

ORDINANCE NO. 7531

AN ORDINANCE AMENDING THE GARLAND DEVELOPMENT CODE OF THE CITY OF GARLAND, TEXAS, BY APPROVING (1) AN AMENDMENT TO PLANNED DEVELOPMENT (PD) DISTRICT 18-41 FOR MIXED USES AND (2) A DETAIL PLAN FOR AN OFFICE, GENERAL USE ON A 5.769-ACRE TRACT OF LAND LOCATED AT 2002 WEST CAMPBELL ROAD; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; PROVIDING A PENALTY UNDER THE PROVISIONS OF SEC. 10.05 OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A NOTICE OF CONDITIONS OF COMPLIANCE CLAUSE; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 8th day of April, 2024, the Plan Commission did consider and make recommendations on a certain request for (1) an Amendment to Planned Development (PD) District 18-41 for Mixed Uses and (2) a Detail Plan for an Office, General Use by **Barraza Consulting Group**; and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, THAT:

Section 1

The Garland Development Code is hereby amended by approving (1) an Amendment to Planned Development (PD) District 18-41 for Mixed Uses and (2) a Detail Plan for an Office, General Use and being more particularly described in Exhibit "A" attached hereto and made a part hereof.

Section 2

Development shall be in conformance with the conditions, restrictions, and regulations set forth in the Garland Development Code.

Section 3

That a violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 4

NOTICE OF CONDITIONS OF COMPLIANCE: Notwithstanding the provisions of any other ordinance of the City, the full, complete, and continuing compliance with all the conditions, restrictions, and regulations of this Ordinance is a condition to the issuance and continuation of any permit, approval, authorization or consent by the City, including without limitation the issuance or continuation of any certificate of occupancy for any building or structure located on any portion of the property described in Exhibit "A". All promises, representations, obligations and undertakings made or assumed by the applicant to the City Council at any public presentation in connection with the granting of this Ordinance are hereby incorporated into and made a part of this Ordinance as if expressly set forth herein at length. No substantial deviation from any material portion of the conditions, restrictions, and regulations contained within this Ordinance are allowed except as may be provided by the City Council after a public hearing.

Section 5

That the Garland Development Code, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 6

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 7

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

FILE NO. Z 24-06

PASSED AND APPROVED this 21st day of May, 2024.

THE CITY OF GARLAND, TEXAS

Mayor

ATTEST:

Deputy City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File Z 24-06

BEING that certain tract of land situated in the P. H. Rice Survey, Abstract No. 1241, in the City of Garland, Dallas County, Texas and being part of that certain called 22.437 acre tract as described in deed to Campbell 190 Partners, LLC, (undivided 60.6383% interest); LDJ Properties, Ltd. (undivided 28.7234% interest); and John D. Gourley (undivided 10.6383% interest), recorded in Document No. 201800009162, of the Official Property Records of Dallas County, Texas (OPRDCT) and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found at the northwest corner of said 22.437 acre tract, and being located on the south right-of-way line of Campbell Road a (variable width right-of-way), and on the east line of Lot 2, Block 1, of Shoal Creek Office Park, an addition to the City of Garland, Dallas County, Texas ,according to Final Plat recorded in Document No. 200600462691 OPRDCT;

THENCE North 89°33'25" East, with said south right-of-way line of Campbell Road, and with the north line of said 22.437 acre tract, a distance of 251.39 feet to a TxDOT monument found for corner at the intersection of said south right-of-way line of Campbell Road, and the southwest right-of-way line of State Highway No. 190 a (variable width right-of-way)

THENCE South 56°21'27" East, with said southwest right-of-way line of State Highway No. 190, and the northeast line of said 22.437 acre tract, a distance of 157.00 feet to a point for corner located in the apron of a concrete headwall;

