

**TOWN OF MANCHESTER
PLANNING AND ZONING COMMISSION**

April 1, 2024
7:00 P.M.

Lincoln Center Hearing Room, 494 Main Street
Or virtually, via Zoom

AGENDA

This meeting will be held both in person and virtually, via Zoom. The meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to speak at or attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting> by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting and will be allowed to speak when directed by the Chairman. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to pzccomments@manchesterct.gov, or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.

PUBLIC HEARING:

1. **PROPOSED SIDEWALK AND CURB PLAN 2024-2029** – Proposed amendments to the Town Sidewalk and Curb Plan.

BUSINESS:

1. **PROPOSED SIDEWALK AND CURB PLAN 2024-2029** – Proposed amendments to the Town Sidewalk and Curb Plan.
2. **TOWN OF MANCHESTER PUBLIC WORKS DEPT.** – Expansion of Charter Oak Park facilities including a new skate park/pump track, synthetic turf playing field, and parking lot at 30 Charter Oak Street.
 - Inland Wetland Permit – Determination of Significance (IWP-0003-2024)
3. **DISCUSSION: OPEN SPACE ACQUISITION PROCESSES**
4. **DISCUSSION: MUNICIPAL FINES FOR INLAND WETLANDS VIOLATIONS**
5. **ADMINISTRATIVE REPORTS**
 - Upcoming Training Opportunities
6. **APPROVAL OF MINUTES**
 - [March 18, 2024](#) – Public Hearing/Business Meeting
7. **RECEIPT OF NEW APPLICATIONS**

**TOWN OF MANCHESTER
LEGAL NOTICE**

The Planning and Zoning Commission will hold a public hearing on April 1, 2024 at 7:00 P.M., both virtually and in person in the Lincoln Center Hearing Room, 494 Main Street, Manchester, Connecticut, to hear and consider the following petitions:

PROPOSED SIDEWALK AND CURB PLAN 2024-2029 – Proposed amendments to the Town Sidewalk and Curb Plan to include updates and recommendations of priority locations for the extension of sidewalks, and proposed amendments to the Sidewalk Location Map to reflect completed projects and other changes pursuant to Article IV Section 279-31 of the Code of the Town of Manchester, Connecticut.

At this hearing interested persons may be heard, either in person or virtually via Zoom, and written communications received. This meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to speak at or attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting>, by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting and will be allowed to speak when directed by the Chairman. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to pzccomments@manchesterct.gov, or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.

Individuals may also submit comments in writing to the Planning and Economic Development Department via email to pzccomments@manchesterct.gov, or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191. All written comments received by 4:00 p.m. on the day of the meeting will be presented and recorded as part of the hearing.

A copy of the proposed Sidewalk and Curb Plan amendments may be reviewed online at <https://www.manchesterct.gov/Government/Departments/Planning-and-Economic-Development>; by contacting the Town Clerk's office at townclerkdept@manchesterct.gov or (860) 647-3037 to request a PDF by email; or in the Planning and Economic Development Department, 494 Main Street, during regular business hours, 8:30 – 4:30, Monday through Friday. Information about this application will be available online at <https://Manchesterct.gov/pzc> by the Friday before the hearing.

Planning and Zoning Commission
Eric Prause, Chair

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: Megan Pilla, Principal Development Planner *MP*

DATE: March 28, 2024

RE: Proposed Sidewalk & Curb Plan 2024-2029

Introduction

Pursuant to Article IV, Section 279-31 of the Code of the Town of Manchester (attached for reference), the Planning & Zoning Commission must review and update the Sidewalk and Curb Plan every five (5) years. The existing Plan was most recently adopted with revisions in April 2019, and is due to be updated and adopted again now.

As described in the ordinance, the purpose of this Plan is to aid in determining whether or not developers shall be required to install sidewalks and curbs simultaneous with new building construction, and if payment of a fee in lieu of such installation is acceptable, on a case by case basis.

Proposed Update

Proposed updates to the Plan document include the following:

- Addition of a “Purpose” section to explain the purpose of the Plan, as dictated by the referenced ordinance.
- Addition of a “Maps” section to clearly identify the maps that are included in the Plan.
- Revision of the minimum standard width for sidewalks on Rural/Scenic Roads from “8 feet” to “6-8 feet, based on site conditions.”
- Staff recommendations for streets to be added to the list of “critical path extensions” on pg. 4 of the Plan.
- Revision of the “Removal of Sidewalks” section to clarify that the Plan no longer recommends any specific sidewalks to be removed.
- Several minor language and grammar revisions.

Proposed updates to the Sidewalk Location Map, which is part of this Plan, include:

- Updates to reflect sidewalk extensions and gap closures that have been completed since 2019.

- Deletion of the term “*Bike Lane*” from the legend, because this term is incorrect in this context (the referenced trails are multi-use trails, not bike lanes).
- Deletion of the category “*Neighborhood Identified For Possible Sidewalk Removal Projects*” from the legend, because sidewalk removals are no longer recommended on a neighborhood scale.
- Removal from the Map of any trails that are not adjacent to public streets, because they are irrelevant to the purpose of this Plan.

No changes are proposed to the Roadway Classification map, which accompanies this Plan only for reference.

Staff Review

As required by the ordinance, the proposed Plan update was sent to the Board of Directors for review. As of the writing of this memo, no comments from the Board have been received. An update on the status of any comments will be provided to the Commission at the April 1, 2024 meeting.

mp

R:\Planning\PZC\2024\04 - April 01\Packet\Sidewalk Plan - Memo.docx

Attach.

*Town of Manchester, CT
Wednesday, March 20, 2024*

Chapter 279. Streets and Sidewalks

Article IV. Assessments for Sidewalks and Curbs

§ 279-31. Sidewalk and curb installation on existing streets simultaneous with building construction.

[Amended 7-22-2003]

- A. The owner of lands on which any structure is hereafter erected, fronting on public highways or streets in the Town, shall install concrete sidewalks and granite curbs in accordance with the public improvement standards of the Department of Public Works, if such installation is in conformance with the sidewalk and curb plan of the Town as approved by the Town Planning and Zoning Commission. Said walks and curbs shall be installed concurrently with the construction of said structure. When, for good cause shown, the installation of either sidewalks or curbs is not advisable or desirable, the Planning and Zoning Commission may allow and/or require the owner of said lands to make a payment to the Town in lieu of the installation. The Planning and Zoning Commission shall not make its determination until it has received a recommendation from the Director of Public Works on the advisability of installing the sidewalks and/or curbs. The Director of Public Works shall make his recommendation no later than 20 working days from the receipt of the request for an opinion from the Planning and Zoning Commission or its designated staff.

[Amended 3-3-2009]

- B. When payment in lieu of installation is required, payments shall be in an amount based upon the prevailing costs of said improvements as determined by the director of public works. If a substitute material for granite curbing is required temporarily for good cause, the cost of the substitute material shall be deducted from the cost of the granite, and the balance will constitute the payment in lieu of installation.
- C. Payments in lieu of installation shall be deposited into a dedicated fund to be used solely for the installment of new sidewalks and curbs. A record of all property owners and properties subject to the payment in lieu of installation shall be kept by the Planning Department, and said property owners shall not be liable for any fee or assessment for the installation of sidewalks or curbs in front of their property in the future.

- D. The Planning and Zoning Commission shall prepare and adopt a sidewalk and curb plan for the Town. The plan shall set forth the policies for determining where sidewalks and curbs would be installed; enumerate examples of what constitutes good cause for allowing or requiring payment in lieu of installation; and recommend priority locations for the extension or removal of sidewalks. The sidewalk and curb plan shall be reviewed and amended as appropriate every five years. The plan shall be so revised and adopted within six months of the adoption of this section and every five years thereafter. Before adoption, the plan shall be submitted to the Board of Directors for review and comment, and at least one public hearing shall be held.

- E. If concrete sidewalks, concrete curbs or granite curbs are in existence abutting the land on which any structure is hereinafter erected, fronting on public highways or streets in the Town, the owner of such lands shall repair said sidewalks and curbs to the satisfaction of the Director of Public Works

or his designated representative. Existing bituminous curbs shall be removed and replaced with granite curbs.

[Amended 3-3-2009]

- F. The Building Department shall affix a copy of this regulation to all building permits issued by it.
- G. From the effective date of this section forward, any previously granted deferments may be called by the Board of Directors, and the then-owner of the property shall be required to pay the cost of said installation. Before calling a deferment, the Board of Directors shall request a written recommendation from the Planning and Zoning Commission and Director of Public Works on the advisability of calling said deferment.

~~2019~~2024-~~2024~~2029

TOWN OF MANCHESTER
SIDEWALK AND CURB PLAN



Prepared by:

Manchester Planning Department
Manchester Public Works Department

Adopted ~~April 1, 2019~~TBD
Planning and Zoning Commission

SIDEWALK & CURB PLAN

Purpose

In accordance with Town ordinance § 279-31, which requires the installation of sidewalks and curbs by property owners simultaneous with new building construction, the purpose of this plan is:

- To set forth the policies for determining where sidewalks and curbs should be installed along public streets;
- To recommend priority locations for the extension of sidewalks; and
- To enumerate examples of what constitutes good cause for allowing or requiring payment in lieu of sidewalk installation.

Introduction

Providing paths for pedestrians has always been fundamental to community building, and while the need for and function of sidewalks has changed, it has not disappeared. The purpose of sidewalks is to provide a safe location for people to walk separated from motorized or mechanized vehicles. Sidewalks are an elemental form of transit, connecting people to public transit, schools, work, shopping, services, and cultural or recreational facilities and activities. They provide a space for spontaneous social interaction. They are increasingly used as a recreation and health amenity in themselves for walkers and joggers. For families with young children sidewalks provide a safe dedicated space for youngsters to learn to ride a bike or rollerblade.

For all of these reasons, Manchester has long required individuals and businesses developing land in Manchester to construct sidewalks. The goal is to provide pedestrian connections within neighborhoods, connections between neighborhoods, and connections from homes to services, facilities, and amenities in the community.

The Town's Sidewalk Plan was first adopted in 1980. Since that time there have been ~~at least~~ ~~two~~ ~~several~~ periods of significant new industrial, commercial and residential development in Manchester. ~~Because~~ ~~As~~ development ~~has~~ ~~extend~~ ~~ed~~ to previously undeveloped areas ~~and~~ ~~away~~ ~~from~~ ~~beyond~~ the Town center, the Planning and Zoning Commission ~~periodically~~ ~~review~~ ~~ed~~ the Sidewalk Plan considering current conditions and anticipated future trends. Our sidewalk and curb policies, and the location map that ~~will~~ ~~serve~~ as a guide for the implementation of this Plan, have been revised to reflect ~~these~~ ~~new~~ ~~current~~ ~~realities~~ ~~condition~~. The Plan articulates policies for where new sidewalks should be installed; effectively and sensibly deals with new installations in developed areas; sets guidelines on how and whether to decide to remove

sidewalks in certain areas, identifies priorities for filling in gaps and/or extending the existing system; and provides guidance on what types of curbs should be installed in various locations or conditions.

Maps

The following maps are included with this Plan:

- Sidewalk Location Map – a map of all existing and anticipated future sidewalks along public streets, identified by material type.
- Roadway Classification Map – the classification of all public streets by type, to be used in accordance with the policies outlined below for locating new sidewalks.

Policy for New Sidewalk Installation

As a general policy, the Sidewalk Plan calls for concrete sidewalks on ~~all~~most streets in the Town of Manchester. The amount and location of sidewalks will vary depending on the type of street and its function. Table One describes the minimum standards and locations for sidewalks. Roadway classifications are shown on the Roadway Classification Map, Town of Manchester Sidewalk Plan, ~~dated~~revised July 2009(date TBD).¹

On all new local streets, sidewalks will be constructed as required in Table One unless the judgment is made by the Planning and Zoning Commission, with the recommendation of the Public Works Department (PWD), that payment in lieu of installation is warranted. On all existing local² streets, sidewalks will be required as identified on the Sidewalk Location Map, unless the judgment is made by the Planning and Zoning Commission, with the recommendation of PWD, that payment in lieu of installation is warranted.

Table One

Minimum Standards for Sidewalks					
Roadway Classification	Sidewalk Width (feet)	Concrete	Bituminous or Alternative	One Side	Two Sides
Arterial Street	5	x			x
Collector Street	5	x			x
Local Street	5	x		x	
Rural/Scenic Road	*6-8		x	x	

* based on site conditions

¹ Rev. 1/21/09

² Rev. 1/21/09

Regardless of the general policy and standards recommended in this Plan and contained in Table One above, the location of sidewalks on existing streets shall be based on the Sidewalk Location Map which is a part of this Plan. Sidewalks will be required on all street segments identified as Proposed Sidewalk Extensions, and repairs, if necessary as required by the Town Sidewalk Ordinance (see Appendix A), will be required on all segments identified as existing sidewalk. The Plan may require that sidewalks be built on both sides of an existing local street if it is deemed necessary for pedestrian safety given the proximity to schools, the housing density of the neighborhood, and other factors.

When required on only one side of the street, sidewalks shall be installed on the north and east sides of the roadway to facilitate snow melt and ease of maintenance. While this general standard should always apply, there may be circumstances where the location, width, or material requirements may be waived. Conditions that may warrant a deviation from these standards include the following:

- Infill development in neighborhoods or on streets where the sidewalks should match the dominant pattern on the street or in the neighborhood.
- Physical features of the area including the available right-of-way, grades, rocks/ledge, specimen trees or other important natural features which should be preserved, etc. In these cases the Director of Public Works may recommend, and the Planning and Zoning Commission may approve, alternate locations.

All sidewalks shall be built according to the design and construction standards contained in the Town of Manchester Public Improvement Standards, as amended.

Critical Path Extensions

The Sidewalk Plan has identified the desirable locations for sidewalks throughout the Town of Manchester. Keeping in mind this Plan will be updated every five years, the Plan identifies selected streets as priorities for the extensions of new sidewalks. Criteria for determining these critical path connections include the following:

- The desire to provide safe pedestrian connections to schools, shopping, or transit facilities, with consideration given to the school location, residential density and nature of the streets and traffic.
- The desire to provide safe pedestrian walkways on arterial or collector streets where such pedestrian systems are not now available, in particular highly populated or highly traveled areas.
- The desire to close gaps in sidewalk systems in areas of high pedestrian traffic.

The priority streets identified as part of this Plan are:^{3 4}

- ~~Broad Street from Middle Turnpike West to Hilliard Street~~
- Tolland Turnpike
- Keeney Street from Bush Hill Road north
- Parker Street from East Center Street to Mather Street
- Sheldon Road
- Woodland Street
- Woodbridge Street from Parker Street to Weaver Road
- East Center Street from Goodwin Street to Middle Turnpike East
- Charter Oak Street
- Wyllys Street/Porter Street
- Autumn Street
- Bush Hill Road
- Hilliard Street from Duval Street to Fleming Road

Although these are priority streets for extensions, such extensions are dependent upon the availability of funds and may not be ~~included-completed~~ during the ~~2019-2024-2024-2029~~ planning period. Likewise, other streets may see their sidewalks extended if funding opportunities arise, or if circumstances arise during the planning period that warrant sidewalk extensions on non-priority streets.

Removal of Sidewalks

~~In some circumstances in older residential neighborhoods where there are sidewalks on both sides of the street, it may be desirable to remove sidewalks to meet the current standard of sidewalks on only one side of the street. Removing walks on one side of the street would bring older neighborhoods in line with current practice for local streets. The removal of sidewalks within narrow rights-of-way provides opportunities to create greater separation of pedestrian and vehicular traffic. Selective removal would allow more neighborhood sidewalks to be repaired or replaced over the long term, and the Town's long-term maintenance and liability costs would be reduced. The removal of sidewalks is not generally recommended; however, the Town recognizes that unique circumstances may arise in which removals could be considered. Such instances will be reviewed on a case by case basis.~~

Sidewalk removal projects will be pursued only after an analysis of neighborhood conditions has been completed and public meetings with neighborhood residents have been held. Conditions which may warrant the removal of sidewalks include the following:

- The amount of right-of-way available in the existing public street area.

³ Rev. 1/21/09

Rev.7/6/09

Rev.02/13/14

⁴ Rev. 04/01/19

- The density of housing in the neighborhood. Generally the lower the housing density and the smaller the resident population, the more unlikely sidewalks will be necessary on both sides of the street.
- On streets with low traffic volumes and/or which are not major pedestrian corridors, sidewalks will less likely be necessary on both sides of the street.
- Neighborhoods whose distance from commercial or service uses would generate less pedestrian traffic may not require sidewalks on both sides of the street.
- Neighborhoods with wide rights-of-way, exclusively residential areas and neighborhoods not in proximity to non-residential uses.

Granite Curbing Installation

- Installation of granite curbs shall be required on all new local streets and extensions of existing local streets.
- Granite curbs shall be required on all collector and arterial streets as shown on a Town of Manchester Roadway Classification Map.
- When individual lot development occurs within a developed local street, the type of curb required should be consistent with the predominant material currently existing on that street, as determined by ~~PWD~~DPW.
- When existing roadways and sidewalks are reconstructed on local streets, curbs should be replaced with the predominant curb type that exists within the neighborhood, as determined by PWD.
- On rural/scenic roads, the determination whether to install granite curbs or alternate materials will be based upon such factors as the street grade, stormwater management considerations, and natural features and topography.

Rural/Scenic Roads

Although Manchester is a largely developed community, there are some roads that are, and should remain, rural and scenic in character. These are roads in outlying areas that are mostly identified as ~~natural or rural/agricultural~~conservation sectors on the ~~proposed character map~~Conservation & Growth Map in the Town's Plan of Conservation and Development, ManchesterNEXT. Future development in these areas is anticipated to be at low densities that would not conflict with rural or scenic roads. In these areas a pedestrian path should be provided, but a bituminous or stone dust pedestrian path may be more appropriate than granite curbs and concrete sidewalks.

Good Cause for Payment in Lieu of Installation

~~The~~This Plan identifies desirable locations for sidewalks and curbs⁵ throughout the community. The Plan recognizes that, depending on the amount of Town financial resources available, and the development pattern in various areas, it may not be prudent or practical to install sidewalks and curbs⁶ in all new developments approved during the current five-year planning period. Where the Plan calls for sidewalk and curb installation, but where there is good cause not to install them at the time of the development, payment in lieu of installation shall be required in accordance with the Town Sidewalk Ordinance (see Appendix A).

~~Criteria-Situations in which requirement of payment in lieu of installation may~~to be considered by the Planning and Zoning Commission following a recommendation by the Director of Public Works when requiring payment in lieu of installation would include, but are not ~~be~~-limited to, the following:

- There are no other sidewalks or curbs within a reasonable distance of the area where the sidewalks would be required.
- There are no sidewalks or curbs in the area or on the street where new walks would be otherwise required.
- There is no project funded by the Town that would fill in the gaps that exist in the sidewalk and/or curb system on the street where the development is proposed.
- There are plans in the near term for major street reconstruction which would provide opportunities to fill gaps in the sidewalk and/or curb system, but it would be better to construct the required sidewalks as part of the larger reconstruction project.
- When a sidewalk and or granite curbs are to be located within the right of way of a State road and the State denies a permit for the installation⁷.

R:\Planning\SIDEWALK AND CURB PLAN\Revision - March 2024\DRAFT Sidewalk Plan update 2024.doc

⁵ Rev. 1/21/09

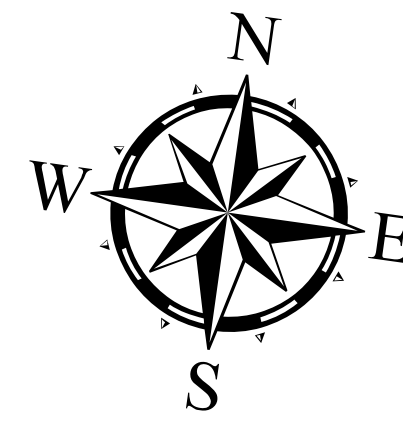
⁶ Rev. 7/06/09

⁷ Rev. 7/06/09



SIDEWALK LOCATION MAP

TOWN OF MANCHESTER SIDEWALK & CURB PLAN



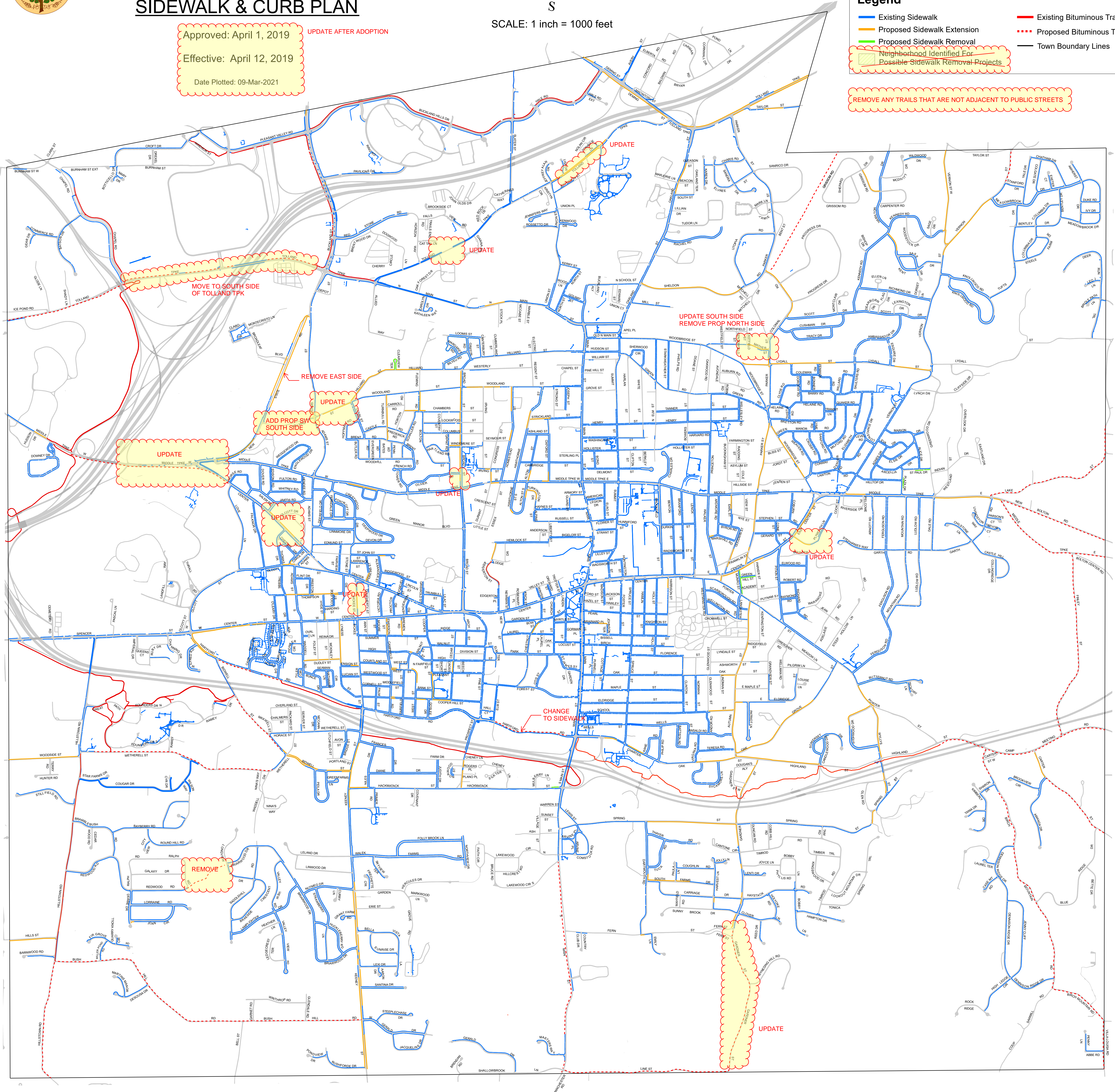
SCALE: 1 inch = 1000 feet

Approved: April 1, 2019 UPDATE AFTER ADOPTION
Effective: April 12, 2019
Date Plotted: 09-Mar-2021

Legend

- Existing Sidewalk (Blue line)
- Proposed Sidewalk Extension (Yellow line)
- Proposed Sidewalk Removal (Green line)
- Neighborhood Identified For Possible Sidewalk Removal Projects (Yellow shaded area)
- Existing Bituminous Trail/Bike Lane (Red line)
- Proposed Bituminous Trail/Bike Lane (Red dashed line)
- Town Boundary Lines (Black dashed line)

REMOVE ANY TRAILS THAT ARE NOT ADJACENT TO PUBLIC STREETS



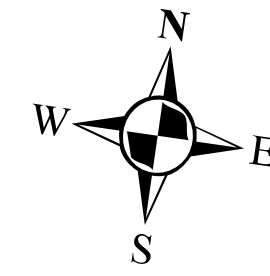


ROADWAY CLASSIFICATION MAP

TOWN OF MANCHESTER SIDEWALK & CURB PLAN

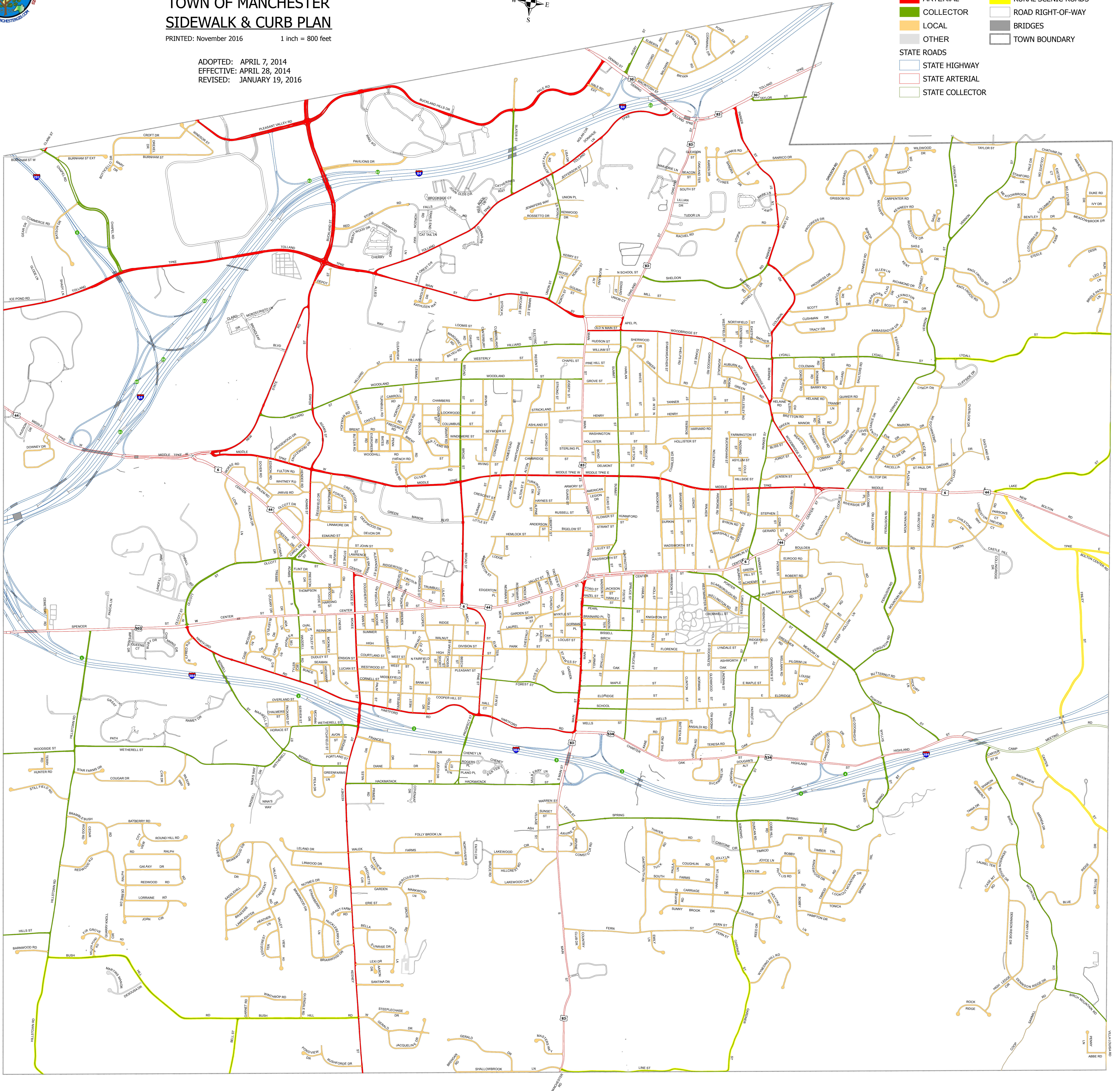
PRINTED: November 2016 1 inch = 800 feet

ADOPTED: APRIL 7, 2014
EFFECTIVE: APRIL 28, 2014
REVISED: JANUARY 19, 2016



LEGEND

- █ ARTERIAL
- █ COLLECTOR
- █ LOCAL
- █ OTHER
- █ STATE HIGHWAY
- █ STATE ARTERIAL
- █ STATE COLLECTOR
- █ RURAL-SCENIC ROADS
- █ ROAD RIGHT-OF-WAY
- █ BRIDGES
- █ TOWN BOUNDARY



**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: David Laiuppa, Environmental Planner/Wetlands Agent DL

DATE: March 27, 2024

RE: Town of Manchester Public Works Dept. – 30 Charter Oak Street
Inland Wetlands Permit Determination of Significance (IWP-0003-2024)

Introduction

The applicant is requesting approval of a wetland permit for the expansion of Charter Oak Park with the construction of a 390' x 240' synthetic turf playing field, a combination skate park/pump track and associated 74-stall parking lot at 30 Charter Oak Street. A portion of this project is in the upland review area of Hop Brook.

