGN ELEMENTS

- Ⓐ MIN. 8:12 PITCH
- Ⓑ FRONT PORCH: 40 S.F. MIN.
- Ⓒ DIVIDED LIGHT WINDOWS
- Ⓓ SPLIT GARAGE DOORS FOR EACH BAY



SOUTHEAST ELEVATION

MATERIAL	SQ. FT	PERCENTAGE
DOOR + WINDOW	206	33%
SIDING	427.1	67%
TOTAL	633.1	100%

SHEET NOTES

PLAN PER UNIT

SQUARE FOOTAGE	=	1,245 SF
STORIES	=	1
BEDROOMS	=	2
BATHROOMS	=	2

MATERIALS

- 1 **COMPOSITION ROOF**
CERTANTEED (or equivalent)
LANDMARK SOLARIS | AGED CEDAR
- 2 **METAL ROOF**
STANDING SEAM
- 3 **SIDING + TRIM**
JAMES HARDIE (or equivalent)
HORIZONTAL SIDING | LAP | 6" EXPOSURE

- 4 **STONE VENEER**
CORONADO STONE | FREEDOM BUILDING
ALAMO SANDS

- 5 **DECORATIVE LOUVER**

ARCHITECTURAL DESIGN ELEMENTS

- A MIN. 8:12 PITCH
- B FRONT PORCH: 40 S.F. MIN.
- C DIVIDED LIGHT WINDOWS
- D SPLIT GARAGE DOORS FOR EACH BAY

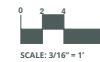
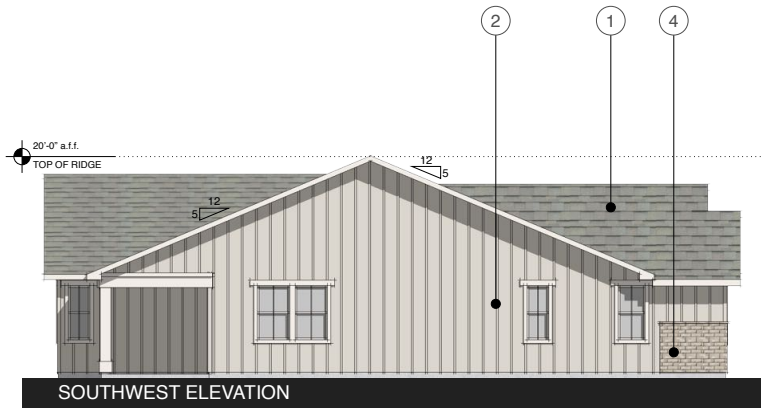


