

ORDINANCE NO. 7526

AN ORDINANCE AMENDING THE GARLAND DEVELOPMENT CODE OF THE CITY OF GARLAND, TEXAS, BY APPROVING (1) AN AMENDMENT TO PLANNED DEVELOPMENT (PD) DISTRICT 17-25 FOR MULTI-FAMILY-1 (MF-1) USES AND (2) A DETAIL PLAN FOR AN ELDER CARE - ASSISTED LIVING USE ON A 2.52-ACRE TRACT OF LAND LOCATED AT 1922 CASTLE DRIVE; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; PROVIDING A PENALTY UNDER THE PROVISIONS OF SEC. 10.05 OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A NOTICE OF CONDITIONS OF COMPLIANCE CLAUSE; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 25th day of March 2024, the Plan Commission did consider and make recommendations on a certain request for (1) an Amendment to Planned Development (PD) District 17-25 for Multi-Family-1 (MF-1) Uses and (2) a Detail Plan for an Elder Care- Assisted Living Use by **David Gibbons**; and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, THAT:

Section 1

The Garland Development Code is hereby amended by approving (1) an Amendment to Planned Development (PD) District 17-25 for Multi-Family-1 (MF-1) Uses and (2) a Detail Plan for an Elder Care- Assisted Living Use and being more particularly described in Exhibit "A", attached hereto and made a part hereof.

Section 2

Development shall be in conformance with the conditions, restrictions, and regulations set forth in the Garland Development Code.

Section 3

That a violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 4

NOTICE OF CONDITIONS OF COMPLIANCE: Notwithstanding the provisions of any other ordinance of the City, the full, complete, and continuing compliance with all the conditions, restrictions, and regulations of this Ordinance is a condition to the issuance and continuation of any permit, approval, authorization or consent by the City, including without limitation the issuance or continuation of any certificate of occupancy for any building or structure located on any portion of the property described in Exhibit "A". All promises, representations, obligations and undertakings made or assumed by the applicant to the City Council at any public presentation in connection with the granting of this Ordinance are hereby incorporated into and made a part of this Ordinance as if expressly set forth herein at length. No substantial deviation from any material portion of the conditions, restrictions, and regulations contained within this Ordinance are allowed except as may be provided by the City Council after a public hearing.

Section 5

That the Garland Development Code, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 6

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 7

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

FILE NO. Z 23-28

PASSED AND APPROVED this 7th day of May 2024.

THE CITY OF GARLAND, TEXAS

Mayor

ATTEST:

Deputy City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File Z 23-28

Being a 2.52-acre tract of land situated in the W. CARTER SURVEY, ABSTRACT NO. 324 according to Special Warranty Deed recorded in Instrument number 201400133931 Official Public Records of Dallas County, Texas, and being Lot 1, Block A, of Northlake Estates No. 6, Second Section, an addition to the City of Garland, Dallas County, Texas, according to the plat recorded in Volume 73147 Page 1060 of Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a point on the south line of Castle Drive said point being 2327.98 feet from its intersection with the East line of Country Club Road (65' ROW), an iron stake for corner;

THENCE S 45° 25' E, 235.87 feet to the beginning of a curve to the left, an iron stake for corner;

THENCE Easterly along the side south line of Castle drive and curve to the left, said curve having a radius of 603.0 feet, an arc distance of 64.55 feet to an iron stake for corner;

THENCE S 46° 33' W, 339.18 feet to a point in the center of a creek, for corner;

THENCE upstream with the meanders of said creek the following: THENCE N 43° 33' W, 147.79 feet; S 73° 38' W, 74.16 feet ; N 54° 33' W, 94.68 feet; N 50° 11' W, 25.72 feet to a point for corner;

THENCE N 46° 33' E, and leaving said creek 412.95 feet to the place of Beginning and containing 2.52 acres of land.

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 23-28

1922 Castle Drive

I. Statement of Purpose: The purpose of this Planned Development is to approve an Elder Care- Assisted Living development.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Multi-Family-1 (MF-1) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply.

V. Specific Conditions:

A. Permitted Uses: Elder Care - Assisted Living Use and Elder Care - Independent Living Use, as defined by the Garland Development Code, only shall be permitted.

B. Site Plan: The site layout, building placement, parking, and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.

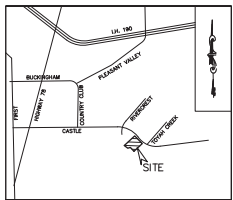
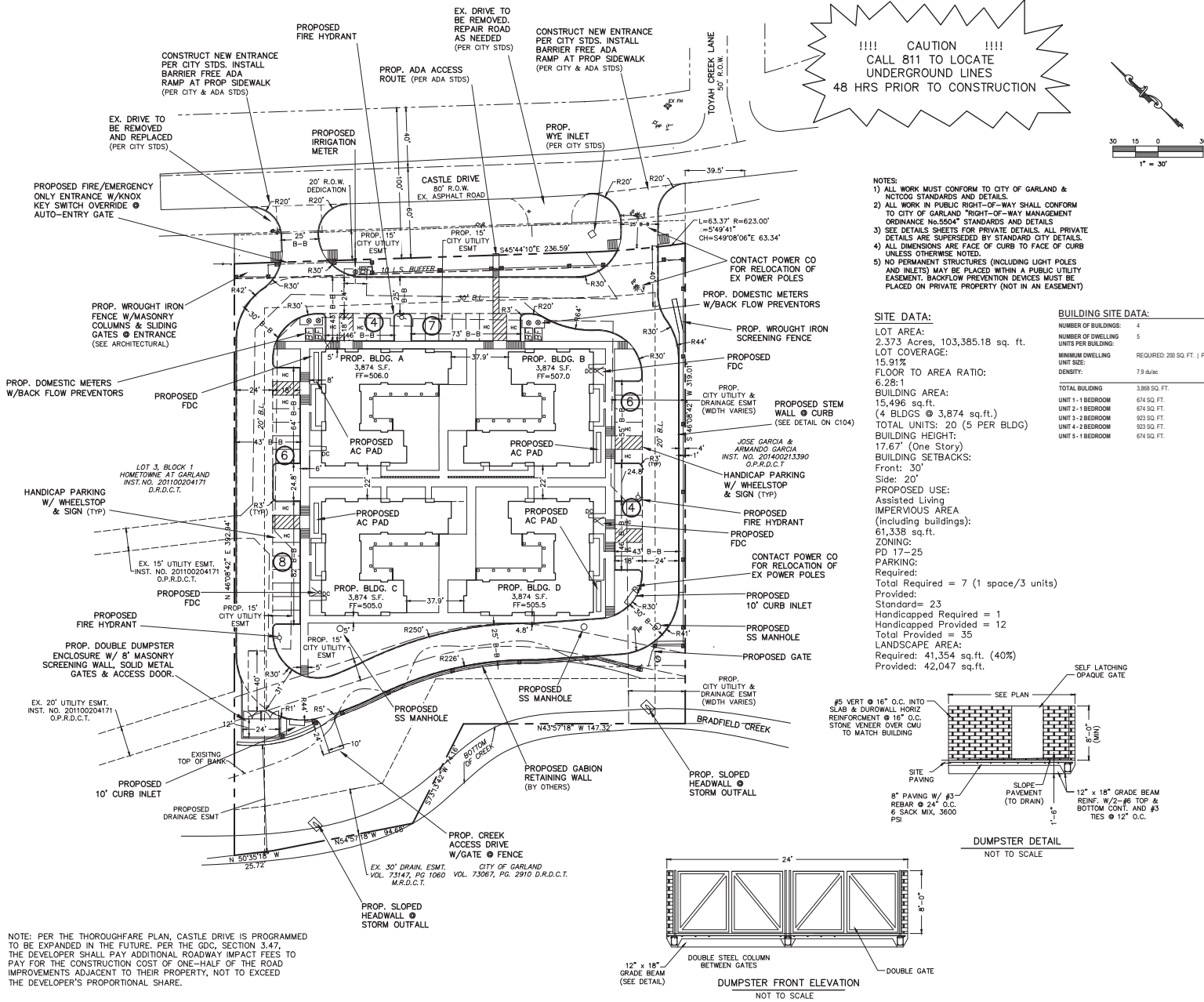
C. Dwelling Units: A total of twenty (20) dwelling units shall be permitted.

D. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D. The existing wood fence along the northwest property line shall remain. At all other locations the perimeter fencing shall be developed with ornamental

metal fence with masonry columns.

1. Landscaping must be regularly maintained in a healthy, growing condition and in compliance with this PD Ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all plantings as needed. All exposed ground surfaces on or within the premises shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.
2. Any plant or vegetation that dies must be replaced with another approved plant variety that complies with the approved landscape plan within sixty (60) days after receipt of written notification from the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.
3. Screening and paving must be regularly maintained in compliance with this PD Ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.

E. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.



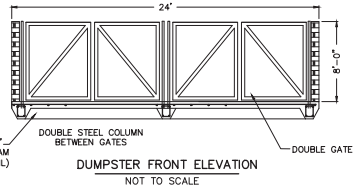
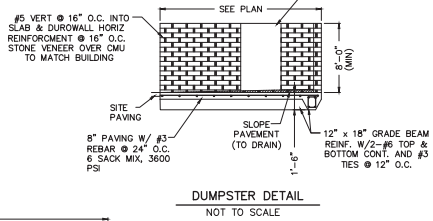
- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF GARLAND & NCTDDG STANDARDS AND DETAILS.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF GARLAND "RIGHT-OF-WAY MANAGEMENT ORDINANCE No.5504" STANDARDS AND DETAILS.
 - 3) SEE DETAILS SHEETS FOR PRIVATE DETAILS. ALL PRIVATE DETAILS ARE SUPERSEDED BY STANDARD CITY DETAILS.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 5) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)

- LEGEND**
- = PROPERTY LINE
 - = EX. WATER
 - = EX. SANITARY SEWER
 - = EX. SS MANHOLE
 - = EX. SS CLEANOUT
 - = EX. GAS METER
 - = EX. WATER METER
 - = EX. WATER VALVE
 - = EX. LIGHT POLE
 - = EX. POWER POLE
 - = EX. TELEPHONE BOX
 - = EXISTING STORM MANHOLE
 - = EX. FIRE HYDRANT
 - = EXISTING
 - = EASEMENT
 - = LANDSCAPE
 - = BACK OF CURB
 - = BACK OF CURB TO BACK OF CURB
 - = CENTERLINE
 - = VESIBULY TRIANGLE
 - = PROP. FIRE HYDRANT
 - = DRAINAGE EASEMENT
 - = EROSION SETBACK HAZARD
 - = PROPOSED FIRELANE

SITE DATA:
 LOT AREA: 2,373 Acres, 103,385.18 sq. ft.
 LOT COVERAGE: 15.91%
 FLOOR TO AREA RATIO: 6.28:1
 BUILDING AREA: 15,496 sq.ft.
 (4 BLDGS @ 3,874 sq.ft.)
 TOTAL UNITS: 20 (5 PER BLDG)
 BUILDING HEIGHT: 17.67' (One Story)
 BUILDING SETBACKS:
 Front: 30'
 Side: 20'
 PROPOSED USE: Assisted Living
 IMPERVIOUS AREA (including buildings): 61,338 sq.ft.
 ZONING: PD 17-25
 PARKING: Required: Total Required = 7 (1 space/3 units)
 Provided: Standard= 23
 Handicapped Required = 1
 Handicapped Provided = 12
 Total Provided = 35
 LANDSCAPE AREA: Required: 41,354 sq.ft. (40%)
 Provided: 42,047 sq.ft.

BUILDING SITE DATA:

NUMBER OF BUILDINGS:	4
NUMBER OF DWELLING UNITS PER BUILDING:	5
MINIMUM DWELLING UNIT SIZE:	REQUIRED: 200 SQ. FT. PROVIDED: 674 SQ. FT.
DENSITY:	7.9 d/si
TOTAL BUILDING	3,888 SQ. FT.
UNIT 1-1 BEDROOM	674 SQ. FT.
UNIT 2-1 BEDROOM	674 SQ. FT.
UNIT 3-2 BEDROOM	923 SQ. FT.
UNIT 4-2 BEDROOM	923 SQ. FT.
UNIT 5-1 BEDROOM	674 SQ. FT.



NOTE: PER THE THOROUGHFARE PLAN, CASTLE DRIVE IS PROGRAMMED TO BE EXPANDED IN THE FUTURE. PER THE GDC, SECTION 3.47, THE DEVELOPER SHALL PAY ADDITIONAL ROADWAY IMPACT FEES TO PAY FOR THE CONSTRUCTION COST OF ONE-HALF OF THE ROAD IMPROVEMENTS ADJACENT TO THEIR PROPERTY, NOT TO EXCEED THE DEVELOPER'S PROPORTIONAL SHARE.

NOT FOR CONSTRUCTION



CASE NO: 230228-1

PRELIMINARY SITE PLAN

GARLAND HOUSING AUTHORITY

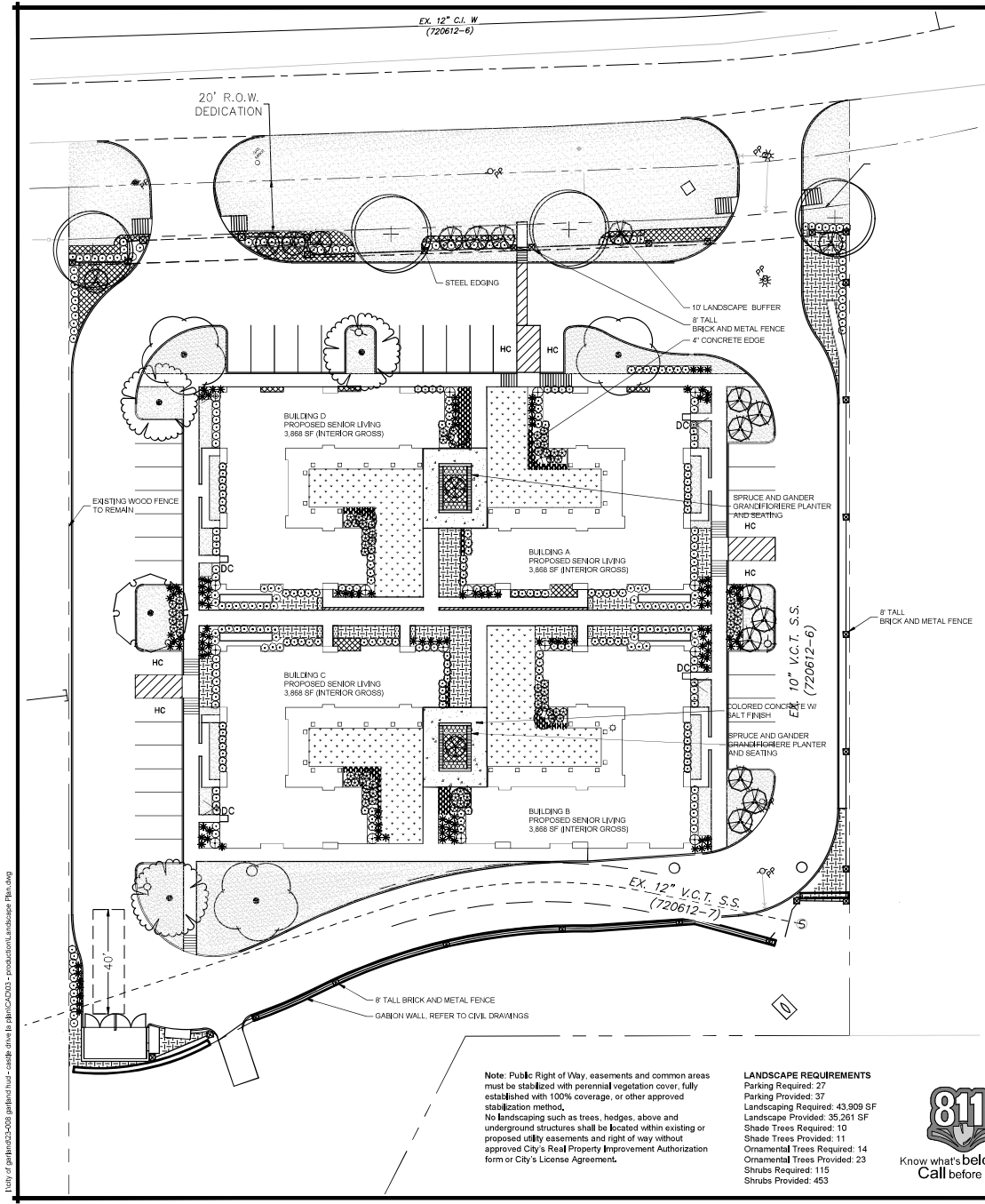
1922 CASTLE DRIVE
 NORTHLAKE ESTATES NO. 6
 LOT 1, BLOCK A, 2.37 Acres
 City of Garland, Dallas County, Texas

GARLAND HOUSING FINANCE CORPORATION
 1875 W. Campbell Road, Garland, TX 75044
 Contact: David W. Gibbons 469-716-4629

prepared by
 MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland, Texas 75040
 972 272-1763 Fax 972 272-8761

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 REG. NO.: F-2567

date: 1/24/24 scale: 1"=30' sheet: C101



Note: Public Right of Way, easements and common areas must be stabilized with perennial vegetation cover, fully established with 100% coverage, or other approved stabilization method.
 No landscaping such as trees, hedges, above and underground structures shall be located within existing or proposed utility easements and right of way without approved City's Real Property Improvement Authorization form or City's License Agreement.