THENCE South 09°51'04" West, departing the southwest right-of-way line of State Highway No. 190, and over and across said 22.437 acre tract, a distance of 470.35 feet to a 5/8 inch iron rod with cap stamped "BCG 10194538" set for corner in the approximate center of a ditch, said iron rod

also being located in a north line of Lot 1, Block 1, of Alta Springs Creek, an addition to the City of Garland, Dallas County, Texas according to Final Plat recorded in Document No. 201900162946, OPRDCT, from which a 5/8 inch capped iron rod found bears North $89^{\circ}18'41''$ East, a distance of 41.02 feet;

THENCE South $89^{\circ}18'41''$ West, with said north line of Lot 1, Block 1, a distance of 175.00 feet to a cotton spindle found for corner at the northwest corner of said Lot 1, Block 1;

THENCE South $00^{\circ}41'19''$ East, with the west line of said Lot 1, Block 1, Alta Springs Creek, a distance of 601.44 feet to an "X" cut in concrete found for corner at the southwest corner of said Lot 1, Block 1, and being located in the northeast right-of-way line of Naaman Forest Boulevard (called 82' right-of-way), said "X" also being the beginning of a non-tangent curve to the right,

THENCE in a northwesterly direction with said northeast right-of-way line of Naaman Forest Boulevard, and with said non-tangent curve to the right which has a central angle of $10^{\circ}56'16''$, a radius of 809.00 feet, a chord which bears North $51^{\circ}54'40''$ West, a chord distance of 154.20 feet, for an arc distance of 154.44 feet to the end of said curve, an "X" cut in concrete found for corner at the southwest corner of said 22.437 acre tract;

THENCE North $00^{\circ}40'37''$ West, with the west line of said 22.437 acre tract and the east line of said Shoal Creek Office Park Addition, a distance of 1056.90 feet to the POINT OF BEGINNING, and containing 5.769 acres of land.

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 24-06

2002 West Campbell Road

I. Statement of Purpose: The purpose of this Planned Development is to approve an Office, General Use.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations as set forth in Planned Development (PD) District 12-41, Planned Development (PD) District 18-41, Division 4 in Chapter 2 and Chapter 4 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply.