Project Description

The Town of Manchester Department of Public Works proposes to expand Charter Oak Park with the construction of a 390' x 240' synthetic turf playing field, a combination skate park/pump track and associated 74-stall parking lot at 30 Charter Oak Street. 30 Charter Oak Street is a Town-owned parcel that is bordered to the north by Charter Oak Street (State Route 534), to the east by the Interstate 384 Exit 3 Westbound ramps, to the south by the Charter Oak Greenway and Hop Brook and to the west by South Main Street (State Route 83). The 7.4 acre site is zoned Residence AA and currently used for municipal soccer fields. There is no parking on site. The Charter Oak Greenway, a 10' wide bituminous concrete shared use path, runs southerly and westerly of the existing fields.

The proposed project includes the following:

- Construction of a 390' x 240' synthetic turf playing field;
- Construction of turf field amenities, including bleachers, scoreboard, benches, etc.;
- Construction of a 74-stall parking lot with new curb cut on Charter Oak Street;
- Construction of a 42' x 16' concrete block utility and storage building;
- Installation of site and field LED lighting;
- Construction of a combination skate park/pump track.

Inland Wetlands Permit

It is estimated that the project will disturb approximately 4.2 acres of the 7.4-acre site. No work is proposed within the wetlands. Approximately 0.77 acres of disturbance is proposed within the 100' regulated upland review area.

Control measures will include installation of silt fence along the southern project limits downgrade of the proposed construction. Further installation of silt fencing and/or silt sacks will be as needed at the direction of the Engineer. All sedimentation and erosion control devices will be installed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control prior to the start of construction and maintained or replaced by the Contractor.

The total proposed area of **direct disturbance within the upland review area is 0.77 acres.**

[NOTE: This number is provided by the applicant.]

Determination of Significance

The Inland Wetlands Agency is required to make a determination of the significance of the impact of the proposed activities on the wetlands, watercourses, and/or water bodies. In making its determination, the Agency should be guided by the definition of "Significant Impact Activity" as found in the Inland Wetlands and Watercourses Regulations, which means any activity including, but not limited to, the following activities which may have a major effect or significant impact:

- a. Any activity involving a deposition or removal of material which will or may have a substantial effect on the wetland or watercourse or on wetlands or watercourses outside the area for which the activity is proposed; or
- b. Any activity which substantially changes the natural channel or may inhibit the natural dynamics of a watercourse system; or
- c. Any activity which substantially diminishes the natural capacity of an inland wetland or watercourse to support aquatic, plant or animal life, prevent flooding, supply water, assimilate waste, facilitate drainage, provide recreation or open space or perform other functions; or
- d. Any activity which is likely to cause or has the potential to cause substantial turbidity, siltation or sedimentation in a wetland or watercourse; or
- e. Any activity which causes a substantial diminution of flow of a natural watercourse or groundwater levels of the wetland or watercourse; or
- f. Any activity which is likely to cause or has the potential to cause pollution of a wetland or watercourse; or
- g. Any activity which damages or destroys unique wetland or watercourse areas or such areas having demonstrable scientific or educational value.

If the Agency finds the proposed activity may have a significant impact on the wetlands, a public hearing is required. A public hearing shall also be held if either 1) a petition signed by at least

twenty-five persons who are eighteen years of age or older and who reside in the municipality is filed no later than fourteen days after the receipt of such application, or 2) the Agency finds that a public hearing regarding such application would be in the public interest. Should the Agency find that none of the above circumstances applies to the application, then no public hearing is required.

Staff Review

Town staff is still reviewing the materials submitted with this application. Any outstanding comments will be provided to the Agency during the final decision meeting.

dl/kw

R:\Planning\PZC\2024\04 - April 01\Packet\IWP-0003-2024 (30 Charter Oak) - memo.docx

Attach.

Town of Manchester, CT



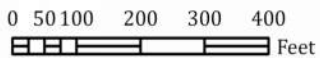
Geographic Information Systems 30 CHARTER OAK STREET

Legend

-  Overlay Zone
- Zoning**
-  AA - Residence AA
-  B3 - Business III
-  CBD - Central Business District
-  H - Historic
-  NB - Neighborhood Business
-  PRD - Planned Residence Development
-  RB - Residence B
-  RR - Rural Residence

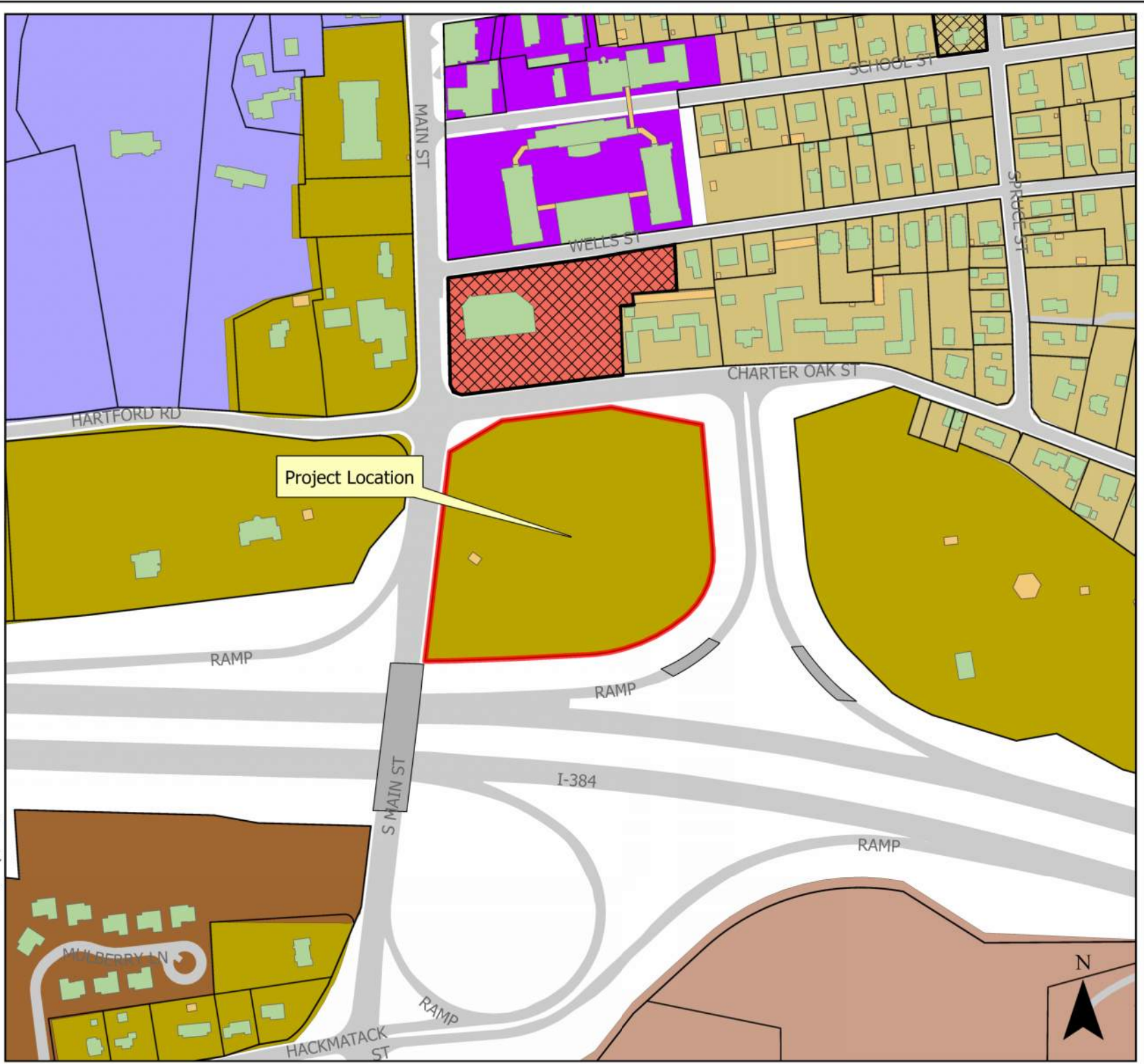
DISCLAIMER:
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

NOTES:
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.



1 inch = 300 ft

Date: 3/28/2024



PROJECT NARRATIVE
FOR
CHARTER OAK PARK WEST

March 15, 2024

by

Jeff LaMalva, P.E.,
Town Engineer



Town of Manchester
Department of Public Works
Engineering Division

INLAND WETLANDS AND EROSION & SEDIMENTATION CONTROL PERMIT: APPLICATION SUPPLEMENT

PROPOSED PROJECT INFORMATION:

The Town of Manchester Department of Public Works proposes to expand Charter Oak Park with the construction of a 390' x 240' synthetic turf playing field, a combination skate park/pump track and associated 74-stall parking lot at 30 Charter Oak Street.

EXISTING CONDITIONS:

30 Charter Oak Street is a Town owned parcel that is bordered to the north by Charter Oak Street (State Route 534), to the east by the Interstate 384 Exit 3 Westbound ramps, to the south by the Charter Oak Greenway and Hop Brook and to the west by South Main Street (State Route 83). The 7.4 acre site is zoned Residence AA and currently used for municipal soccer fields. There is no parking on site. The Charter Oak Greenway, a 10' wide bituminous concrete shared use path, runs southerly and westerly of the existing fields. The site is not located within an aquifer protection area. A preliminary screening through the Natural Diversity Database (NDDDB) indicated no critical habitats have been documented in close proximity to the site.

SCOPE OF WORK:

The project primarily includes the following work:

- Construction of a 390' x 240' synthetic turf playing field;
- Construction of turf field amenities, including bleachers, scoreboard, benches, etc.;
- Construction of a 74-stall parking lot with new curb cut on Charter Oak Street;
- Construction of a 42' x 16' concrete block utility and storage building;
- Installation of site and field LED lighting;
- Construction of a combination skate park/pump track;

TRAFFIC STATEMENT:

The project is not expected to have a significant impact on traffic. The proposed curb cut has been reviewed and approved by the State of Connecticut Department of Transportation.

UTILITY STATEMENT:

The project includes the installation of a new electric service and a new water service coming off of Charter Oak Street. There is an existing sanitary sewer main that traverses the site. A new sanitary sewer service for the utility building is proposed that will connect to the existing main. Other than the resetting of manhole frames to grade, there are no expected impacts to the existing utility.

PLANS:

The following plan is included as part of the submission:

1. Charter Oak Park West, Inland Wetlands and Erosion and Sedimentation Control Permit, dated March 2024, prepared by Town of Manchester Public Works Department Engineering Division

EROSION & SEDIMENTATION CONTROL:

Control measures will include installation of silt fence along the southern project limits downgrade of the proposed construction. Further installation of silt fencing and/or silt sacks will be as needed at the direction of the Engineer. All sedimentation and erosion control devices will be installed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control prior to the start of construction and maintained or replaced by the Contractor.

DISTRUBANCES:

The overall total site disturbance is approximately 4.2 acres. Approximately 33,500 sf, or 0.77 acres of the overall disturbance is located within the 100' upland review area. No work is proposed within the wetlands.

STORMWATER MANAGEMENT:

The proposed project will increase the site's impervious area coverage by approximately 0.75 acres. The project includes the construction of a hydrodynamic separator at the southwest corner of the site designed to treat the runoff from the parking lot and synthetic turf field before discharging into an existing storm drainage outfall pipe that discharges to Hop Brook. Per the Town's Public Improvement Standards, stormwater detention is not required due to the close proximity to the watercourse.

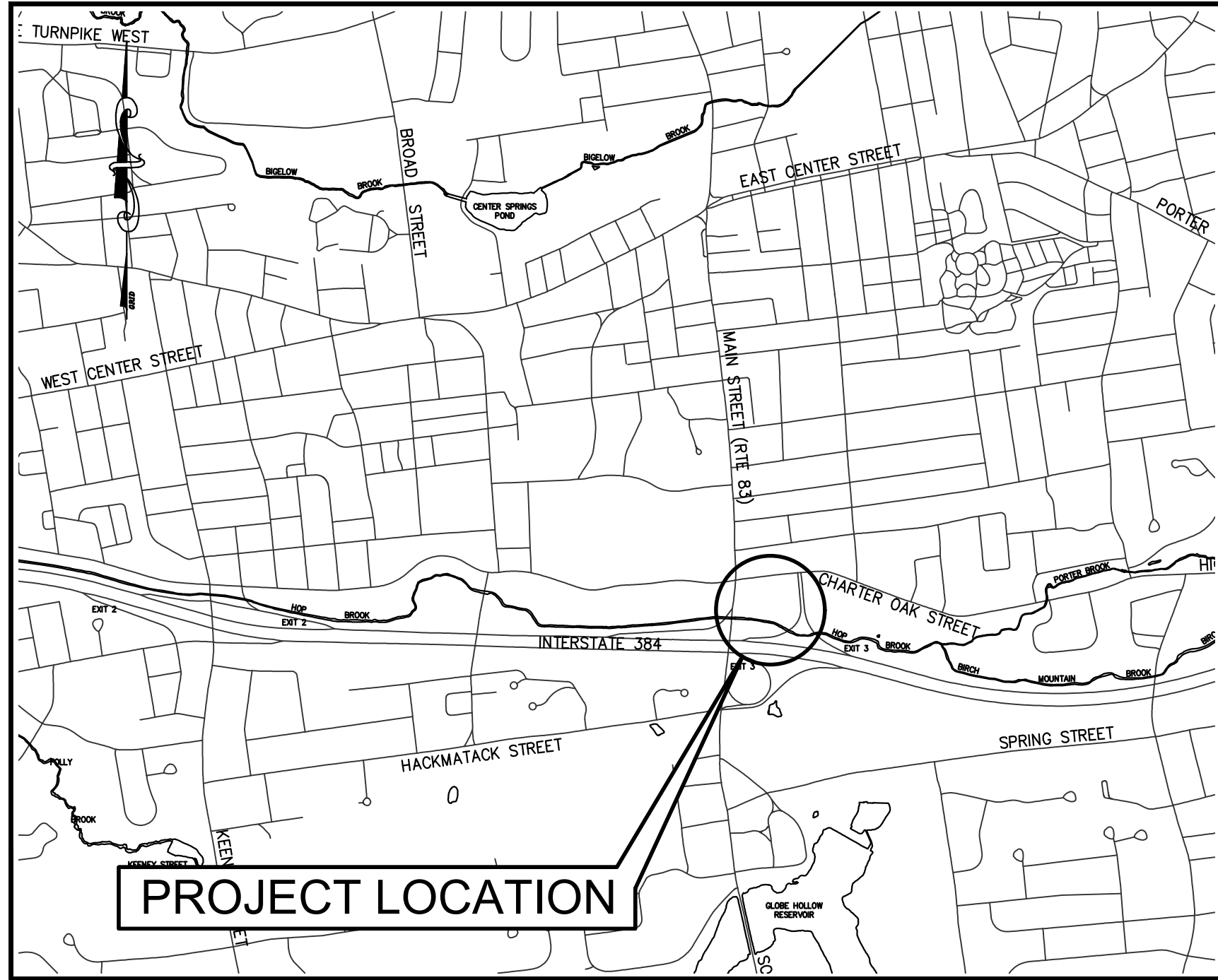
PROJECT SCHEDULE:

The project will be constructed in two phases. The first phase, which includes the synthetic turf field, utility building and parking lot is anticipated to commence this summer and take approximately six months to complete. The second phase, which includes the construction of the skate park/pump track will be completed in 2025.

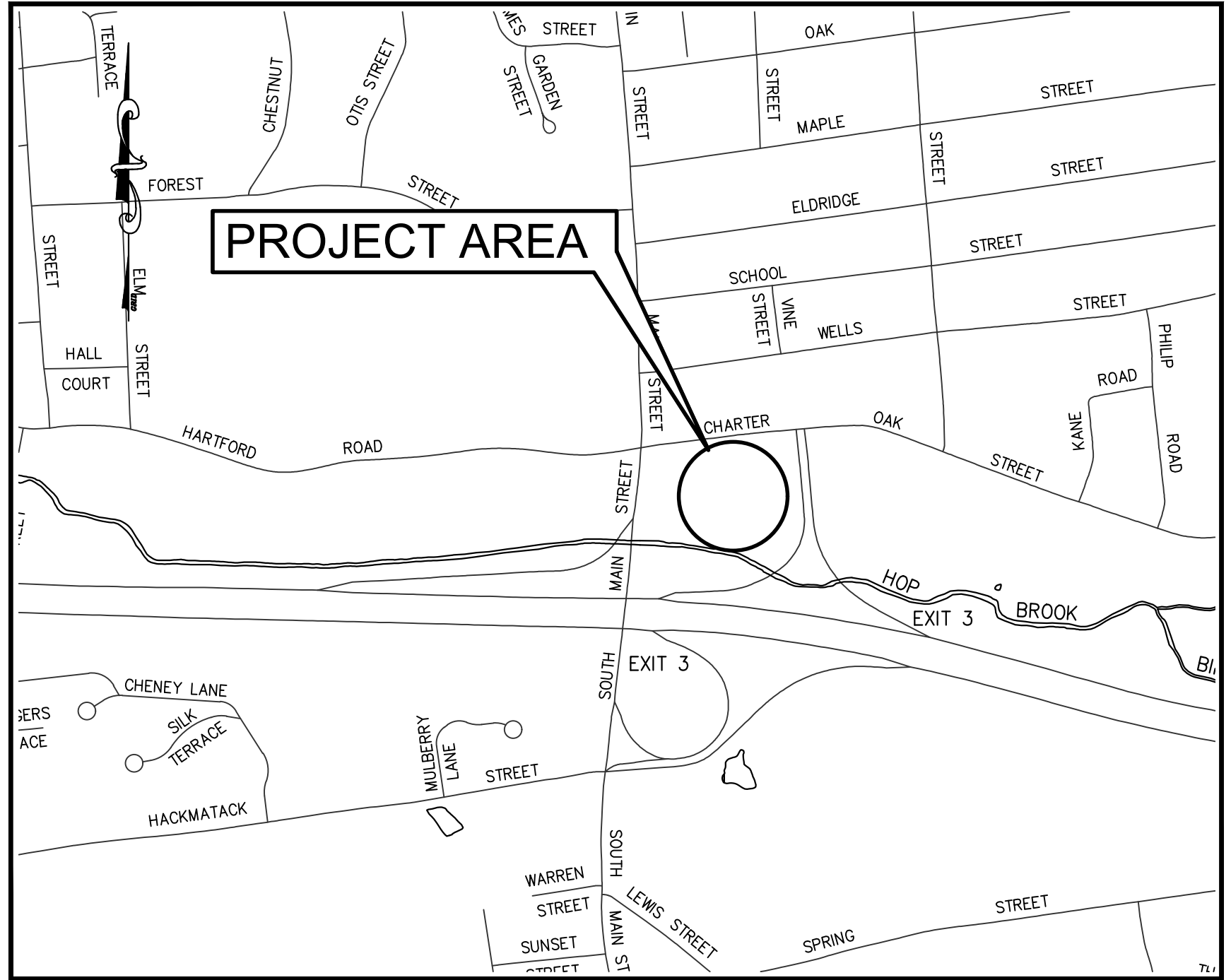
TOWN OF MANCHESTER

PUBLIC WORKS DEPARTMENT

ENGINEERING DIVISION



LOCATION MAP
1" = 1500'



SITE MAP
1" = 600'

PARK IMPROVEMENTS

CHARTER OAK PARK WEST

INLAND WETLANDS PERMIT

EROSION AND SEDIMENTATION CONTROL PERMIT

MARCH 2024

LIST OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE LAYOUT PLAN
3	UTILITY PLAN
4	GRADING PLAN
5	PAVEMENT MARKINGS AND SIGNING PLAN
6	TURF ESTABLISHMENT AND EROSION CONTROL PLAN
7	FIELD MARKING PLAN
8	UTILITY BUILDING PLAN
9-15	DETAILS
16	EXISTING CONDITIONS PLAN

DESIGN STANDARD : TOWN OF MANCHESTER PUBLIC IMPROVEMENT STANDARDS, EFFECTIVE DATE OCTOBER 31, 2020, AS AMENDED

DATUMS : HORIZONTAL DATUM: TOWN OF MANCHESTER CONTROL NETWORK (NAD83 AS ESTABLISHED IN 1998)
VERTICAL DATUM: TOWN OF MANCHESTER CONTROL NETWORK (NAVD88 USING GEOID 96)

STANDARD SPECIFICATIONS : SEE CONTRACT DOCUMENTS

DESIGN SCALES : PLAN: 1" = 30'
OTHER SCALES AS NOTED

DESIGNED BY:
TOWN OF MANCHESTER
ENGINEERING DIVISION

JEFF LAMALVA
TOWN ENGINEER
P.E. NO. 20967



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

--- WETLANDS BOUNDARY	☆ LIGHT POLE
--- RETAINING WALL	⊗ CONIFEROUS TREE
--- CURB WALL	⊗ DEODOROUS TREE
--- STONE WALL	⊗ SANITARY MANHOLE
--- STOCKADE FENCE	⊗ DRAINAGE MANHOLE
--- WIRE FENCE	⊗ CATCH BASIN
--- CHAIN LINK FENCE	⊗ CULVERT END
--- PROPERTY LINE	⊗ HYDRANT
--- RAILROAD TRACKS	⊗ CURB STOP
--- SILT FENCE	⊗ WATER VALVE
--- CONCRETE MONUMENT	⊗ BUTTERFLY VALVE
--- GRANITE MONUMENT	⊗ BLOW OFF
--- IRON PIPE	⊗ SIGN
--- IRON ROD	⊗ DOUBLE POST SIGN
--- CONTROL POINT	⊗ MAIL BOX
--- DRILL HOLE	⊗ ROLLBAR
--- UTILITY POLE	⊗ GAS GATE
--- UTILITY POLE WITH LIGHT	⊗ CONTROLLER CABINET
--- TRAFFIC SPAN POLE	⊗ TELEPHONE BOX
--- ELECTRIC BOX	⊗ CATV TUBE
--- WETLAND FLAG	

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
-	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

DRAWING SCALE
HORIZONTAL: 1" = 30'
VERTICAL: ---
OR AS NOTED
30 15 0 30
GRAPHIC SCALE

DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

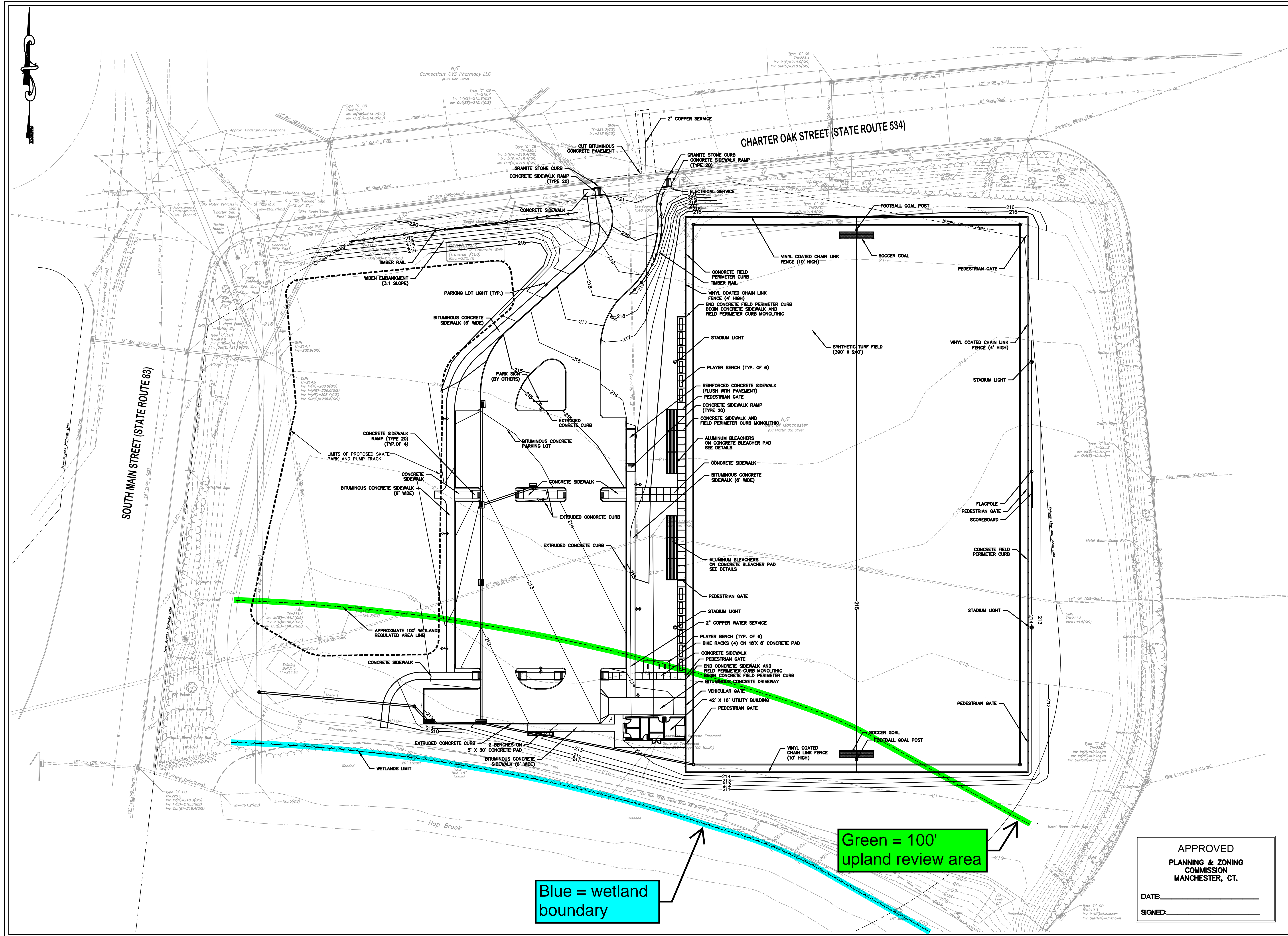
SHEET TITLE
SITE PLAN

SHEET NUMBER
2 of 16

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____

Blue = wetland boundary

Green = 100' upland review area





TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

--- WETLANDS BOUNDARY	☆ LIGHT POLE
--- RETAINING WALL	⊛ CONIFEROUS TREE
--- CURB WALL	⊛ DEODOROUS TREE
--- STONE WALL	⊛ SANITARY MANHOLE
--- STOCKADE FENCE	⊛ DRAINAGE MANHOLE
--- WIRE FENCE	⊛ CATCH BASIN
--- CHAIN LINK FENCE	⊛ CULVERT END
--- PROPERTY LINE	⊛ HYDRANT
--- RAILROAD TRACKS	⊛ CURB STOP
--- SILT FENCE	⊛ WATER VALVE
--- CONCRETE MONUMENT	⊛ BUTTERFLY VALVE
--- GRANITE MONUMENT	⊛ BLOW OFF
--- IRON PIPE	⊛ SIGN
--- IRON ROD	⊛ DOUBLE POST SIGN
--- CONTROL POINT	⊛ MAIL BOX
--- DRILL HOLE	⊛ BOLLARD
--- UTILITY POLE	⊛ CONTROLLER CABINET
--- UTILITY POLE WITH LIGHT	⊛ GAS GATE
--- ELECTRIC BOX	⊛ TELEPHONE BOX
--- WETLAND FLAG	⊛ CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
-	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