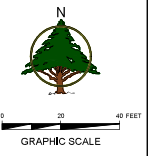
LANDSCAPE REQUIREMENTS
 Parking Required: 27
 Landscape Provided: 35,261 SF
 Shade Trees Required: 10
 Shade Trees Provided: 11
 Ornamental Trees Required: 14
 Ornamental Trees Provided: 23
 Shrubs Required: 115
 Shrubs Provided: 453

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
TREES				
	<i>Pistacia chinensis</i> / Chinese Pistache	65 gal.	12' MIN HT/6' MIN W	4
	<i>Quercus muehlenbergii</i> / Chinkapin Oak	65 gal.	12' MIN HT/6' MIN W	3
	<i>Quercus shumardii</i> / Shumard Red Oak	65 gal.	12' MIN HT/6' MIN W	3
	<i>Ulmus crassifolia</i> / Cedar Elm	65 gal.	12' MIN HT/6' MIN W	1
ORNAMENTAL TREES				
	<i>Acer palmatum dissectum</i> 'Waterfall' / Waterfall Japanese Maple	30 gal.		2
	<i>Ilex vomitoria</i> 'Pride of Houston' / Pride of Houston Yaupon Holly	30 gal.		2
	<i>Lagerstroemia indica x fauriei</i> 'Arapaho' / Arapaho Crape Myrtle	30 gal.		18
	<i>Magnolia grandiflora</i> 'Little Gem' / Little Gem Dwarf Southern Magnolia	30 gal.		4
SHRUBS				
	<i>Abelia x grandiflora</i> 'Kaleidoscope' / Kaleidoscope Glossy Abelia	3 gal.		79
	<i>Hesperaloe x 'Perfu'</i> / Pink Parade Red Yucca	3 gal.		132
	<i>Ilex cornuta</i> 'Burfordii Nana' / Dwarf Burford Holly	7 gal.		134
	<i>Ilex vomitoria</i> 'Nana' / Dwarf Yaupon Holly	3 gal.		107
	<i>Leucophyllum frutescens</i> 'Compacta' / Compact Texas Ranger	7 gal.		16
	<i>Loropetalum chinense rubrum</i> 'Shang-hi' TM / Purple Diamond Fringe Flower	15 gal.		55
	<i>Nandina domestica</i> 'Murasaki' / Flirt™ Heavenly Bamboo	3 gal.		44
	<i>Teucrium fruticosum</i> 'Silver Bush' / Silver Bush Germander	3 gal.		20
SHRUB AREAS				
	<i>Liriodendron</i> / Giant Liriope	1 gal.	24" o.c.	314
PERENNIAL				
	<i>Dianthus gratianopolitanus</i> / Cheddar Pink	1 gal.	8" o.c.	183
GROUND COVERS				
	<i>Euonymus fortunei</i> / Wintercreeper	4" pot	12" o.c.	2,208
	<i>Liriodendron</i> / Lilyturf	4" pot	12" o.c.	381
TURFGRASS				
	<i>Cynodon dactylon</i> / Bermudagrass	Sod		16,473 sf
	Synthetic Turf- ForeverLawn Fresh or Approved Equal			4,914 SF
	Steel Edging			810 LF
	Concrete Edging			200 LF
	Bed Preparation Material (See Technical Specification Section 329113)			± 27,576 SF



Know what's below.
Call before you dig.



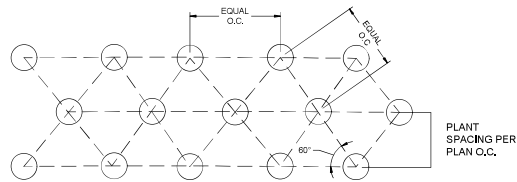
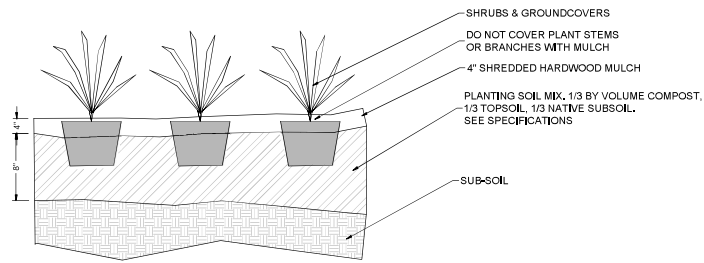
10.19.23 Revised Site Plan
 1.19.24 Revised Site Plan



LANDSCAPE PLAN
CASTLE DRIVE-GARLAND HUD
 CITY OF GARLAND, TEXAS

DRAWN: MEP
 CHECKED: DBS
 DATE: 3/12/2024
 SCALE: AS SHOWN
 JOB NO.: 23-008

L1



SHRUBS & GROUNDCOVER PLANTING DETAIL
N.T.S.

GRANDIFIORIERE
MASSIMO TASCA

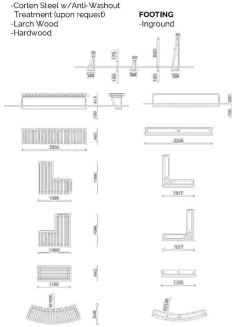


The Grandifioriere, designed by Massimo Tasca, is a socially designed planter and seating system that is part of the VITAUROBANA Collection. The modularity of the Grandifioriere family allows designers the artistic freedom to create a wide variety of configurations using standard linear, angled and curved components. The structure is manufactured in corten steel that can be supplied with integrated wood seating.



MATERIALS & FINISHES
Raw Corten Steel
Corten Steel w/ Anti-Rust/Without Treatment (upon request)
Larch Wood
Hardwood

DIMENSIONS
-All dimensions are in mm
FOOTING
-Inground



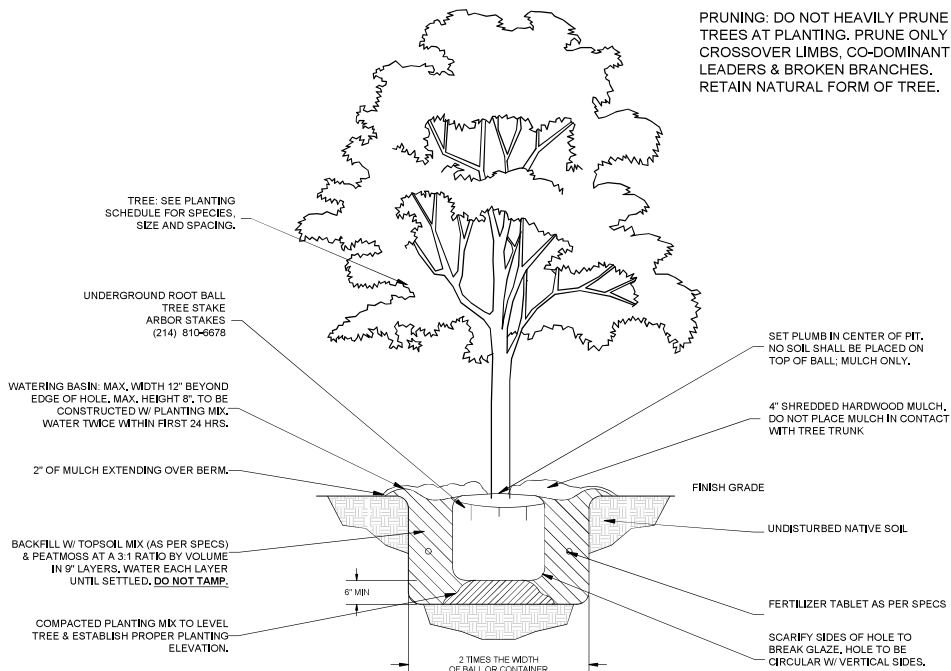
877-860-7715
info@metatex.com
info@metatex.com

id, inc. is a US based company with exclusive rights to distribute Metatex products in the US and Canada.