V. Specific Conditions:

A. Permitted Uses: An Office, General Use shall be permitted.

B. Site Plan: The site layout, building placement, parking and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.

C. Amenities: A bench, trash receptacle street light and bicycle rack shall be provided as reflected in Exhibit C.

D. Outside Storage: No outside storage shall be permitted.

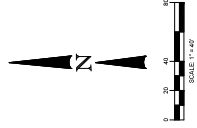
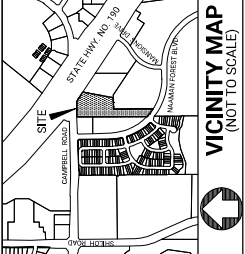
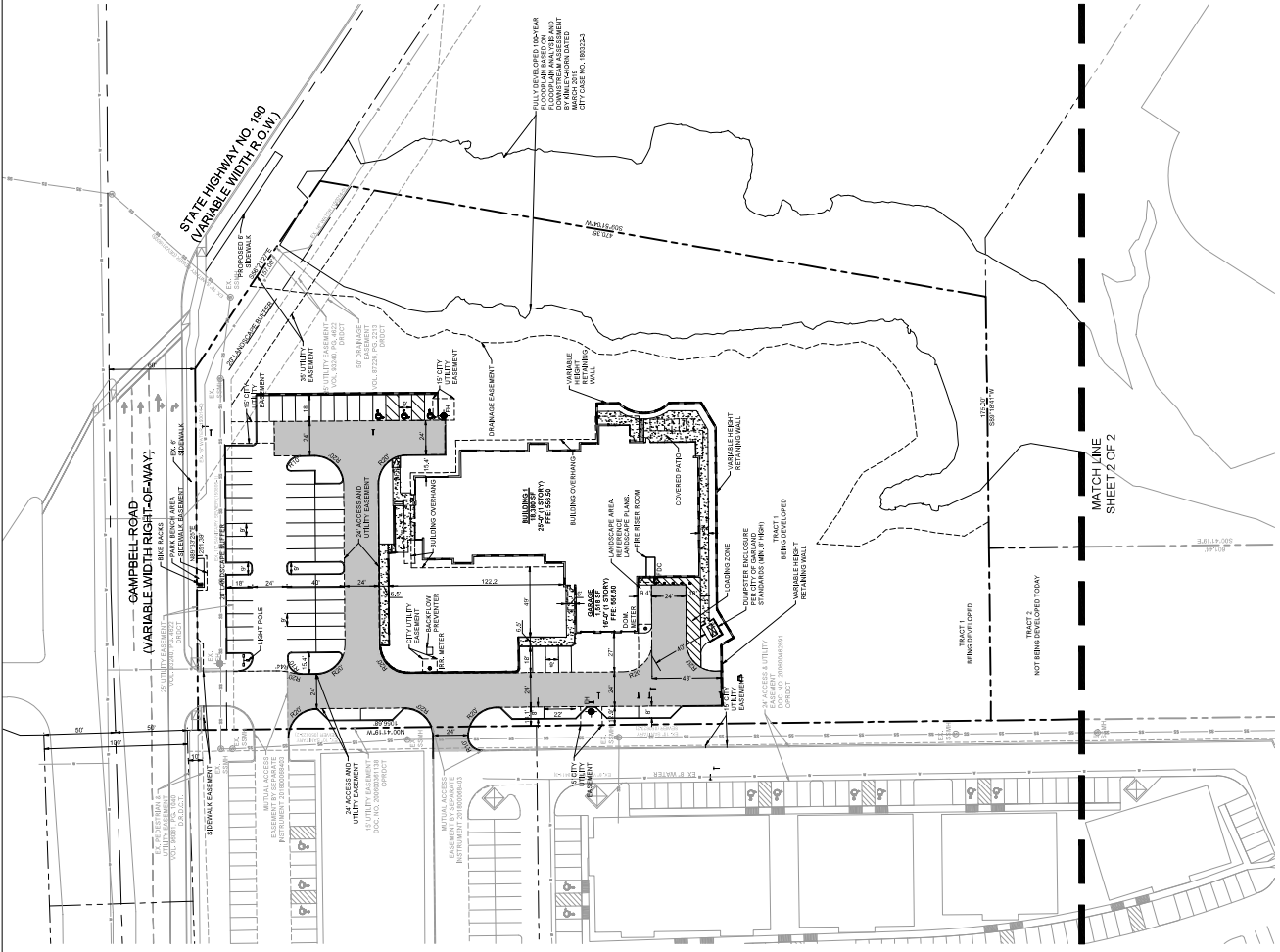
- E. Company Trucks: All company trucks shall be stored inside the garage overnight.
- F. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D.
1. Landscaping must be regularly maintained in a healthy, growing condition and in compliance with this PD Ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all plantings as needed. All exposed ground surfaces on or within the premises shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.
 2. Any plant or vegetation that dies must be replaced with another approved plant variety that complies with the approved landscape plan within sixty (60) days after receipt of written notification from the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty (60) days after receipt of written notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.
 3. Screening and paving must be regularly maintained in compliance with this PD Ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty (60) days after receipt of written

notification from the City, the City may, in addition to any other remedy available by law, withhold future city permits, licenses and/or certificates requested by the property owner for the premises to which such violation applies.

G. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.

H. Signage: All signage shall comply with the standards in the Garland Development Code.

EXHIBIT C



LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	EXISTING SANITARY SEWER AND MANHOLE
---	EXISTING WATER AND FIRE HYDRANT
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND ELECTRIC
●	PROPOSED MANHOLE
○	PROPOSED IRRIGATION METER
○	PROPOSED DOMESTIC METER
○	PROPOSED GATE VALVE
○	PROPOSED FIRE HYDRANT ASSEMBLY
○	PROPOSED FIRE LINE
---	PROPOSED RETAINING WALL

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADI ARE 2' UNLESS SHOWN OTHERWISE.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GARLAND STANDARD DETAILS.
4. MINIMUM FIRE LINE WIDTH IS 24' AND A MINIMUM RADIUS OF 20'.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF GARLAND DURING CONSTRUCTION.
6. CONTRACTOR TO CONDUCT EROSION ALONG PROPERTY LINE DURING CONSTRUCTION.