DRAWING SCALE
HORIZONTAL: 1" = 30' VERTICAL: ---
OR AS NOTED
30 15 0 30
GRAPHIC SCALE

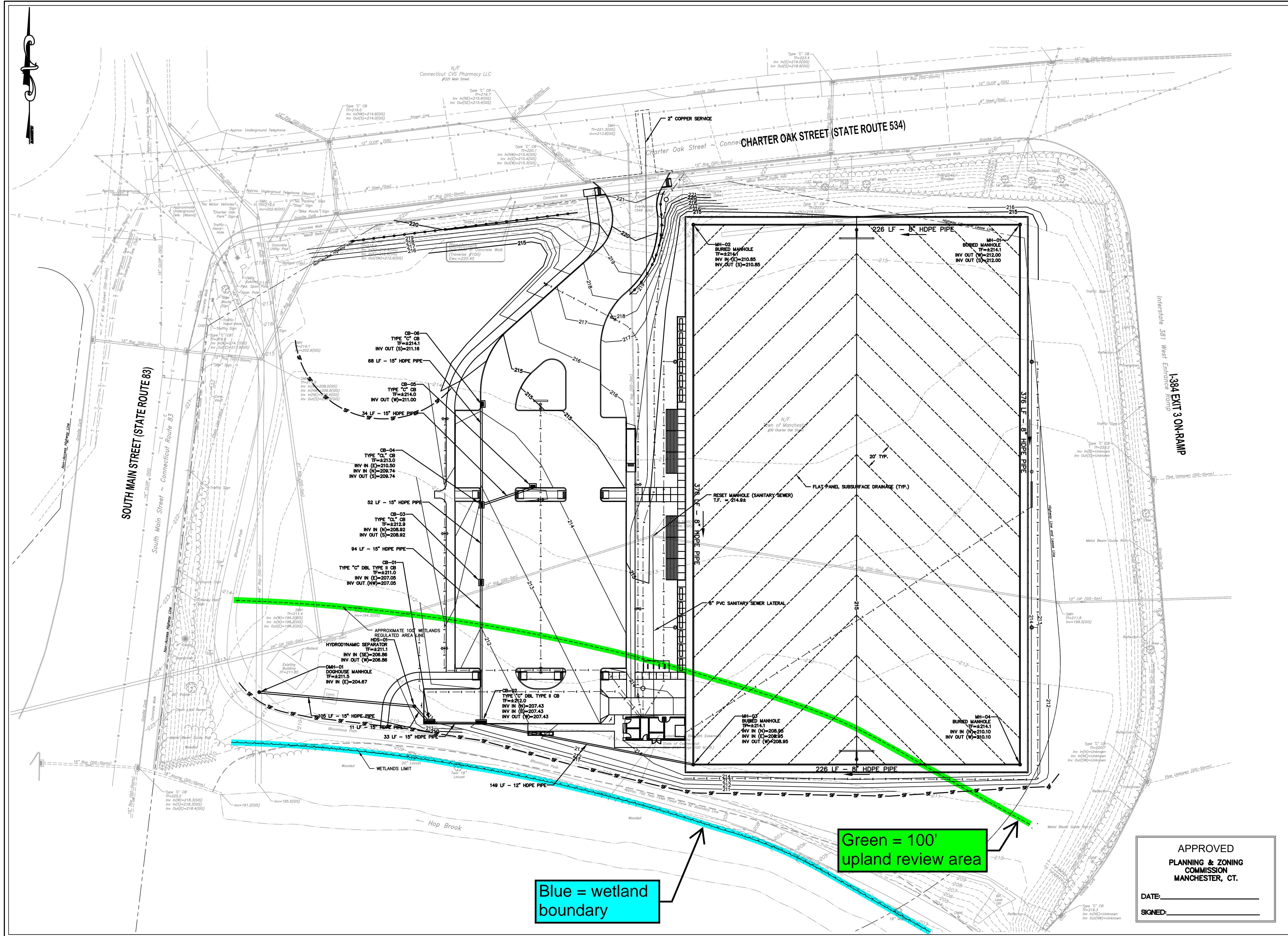
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
UTILITY PLAN

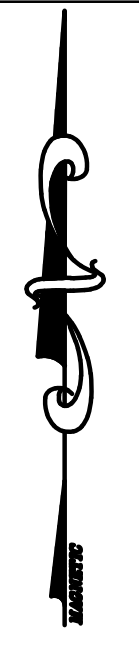
SHEET NUMBER
3 of 16



Blue = wetland boundary

Green = 100' upland review area

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

--- WETLANDS BOUNDARY	☆ LIGHT POLE
--- RETAINING WALL	⊛ CONIFEROUS TREE
--- QUICE WALL	⊛ DEODOROUS TREE
--- STONE WALL	⊛ SANITARY MANHOLE
--- STOCKADE FENCE	⊛ DRAINAGE MANHOLE
--- WIRE FENCE	⊛ CATCH BASIN
--- CHAIN LINK FENCE	⊛ CULVERT END
--- PROPERTY LINE	⊛ HYDRANT
--- RAILROAD TRACKS	⊛ CURB STOP
--- SILT FENCE	⊛ WATER VALVE
⊛ CONCRETE MONUMENT	⊛ BUTTERFLY VALVE
⊛ GRANITE MONUMENT	⊛ BLOW OFF
⊛ IRON PIPE	⊛ SIGN
⊛ IRON ROD	⊛ DOUBLE POST SIGN
⊛ CONTROL POINT	⊛ MAIL BOX
⊛ DRILL HOLE	⊛ BOLLARD
⊛ UTILITY POLE	⊛ CONTROLLER CABINET
⊛ UTILITY POLE WITH LIGHT	⊛ GAS GATE
⊛ TRAFFIC SPAN POLE	⊛ TELEPHONE BOX
⊛ ELECING BOX	⊛ CATV TUBE
⊛ WETLAND FLAG	

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
-	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

DRAWING SCALE
HORIZONTAL: 1" = 30' VERTICAL: ---
OR AS NOTED
30 15 0 30
GRAPHIC SCALE

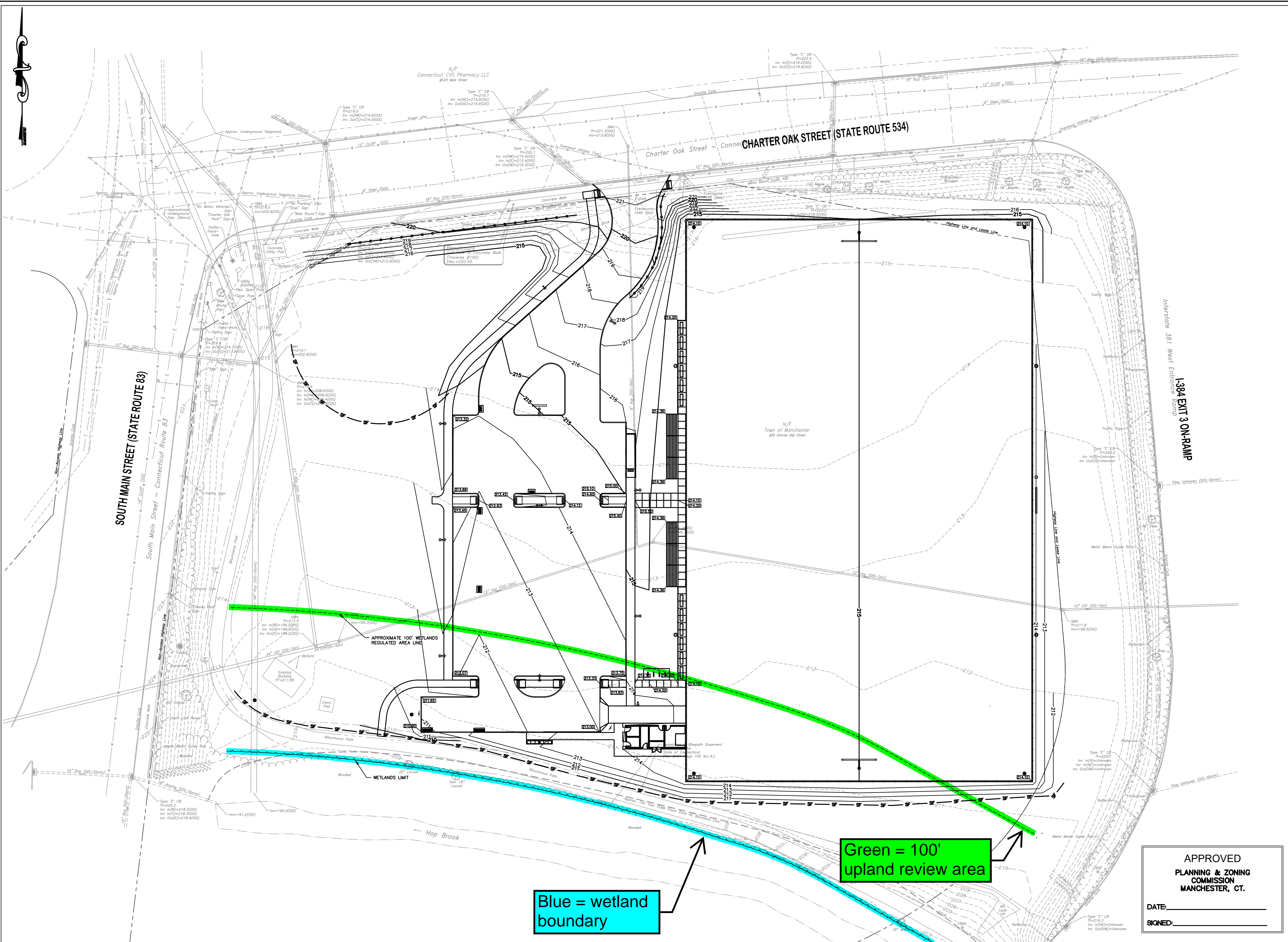
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
GRADING PLAN

SHEET NUMBER
4 of 16



Blue = wetland boundary

Green = 100' upland review area

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

--- WETLANDS BOUNDARY	☆ LIGHT POLE
--- RETAINING WALL	⊗ CONIFEROUS TREE
--- QUOTE WALL	⊗ DEODOROUS TREE
--- STONE WALL	⊗ SANITARY MANHOLE
--- STOCKADE FENCE	⊗ DRAINAGE MANHOLE
--- WIRE FENCE	⊗ CATCH BASIN
--- CHAIN LINK FENCE	⊗ CULVERT END
--- PROPERTY LINE	⊗ HYDRANT
--- RAILROAD TRACKS	⊗ CURB STOP
--- SILT FENCE	⊗ WATER VALVE
⊠ CONCRETE MONUMENT	⊗ BUTTERFLY VALVE
⊠ GRANITE MONUMENT	⊗ BLOW OFF
⊠ IRON PIPE	⊗ SIGN
⊠ IRON ROD	⊗ DOUBLE POST SIGN
⊠ CONTROL POINT	⊗ MAIL BOX
⊠ DRILL HOLE	⊗ BOLLARD
⊠ UTILITY POLE	⊗ CONTROLLER CABINET
⊠ UTILITY POLE WITH LIGHT	⊗ GAS GATE
⊠ TRAFFIC SPAN POLE	⊗ TELEPHONE BOX
⊠ ELECTRIC BOX	⊗ CATV TUBE
⊠ WETLAND FLAG	

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
-	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

DRAWING SCALE
HORIZONTAL: 1" = 30' VERTICAL: ---
OR AS NOTED
30 15 0 30
GRAPHIC SCALE

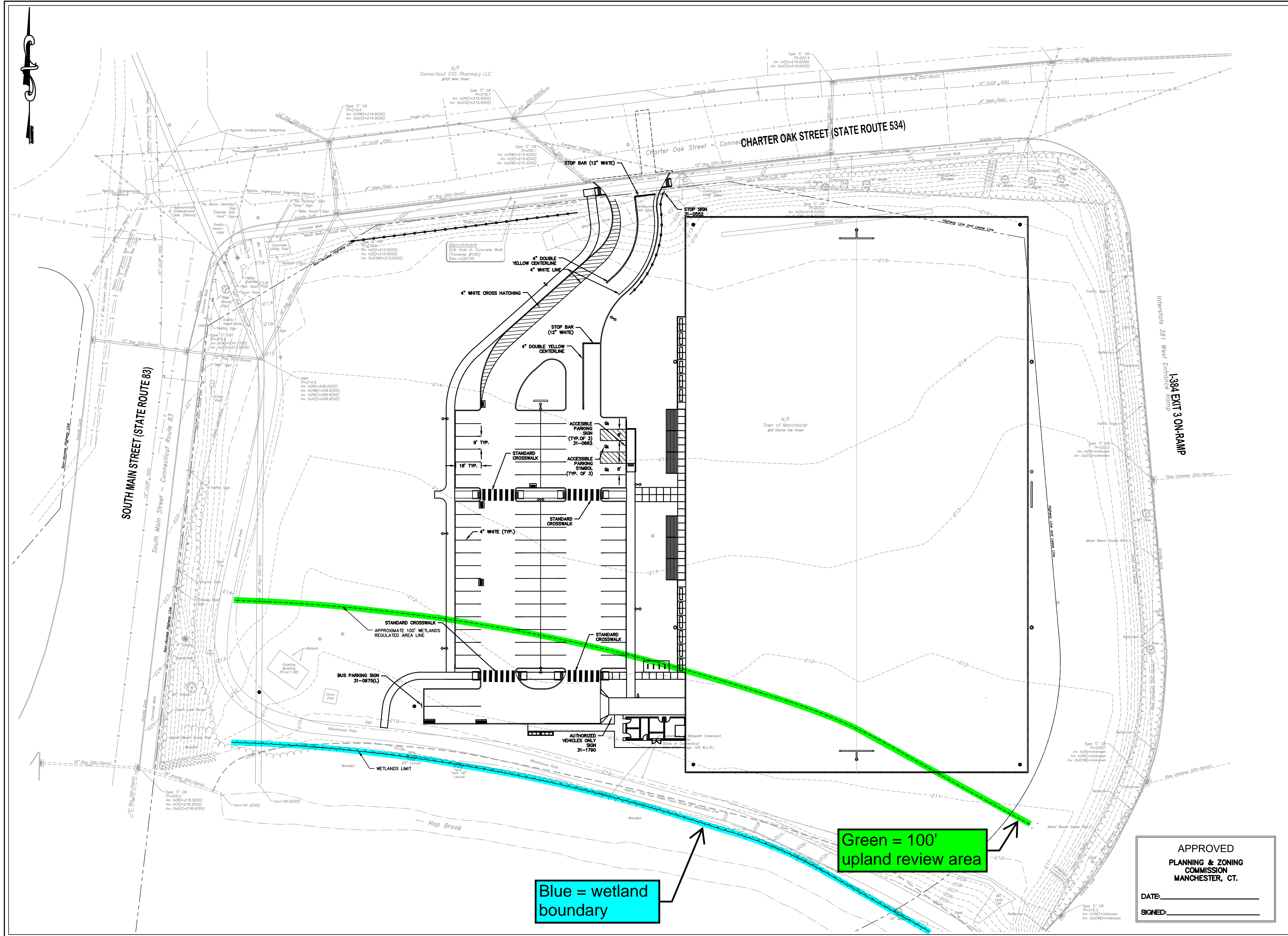
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
**PAVEMENT MARKING
AND SIGNING PLAN**

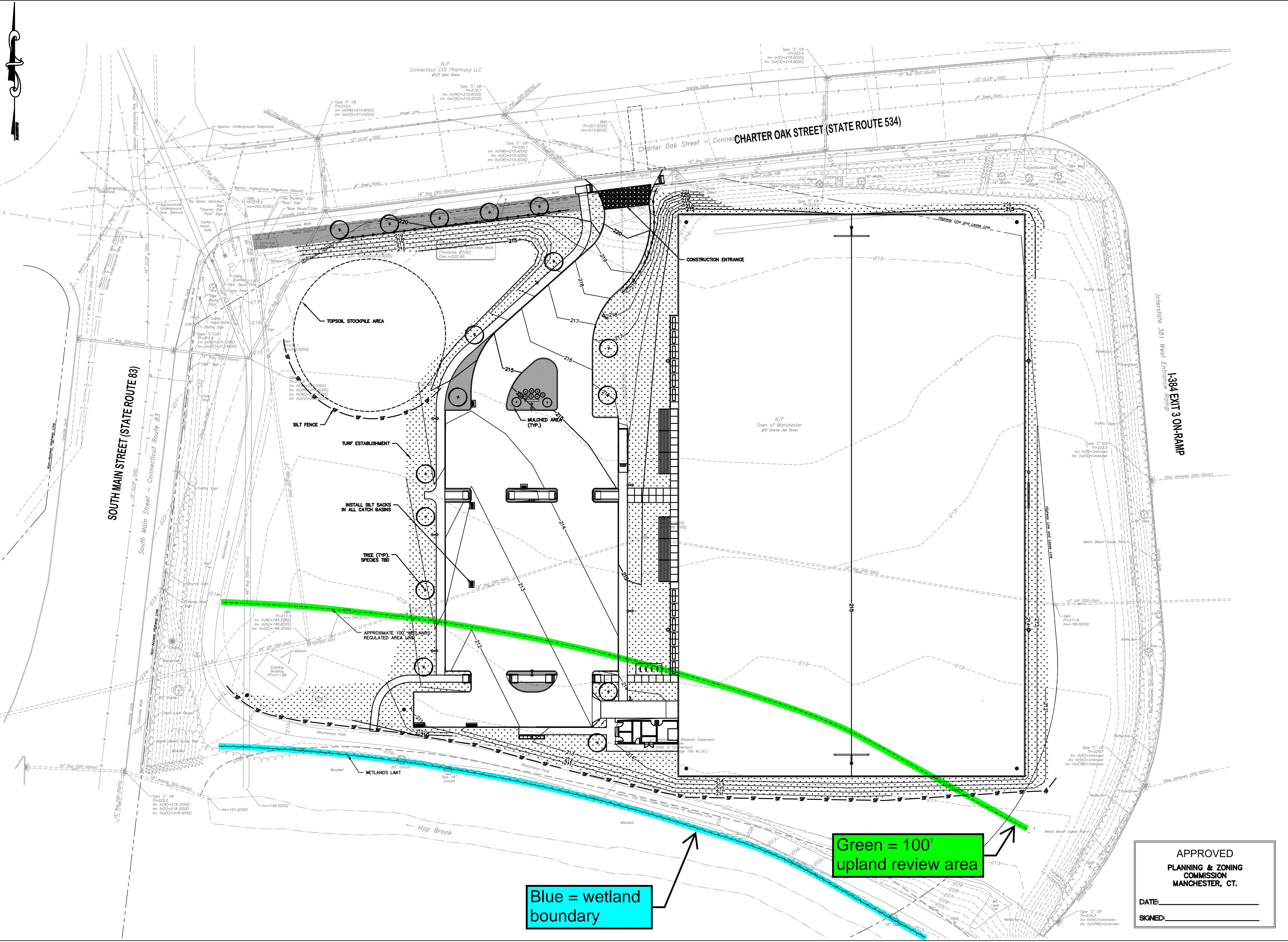
SHEET NUMBER
5 of 16



Blue = wetland boundary

Green = 100' upland review area

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



Blue = wetland boundary

Green = 100' upland review area

APPROVED
 PLANNING & ZONING
 COMMISSION
 MANCHESTER, CT.
 DATE: _____
 SIGNED: _____



TOWN OF MANCHESTER
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DIVISION
 494 MAIN STREET - P.O. BOX 191
 MANCHESTER, CT 06045-0191

LEGEND

--- WETLAND BOUNDARY	☆ LIGHT POLE
--- RETAINING WALL	⊗ CONIFEROUS TREE
--- CURB WALL	⊗ DEODOROUS TREE
--- STOCKPILE FENCE	⊗ SANITARY MANHOLE
--- WIRE FENCE	⊗ DRAINAGE MANHOLE
--- CHAIN LINK FENCE	⊗ CATCH BASIN
--- PROPERTY LINE	⊗ OULVERT END
--- RAILROAD TRACKS	⊗ HYDRANT
--- SILT FENCE	⊗ CURB STOP
⊗ CONCRETE MONUMENT	⊗ WATER VALVE
⊗ GRANITE MONUMENT	⊗ BUTTERFLY VALVE
⊗ IRON PIPE	⊗ BLOW OFF
⊗ IRON ROD	⊗ SIGN
⊗ CONTROL POINT	⊗ DOUBLE POST SIGN
⊗ DRILL HOLE	⊗ MAIL BOX
⊗ UTILITY POLE	⊗ BOLLARD
⊗ UTILITY POLE WITH LIGHT	⊗ CONTROLLER CABINET
⊗ TRAFFIC SPAN POLE	⊗ GAS GATE
⊗ ELECTRIC BOX	⊗ TELEPHONE BOX
⊗ WETLAND FLAG	⊗ CATV TUBE

PROJECT NUMBER
 2021078

FILENAME
 2021078-PLAN-PZC.DWG

NO.	DATE	FILE
-	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
 CHECKED BY: JL
 RELEASED BY: TB

DRAWING SCALE
 HORIZONTAL: 1" = 30' VERTICAL: ---
 OR AS NOTED
 30 15 0 30
 GRAPHIC SCALE

DATUM
 HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
 CHARTER OAK STREET
 MANCHESTER, CT

PROJECT TITLE
 PARK IMPROVEMENTS
 CHARTER OAK WEST

SHEET TITLE
 TURF ESTABLISHMENT &
 EROSION/SEDIMENTATION
 CONTROL PLAN

SHEET NUMBER
 6 of 16



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

- - -	WETLANDS BOUNDARY	☆	LIGHT POLE
- - -	RETAINING WALL	⊗	CONIFEROUS TREE
—	STONE WALL	⊙	DECIDUOUS TREE
—	STOCKADE FENCE	⊕	SANITARY MANHOLE
—	WIRE FENCE	⊖	DRAINAGE MANHOLE
—	CHAIN LINK FENCE	⊗	CATCH BASIN
—	PROPERTY LINE	⊗	CULVERT END
—	RAILROAD TRACKS	⊗	HYDRANT
—	SILT FENCE	⊗	CURB STOP
□	CONCRETE MONUMENT	⊗	WATER VALVE
○	IRON PIPE	⊗	BUTTERFLY VALVE
○	IRON ROD	⊗	BLOW OFF
△	CONTROL POINT	⊗	SIGN
○	DRILL HOLE	⊗	DOUBLE POST SIGN
○	UTILITY POLE	⊗	MAIL BOX
⊗	UTILITY POLE WITH LIGHT	⊗	BOLLARD
⊗	TRAFFIC SPAN POLE	⊗	CONTROLLER CABINET
⊗	ELECTRIC BOX	⊗	GAS GATE
⊗	WETLAND FLAG	⊗	TELEPHONE BOX
⊗		⊗	CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
-	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

DRAWING SCALE
HORIZONTAL: 1" = 20'
VERTICAL: ---
OR AS NOTED
20 10 0 20
GRAPHIC SCALE

DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

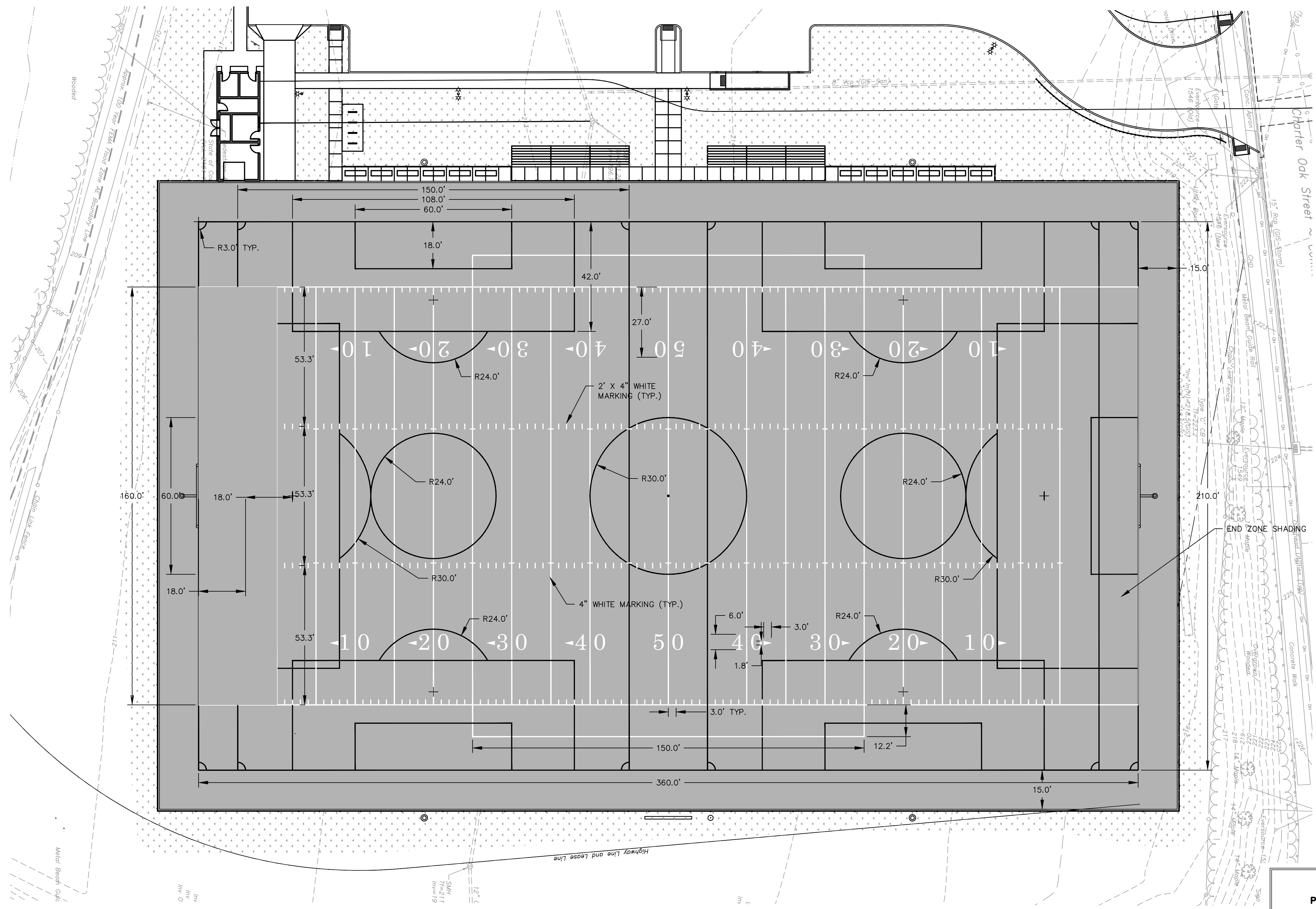
PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
**FIELD MARKINGS
PLAN**