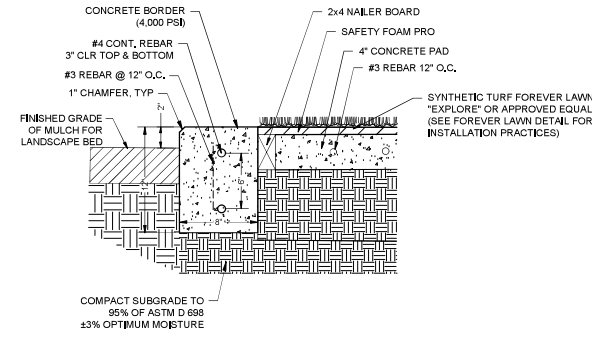
ForeverLawn Landscape System
Installed over rooftop or solid surface with SafetyFoam Pro

ForeverLawn synthetic grass
Premium three-layer backing
SafetyFoam Pro™
Concrete surface
Channels to allow for drainage
Ground-contact treated lumber or plastic nailer board
Screw or wedge concrete anchor
Side wall
Staples
3" long, 1/4" crown galvanized staples spaced every 3"
Infill (as required or recommended)
Urbigreen proprietary multi-layered, green-jam tacking system with micromechanical seaming technology

By: G. Swartz 08/23
Scale: Not to scale
Drawing No: M1616



TREE PLANTING DETAIL
N.T.S.



SYNTHETIC TURF CONCRETE BORDER
N.T.S.

REVISIONS
10.19.23 Revised Site Plan
1.19.24 Revised Site Plan

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID S. SAPP, P.E. #1121 ON MARCH 13, 2024.

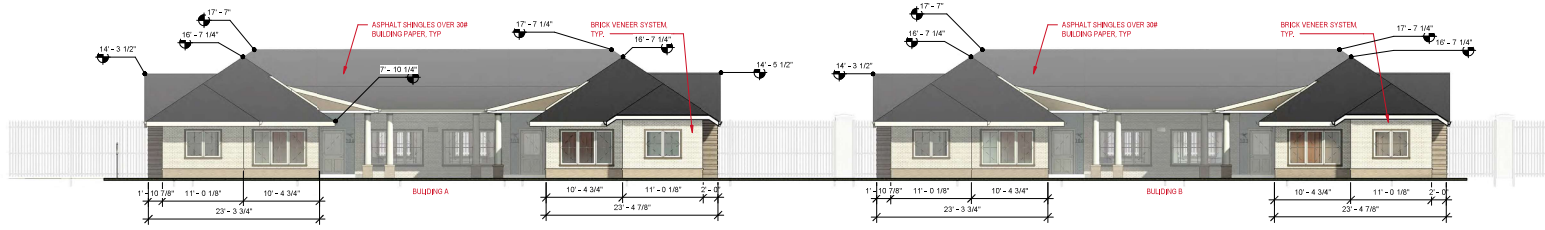
MHS
TRAINING & DESIGN, LLC
10105 W. STATE ST. SUITE 1457
DALLAS, TX 75241
972-992-6666

LANDSCAPE DETAIL
CASTLE DRIVE-GARLAND HUD
CITY OF GARLAND, TEXAS

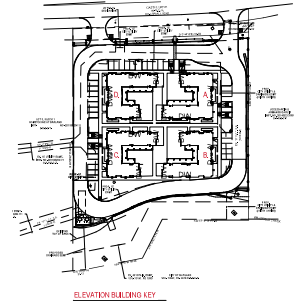
DRAWN: MEP
CHECKED: DBS
DATE: 3/12/2024
SCALE: AS SHOWN
JOB NO.: 23-008

L2

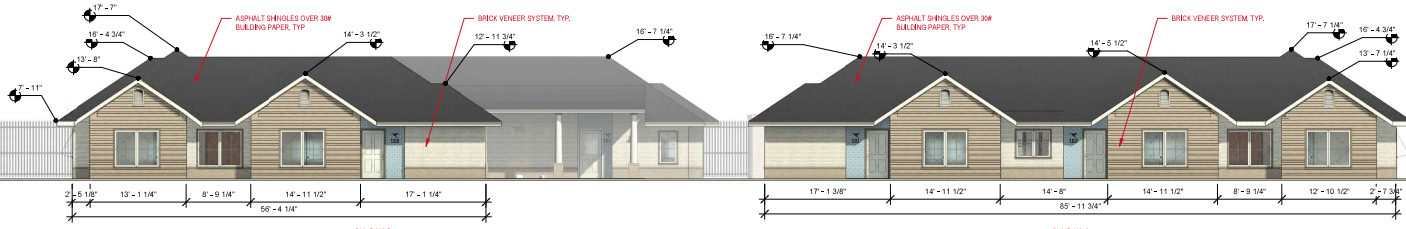
EXHIBIT E



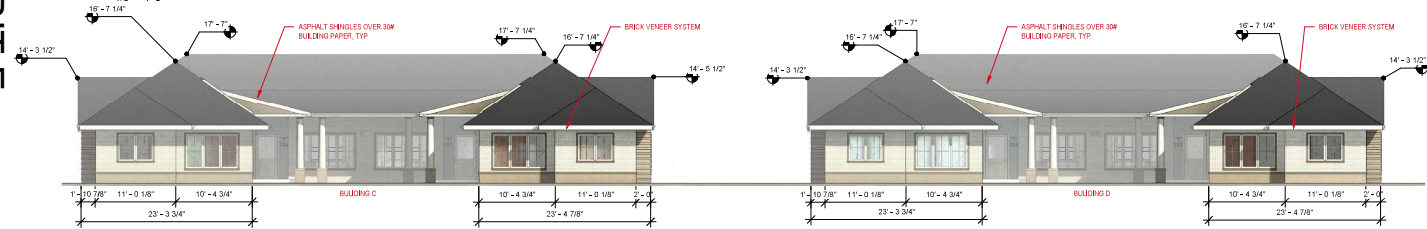
11 COURTYARD EAST ELEVATION
1/8" = 1'-0"



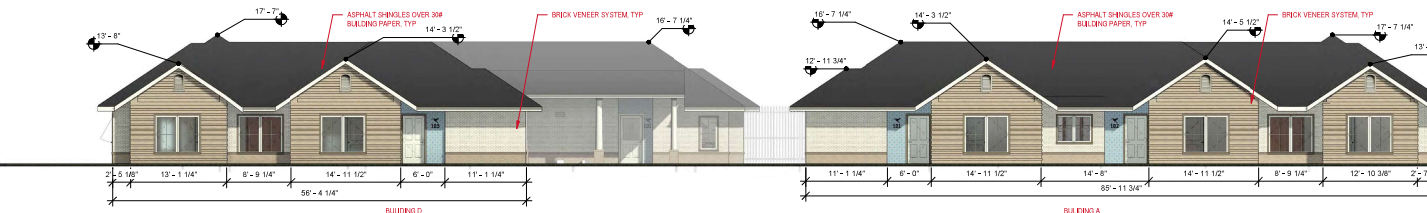
ELEVATION BUILDING KEY



12 COURTYARD SOUTH ELEVATION
1/8" = 1'-0"



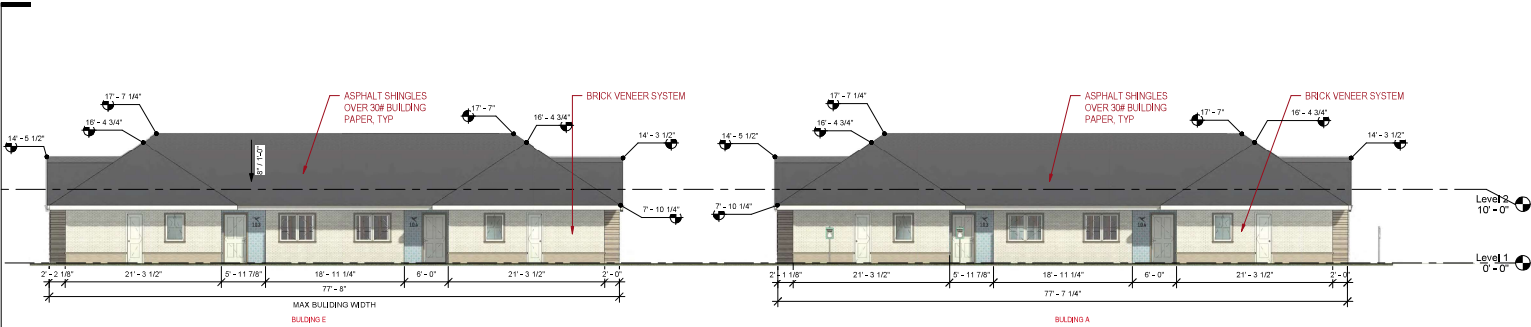
13 COURTYARD WEST ELEVATION
1/8" = 1'-0"