SITE DATA & SITE INFORMATION

CURRENT USE:	VACANT
PROPOSED USE:	OFFICE
PROPOSED ZONING:	PD 15 OFFICE
PROPOSED ZONING:	OFFICE
SITE AREA(SF):	5,769 AC. (251,297 SF)
BUILDING INFORMATION:	
BUILDING SF:	1,518 SF
GARAGE SF:	1,518 SF
BUILDING HEIGHT (STORY):	25'-0" (1 STORY)
GARAGE HEIGHT (STORY):	16'-0" (1 STORY)
FLOOR AREA RATIO:	0.26
FLOOR AREA RATIO:	1.0/07
PARKING INFORMATION:	
NO. OF SPACES:	62
INCLUDING BALCONIES:	62
ADA REQUIRED:	3
ADA PROVIDED:	3
TOTAL PROVIDED:	62
IMPERVIOUS SURFACE:	
PERCENTAGE (AREA):	18.94% (10,824 SF)
OPEN SPACE:	18.94% (10,824 SF)
ADA PARKING SHALL BE IN ACCORDANCE WITH ADA STANDARDS	

DETAIL SITE PLAN

CITY CASE # 240108-1
 5.769 ACRES SITUATED IN THE
 P.H. RICE SURVEY, ABSTRACT NO. 1241
 CITY OF GARLAND
 DALLAS COUNTY, TEXAS

OWNER / APPLICANT
 BARAZA CONSULTING GROUP
 801 E. CAMPBELL ROAD, SUITE 650
 GARLAND, TEXAS 75042
 CONTACT: JOHN WELBY
 PHONE: (469) 488-1861

ARCHITECT
 ALLIANCE ARCHITECTS
 1800 N. COLLINS BLVD., SUITE 1000
 GARLAND, TEXAS 75042
 CONTACT: ZACH WELBY
 PHONE: (972) 233-1400