SHEET NUMBER
7 of 16

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____





TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

- - -	WETLAND BOUNDARY	☆	LIGHT POLE
- - -	RETAINING WALL	⊗	CONIFEROUS TREE
- - -	GRADE WALL	⊙	DECIDUOUS TREE
- - -	STONE WALL	⊕	SANITARY MANHOLE
- - -	STOCKADE FENCE	⊖	DRAINAGE MANHOLE
- - -	WIRE FENCE	⊗	CATCH BASIN
- - -	CHAIN LINK FENCE	⊙	CULVERT END
- - -	PROPERTY LINE	⊕	HYDRANT
- - -	RAILROAD TRACKS	⊖	CURB STOP
- - -	SILT FENCE	⊗	WATER VALVE
□	CONCRETE MONUMENT	⊕	BUTTERFLY VALVE
○	IRON PIPE	⊖	BLOW OFF
●	IRON ROD	⊗	SIGN
△	CONTROL POINT	⊕	DOUBLE POST SIGN
○	DRILL HOLE	⊖	MAL. BOX
⊕	UTILITY POLE	⊗	BOLLARD
⊖	UTILITY POLE WITH LIGHT	⊕	GAS GATE
⊗	ELECTRIC BOX	⊖	TELEPHONE BOX
⊕	WETLAND FLAG	⊗	CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
-	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

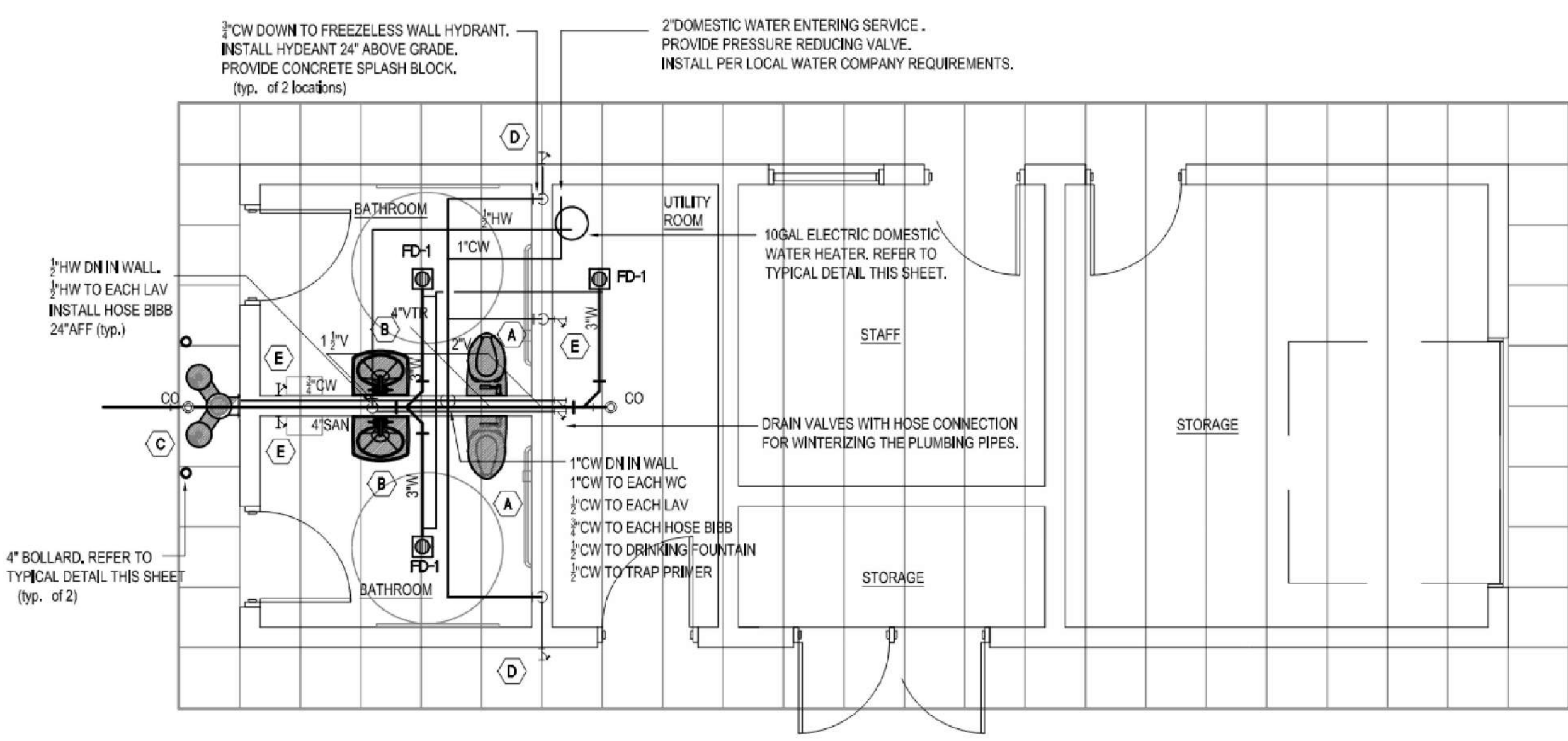
PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
**UTILITY BUILDING
PLAN**

SHEET NUMBER
8 of 16

PLUMBING SYMBOL LIST

SYMBOL	ABBREY.	DESCRIPTION
—	CW	COLD WATER
—	HW	HOT WATER
—	V	VENT
—SAN—	SAN or W	SANITARY OR WASTE ABOVE SLAB/FLOOR
—SAN—	SAN or W	SANITARY OR WASTE BELOW SLAB/FLOOR
—		SHUT-OFF VALVE
—		RISER DOWN
—		RISER UP
—		TEE DOWN
—		PIPE CAP
—		FITCH DOWN IN DIRECTION OF ARROW
—		FLOW IN DIRECTION OF ARROW
⊕	FD	FLOOR DRAIN WITH P-TRAP
⊖	CO	FLOOR CLEAN OUT
WCO	WCO	WALL CLEAN OUT



PLUMBING PLAN

- GENERAL NOTES:**
- DRAWINGS ARE DIAGNOSTIC AND SHOW GENERAL INTENT OF WORK. ALL CONTRACTORS MUST COORDINATE WITH OTHER TRADES OTHER TRADES BEFORE PROCEEDING WITH ANY WORK.
 - THE CONTRACTOR SHALL COORDINATE THE ROUTING AND INSTALLATION OF PLUMBING SYSTEMS TO AVOID CONFLICTS.
 - THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH CONDITIONS PRIOR TO SUBMITTING HIS BID.
 - INSTALL ALL HANDICAP ACCESSIBLE FIXTURES IN ACCORDANCE WITH ADA, UFAS AND ANSI REQUIREMENTS.
 - ALL WASTE PIPE 3" AND LARGER SHALL HAVE A FITCH OF 1/8" PER FT.
 - ALL UNDER SLAB DRAINAGE PIPING SHALL BE IN PVC.
 - MINIMUM SIZE FOR ALL UNDER SLAB DRAINAGE PIPING SHALL BE 3 INCH.
 - PROVIDE ESCUTCHEON PLATE @ ALL WALL/CILING PENETRATIONS.
 - THIS CONTRACTOR SHALL PROVIDE CLEANOUTS WITH COVER (ACCESS DOORS) ON WASTE STACKS @ CHANGE OF DIRECTION AND SLAB PENETRATIONS.
 - THERE SHALL BE NO EXPOSED PIPING. PIPES SHALL RUN CONCEALED ABOVE THE CEILING OR IN WALLS, WHERE NOT POSSIBLE, THE GENERAL CONTRACTOR SHALL PROVIDE PIPE CHASES, ON EXTERIOR WALLS, PIPES SHALL RUN ON THE WARM SIDE OF THE INSULATION AND HAVE 2" OF INSULATION, PROVIDE PVC COVER FOR INSULATED PIPES.

PLUMBING FIXTURE SCHEDULE- UNITS

FIXTURE TYPE	DESCRIPTION	MANUF.	MODEL	CONNECTION				REMARKS
				CW	HW	W/SAN	V	
A	WATER CLOSET (ACCESSIBLE)	KOHLER	KINGSTON ULTRA K-6432S	1"	-	4"	2"	1,2
B	FLUSH VALVE (ACCESSIBLE)	SLOAN	WES-111-J/L1	1"	-	4"	2"	1,2
B	LAVATORY (ACCESSIBLE)	KOHLER	FINOR K-2035-1	1/2"	1/2"	1 1/2"	1 1/4"	1,3,4
C	FAUCET	CHICAGO	3500-4E285ABCP	1/2"	-	1 1/2"	1 1/4"	1,2
D	DRINKING FOUNTAIN (ACCESSIBLE)	ELKAY	LK4408FP	1/2"	-	1 1/2"	1 1/4"	1,2
D	FREEZELESS WALL HYDRANT	WOODFORD	65	3/4"	-	-	-	-
E	HOSE BIBB	WOODFORD	B26	3/4"	-	-	-	-

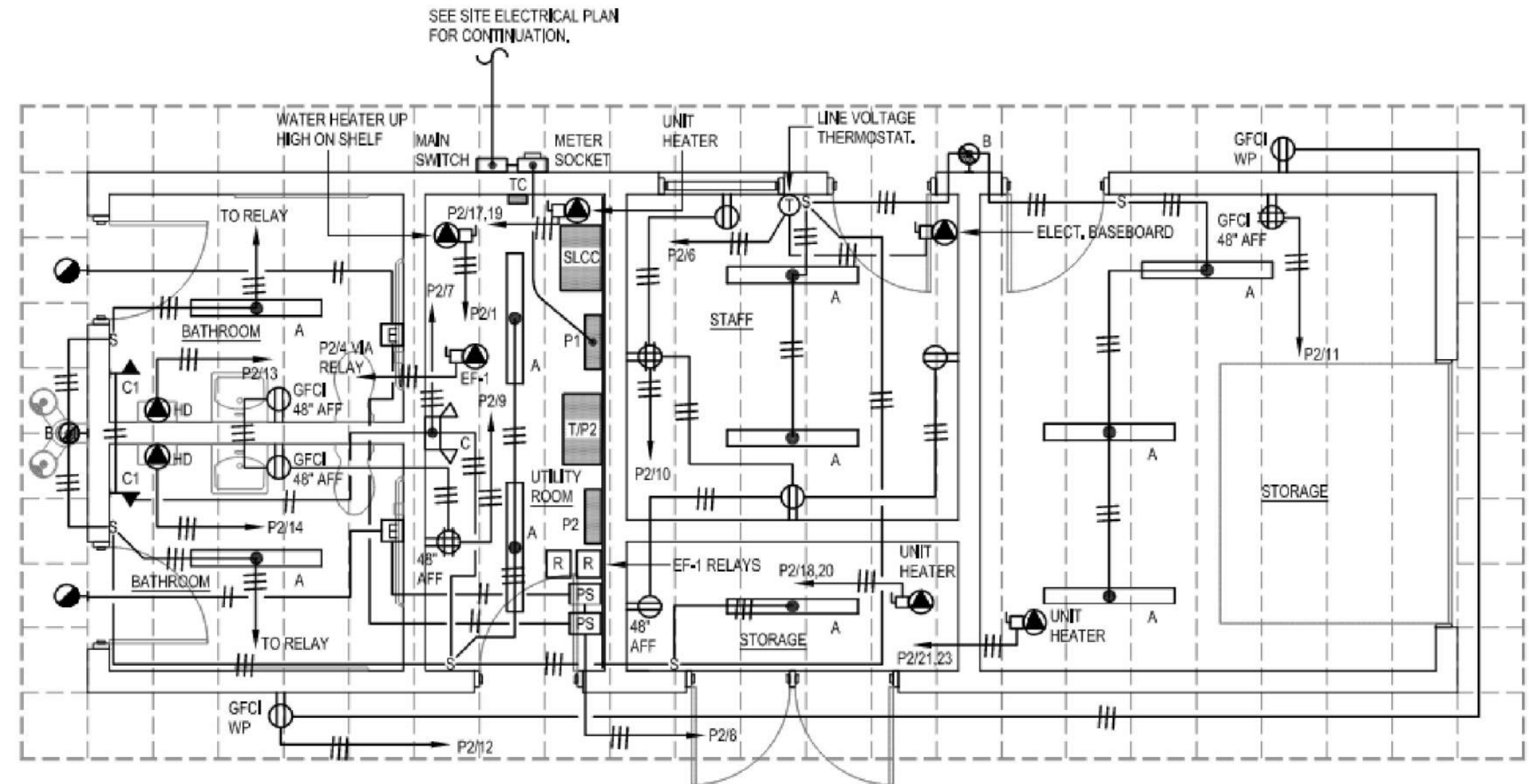
- REMARKS:**
- REFER TO ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING HEIGHT.
 - TOILET SEAT SHALL BE MODEL K-4731 BY KOHLER.
 - PROVIDE FRIBRO PIPE INSULATION FOR ALL ACCESSIBLE LAVATORIES AND SINKS.
 - SINGLE FAUCET HOLE.
 - PROVIDE WITH QUICK CONNECT HAND HELD SHOWER.
 - PROVIDE MODEL 830 AA FAUCET, HOSE AND HOSE BRACKET, WOP HANGER, 3" QUICK DRAIN CONNECTOR, VINYL BUMPER GUARD, STAINLESS STEEL WALL GUARD, PROVIDE AIR ADMITTANCE VALVE BY STUDDORVENT.
 - PROVIDE STAINLESS STEEL TOP ENCLOSURE COVER TO MATCH SHOWER SYSTEM.

FLOOR DRAIN SCHEDULE

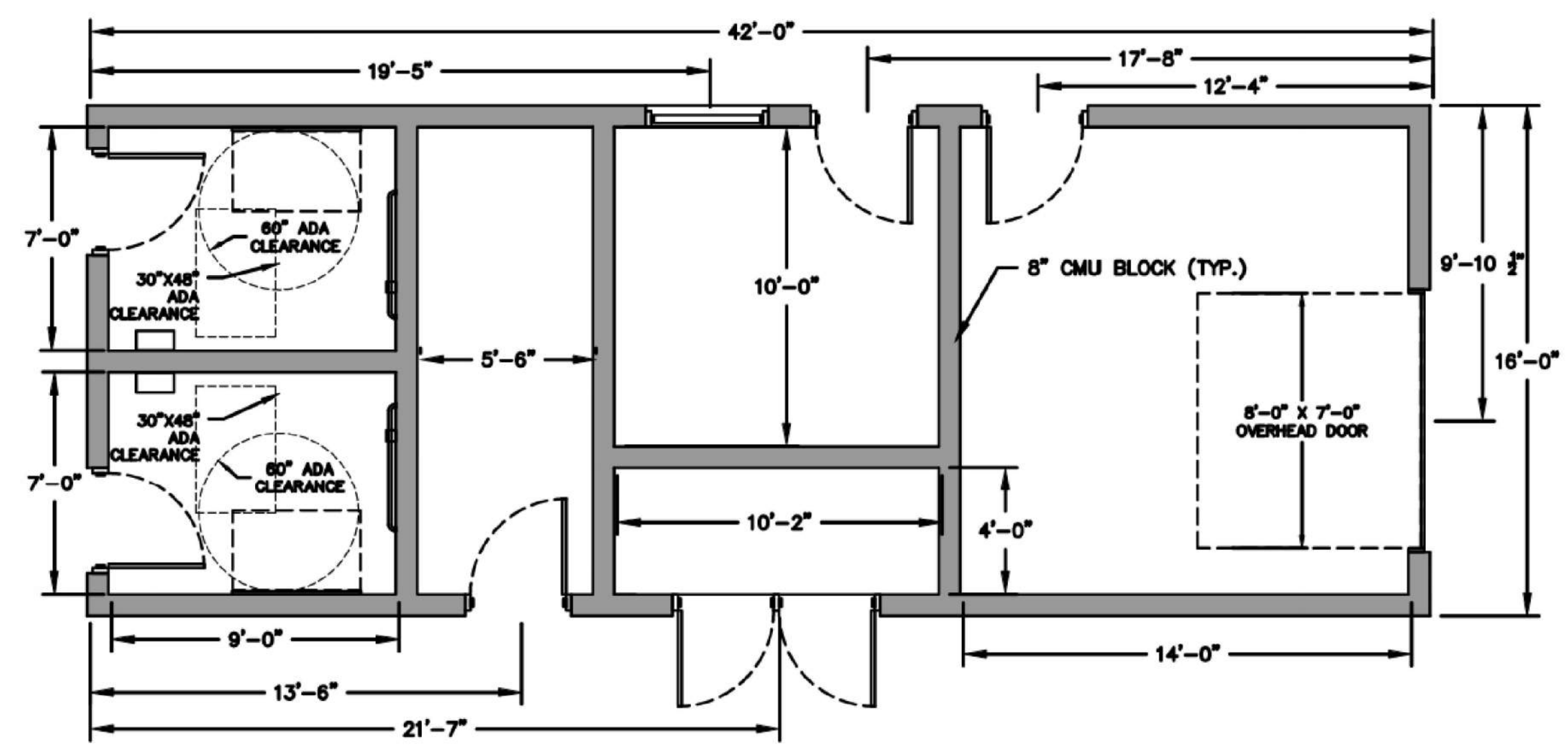
UNIT No.	MANUF.	MODEL	SIZE (OUTLET/ STRAINER)	LOCATION	TRAP PRIMER	REMARKS
FD-1	JAY R SMITH	2005P24MB-43	3"0	TOILET RM.	P250	1,3
CO	JAY R SMITH	4623				2,3
WCO	JAY R SMITH	4422				4

REMARKS:

- FLOOR DRAINS SHALL HAVE DUCO CAST IRON BODY W/NO-HUB OUTLET, DEEP SEAL TRAP SEDIMENT BUCKET, NICKEL BRONZE STRAINER, VANDAL PROOF SCREWS TRAP PRIMER CONNECTION.
- FLOOR CLEANOUT WITH BRONZE TAPER THREAD PLUG, ADJUSTABLE WEDGE, BRONZE TOP.
- FLOOR DRAINS AND CLEANOUTS TO MATCH FINISHED FLOOR USAGE AND FINISH SURFACE.
- WALL CLEANOUT WITH STAINLESS STEEL COVER.



UTILITY BUILDING FLOOR PLAN - LIGHTING AND POWER
1/4" = 1'-0"



LAYOUT PLAN

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.

DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

—	WETLAND BOUNDARY	☆	LIGHT POLE
—	RETAINING WALL	⊗	CONIFEROUS TREE
—	STONE WALL	⊗	DECIDUOUS TREE
—	STOCKADE FENCE	⊗	SANITARY MANHOLE
—	WIRE FENCE	⊗	DRAINAGE MANHOLE
—	CHAIN LINK FENCE	⊗	CATCH BASIN
—	PROPERTY LINE	⊗	CULVERT END
—	RAILROAD TRACKS	⊗	HYDRANT
—	SILT FENCE	⊗	CURB STOP
—	CONCRETE MONUMENT	⊗	WATER VALVE
—	GRANITE MONUMENT	⊗	BUTTERFLY VALVE
—	IRON PIPE	⊗	BLOW OFF
—	IRON ROD	⊗	SIGN
—	CONTROL POINT	⊗	DOUBLE POST SIGN
—	DRILL HOLE	⊗	MAIL BOX
—	UTILITY POLE	⊗	BOLLARD
—	UTILITY POLE WITH LIGHT	⊗	CONTROLLER CABINET
—	TRAFFIC SPAN POLE	⊗	GAS GATE
—	ELECTRIC BOX	⊗	TELEPHONE BOX
—	WETLAND FLAG	⊗	CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
—	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

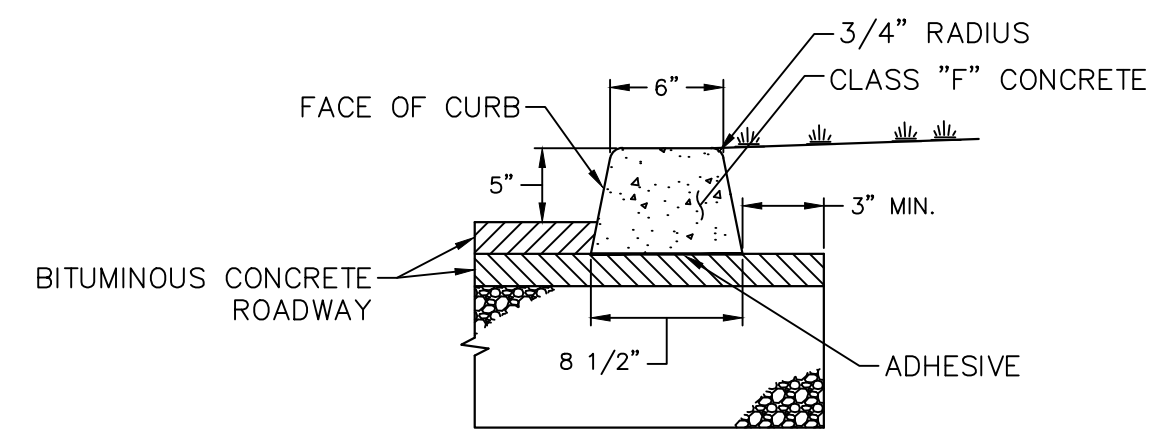
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

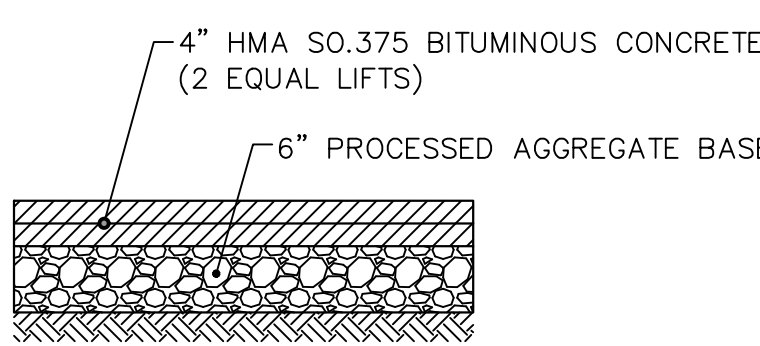
PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
DETAILS

SHEET NUMBER
9 of 16

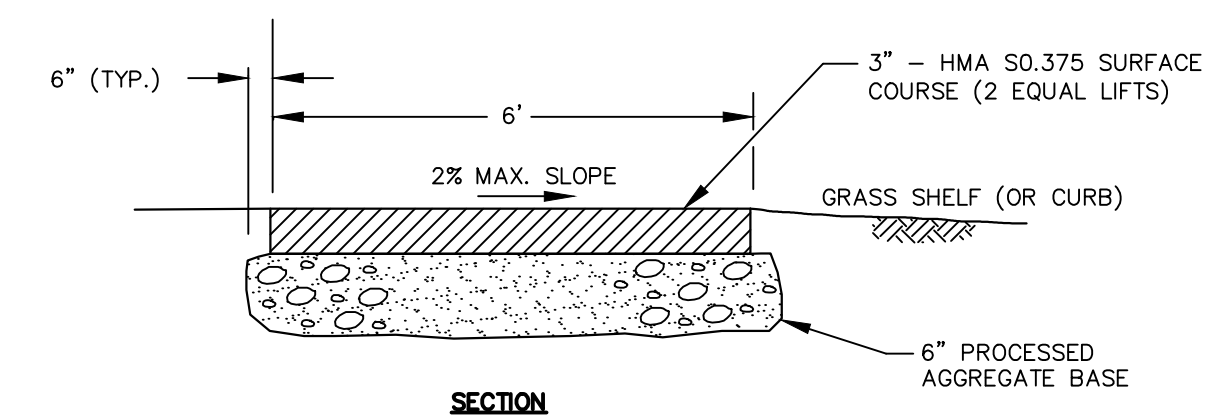


EXTRUDED CONCRETE CURB
NOT TO SCALE

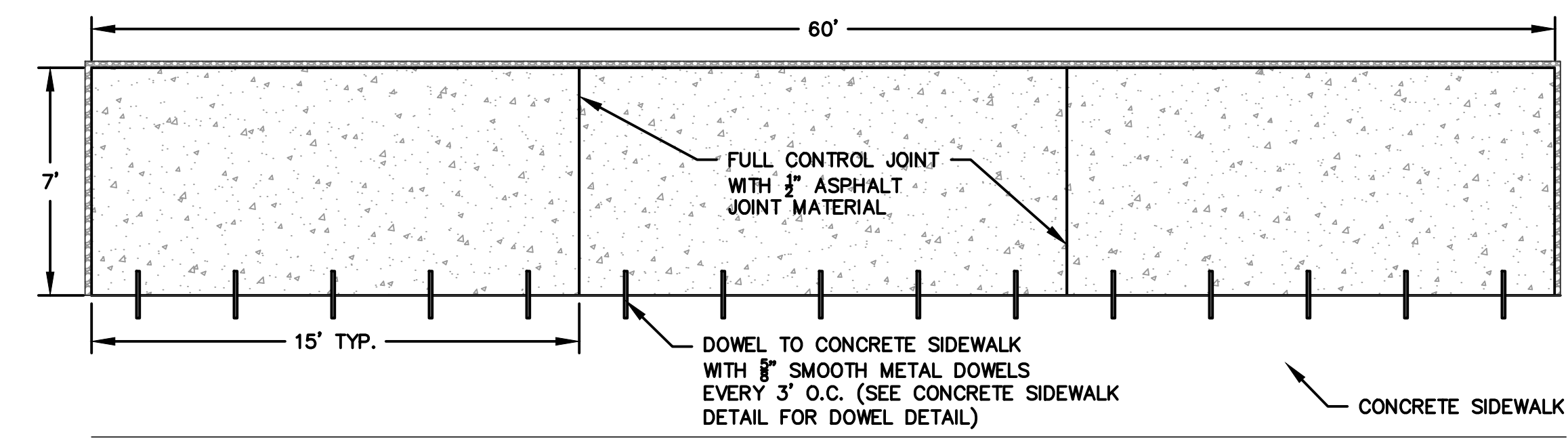


NOTES:
1. ALL MATERIALS SHOWN IN THIS DETAIL ARE INCLUDED IN THE COST OF "BITUMINOUS CONCRETE DRIVEWAY".
2. SAWCUT AND JOINT SEAL WHEREVER NEW BITUMINOUS CONCRETE ABUTS EXISTING.