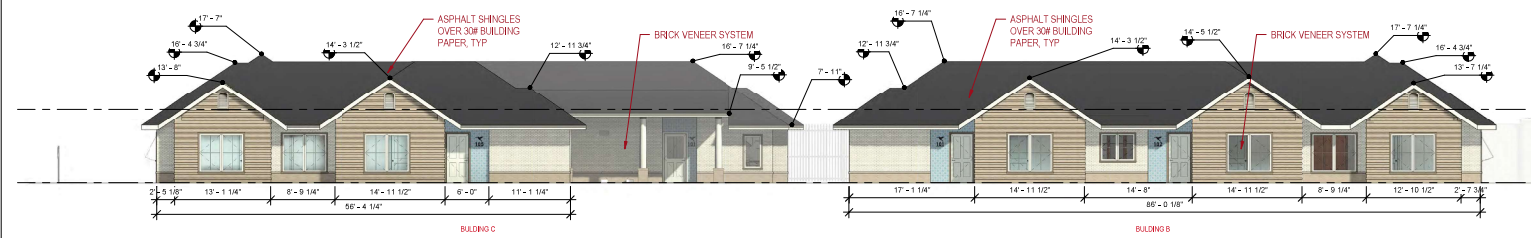
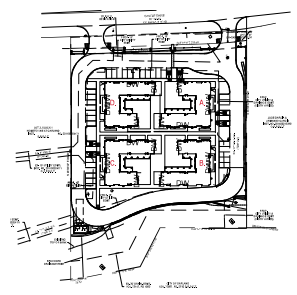
14 COURTYARD NORTH ELEVATION
1/8" = 1'-0"



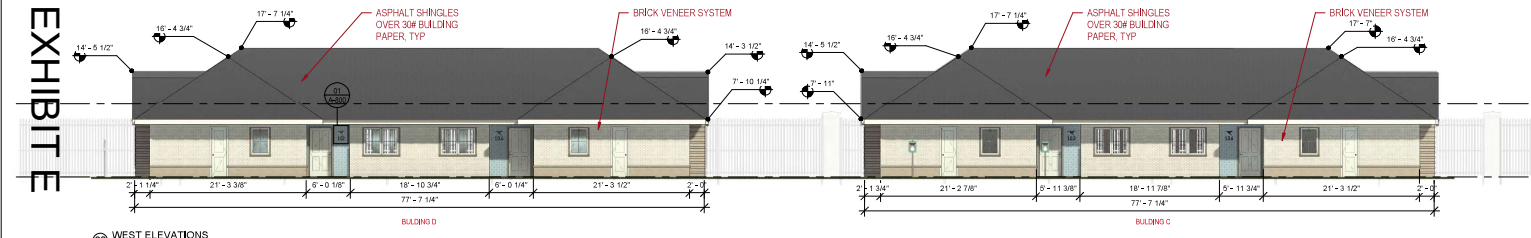
11.31.21



01 EAST ELEVATIONS
1/8" = 1'-0"



02 SOUTH ELEVATION
1/8" = 1'-0"

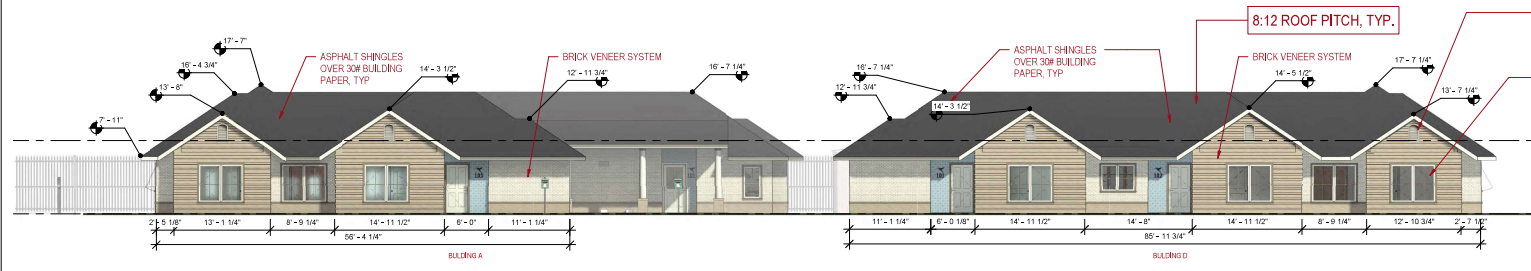


03 WEST ELEVATIONS
1/8" = 1'-0"

Architectural elements
 The proposed design attempts to fit within the residential context and most closely aligns with the intent of Section 4.84 of the GDC. A deviation is requested to utilize the GDC residential building design per Section 4.84 of the GDC is requested to facilitate the smaller residential scale.

The three elements designed per Section 4.84 of the GDC are:
 i. Multiple pane windows featuring divided light or simulated divided light
 ii. Minimum 8:12 roof pitch
 iii. Gables with windows

a. Note that a deviation is requested to allow for a decorative louvre be provided in the gables. This is requested to improve air circulation in the attic space as an environmental & energy strategy.