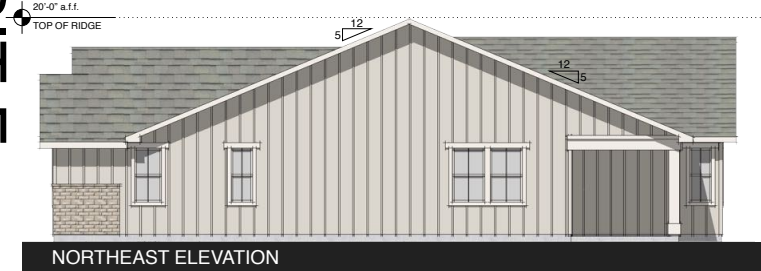
EXHIBIT E



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION I STYLE C



NORTHEAST ELEVATION



NORTHWEST ELEVATION

SOUTHEAST ELEVATION

MATERIAL	SQ. FT	PERCENTAGE
DOOR + WINDOW	206	33%
SIDING	427.1	67%
TOTAL	633.1	100%

SHEET NOTES

PLAN PER UNIT

SQUARE FOOTAGE	=	1,245 SF
STORIES	=	1
BEDROOMS	=	2
BATHROOMS	=	2

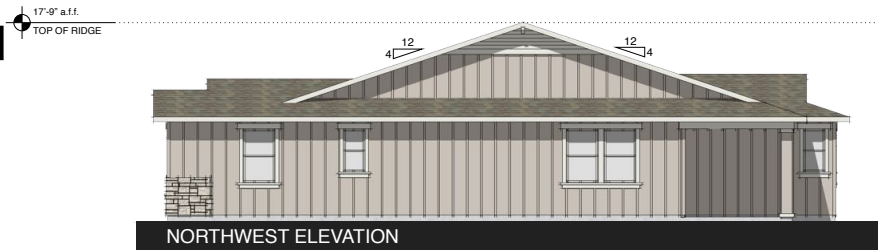
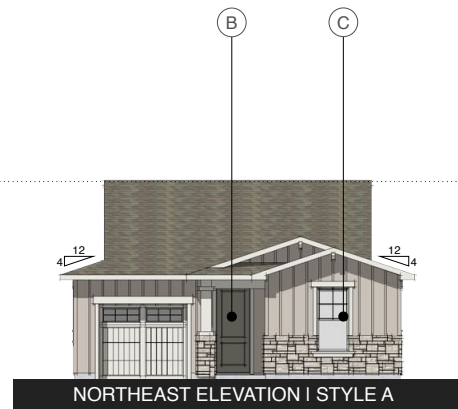
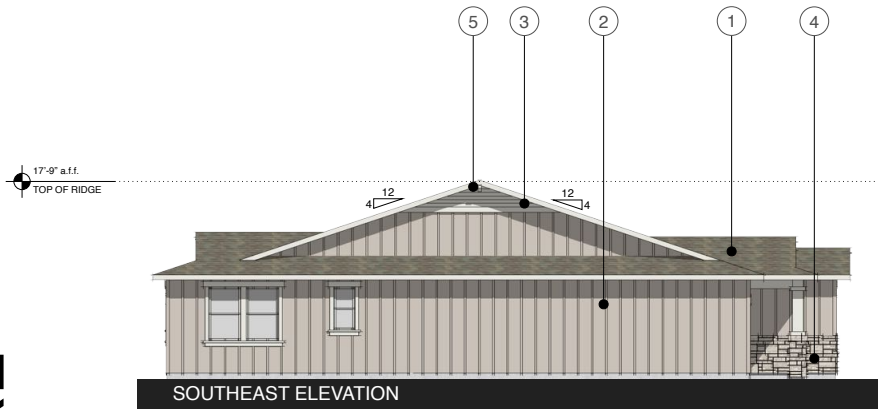
MATERIALS

- 1 **COMPOSITION ROOF**
CERTANTEED (or equivalent)
LANDMARK SOLARIS | AGED CEDAR
- 2 **SIDING + TRIM**
JAMES HARDIE (or equivalent)
VERTICAL SIDING
BOARD + BATTEN | 2" BATTEN, 16" O.C.
- 3 **GABLE DETAIL**
JAMES HARDIE (or equivalent)
BOARD + BATTEN | 1.5" BATTEN, 4" O.C.
- 4 **STONE VENEER**
CORONADO STONE | SAND MOLD BRICKS
COTTONWOOD

ARCHITECTURAL DESIGN ELEMENTS

- A MIN. 8:12 PITCH
- B FRONT PORCH: 40 S.F. MIN.
- C DIVIDED LIGHT WINDOWS
- D SPLIT GARAGE DOORS FOR EACH BAY

EXHIBIT E



NORTHEAST ELEVATION

MATERIAL	SQ.FT	PERCENTAGE
DOOR + WINDOW	103	38%
SIDING	170.69	62%
TOTAL	273.69	100%

SHEET NOTES

PLAN PER UNIT

SQUARE FOOTAGE	=	1,245 SF
STORIES	=	1
BEDROOMS	=	2
BATHROOMS	=	2

MATERIALS

- 1 COMPOSITION ROOF
CERTANTEED (or equivalent)
LANDMARK SOLARIS | WEATHERED WOOD
- 2 SIDING + TRIM
JAMES HARDIE (or equivalent)
VERTICAL SIDING | BOARD + BATTEN
2" BATTEN, 16" O.C.
- 3 SIDING + TRIM
JAMES HARDIE (or equivalent)
HORIZONTAL SIDING | LAP | 4" EXPOSURE
- 4 STONE VENEER
CORONADO STONE | FREEDOM BUILDING
ALAMO SANDS
- 5 DECORATIVE CORBEL