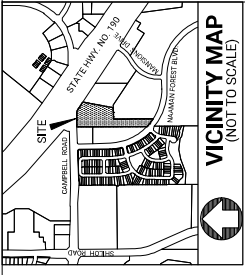
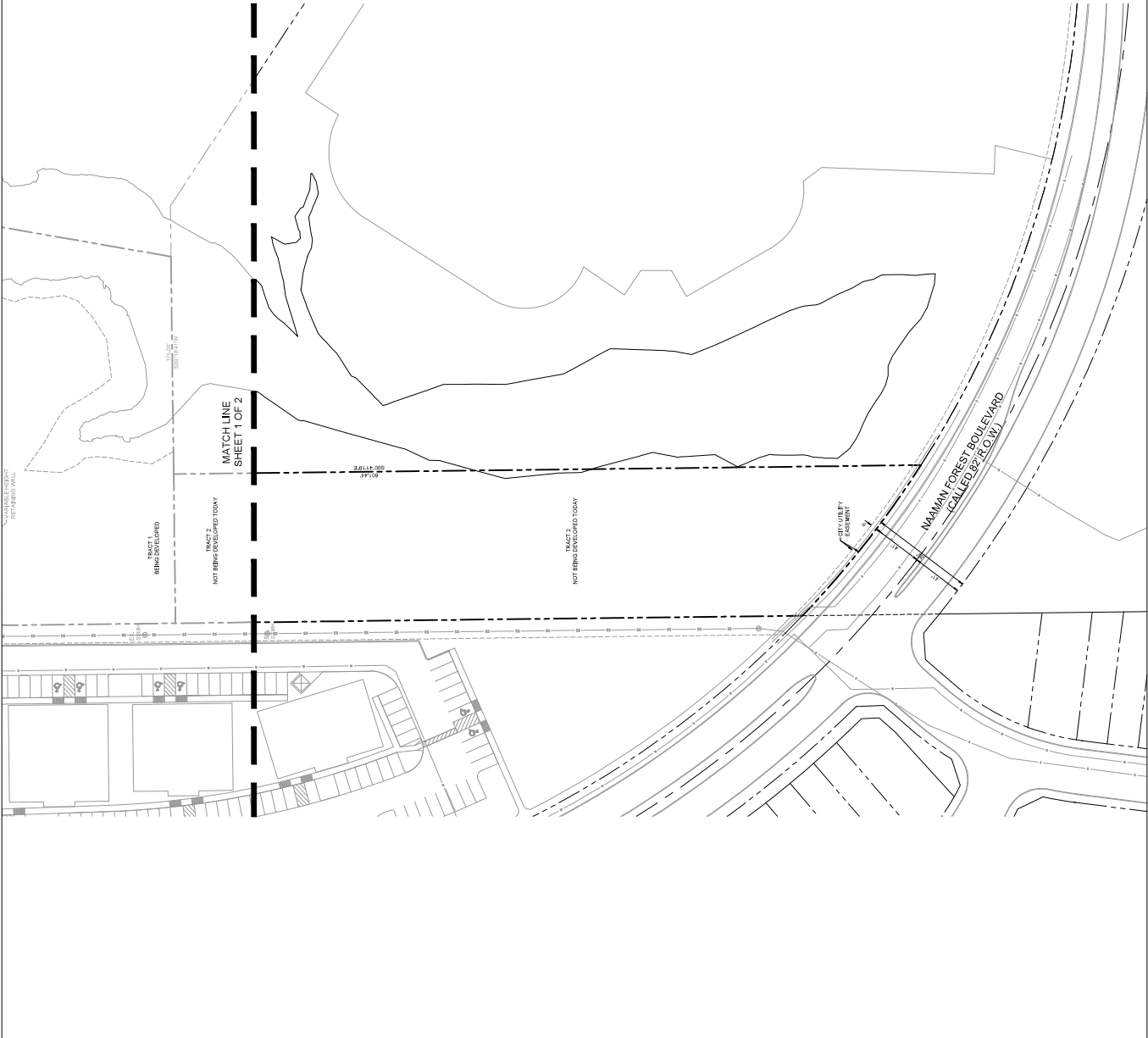


DETAIL SITE PLAN
 CAMPBELL 190
 CITY OF GARLAND, COLLIN COUNTY, TEXAS

DATE:	3/15/2024
DESIGN:	JTH
CHECKED:	JTH

1 OF 2

EXHIBIT C



LEGEND

PROPERTY LINE	--- --
EXISTING SANITARY SEWER AND MANHOLE	●
EXISTING WATER AND FIRE HYDRANT	○
EXISTING STORM SEWER	—
EXISTING OVERHEAD ELECTRIC	—
EXISTING UNDERGROUND ELECTRIC	—
EXISTING GAS LINE	—
EXISTING UNDERGROUND ELECTRIC	—
PROPOSED MANHOLE	●
PROPOSED IRRIGATION METER	○
PROPOSED DOMESTIC METER	○
PROPOSED GATE VALVE	○
PROPOSED FIRE DEPARTMENT CONNECTION	○
PROPOSED FIRE HYDRANT ASSEMBLY	○
PROPOSED FIRE LANE	—
PROPOSED RETAINING WALL	—

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL RADIUS ARE 2' UNLESS SHOWN OTHERWISE.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GARLAND STANDARD DETAILS.
 4. MINIMUM FIRE LANE WIDTH IS 24' AND A MINIMUM RADIUS OF 20'.
 5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GARLAND DURING CONSTRUCTION.
 6. CONTRACTOR TO CONDUCE EROSION ALONG PROPERTY LINE DURING CONSTRUCTION.