04 NORTH ELEVATION
1/8" = 1'-0"

EXHIBIT E

designkor
architecture

ARCHITECT

CIVIL & STRUCTURAL ENGINEER
 MONK CONSULTING ENGINEERS, INC.
 GERALD E. MONK, PE
 972-272-7665

CONSULTANTS

MEP ENGINEER CONSULTANT
 REDFORD ENGINEERING
 GARY A. REDFORD, P.E.
 214-216-4457

REGISTRATION

REGISTERED ARCHITECT
 STATE OF TEXAS
 115224

PROJECT INFORMATION

THE HOMES ON CASTLE

CHFC
 1922 CASTLE DRIVE
 CARLAND, TEXAS
 Case Number: 230228-1

CONTRACT DOCUMENTS

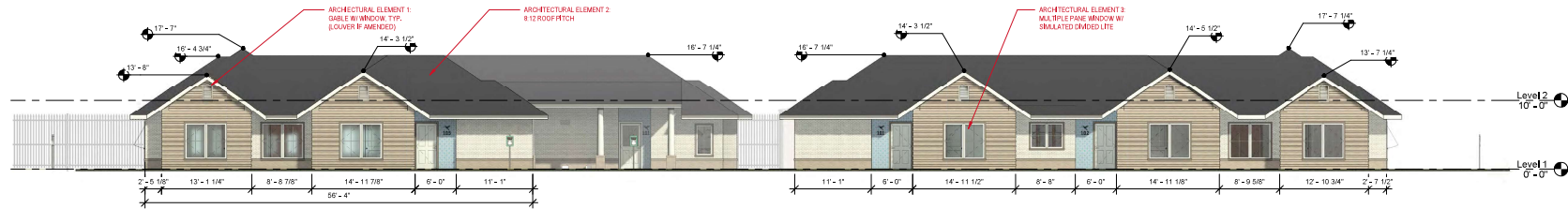
No. _____ Date _____

SHEET INFORMATION

6/30/23
 EXTERIOR ELEVATIONS

A-201

ELEVATION FACING CASTLE DRIVE



1 NORTH ELEVATION PD AMENDMENT
1/8" = 1'-0"

ZONING CALCULATIONS

ELEVATION AREA = 520 SQ. FT.
WINDOWS & DOORS = 134.75 SQ. FT
WINDOW & DOOR % = 25.9%

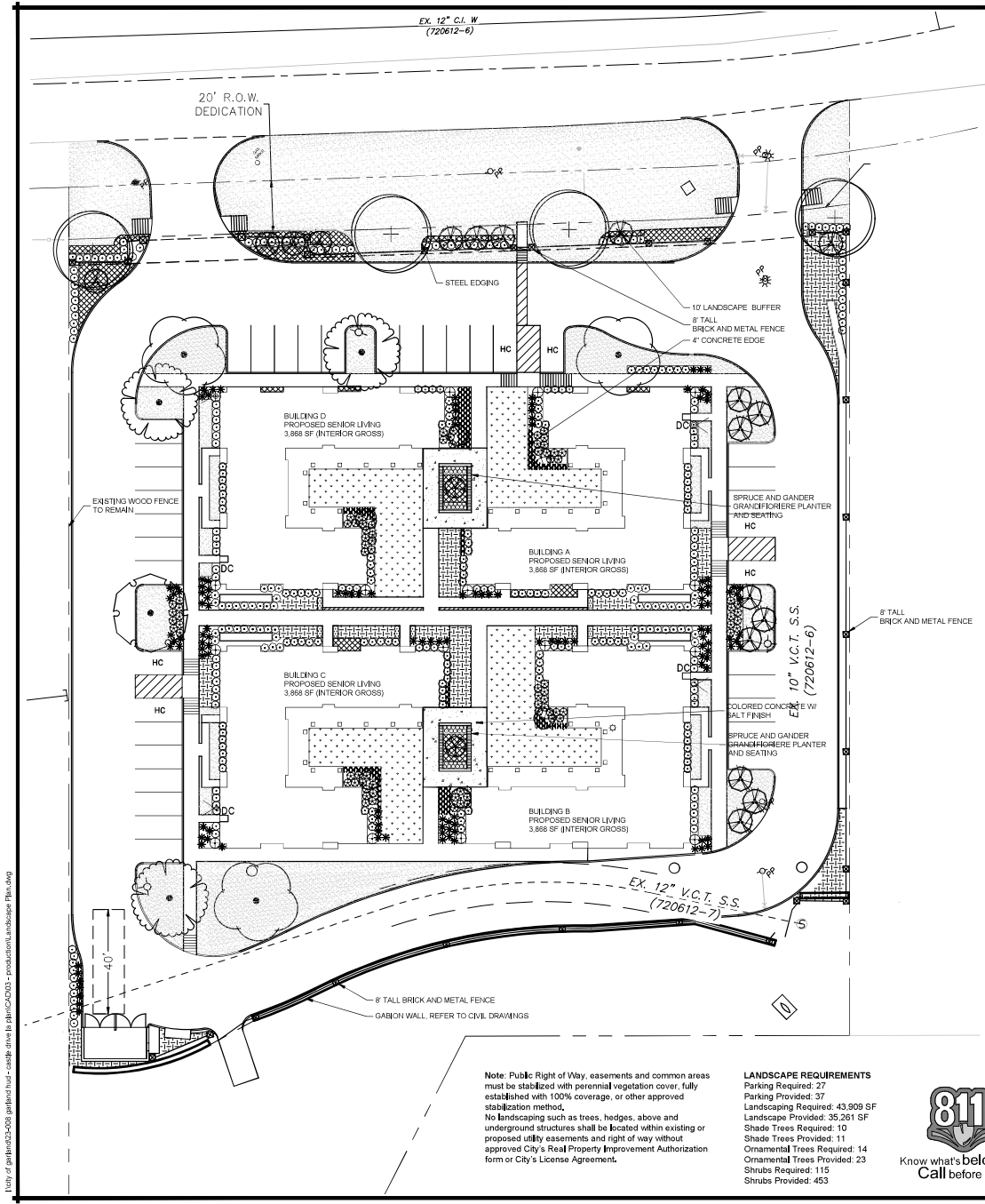
HORIZONTAL LENGTH OF FACADE = 55'-4"
25% UNARTICULATED FACADE ALLOWED = 14'-1"
UNARTICULATED FACADE AS DESIGNED = 11'-1"

ZONING CALCULATIONS

ELEVATION AREA = 797.75 SQ. FT.
WINDOWS & DOORS = 211.8 SQ. FT
WINDOW & DOOR % = 26.5%

HORIZONTAL LENGTH OF FACADE = 85'-0"
25% UNARTICULATED FACADE ALLOWED = 21'-5"
UNARTICULATED FACADE AS DESIGNED = 11'-1"





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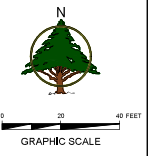
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 Ornamental Trees Provided: 23
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 Shrubs Provided: 453

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
TREES				
	<i>Pistacia chinensis</i> / Chinese Pistache	65 gal.	12' MIN HT/6' MIN W	4
	<i>Quercus muehlenbergii</i> / Chinkapin Oak	65 gal.	12' MIN HT/6' MIN W	3
	<i>Quercus shumardii</i> / Shumard Red Oak	65 gal.	12' MIN HT/6' MIN W	3
	<i>Ulmus crassifolia</i> / Cedar Elm	65 gal.	12' MIN HT/6' MIN W	1
ORNAMENTAL TREES				
	<i>Acer palmatum dissectum</i> 'Waterfall' / Waterfall Japanese Maple	30 gal.		2
	<i>Ilex vomitoria</i> 'Pride of Houston' / Pride of Houston Yaupon Holly	30 gal.		2
	<i>Lagerstroemia indica x fauriei</i> 'Arapaho' / Arapaho Crape Myrtle	30 gal.		18
	<i>Magnolia grandiflora</i> 'Little Gem' / Little Gem Dwarf Southern Magnolia	30 gal.		4
SHRUBS				
	<i>Abelia x grandiflora</i> 'Kaleidoscope' / Kaleidoscope Glossy Abelia	3 gal.		79
	<i>Hesperaloe x 'Perfu'</i> / Pink Parade Red Yucca	3 gal.		132
	<i>Ilex cornuta</i> 'Burfordii Nana' / Dwarf Burford Holly	7 gal.		134
	<i>Ilex vomitoria</i> 'Nana' / Dwarf Yaupon Holly	3 gal.		107
	<i>Leucophyllum frutescens</i> 'Compacta' / Compact Texas Ranger	7 gal.		16
	<i>Loropetalum chinense rubrum</i> 'Shang-hi' TM / Purple Diamond Fringe Flower	15 gal.		55
	<i>Nandina domestica</i> 'Murasaki' / Flirt™ Heavenly Bamboo	3 gal.		44
	<i>Teucrium fruticosum</i> 'Silver Bush' / Silver Bush Germander	3 gal.		20
SHRUB AREAS				
	<i>Liriodendron giganteum</i> / Giant Liriodendron	1 gal.	24" o.c.	314
PERENNIAL				
	<i>Dianthus gratianopolitanus</i> / Cheddar Pink	1 gal.	8" o.c.	183
GROUND COVERS				
	<i>Euonymus fortunei</i> / Wintercreeper	4" pot	12" o.c.	2,208
	<i>Liriodendron densiflora</i> / Lilyturf	4" pot	12" o.c.	381
TURFGRASS				
	<i>Cynodon dactylon</i> / Bermudagrass	Sod		16,473 sf
	Synthetic Turf- ForeverLawn Fresh or Approved Equal			4,914 SF
	Steel Edging			810 LF
	Concrete Edging			200 LF
	Bed Preparation Material (See Technical Specification Section 329113)			± 27,576 SF



Know what's below.
Call before you dig.



10.19.23 Revised Site Plan
 1.19.24 Revised Site Plan



LANDSCAPE PLAN
CASTLE DRIVE-GARLAND HUD
 CITY OF GARLAND, TEXAS

DRAWN: MEP
 CHECKED: DBS
 DATE: 3/12/2024
 SCALE: AS SHOWN
 JOB NO.: 23-008

L1

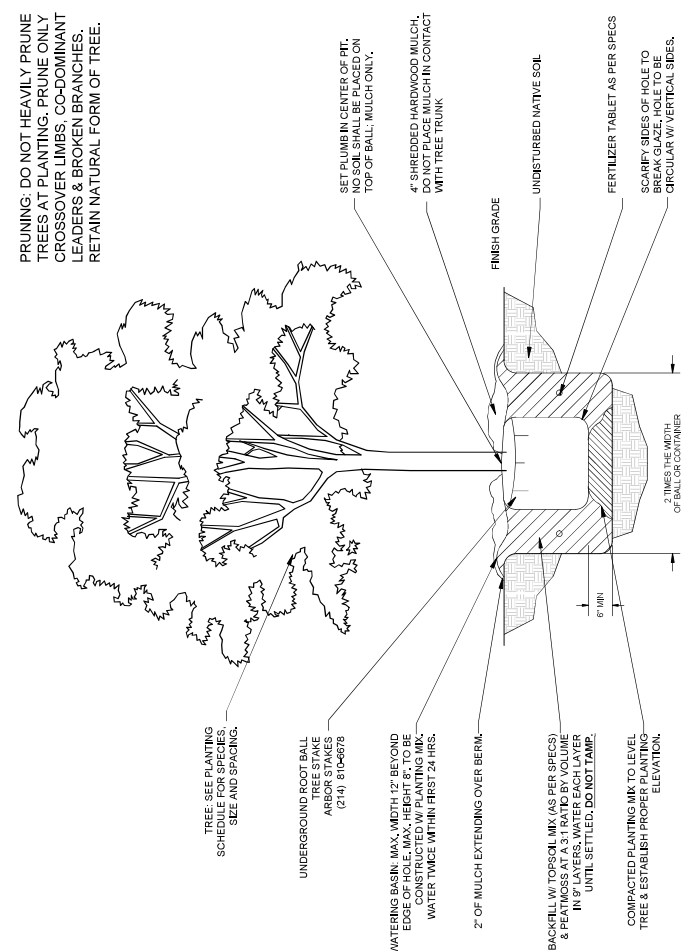
10/19/23 Revised Site Plan
1/19/24 Revised Site Plan



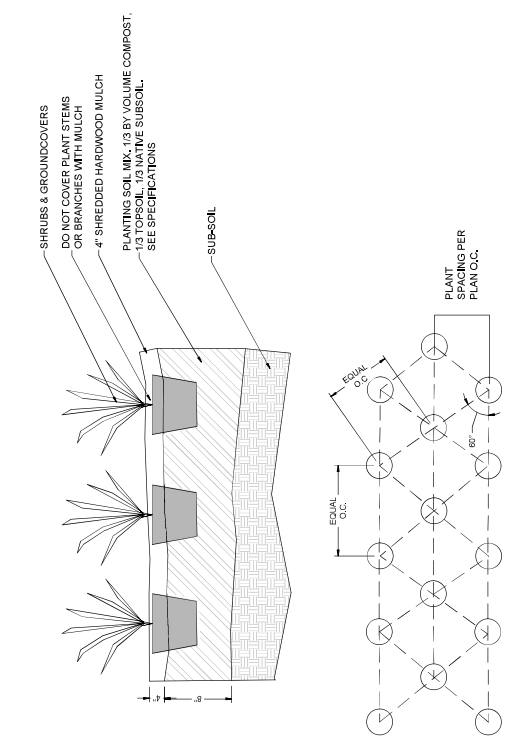
LANDSCAPE DETAIL
CASTLE DRIVE-GARLAND HUD
CITY OF GARLAND, TEXAS

DRAWN:	MEP
CHECKED:	DBS
DATE:	3/12/2024
SCALE:	AS SHOWN
JOB NO.:	23-008

L2



TREE PLANTING DETAIL
N.T.S.