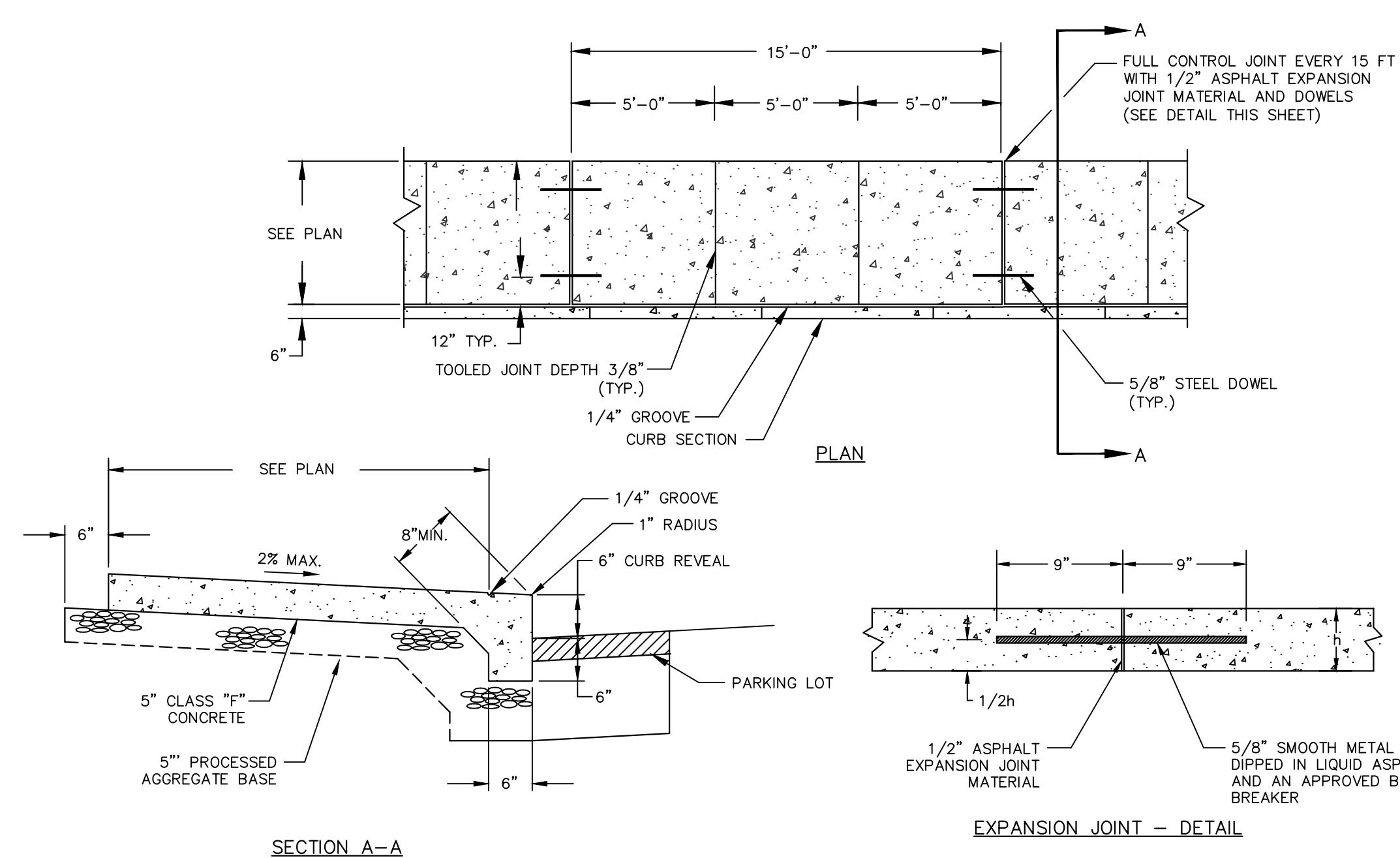
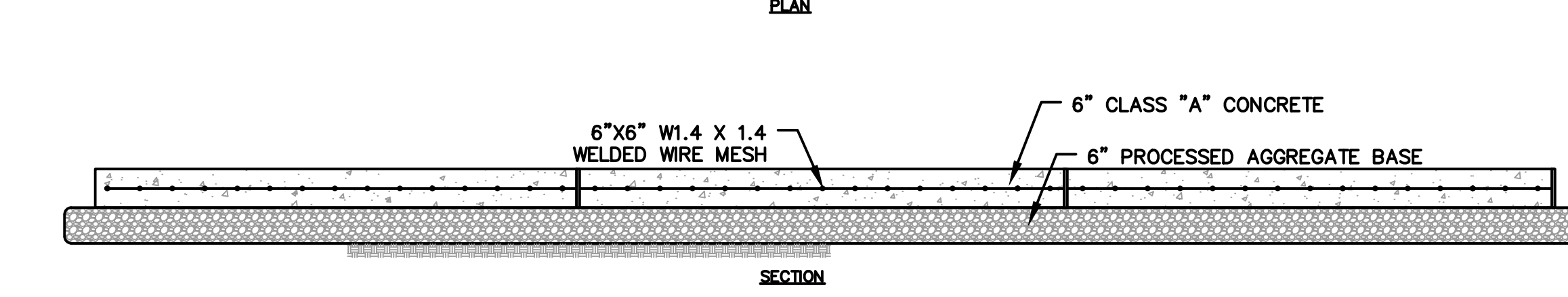
BITUMINOUS CONCRETE DRIVEWAY
NOT TO SCALE



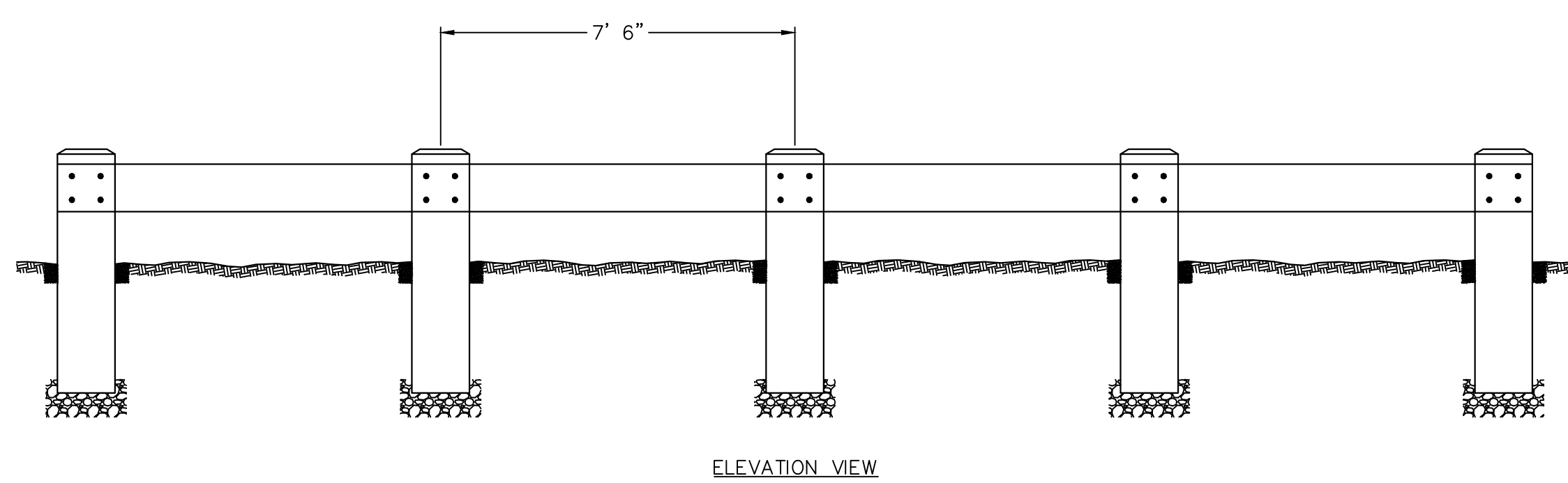
BITUMINOUS CONCRETE SIDEWALK
NOT TO SCALE



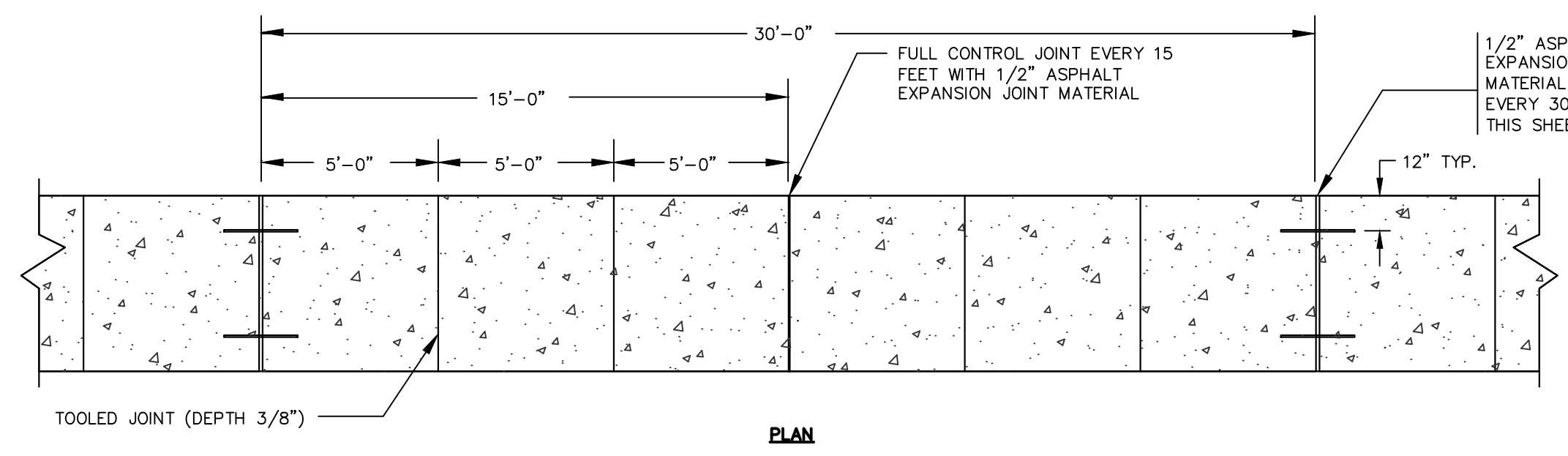
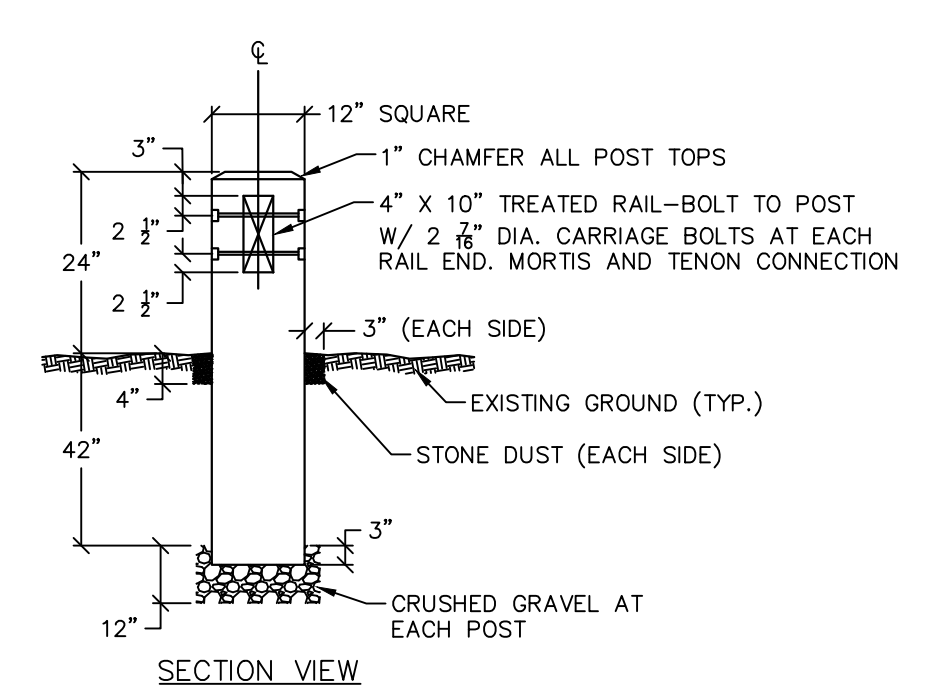
CONCRETE BLEACHER PAD
NOT TO SCALE



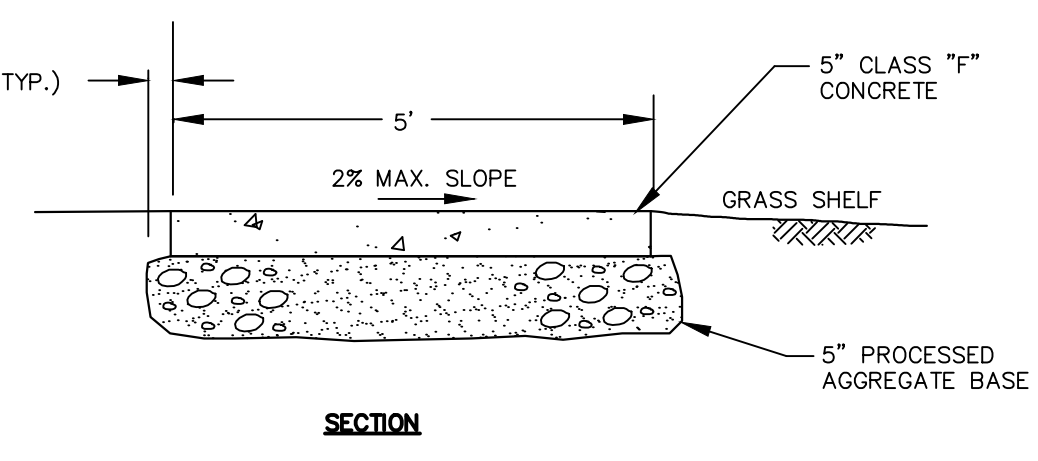
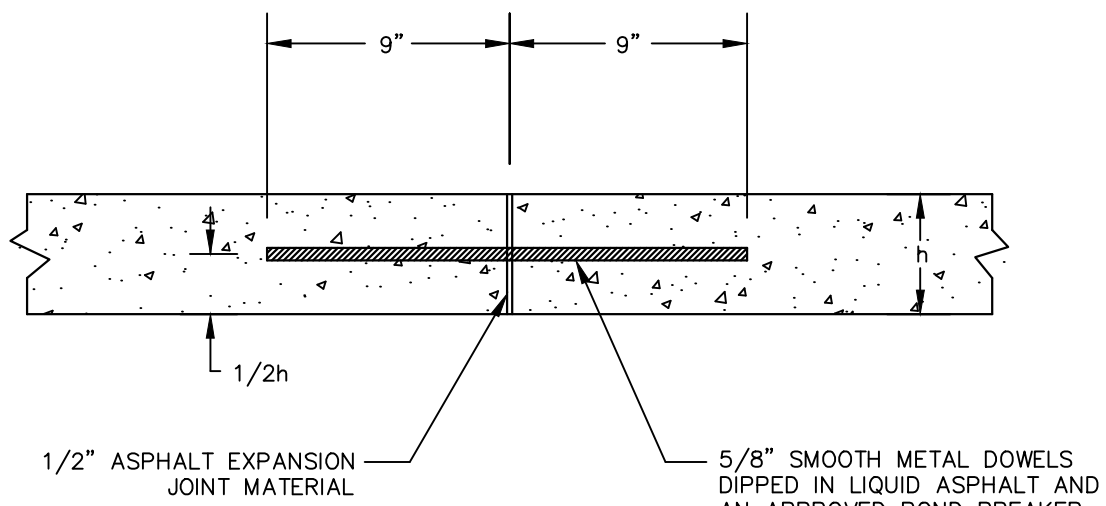
5" CONCRETE SIDEWALK AND CURB MONOLITHIC
NOT TO SCALE



TIMBER RAIL
NOT TO SCALE



5" CONCRETE SIDEWALK
NOT TO SCALE



APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

—	WETLAND BOUNDARY	○	LIGHT POLE
—	RETAINING WALL	⊗	CONIFEROUS TREE
—	STONE WALL	⊗	DECIDUOUS TREE
—	STOCKADE FENCE	⊗	SANITARY MANHOLE
—	WIRE FENCE	⊗	DRAINAGE MANHOLE
—	CHAIN LINK FENCE	⊗	CATCH BASIN
—	RAILROAD TRACKS	⊗	CULVERT END
—	HYDRANT	⊗	WATER VALVE
—	CONCRETE MONUMENT	⊗	BUTTERFLY VALVE
—	GRANITE MONUMENT	⊗	BLOW OFF
—	IRON PIPE	⊗	SIEN
—	IRON ROD	⊗	DOUBLE POST SIGN
—	CONTROL POINT	⊗	MAIL BOX
—	DRILL HOLE	⊗	ROLLBAR
—	UTILITY POLE	⊗	CONTROLLER CABINET
—	UTILITY POLE WITH LIGHT	⊗	GAS GATE
—	ELECTRIC BOX	⊗	TELEPHONE BOX
—	WETLAND FLAG	⊗	CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
—	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

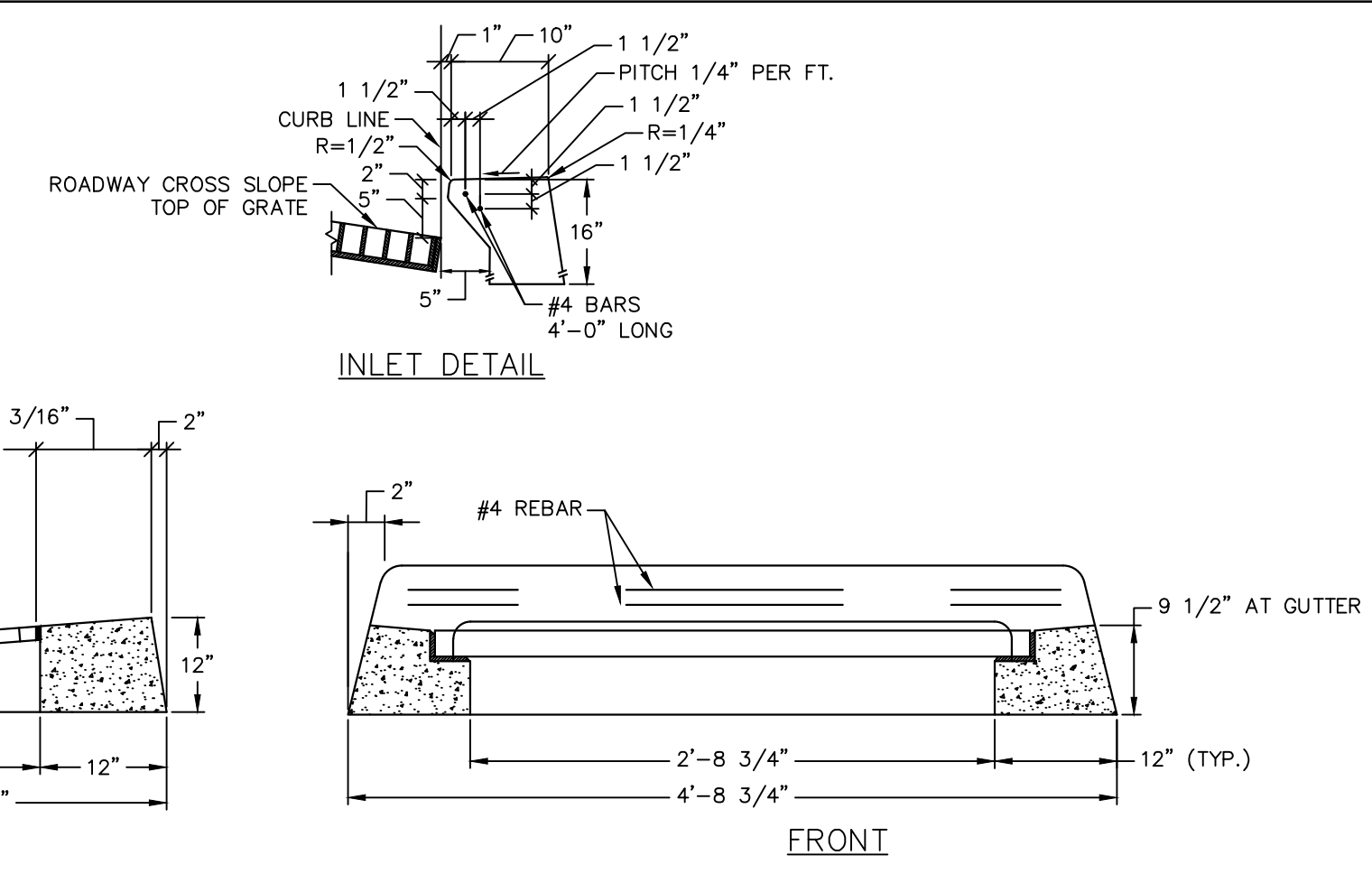
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

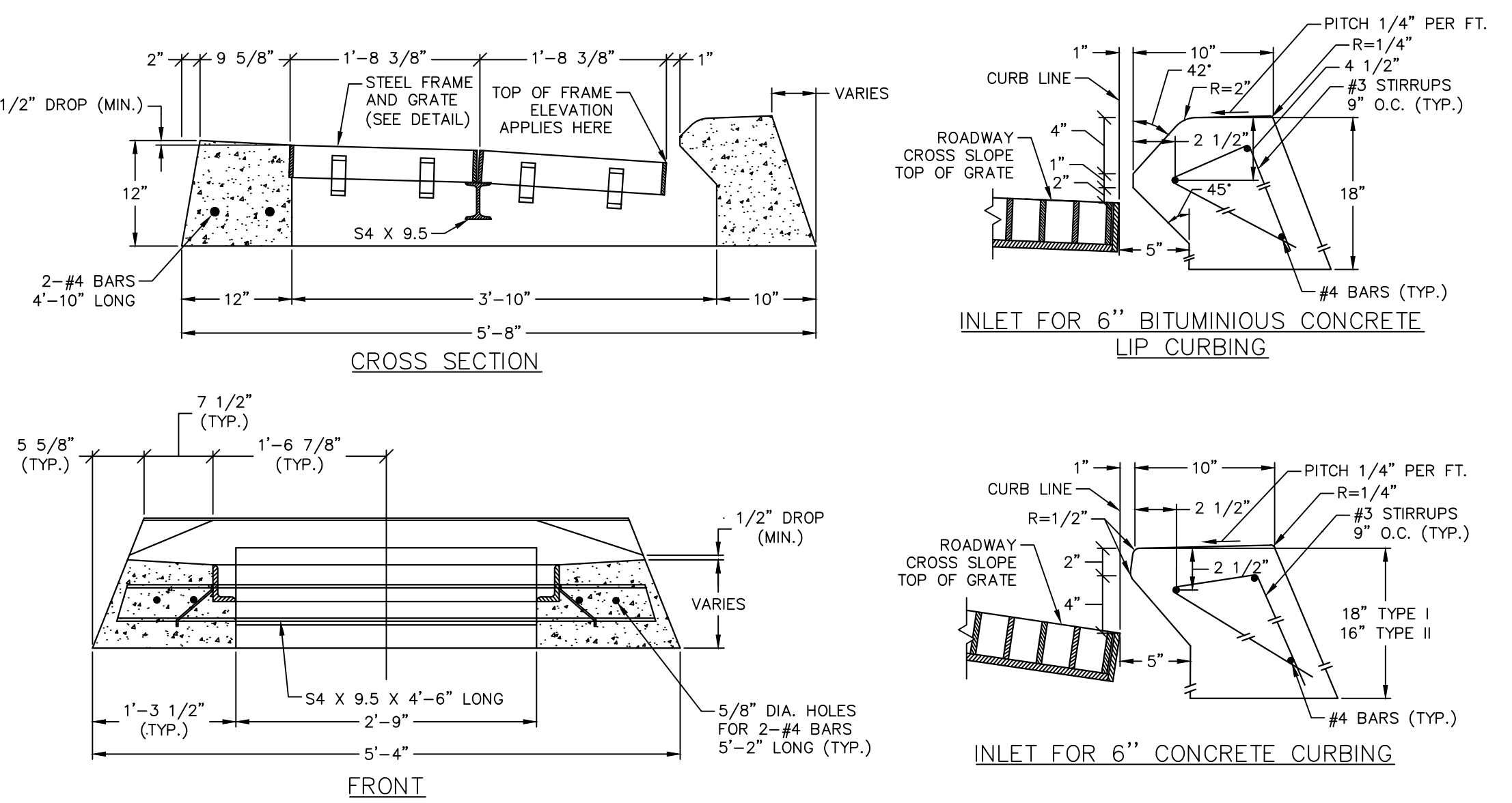
SHEET TITLE
DETAILS

SHEET NUMBER
10 of 16



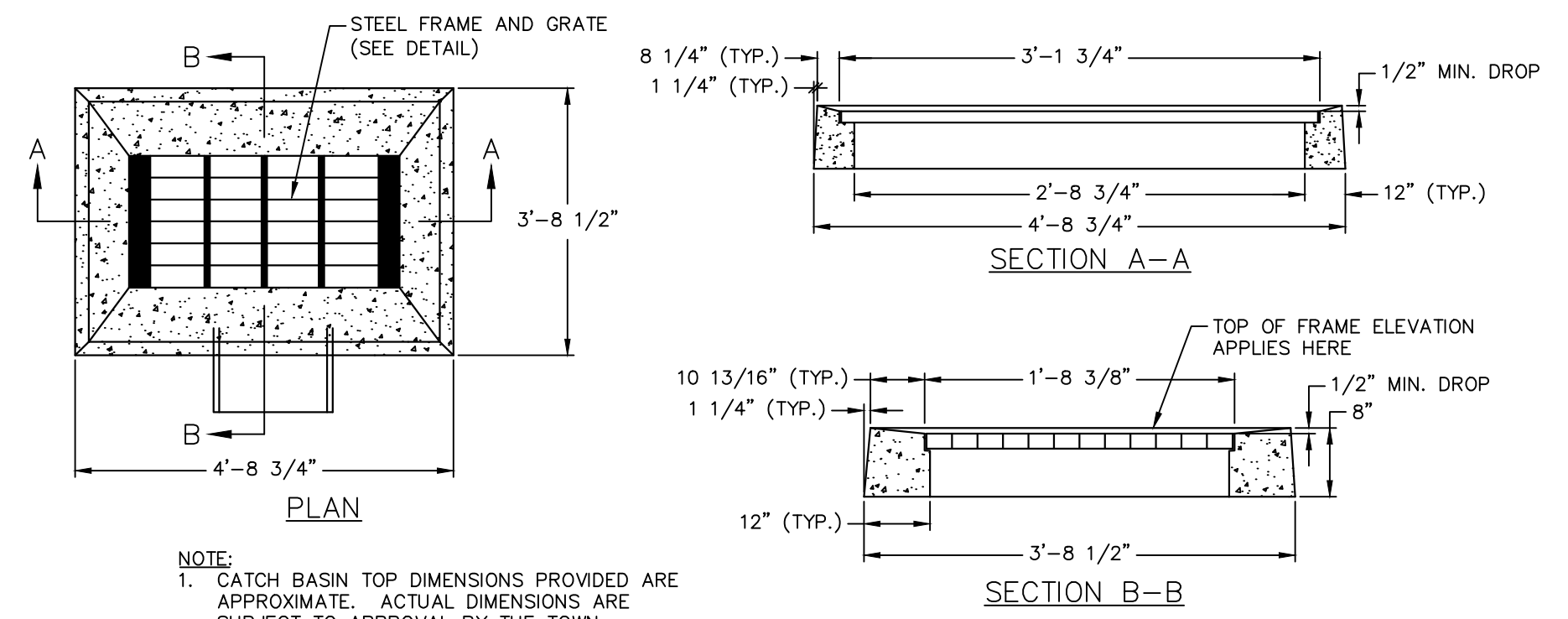
NOTES:
1. CONCRETE TOP SHALL BE CAST TO MATCH ADJACENT CONCRETE CURB.
2. CATCH BASIN TOP DIMENSIONS PROVIDED ARE APPROXIMATE. ACTUAL DIMENSIONS ARE SUBJECT TO APPROVAL BY THE TOWN.