SITE DATA / SITE INFORMATION	
CURRENT USE:	VACANT
PROPOSED USE:	OFFICE
PROPOSED ZONING:	P1 OFFICE
PROPOSED LOT AREA (SQ. FT.):	5,789 AC. (251,297 SF)
PROPOSED LOT AREA (SQ. FT.):	1,518 SF
BUILDING INFORMATION	
BUILDING HEIGHT (STORY):	2:07 (1 STORY)
GARAGE HEIGHT (STORY):	1:07 (1 STORY)
GARAGE HEIGHT (STORY):	1:07 (1 STORY)
FLOOR AREA RATIO:	19.07
PARKING RATIO:	11.50 PER 1,000 SQ. FT. OF GROSS FLOOR AREA
PARKING REQUIRED:	62
ADA REQUIRED:	3
ADA PROVIDED:	3
TOTAL PROVIDED:	62
IMPERVIOUS SURFACE	
IMPERVIOUS AREA (SQ. FT.):	16,669 SF (27.4%)
OPEN SPACE:	43,628 SF (72.6%)
*ADA PARKING SHALL BE IN ACCORDANCE WITH ADA STANDARDS	

DETAIL SITE PLAN
 CITY CASE # 240108-1
 5.789 ACRES SITUATED IN THE
 P.H. RICE SURVEY, ABSTRACT NO. 1241
 CITY OF GARLAND
 DALLAS COUNTY, TEXAS

OWNER / APPLICANT
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 GARLAND, TEXAS 75042
 CONTACT: JOHN WALKER
 PHONE: (469) 488-1861

ARCHITECT
 ALLIANCE ARCHITECTS
 1800 N. COLLINS BLVD., SUITE 1000
 GARLAND, TEXAS 75042
 CONTACT: JACOB WELBY
 PHONE: (972) 233-1400

DATE	03/16/2024
DESIGN	
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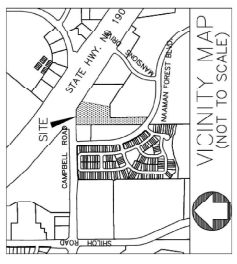


801 East Campbell Road
Suite 650, Richardson, TX 75081
714 No. 214-484-7055
T99E Firm Lic. 206683

LANDSCAPE PLAN

CAMPBELL 190

CITY OF GARLAND, COLLIN COUNTY, TEXAS



01 LANDSCAPE PLAN
Scale: 1"=40'-0"



SITE PLAN
CITY CASE # 240109-1
5.7769 ACRES SITUATED IN THE
P.H. RICE SURVEY, ABSTRACT NO. 1241
CITY OF GARLAND
DALLAS COUNTY, TEXAS

ARCHITECT
ALLIANCE ARCHITECTS
1800 N. COLLINS BLVD., SUITE 1100
DALLAS, TEXAS 75201
CONTACT: ZACH WELBY
PHONE: (972) 233-0400

OWNER / APPLICANT
BARRAZA CONSULTING GROUP
801 E. CAMPBELL ROAD, SUITE 650
RICHARDSON, TEXAS 75081
CONTACT: JOHN HALE
PHONE: (469) 488-9931

SMI
landscape studios, llc
1000 W. 13TH ST
DALLAS, TEXAS 75208
PH: 214.718.6500
WWW.LANDSCAPESTUDIOS.COM