SHRUBS & GROUNDCOVER PLANTING DETAIL
N.T.S.

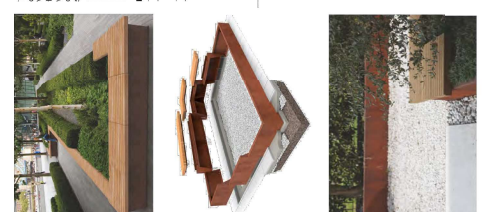
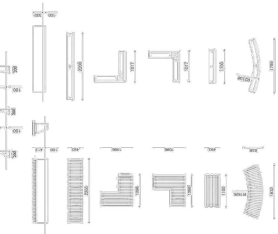
GRANDIFLORE
MASSIMO TASCA

The Grandiflores, designed by Massimo Tasca, is a specially VITRUFLEX® Collection. The modularity of the Grandiflores allows you to create a wide range of configurations: straight, angled and curved. The Grandiflores can be installed with or without wood decking.

MATERIALS & FINISHES
-Box: Carbon Steel, Black, Washcoat
-Treatment (upon request):
-Honeycomb
-Honeycomb

DIMENSIONS
-All dimensions are in mm

FOOTING
-Upon request



877-890-7705
info@foreverlawn.com

ForeverLawn Landscape System
Installed over rooftop or solid surface with SafetyFoam Pro

Stapilis

ForeverLawn® synthetic grass

SafetyFoam Pro™

Concrete surface

Channels to allow for drainage

Screw or wedge concrete anchor

Ground contact treated lumber or plastic nailer board (secured to substrate with concrete anchors and treated with fire retardant)

Trim (1/2" x 1/2" x 1/2" or 1/2" x 1/2" x 1/2")

As an alternative to mechanical fastening technology

Premium three-layer backing

Ultraviolet (UV) resistant micro-mechanical fastening technology

By	G. Chavez	1/0023
Date	Not to scale	
Drawing No.	1/1023	

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SYNTHETIC TURF CONCRETE BORDER
N.T.S.

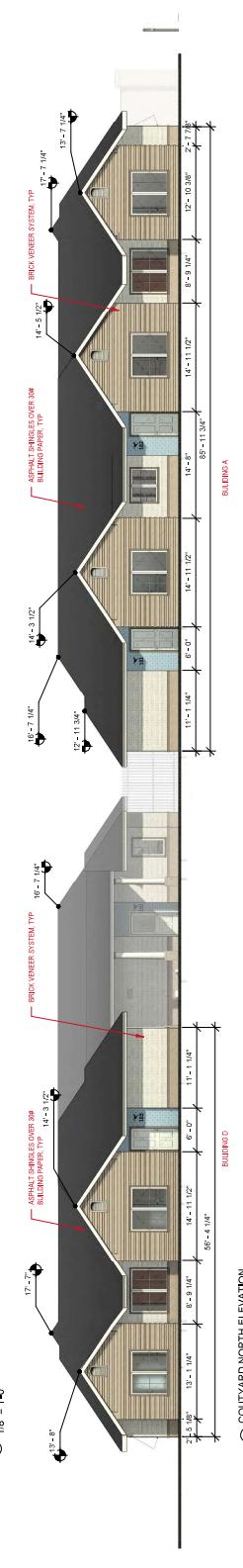
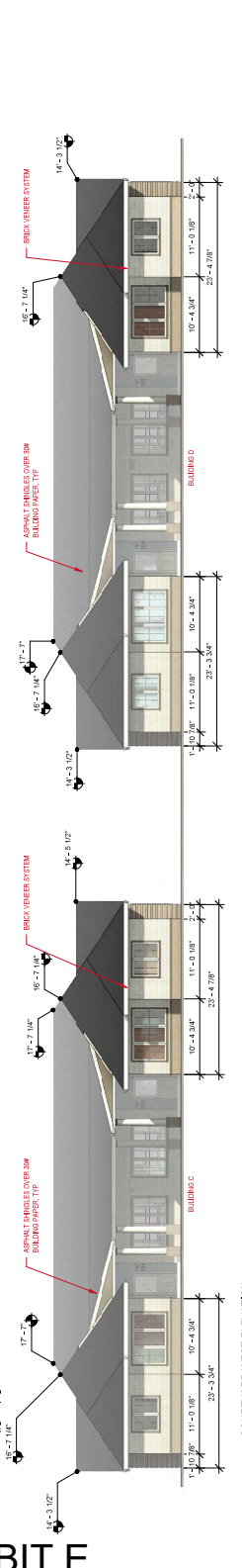
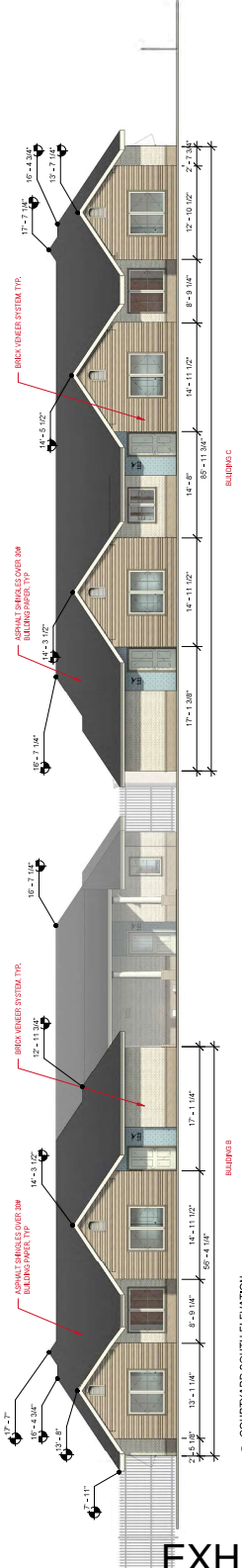
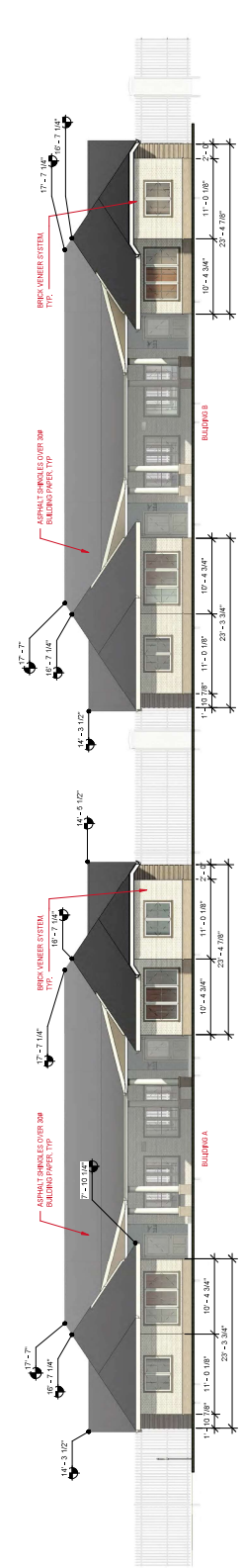
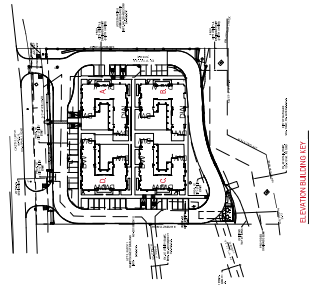
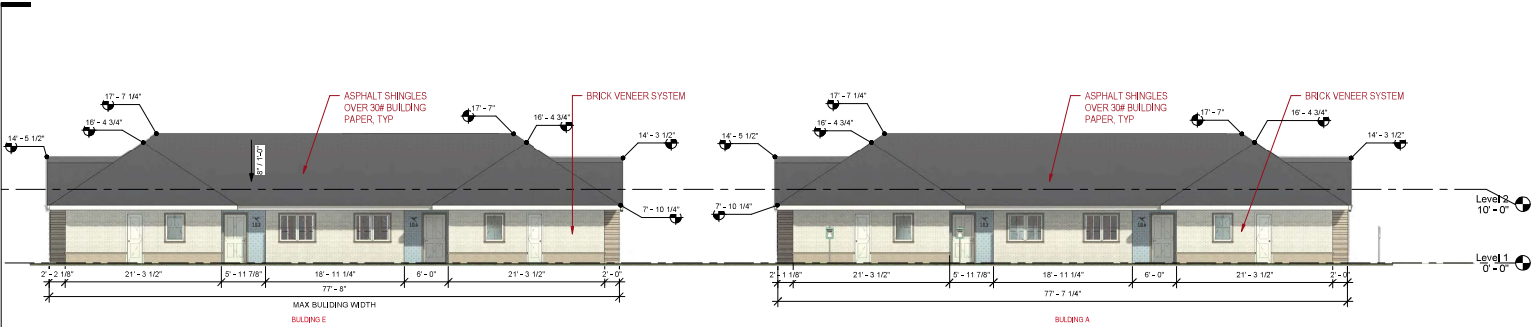
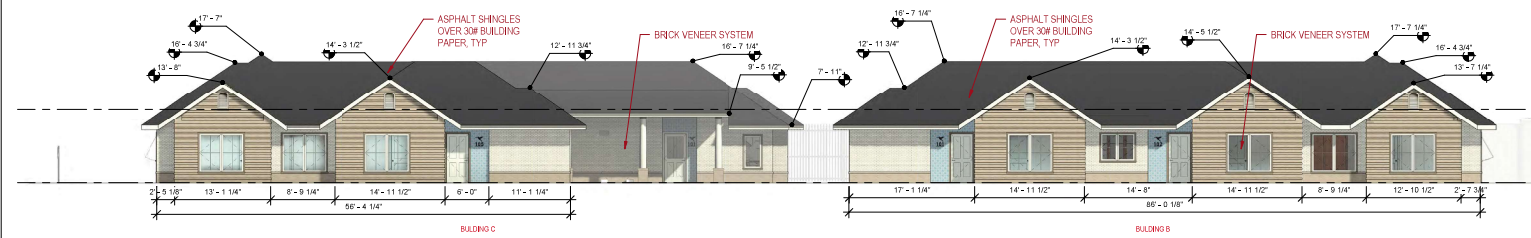
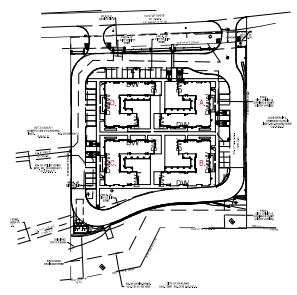