**TYPE "C" CATCH BASIN TOP
(FOR CONCRETE CURB)**
NOT TO SCALE



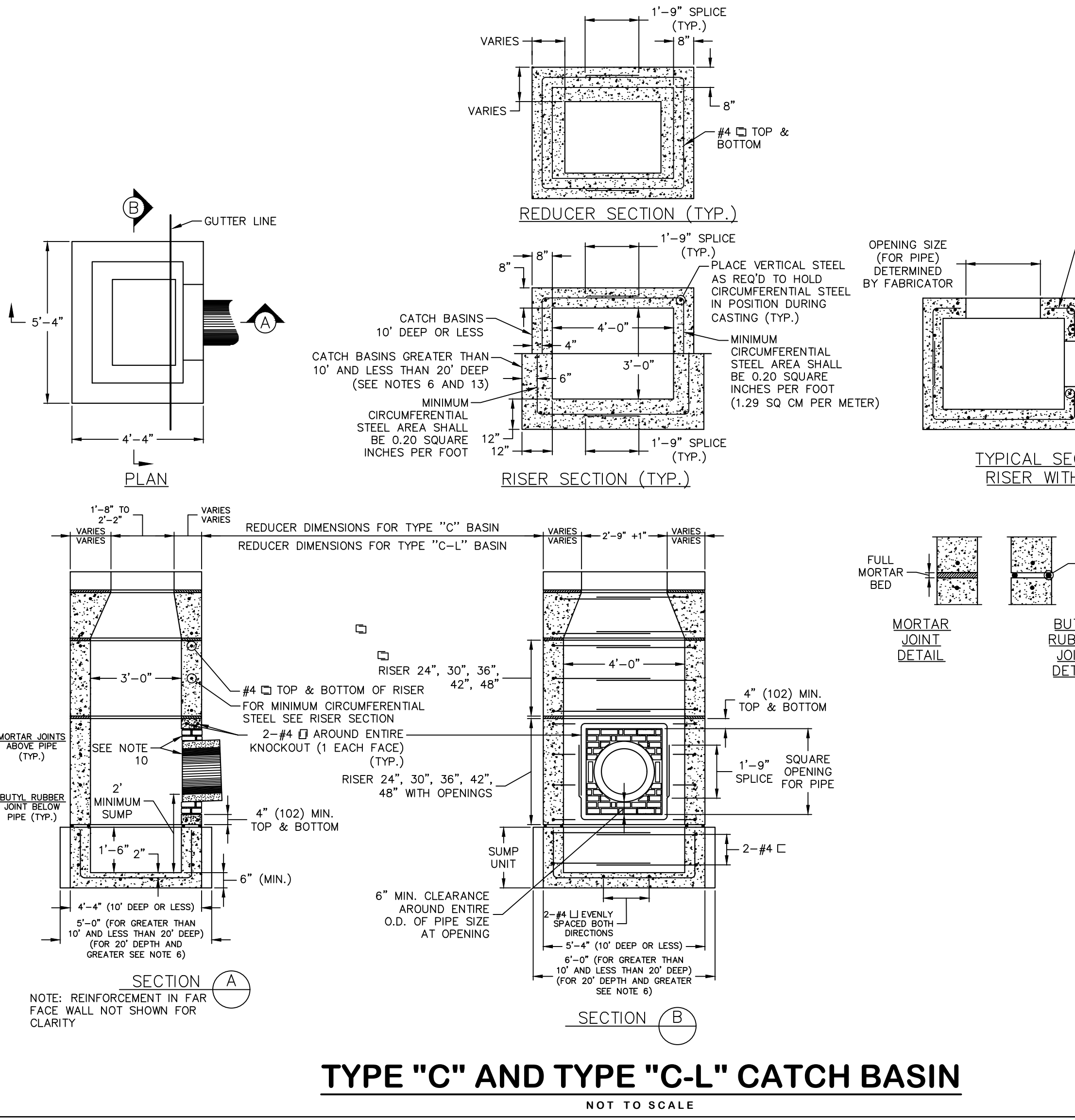
NOTE:
1. CATCH BASIN TOP DIMENSIONS PROVIDED ARE APPROXIMATE. ACTUAL DIMENSIONS ARE SUBJECT TO APPROVAL BY THE TOWN.

**TYPE "C" DOUBLE GRATE TYPE I CATCH BASIN TOP
(FOR CONCRETE CURB AND BITUMINOUS CONCRETE LIP CURB)**
NOT TO SCALE



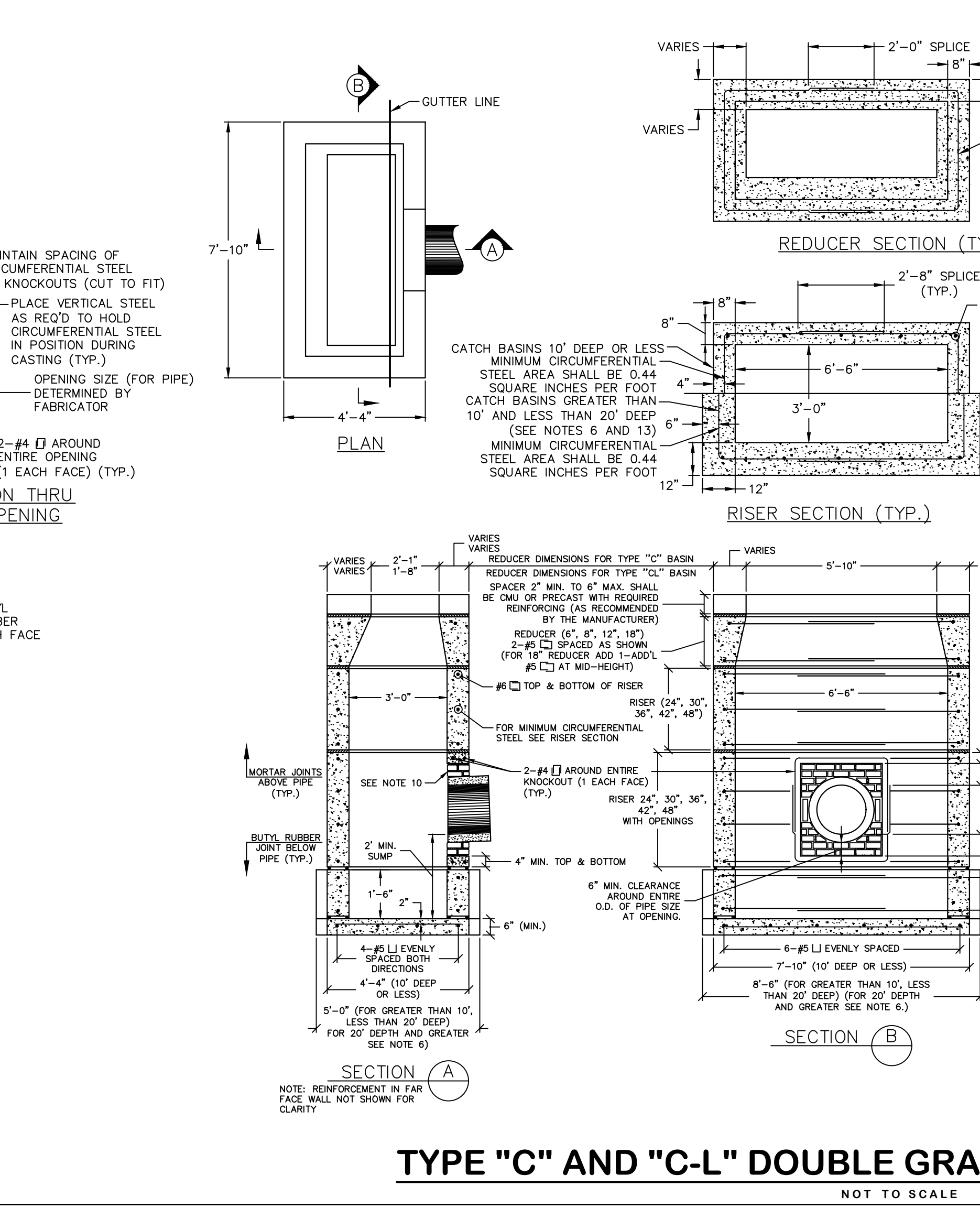
NOTE:
1. CATCH BASIN TOP DIMENSIONS PROVIDED ARE APPROXIMATE. ACTUAL DIMENSIONS ARE SUBJECT TO APPROVAL BY THE TOWN.

TYPE "C-L" CATCH BASIN TOP
NOT TO SCALE



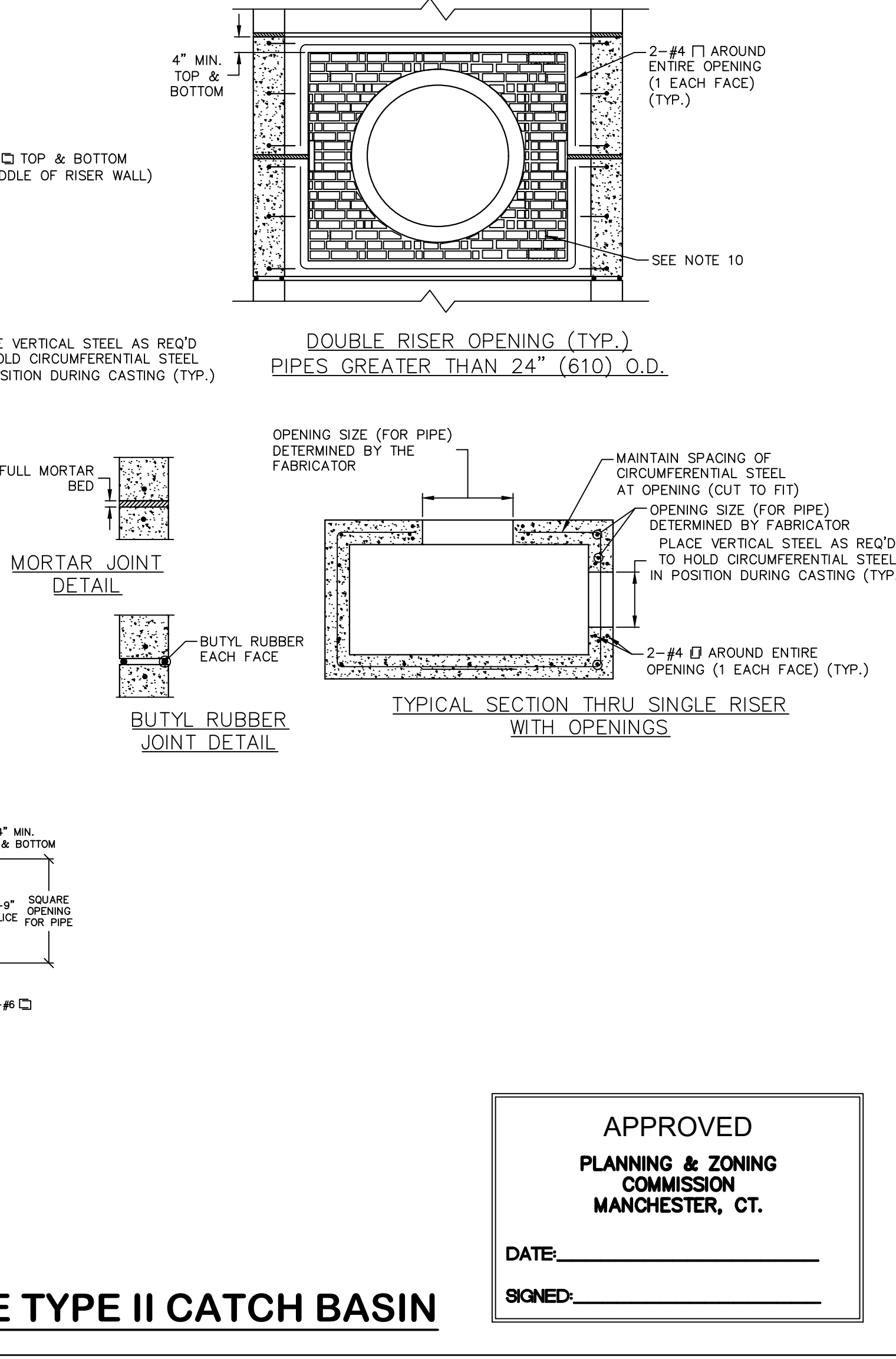
NOTE: REINFORCEMENT IN FAR FACE WALL NOT SHOWN FOR CLARITY

TYPE "C" AND TYPE "C-L" CATCH BASIN
NOT TO SCALE



NOTE: REINFORCEMENT IN FAR FACE WALL NOT SHOWN FOR CLARITY

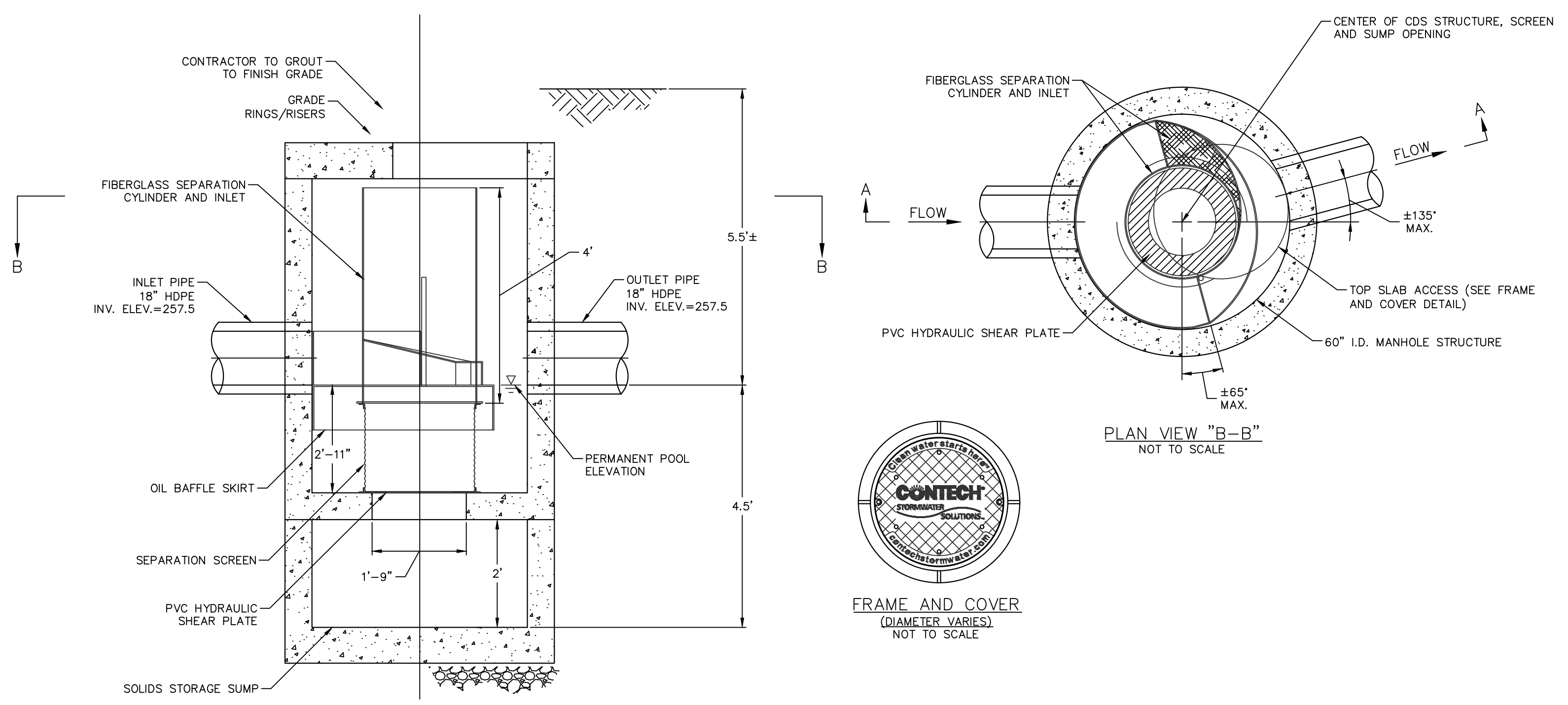
TYPE "C" AND "C-L" DOUBLE GRATE TYPE II CATCH BASIN
NOT TO SCALE



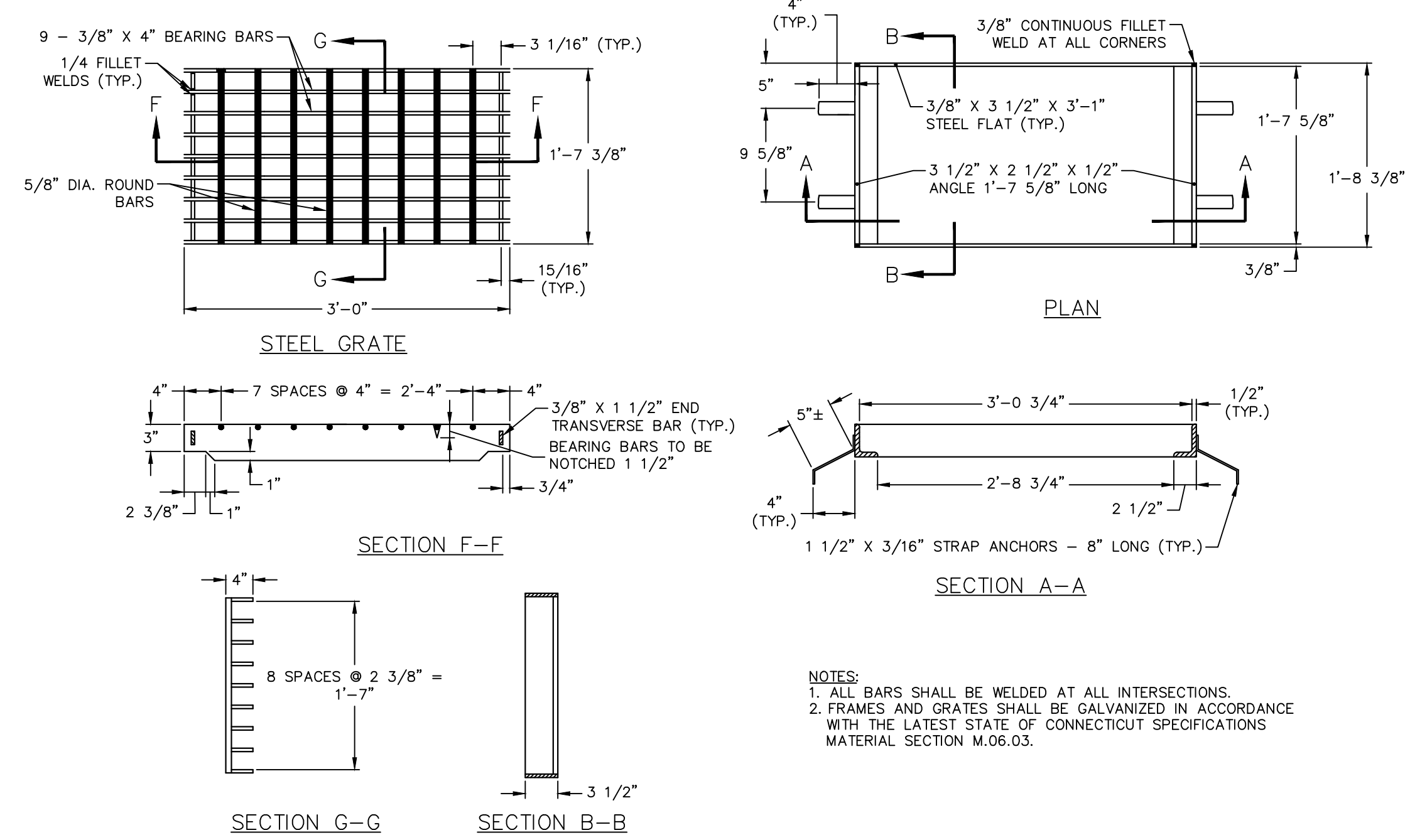
NOTE: REINFORCEMENT IN FAR FACE WALL NOT SHOWN FOR CLARITY

**APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.**

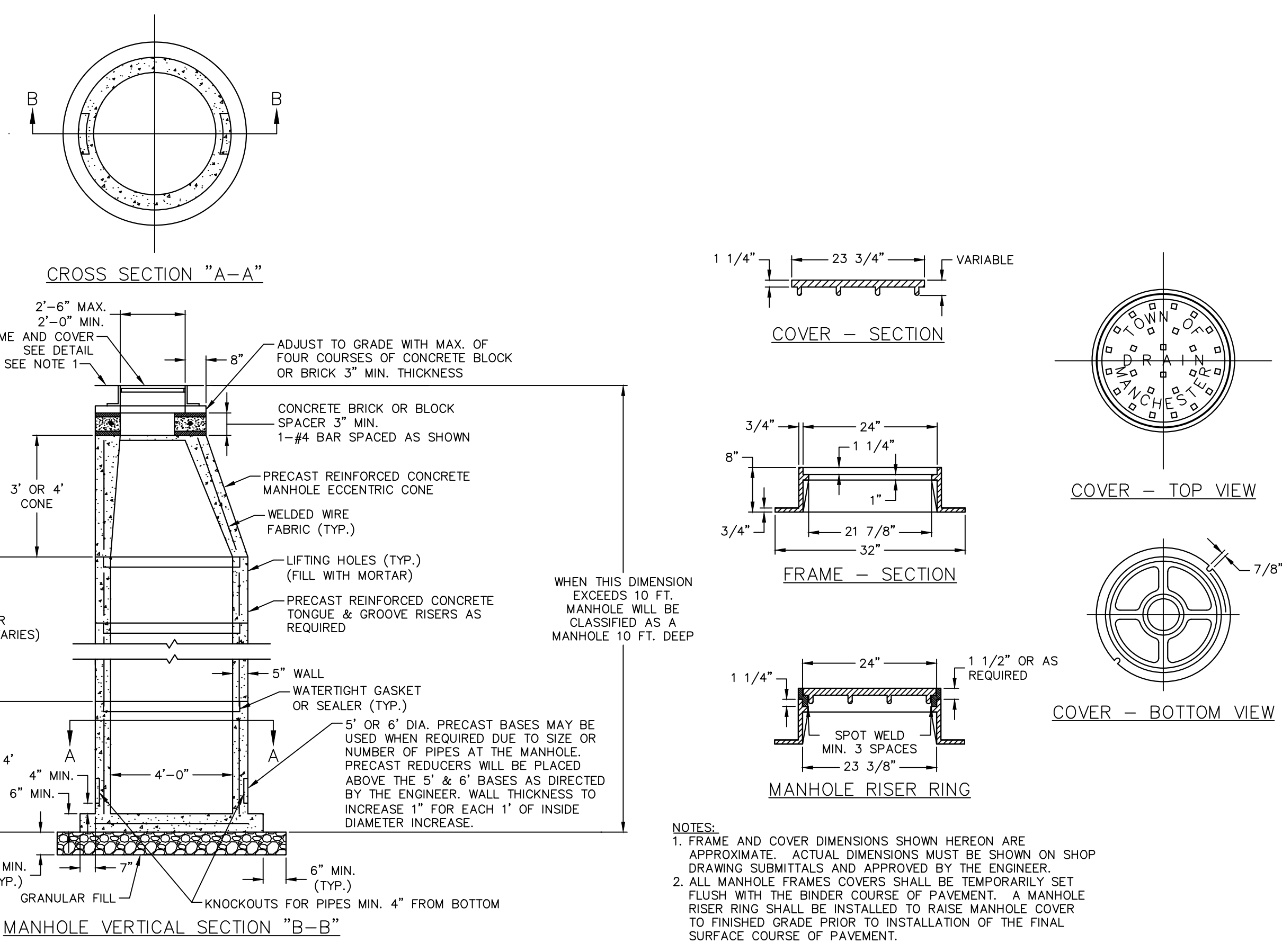
DATE: _____
SIGNED: _____



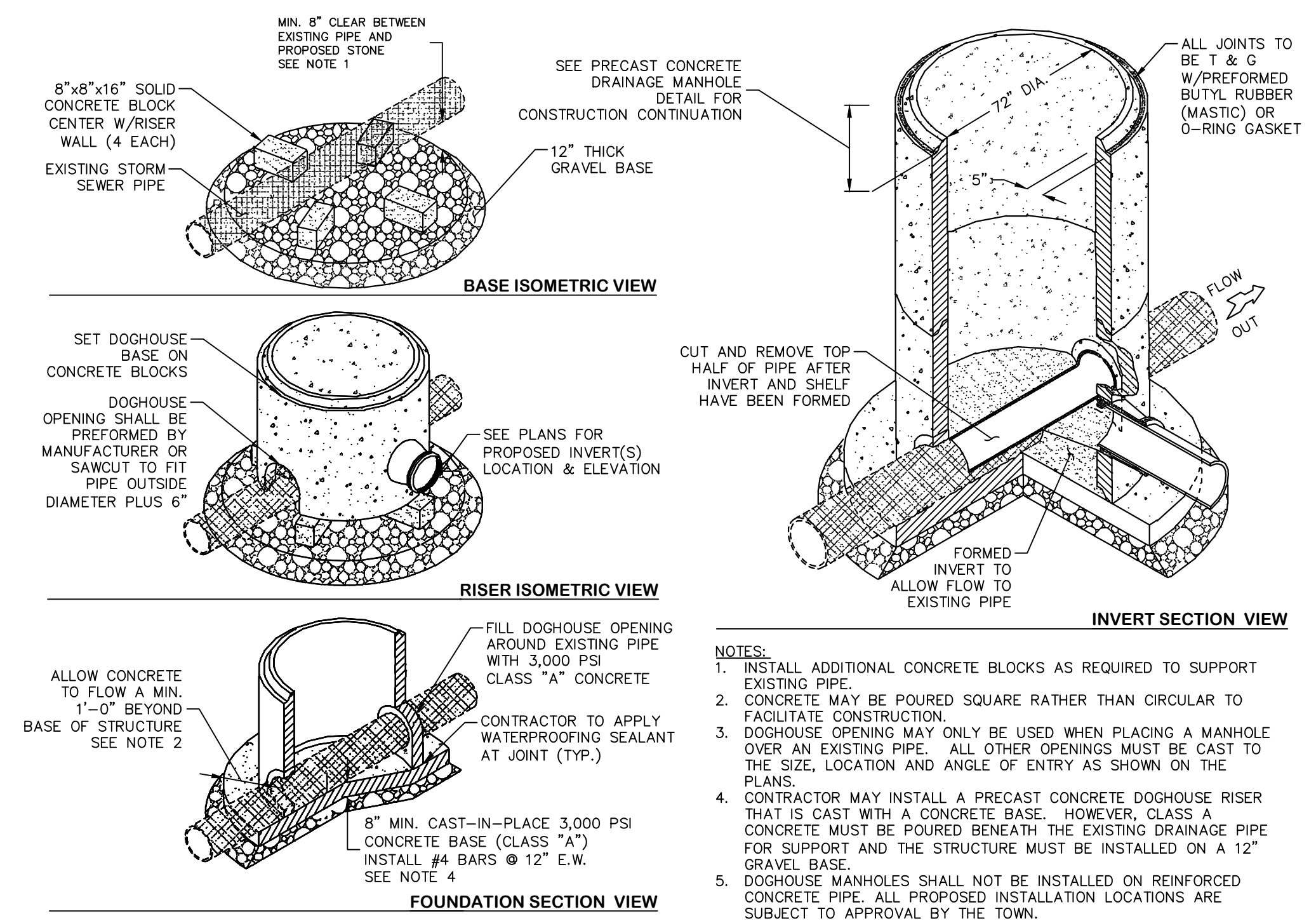
**CDS STORMWATER TREATMENT SYSTEM
MODEL CDS 2025-5-C
(PAY ITEM: "HYDRODYNAMIC SEPARATOR")**
NOT TO SCALE