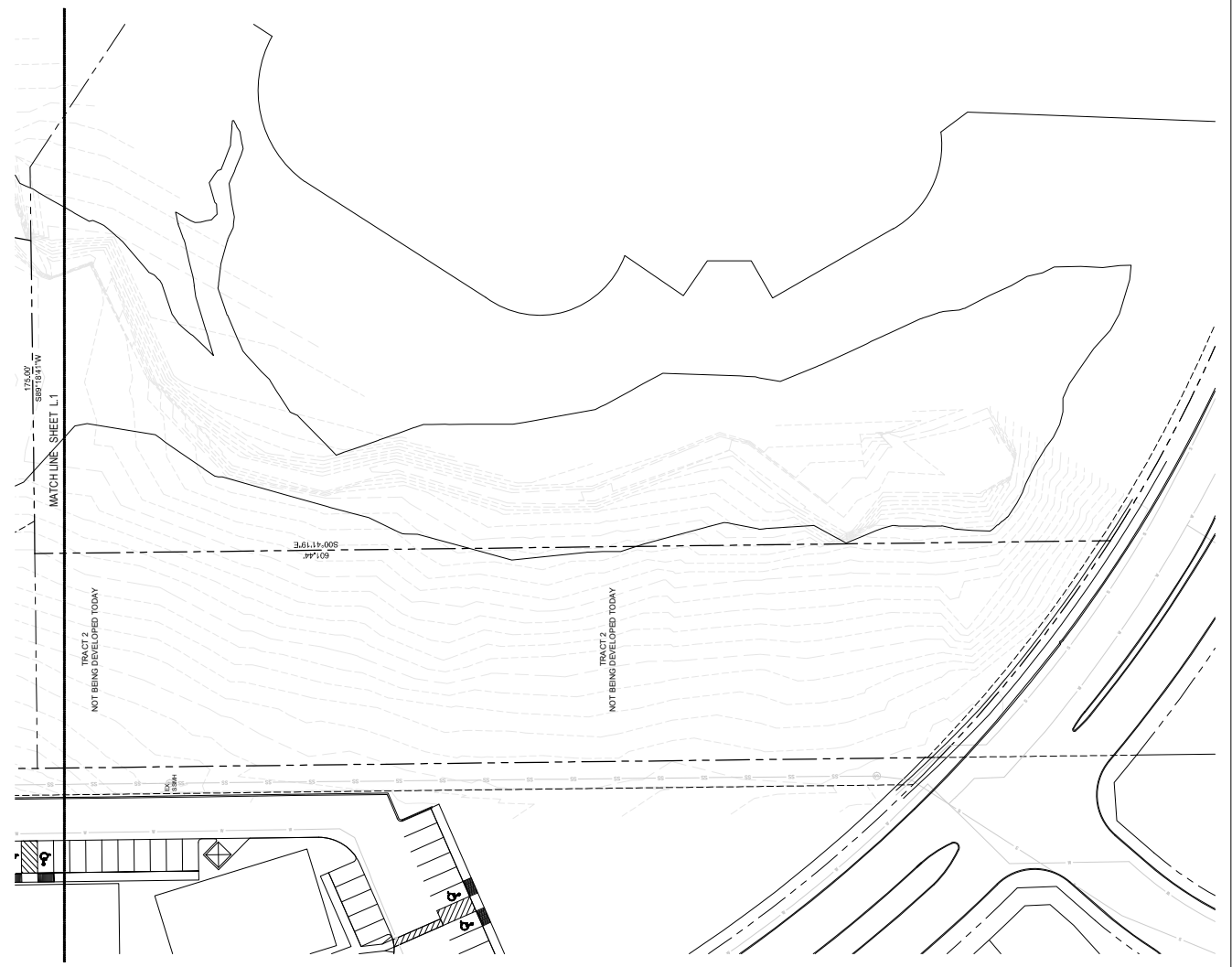
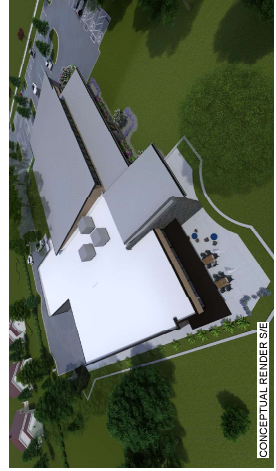


EXHIBIT D

801 East Campbell Road
Suite 650, Richardson, TX 75081
Tel. No. 214-484-7055
Type Firm, LLC, 20683

ALLENCE ARCHITECTS
1699 N. COLLINS BLVD
57000, Richardson, TX 75081
Tel. No. 972-233-0400