ARCHITECTURAL DESIGN ELEMENTS

- A MIN. 8:12 PITCH
- B FRONT PORCH: 40 S.F. MIN.
- C DIVIDED LIGHT WINDOWS
- D SPLIT GARAGE DOORS FOR EACH BAY

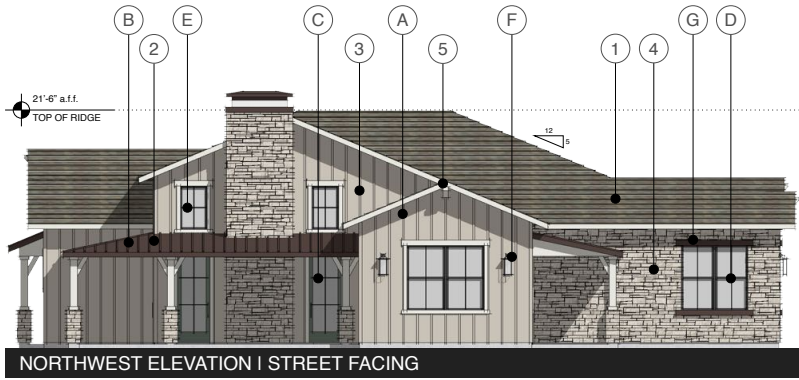
SHEET NOTES

MATERIALS

- 1 COMPOSITION ROOF
CERTANTEED (or equivalent)
LANDMARK SOLARIS | WEATHERED WOOD
- 2 METAL ROOF
CERTANTEED (or equivalent)
LANDMARK SOLARIS | WEATHERED WOOD
- 3 SIDING + TRIM
JAMES HARDIE (or equivalent)
VERTICAL SIDING | BOARD + BATTEN
2" BATTEN, 16" O.C.
- 4 STONE VENEER
CORONADO STONE | FREEDOM BUILDING
ALAMO SANDS
- 5 DECORATIVE CORBEL

ARCHITECTURAL DESIGN ELEMENTS

- A VARIED ROOF HEIGHTS
- B AWNING/CANOPY
- C ALCOVES
- D DIVIDED LIGHT WINDOWS
- E TRANSOMS
- F DISTINCTIVE LIGHTING
- G ORNAMENTAL WINDOW HEADERS AND LINTELS



NORTHWEST ELEVATION | STREET FACING



SOUTHWEST ELEVATION | STREET FACING (MAIN ENTRY)



SOUTHEAST ELEVATION



NORTHEAST ELEVATION

NORTHWEST ELEVATION

MATERIAL	SQ.FT	PERCENTAGE
BORAD + BATTEN	467.21	48%
STONE VENEER	350.78	36%
DOOR + WINDOW	154	16%
TOTAL	971.98	100%

SOUTHEAST ELEVATION

MATERIAL	SQ.FT	PERCENTAGE
BORAD + BATTEN	562.89	72%
STONE VENEER	88.44	11%
DOOR + WINDOW	132.22	17%
TOTAL	783.55	100%

SOUTHWEST ELEVATION

MATERIAL	SQ.FT	PERCENTAGE
BORAD + BATTEN	427.08	46%
STONE VENEER	215.29	23%
DOOR + WINDOW	292.08	31%
TOTAL	934.45	100%

NORTHEAST ELEVATION

MATERIAL	SQ.FT	PERCENTAGE
BORAD + BATTEN	776.96	67%
STONE VENEER	41.82	4%
DOOR + WINDOW	334	29%
TOTAL	1152.78	100%



ROOF
CERTANTEED
LANDMARK SOLARIS
WEATHERED WOOD



STONE VENEER
CORONADO STONE
FREEDOM BUILDING
ALAMO SANDS



FASCIA + TRIM 1
SHERWIN WILLIAMS
701 MARSHMELLOW



BOARD + BATTEN
SHERWIN WILLIAMS
7044 AMAZING GRAY



METAL ROOF + TRIM 2
SHERWIN WILLIAMS
6009 BLACK BEAN



ENTRY DOORS
SHERWIN WILLIAMS
6194 BAGEL

SCHEMATIC ELEVATIONS | CLUBHOUSE



SCALE: 3/16" = 1'



JEFFREY DIMURE + ASSOCIATES
ARCHITECTS PLANNERS INC.

JD+A JOB NUMBER: 21048
DATE: 02.14.2023

A2.3

905 GRANITE LAKE DRIVE | SUITE 140 | GRANITE BAY | CALIFORNIA 95746 | 916.783.3700 | WWW.JDAMECH.COM

EXHIBIT E

EXHIBIT E