STEEL FRAME AND GRATE
NOT TO SCALE



STORM MANHOLE
NOT TO SCALE



DRAINAGE (STORM) DOGHOUSE MANHOLE
NOT TO SCALE

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

—	WETLAND BOUNDARY	☆	LIGHT POLE
—	RETAINING WALL	⊗	CONIFEROUS TREE
—	STONE WALL	⊗	DECIDUOUS TREE
—	STOCKADE FENCE	⊗	SANITARY MANHOLE
—	WIRE FENCE	⊗	DRAINAGE MANHOLE
—	CHAIN LINK FENCE	⊗	CATCH BASIN
—	PROPERTY LINE	⊗	CULVERT END
—	RAILROAD TRACKS	⊗	HYDRANT
—	SILT FENCE	⊗	CURB STOP
—	CONCRETE MONUMENT	⊗	WATER VALVE
—	GRANITE MONUMENT	⊗	BUTTERFLY VALVE
—	IRON PIPE	⊗	BLOW OFF
—	IRON ROD	⊗	SIEN
—	CONTROL POINT	⊗	DOUBLE POST SIGN
—	DRILL HOLE	⊗	MAIL BOX
—	UTILITY POLE	⊗	ROLLARD
—	UTILITY POLE WITH LIGHT	⊗	CONTROLLER CABINET
—	TRAFFIC SPAN POLE	⊗	GAS GATE
—	ELECTRIC BOX	⊗	TELEPHONE BOX
—	WETLAND FLAG	⊗	CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
—	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
DETAILS

SHEET NUMBER
11 of 16



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

— WETLAND BOUNDARY	☆ LIGHT POLE
— RETAINING WALL	⊗ CONIFEROUS TREE
— STONE WALL	⊗ DEODOROUS TREE
— STOCKADE FENCE	⊗ SANITARY MANHOLE
— WIRE FENCE	⊗ DRAINAGE MANHOLE
— CHAIN LINK FENCE	⊗ CATCH BASIN
— PROPERTY LINE	⊗ CULVERT END
— RAILROAD TRACKS	⊗ HYDRANT
— SILT FENCE	⊗ CURB STOP
□ CONCRETE MONUMENT	⊗ WATER VALVE
■ GRANITE MONUMENT	⊗ BUTTERFLY VALVE
○ IRON PIPE	⊗ BLOW OFF
● IRON ROD	⊗ SIGN
△ CONTROL POINT	⊗ DOUBLE POST SIGN
● DRILL HOLE	⊗ MAIL BOX
⊗ UTILITY POLE	⊗ BOLLARD
⊗ UTILITY POLE WITH LIGHT	⊗ CONTROLLER CABINET
⊗ TRAFFIC SPAN POLE	⊗ GAS GATE
⊗ ELECTRIC BOX	⊗ TELEPHONE BOX
⊗ WETLAND FLAG	⊗ CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
—	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

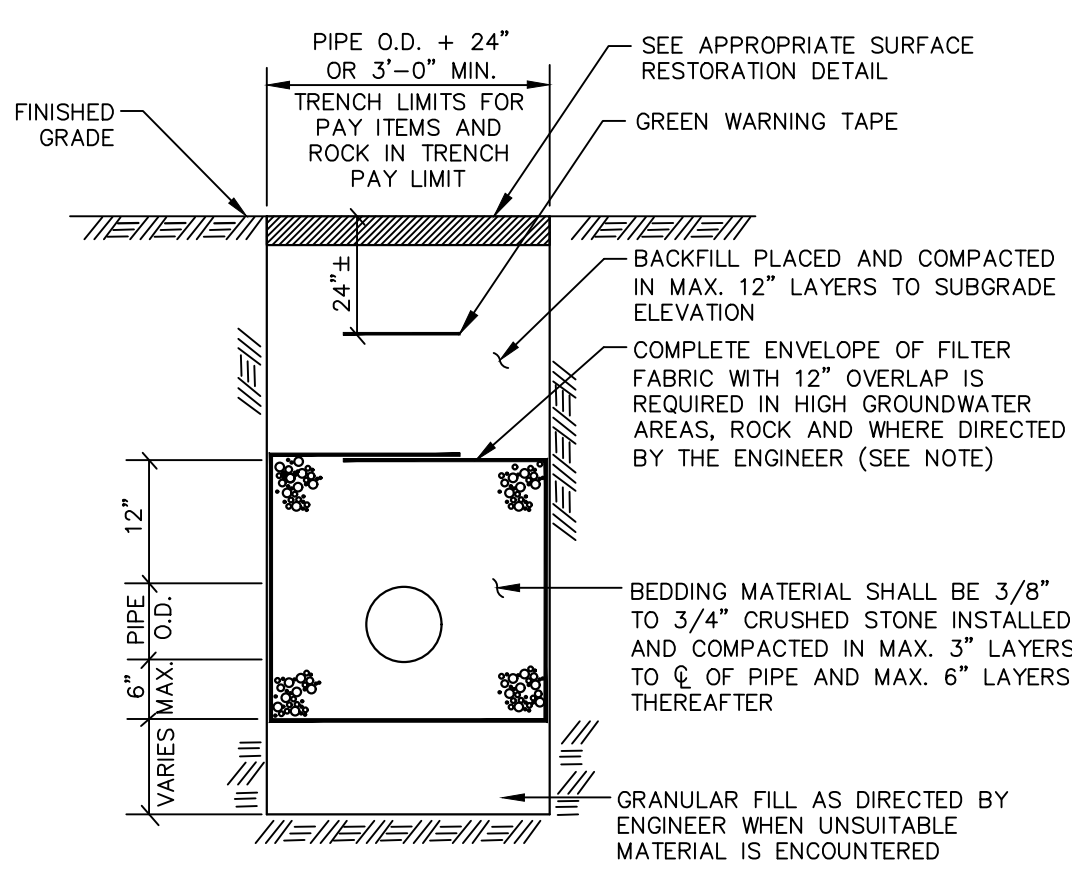
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

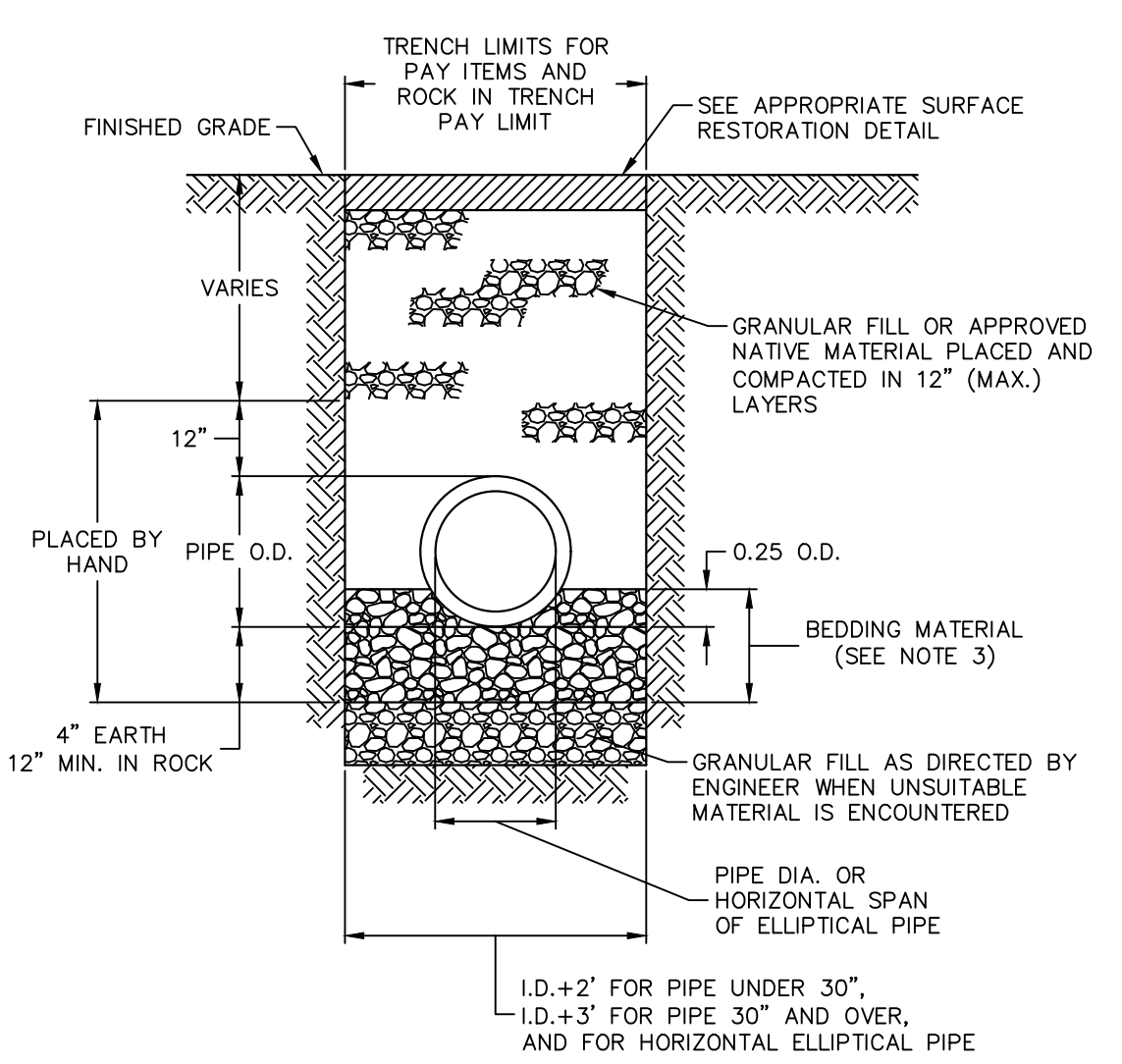
SHEET TITLE
DETAILS

SHEET NUMBER
12 of 16



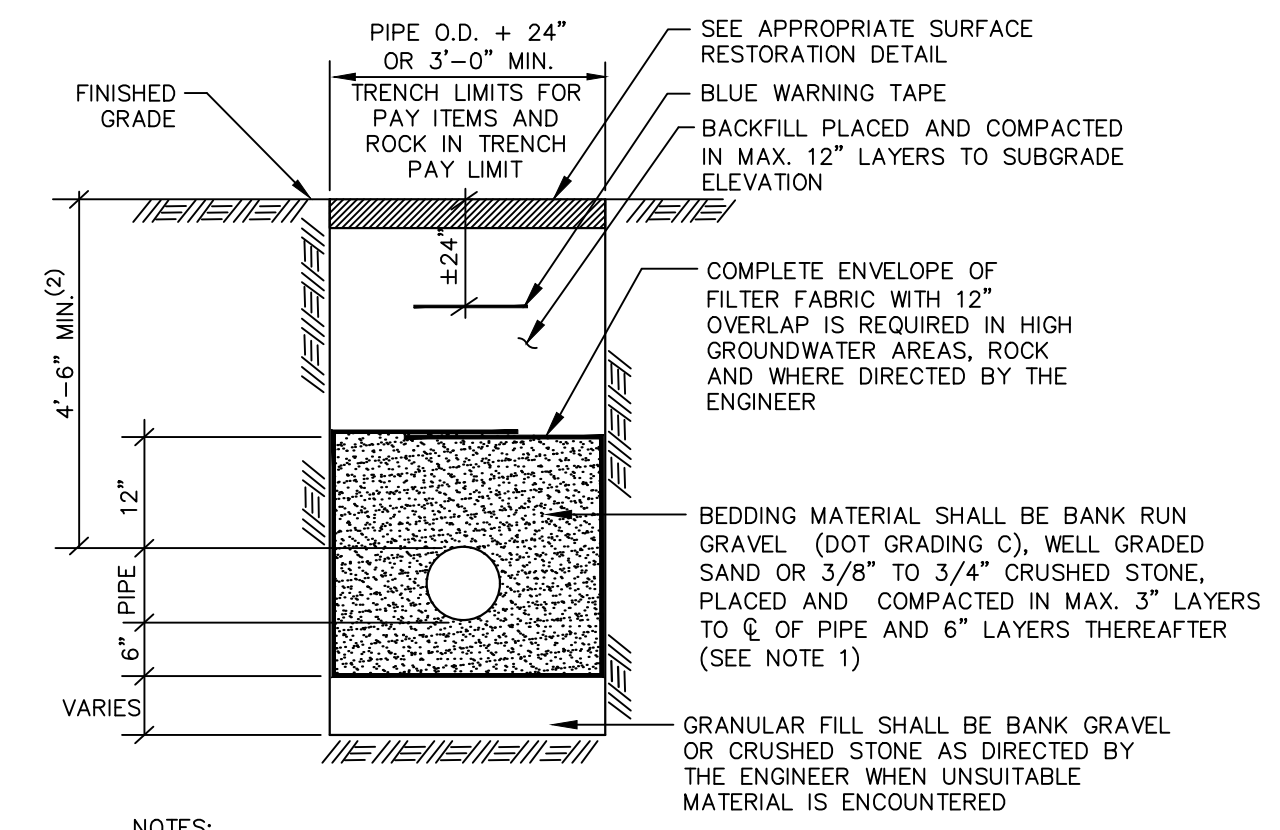
NOTE:
IN ALL OTHER AREAS, AT A MINIMUM, BEDDING MATERIAL SHALL EXTEND TO THE TOP OF THE PIPE AND BE COVERED WITH FILTER FABRIC ACROSS THE ENTIRE WIDTH OF THE TRENCH.

TYPICAL TRENCH DETAIL (SANITARY SEWER)
NOT TO SCALE



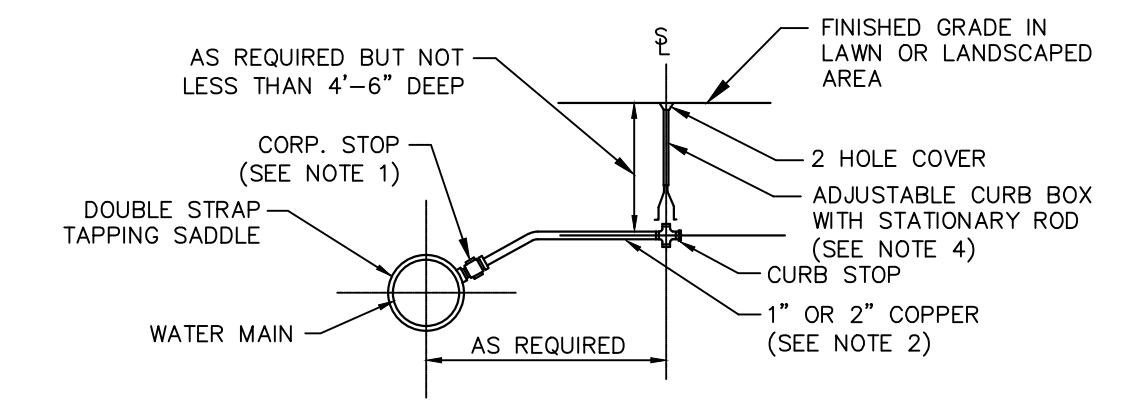
NOTES:
1. ALL CONCRETE PIPE TO BE MINIMUM CLASS IV WITH 2 FT OF COVER UNLESS OTHERWISE APPROVED BY THE ENGINEER.
2. USE WATERTIGHT RUBBER GASKETS IN ALL PIPE JOINTS.
3. BEDDING MATERIAL SHALL BE INSTALLED A MINIMUM OF 12" ABOVE THE TOP OF ALL PLASTIC PIPES AND PIPES 48" IN DIAMETER AND LARGER.
4. EXCAVATION, BEDDING MATERIAL AND BACKFILL ARE INCLUDED IN CONTRACT UNIT PRICE BID FOR "CULVERT" OF THE TYPE SPECIFIED.

TYPICAL TRENCH DETAIL (STORM SEWER)
NOT TO SCALE



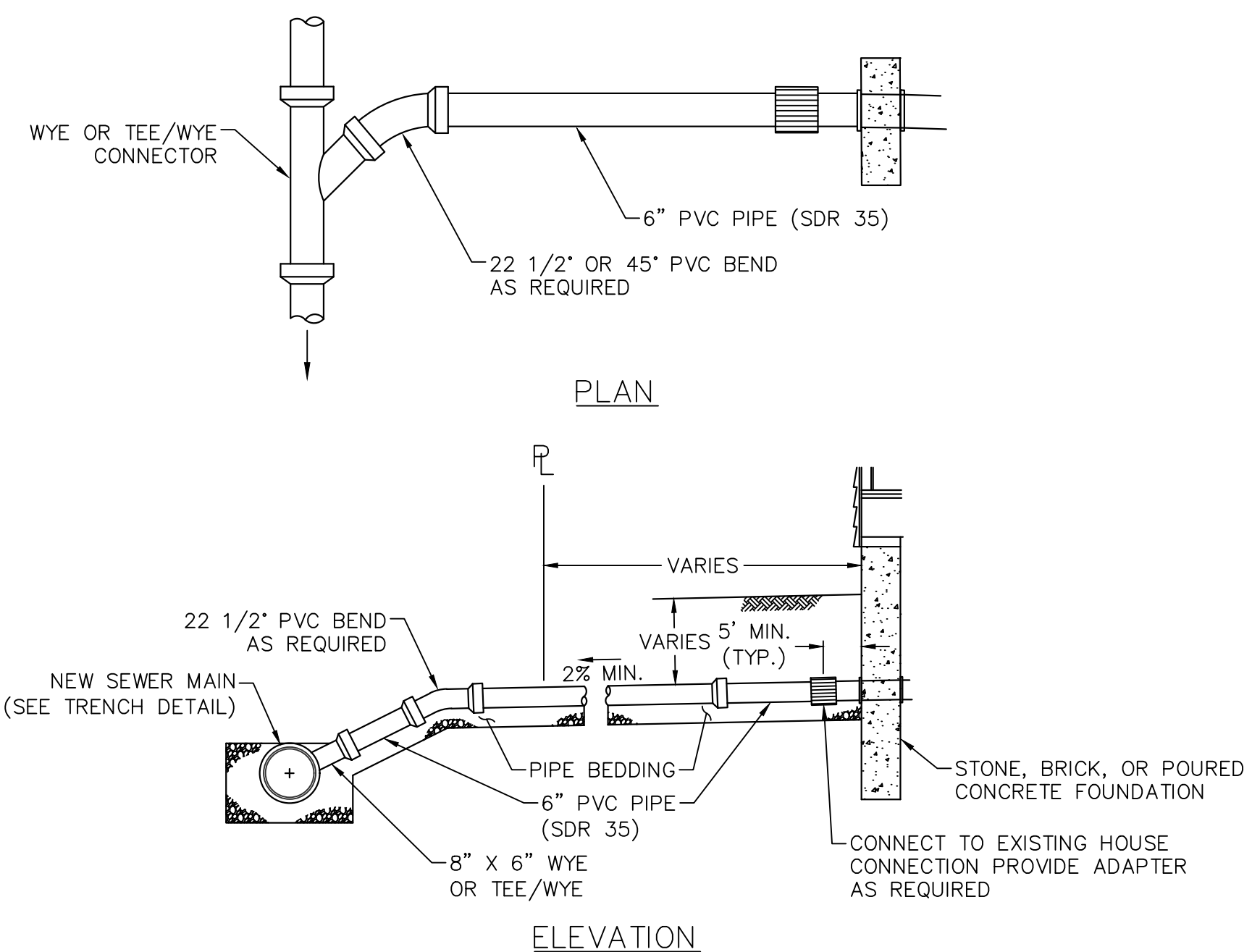
NOTES:
1. CRUSHED STONE SHALL ONLY BE USED IN HIGH GROUNDWATER CONDITIONS AS DIRECTED BY THE ENGINEER.
2. ALL WATER MAIN WITH LESS THAN 4'-6" OF COVER SHALL BE INSULATED UNLESS APPROVED OTHERWISE BY THE ENGINEER. SEE TYPICAL TRENCH DETAIL (INSULATED WATER) FOR ADDITIONAL INFORMATION.

TYPICAL TRENCH DETAIL (WATER)
NOT TO SCALE



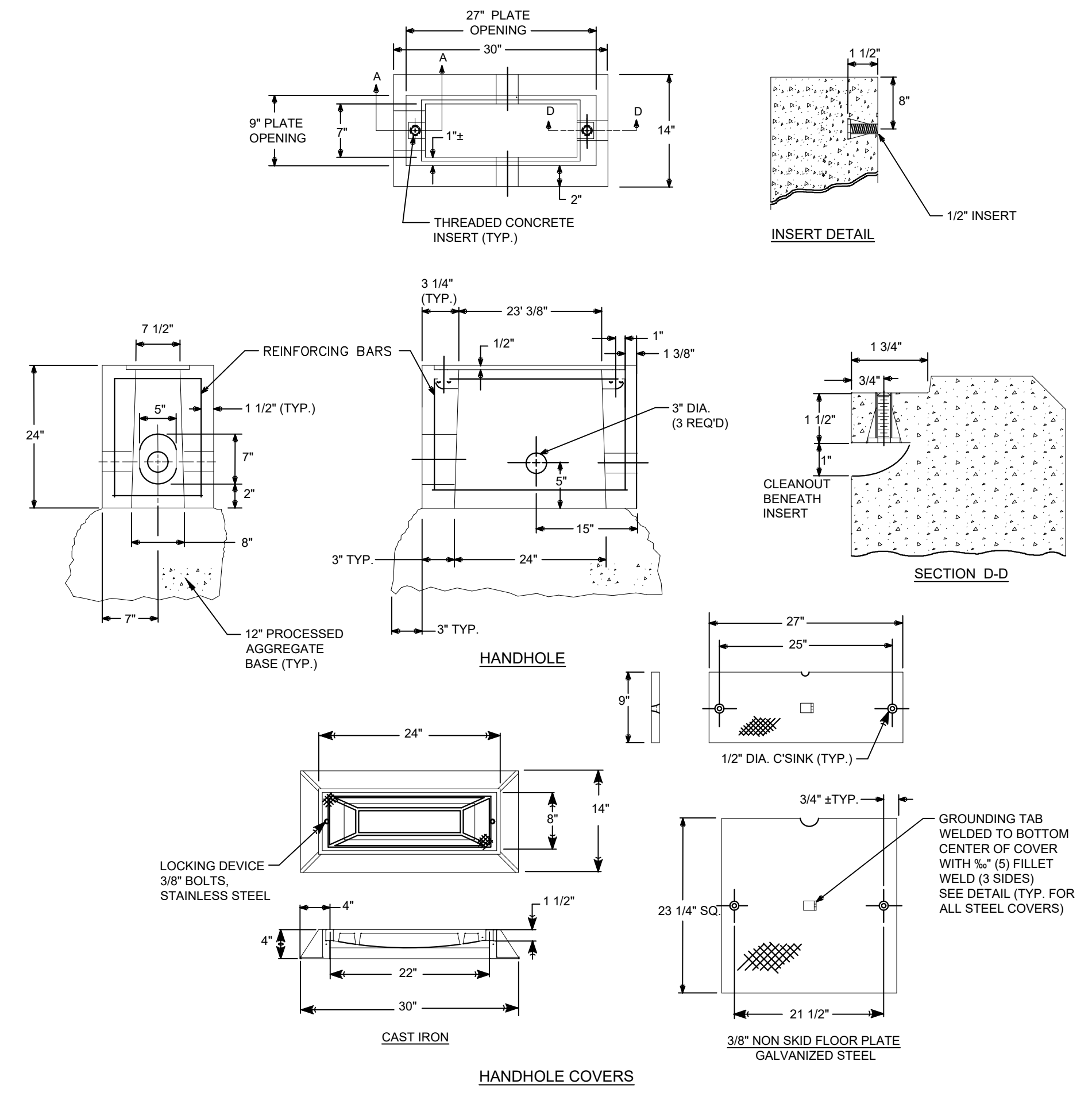
NOTES:
1. THE TOP OF THE CORPORATION AND THE FIRST THREE (3) FEET OF COPPER TUBING SHALL BE INSTALLED NO HIGHER THAN THE TOP OF THE WATER MAIN.
2. NO INTERMEDIATE SIZES (I.E. 3/4", 1 1/2", 1 3/4") ARE ALLOWED FOR COPPER SERVICES. ANY SERVICE REQUIREMENT GREATER THAN 2" COPPER SHALL BE CLIP (4" MIN.) WITH THE SHUT-OFF LOCATED AT THE MAIN. COPPER TUBING SHALL BE CONTINUOUS WITH NO COUPLINGS BETWEEN THE CORPORATION STOP AND THE CURB STOP.
3. IN GENERAL, ALL EXISTING SERVICES THAT ARE CONSTRUCTED OF MATERIALS OTHER THAN COPPER TUBING BETWEEN THE CURB STOP AND METER SHALL BE REPLACED UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
4. TOP SECTION OF VALVE BOX WITH FLANGE SHALL BE SET AT FINISHED GRADE OVER CURB STOP COVER WHEN LOCATED WITHIN PAVED AREAS AND SIDEWALK.

TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



NOTE:
EXACT LOCATION AND ELEVATION OF SERVICE CONNECTIONS TO BE DETERMINED IN THE FIELD DURING CONSTRUCTION.