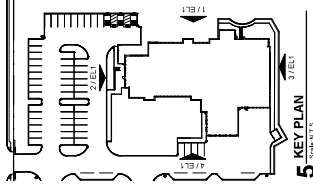
CITY OF GARLAND, COLLIN COUNTY, TEXAS
2002 W CAMPBELL RD
CASE NUMBER 240109-1



CONCEPTUAL RENDERING NW



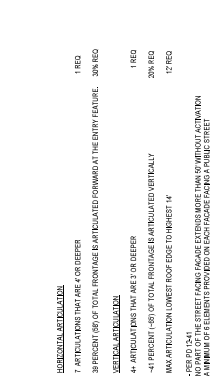
CONCEPTUAL RENDERING SE



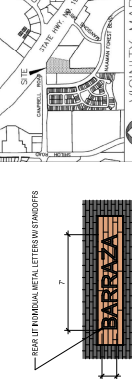
5 KEY PLAN
Scale: 1/8" = 1'-0"

- BUILDING FEATURES**
- 1. CANOPIES
 - 2. VERTICAL SIGNAGE
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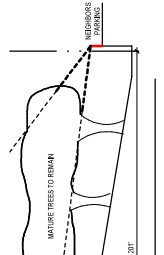
- A. unknown plant species
- B. unknown plant species
- C. unknown plant species
- D. unknown plant species



8 ENLARGED SIGN ELEVATION
Scale: 1/4" = 1'-0"



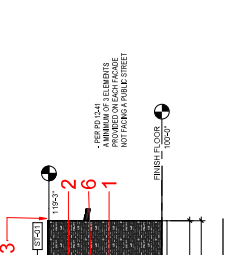
VICINITY MAP (NOT TO SCALE)
Graphic Scale - 1 inch = 10 feet



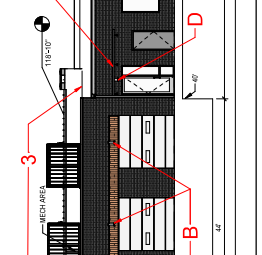
7 LINE OF SIGHT N/S
Scale: 1/4" = 3'-0"



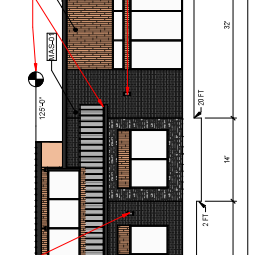
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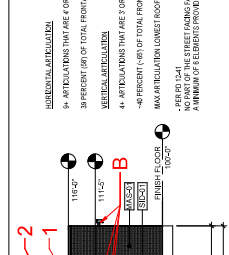
3 SOUTH FACADE/PLAN (REAR)
Scale: 1/4" = 1'-0"



4 WEST FACADE/PLAN
Scale: 1/4" = 1'-0"



1 EAST FACADE/PLAN (PARTIAL PG&T FRONTAGE)
Scale: 1/4" = 1'-0"



2 NORTH FACADE/PLAN (FRONT, CAMPBELL RD)
Scale: 1/4" = 1'-0"

EXHIBIT E

EL2

RENDERINGS

7/24

DESIGN

DATE

02/26/2024

02/26/2024

1876 FIRM LIC. 25863

5146 E. East Campbell Road

Richardson, TX 75081

7141 No. 214-484-7055

BARRAZA

CONSULTING GROUP, LLC

MEMBER OF THE BARRAZA GROUP

1699 N COLLINS BLVD

ST 1000, Richardson, TX 75080

Tel. No. 972-233-0400

ALLIANCE

ARCHITECTS

CITY OF GARLAND, COLLIN COUNTY, TEXAS

2002 W CAMPBELL RD

CASE NUMBER
240109-1

NO.

DATE

1

02/13/24

REVISION

FIRST SUBMITTAL



BREAK AREA NIGHT



WEST NIGHT



EAST NIGHT



ENTRY NIGHT



BREAK AREA DAY



WEST DAY



EAST DAY



ENTRY DAY

EXHIBIT E