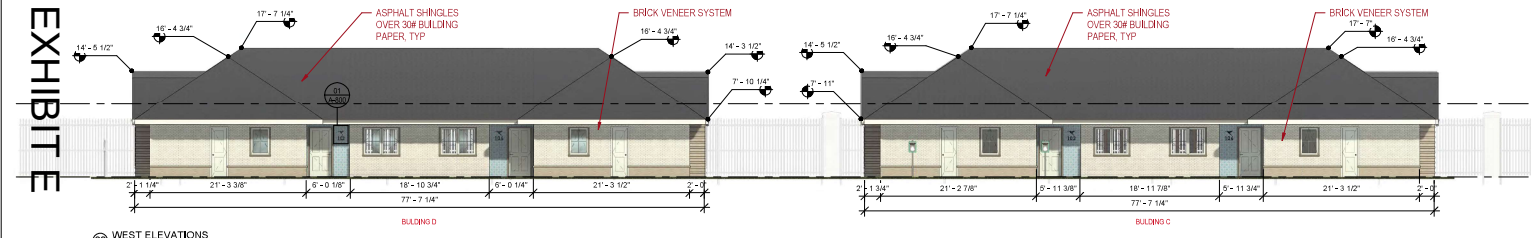
EXHIBIT E



01 EAST ELEVATIONS
1/8" = 1'-0"



02 SOUTH ELEVATION
1/8" = 1'-0"

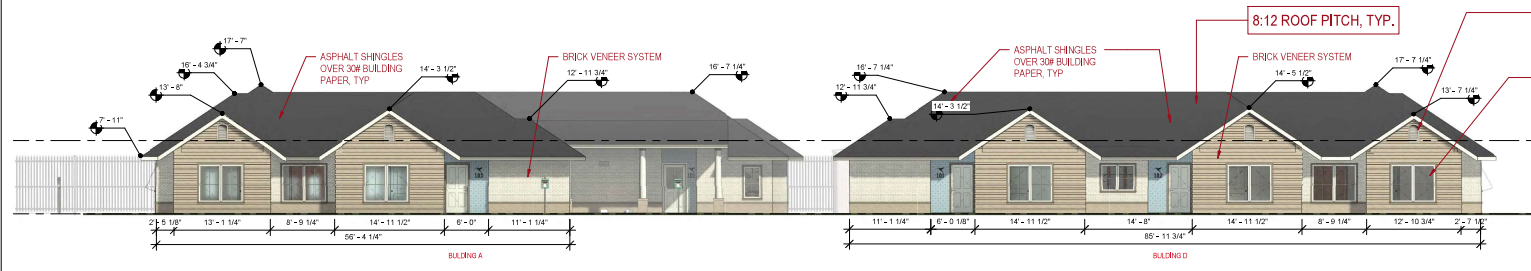


03 WEST ELEVATIONS
1/8" = 1'-0"

Architectural elements
 The proposed design attempts to fit within the residential context and most closely aligns with the intent of Section 4.84 of the GDC. A deviation is requested to utilize the GDC residential building design per Section 4.84 of the GDC is requested to facilitate the smaller residential scale.

The three elements designed per Section 4.84 of the GDC are:
 i. Multiple pane windows featuring divided light or simulated divided light
 ii. Minimum 8:12 roof pitch
 iii. Gables with windows

a. Note that a deviation is requested to allow for a decorative louvre be provided in the gables. This is requested to improve air circulation in the attic space as an environmental & energy strategy.

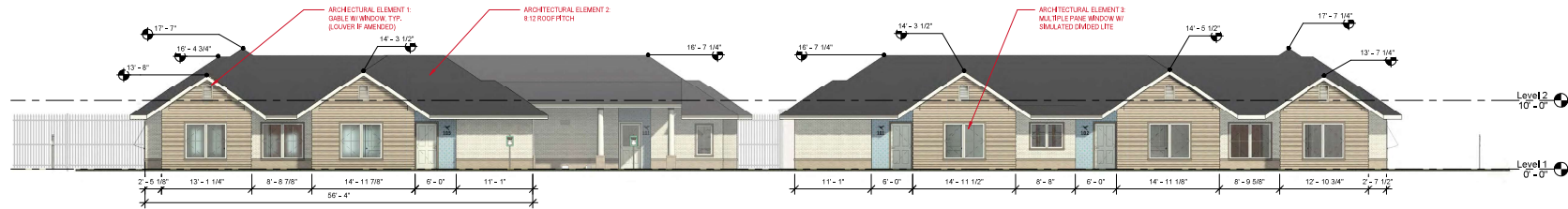


04 NORTH ELEVATION
1/8" = 1'-0"

EXHIBIT E



ELEVATION FACING CASTLE DRIVE



1 NORTH ELEVATION PD AMENDMENT
1/8" = 1'-0"

ZONING CALCULATIONS

ELEVATION AREA = 520 SQ. FT.
 WINDOWS & DOORS = 134.75 SQ. FT
 WINDOW & DOOR % = 25.9%

HORIZONTAL LENGTH OF FACADE = 55'-4"
 25% UNARTICULATED FACADE ALLOWED = 14'-1"
 UNARTICULATED FACADE AS DESIGNED = 11'-1"

ZONING CALCULATIONS

ELEVATION AREA = 797.75 SQ. FT.
 WINDOWS & DOORS = 211.8 SQ. FT
 WINDOW & DOOR % = 26.5%

HORIZONTAL LENGTH OF FACADE = 85'-0"
 25% UNARTICULATED FACADE ALLOWED = 21'-5"
 UNARTICULATED FACADE AS DESIGNED = 11'-1"