6" SANITARY LATERAL CONNECTION (PAY ITEM: "6" PVC SANITARY SEWER LATERAL)
NOT TO SCALE



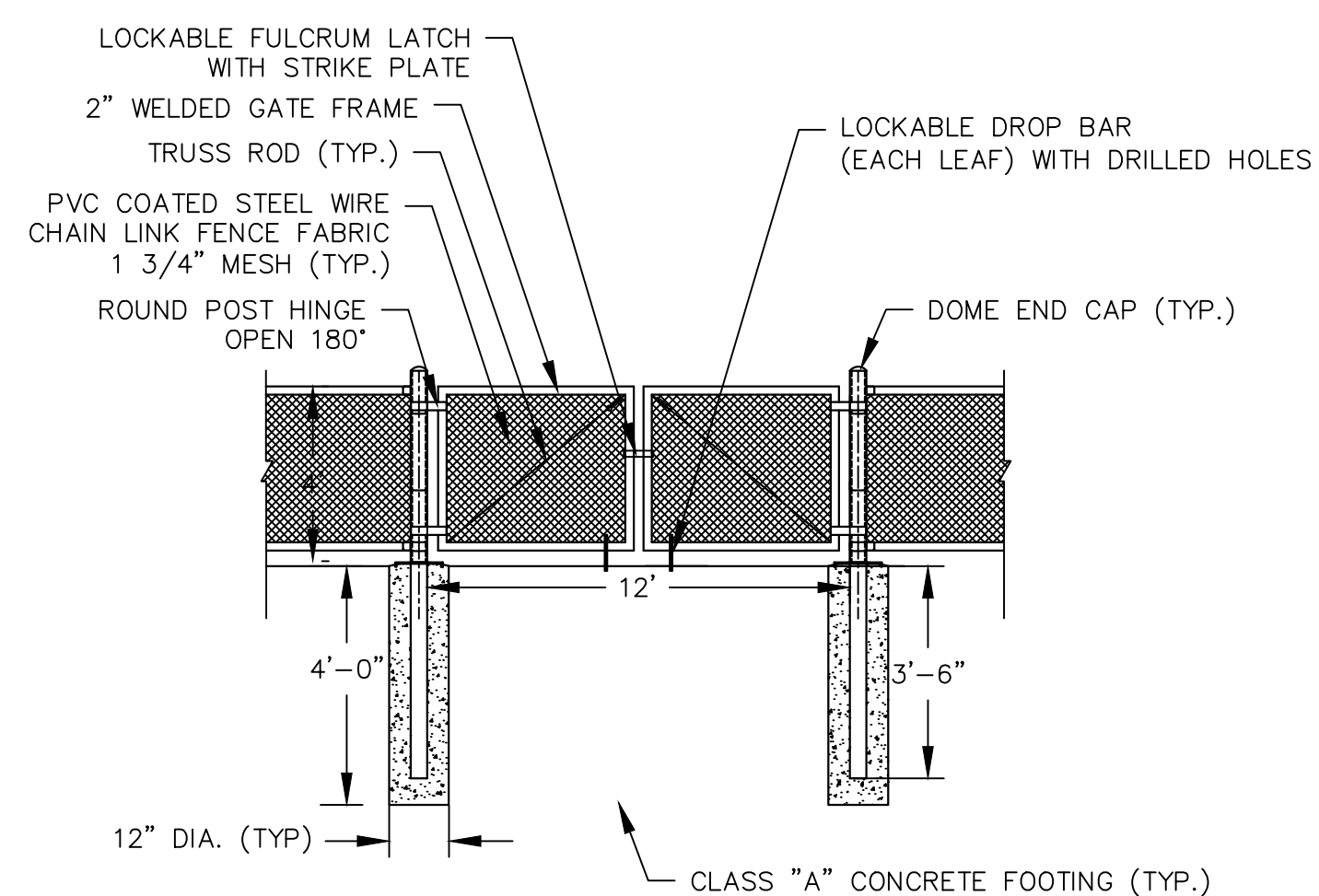
NOTES:
1. BLOCK UNUSED OPENINGS OF HANDHOLE ON THE OUTSIDE WITH PRESSURE TREATED PLYWOOD.
2. GROUT AROUND ALL CONDUITS.
3. USE 1 1/2" X 3/8" CONCRETE INSERT, STANDARD THREAD, STAINLESS STEEL, FLAT HEAD BOLT, RECESSED IN PLATE COVER. INSERTS TO HAVE CLEANOUTS.
4. TYPE II HANDHOLE 30" SIDE INSTALLED PARALLEL TO ROAD UNLESS OTHERWISE NOTED.
5. CAST THE WORD "IRRIGATION" INTO TOP EDGE OF HANDHOLE, 1 1/2" LETTERS.
6. WHERE AN EXISTING CONCRETE SIDEWALK SLAB ABUTTING A HANDHOLE IS DAMAGED OR CUT DURING INSTALLATION THE ENTIRE SECTION SHALL BE REPLACED.
7. 12-#3 REINFORCING BARS REQUIRED FOR ALL HANDHOLES.

CONCRETE HANDHOLE
NOT TO SCALE

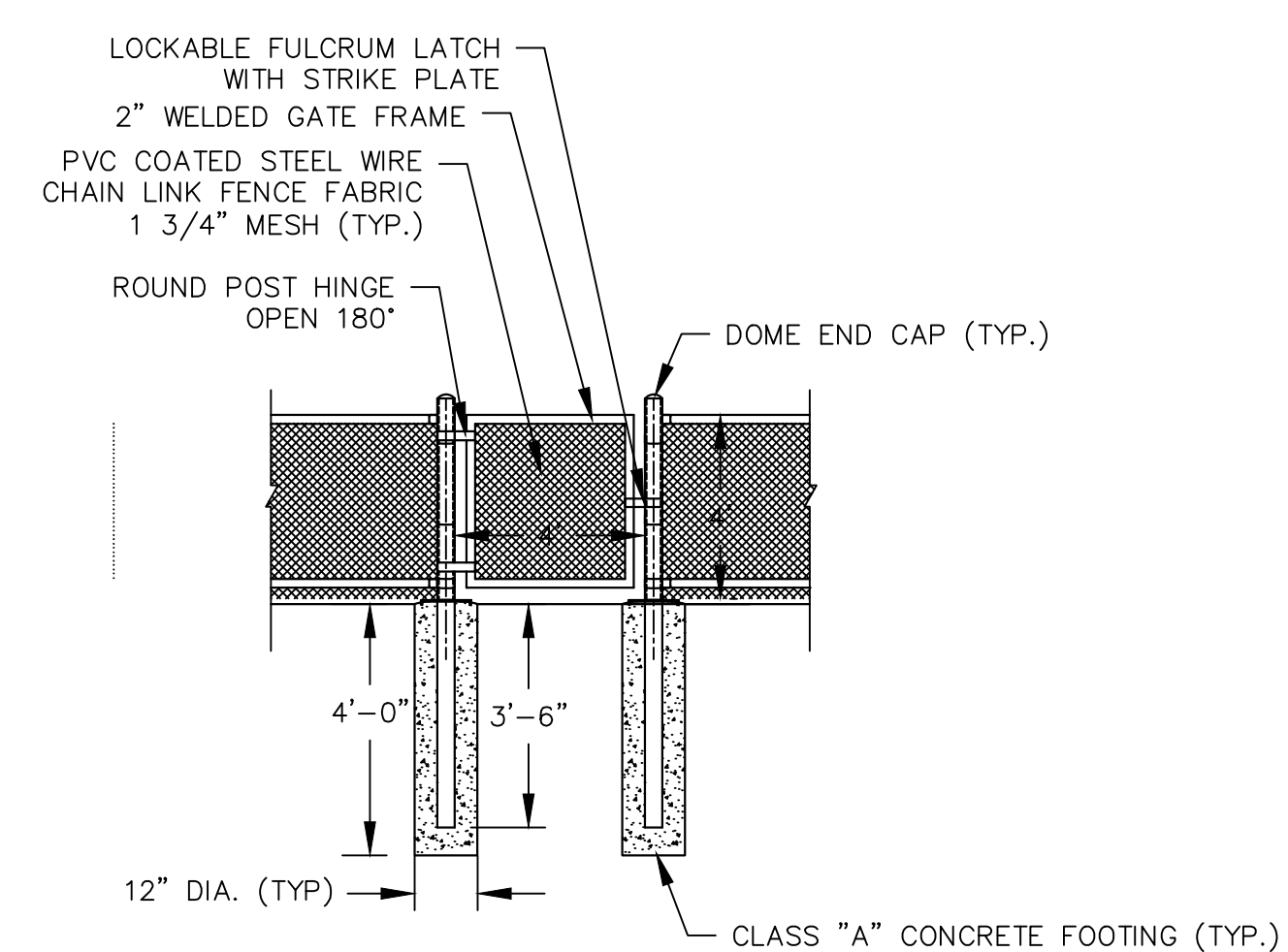
APPROVED
**PLANNING & ZONING
COMMISSION
MANCHESTER, CT.**
DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191



4" HIGH CHAIN LINK DOUBLE GATE
NOT TO SCALE



4" HIGH CHAIN LINK SINGLE GATE
NOT TO SCALE

LEGEND

—	WETLANDS BOUNDARY	☆	LIGHT POLE
—	RETAINING WALL	⊗	CONIFEROUS TREE
—	CURB WALL	⊗	DECIDUOUS TREE
—	STONE WALL	⊗	SANITARY MANHOLE
—	STOCKADE FENCE	⊗	DRAINAGE MANHOLE
—	WIRE FENCE	⊗	CATCH BASIN
—	CHAIN LINK FENCE	⊗	CULVERT END
—	PROPERTY LINE	⊗	HYDRANT
—	RAILROAD TRACKS	⊗	CURB STOP
—	SILT FENCE	⊗	WATER VALVE
□	CONCRETE MONUMENT	⊗	BUTTERFLY VALVE
■	GRANITE MONUMENT	⊗	BLOW OFF
○	IRON PIPE	⊗	SIGN
●	IRON ROD	⊗	DOUBLE POST SIGN
△	CONTROL POINT	⊗	MAIL BOX
●	DRILL HOLE	⊗	ROLLARD
⊗	UTILITY POLE	⊗	CONTROLLER CABINET
⊗	UTILITY POLE WITH LIGHT	⊗	GAS GATE
⊗	TRAFFIC SPAN POLE	⊗	TELEPHONE BOX
⊗	ELECTRIC BOX	⊗	WETLAND FLAG
⊗	WETLAND FLAG	⊗	CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
—	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

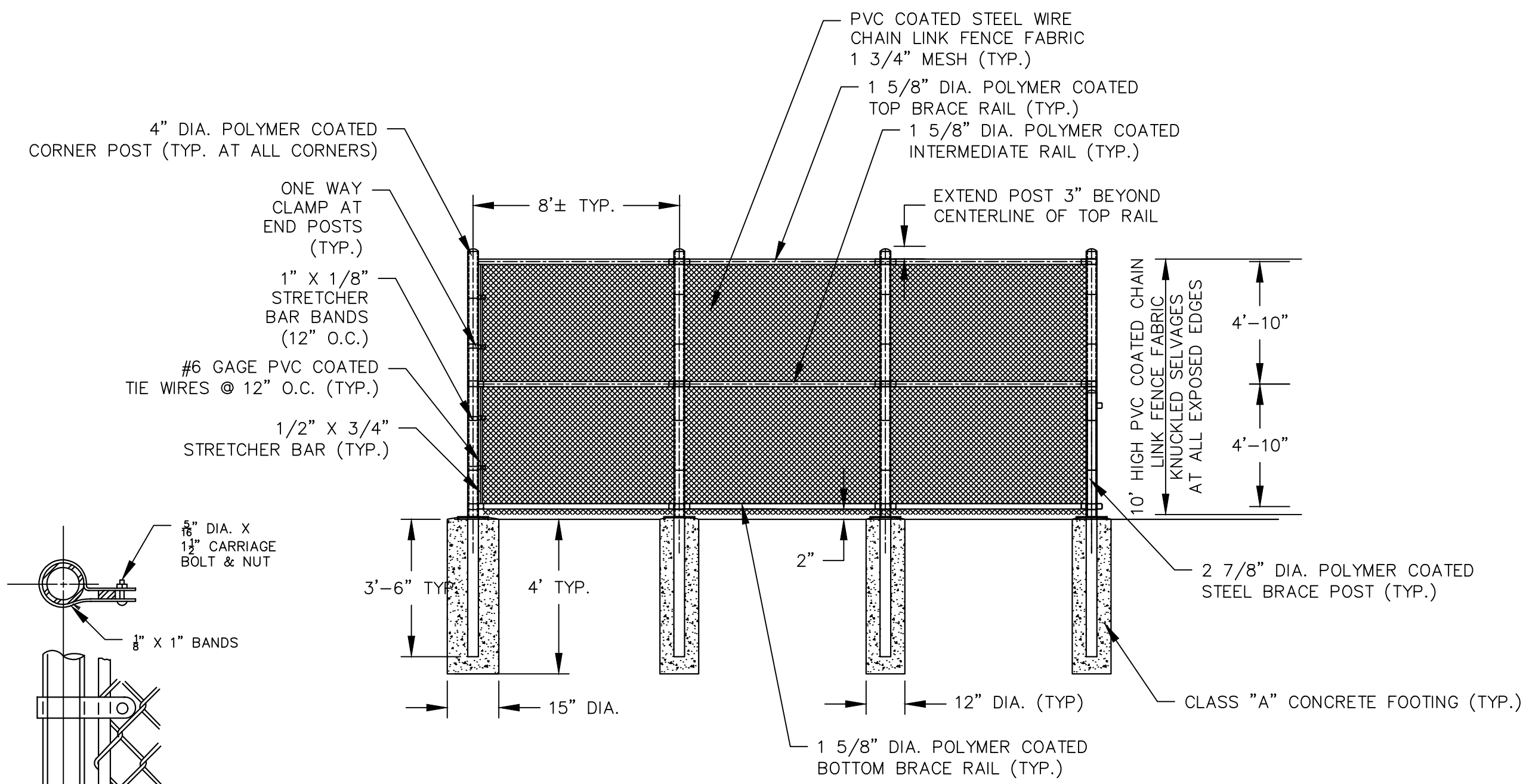
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

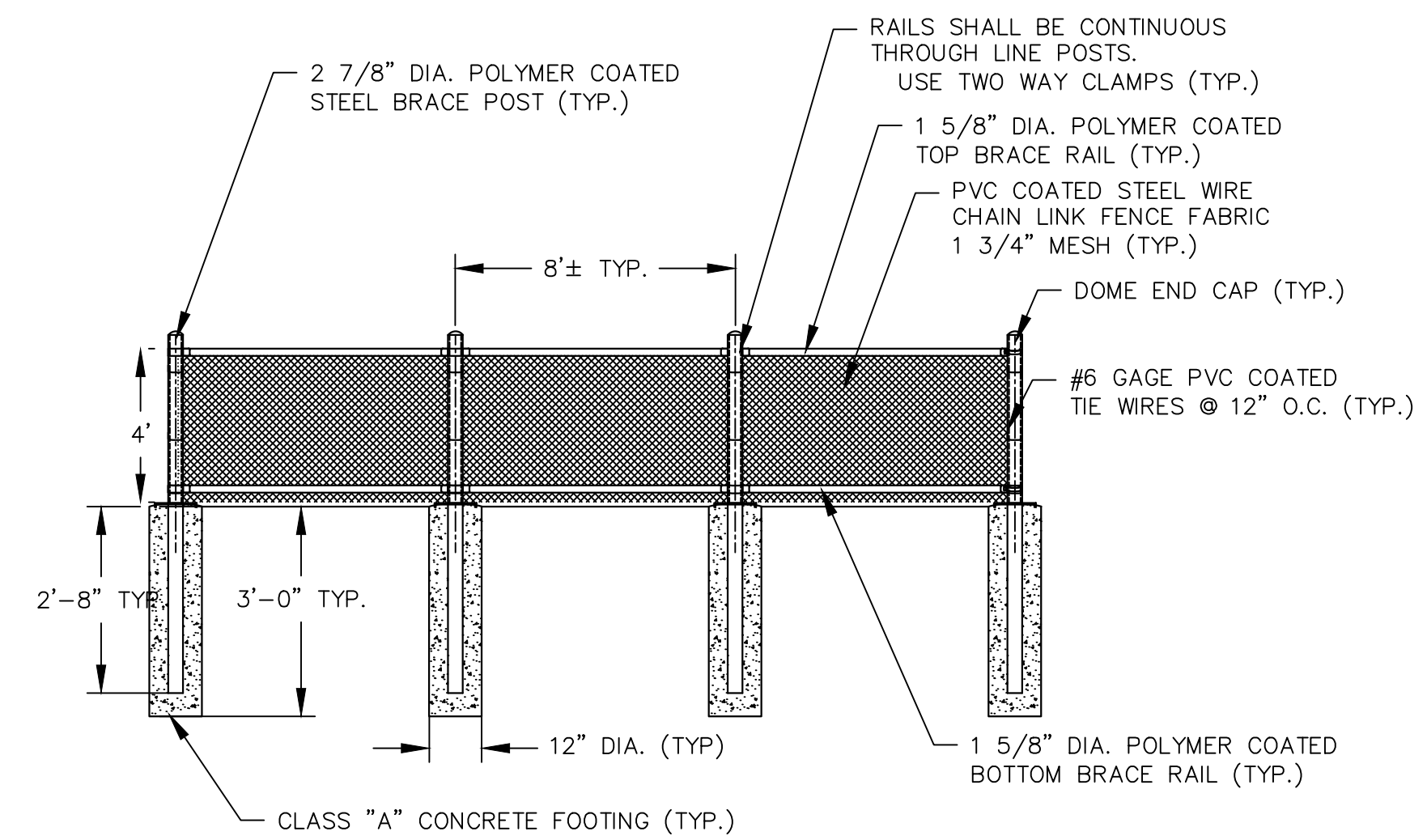
PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
DETAILS

SHEET NUMBER
13 of 16



10' HIGH CHAIN LINK FENCE
NOT TO SCALE



4" HIGH CHAIN LINK FENCE
NOT TO SCALE

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____

STRETCHER BAR ATTACHMENTS



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

—	WETLANDS BOUNDARY	☆	LIGHT POLE
—	RETAINING WALL	⊗	CONIFEROUS TREE
—	STONE WALL	⊗	DECIDUOUS TREE
—	STOCKADE FENCE	⊗	SANITARY MANHOLE
—	WIRE FENCE	⊗	DRAINAGE MANHOLE
—	CHAIN LINK FENCE	⊗	CATCH BASIN
—	PROPERTY LINE	⊗	CULVERT END
—	RAILROAD TRACKS	⊗	HYDRANT
—	SILT FENCE	⊗	CURB STOP
—	CONCRETE MONUMENT	⊗	WATER VALVE
—	GRANITE MONUMENT	⊗	BUTTERFLY VALVE
—	IRON PIPE	⊗	BLOW OFF
—	IRON ROD	⊗	SIEN
—	CONTROL POINT	⊗	DOUBLE POST SIGN
—	DRILL HOLE	⊗	MAIL BOX
—	UTILITY POLE	⊗	BOLLARD
—	UTILITY POLE WITH LIGHT	⊗	CONTROLLER CABINET
—	TRAFFIC SPAN POLE	⊗	GAS GATE
—	ELECTRIC BOX	⊗	TELEPHONE BOX
—	WETLAND FLAG	⊗	CATV TUBE

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
—	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

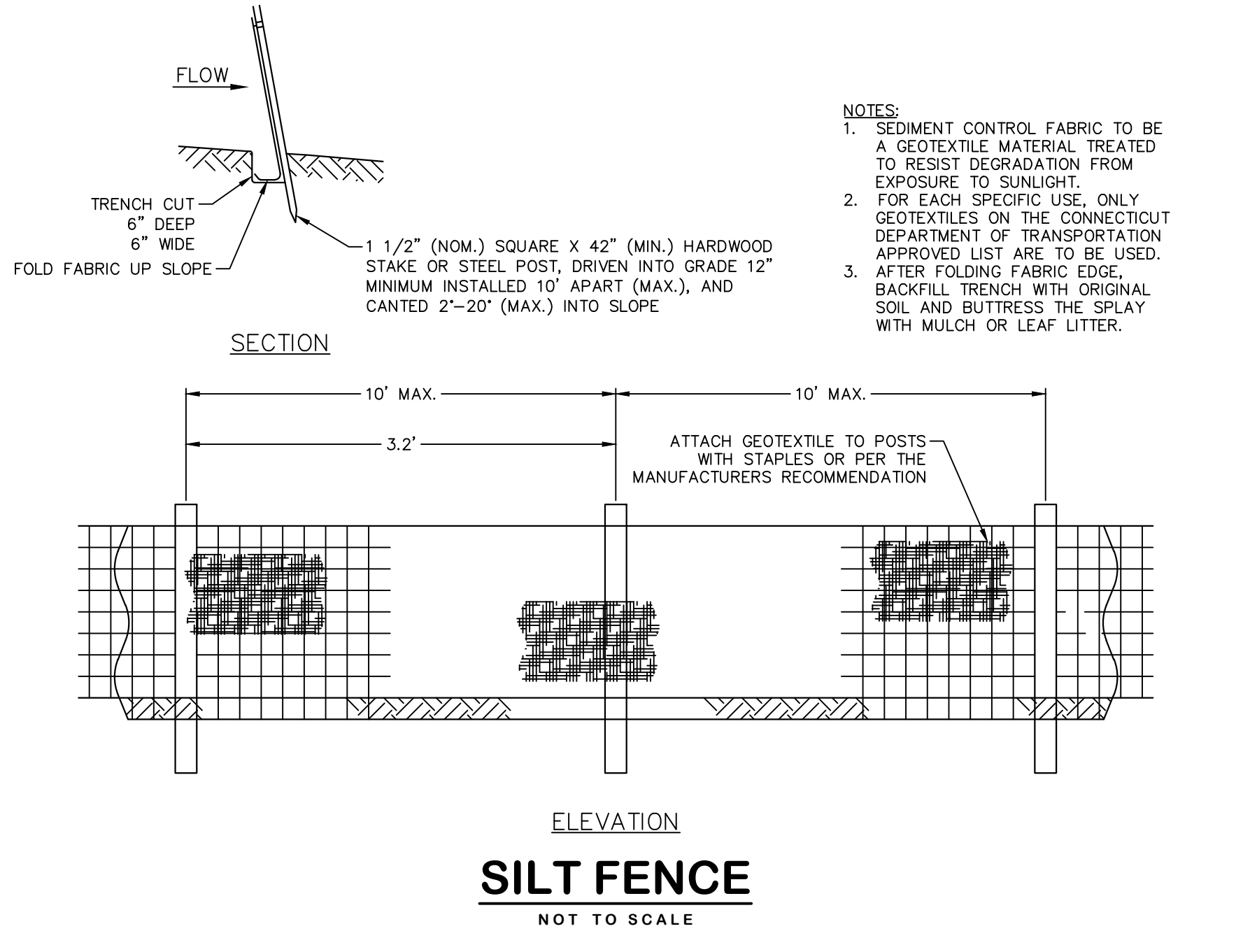
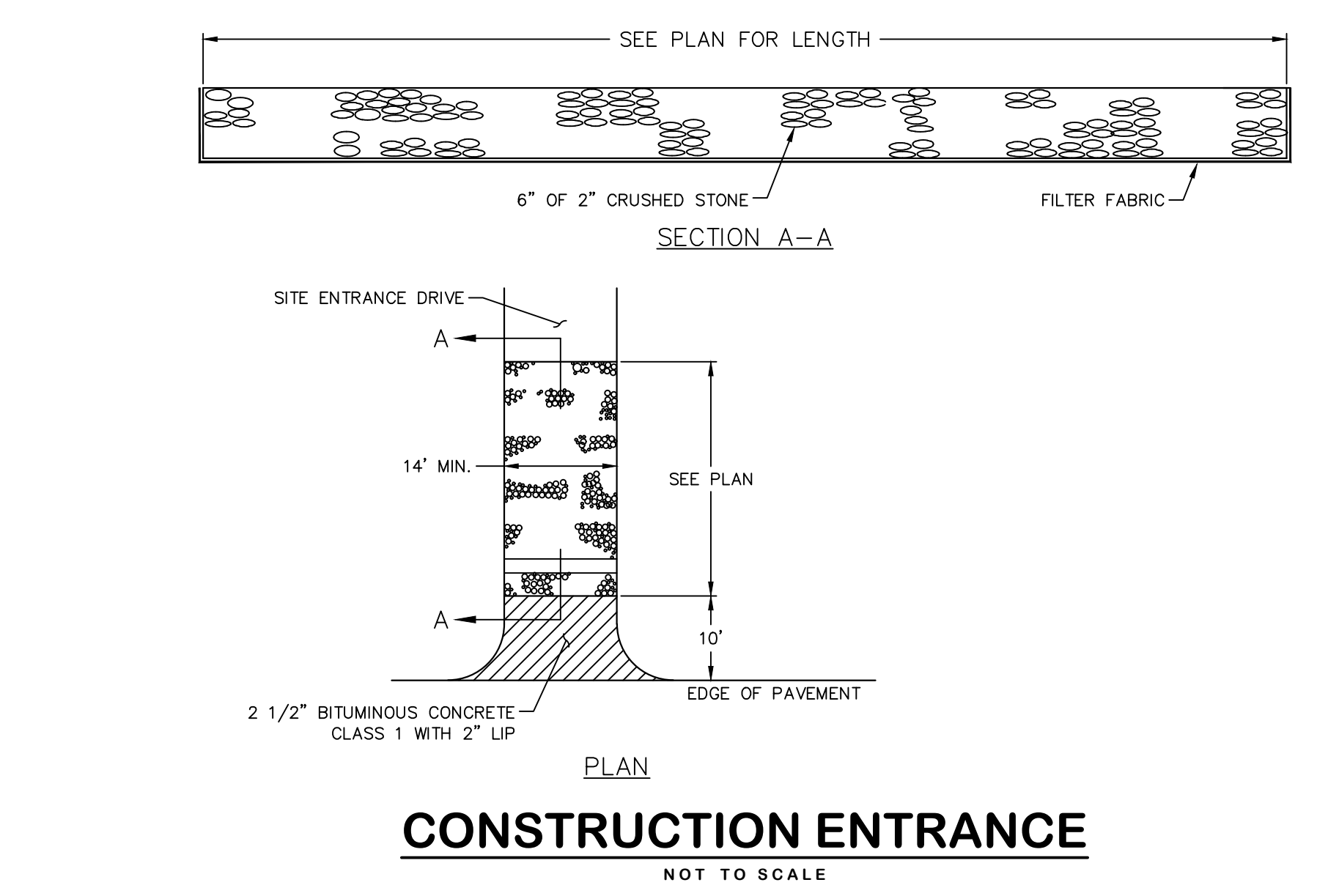
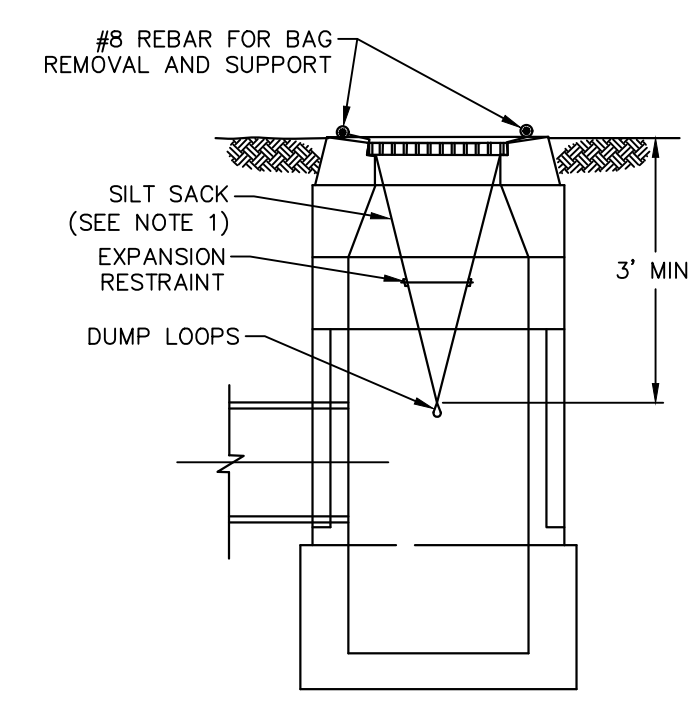
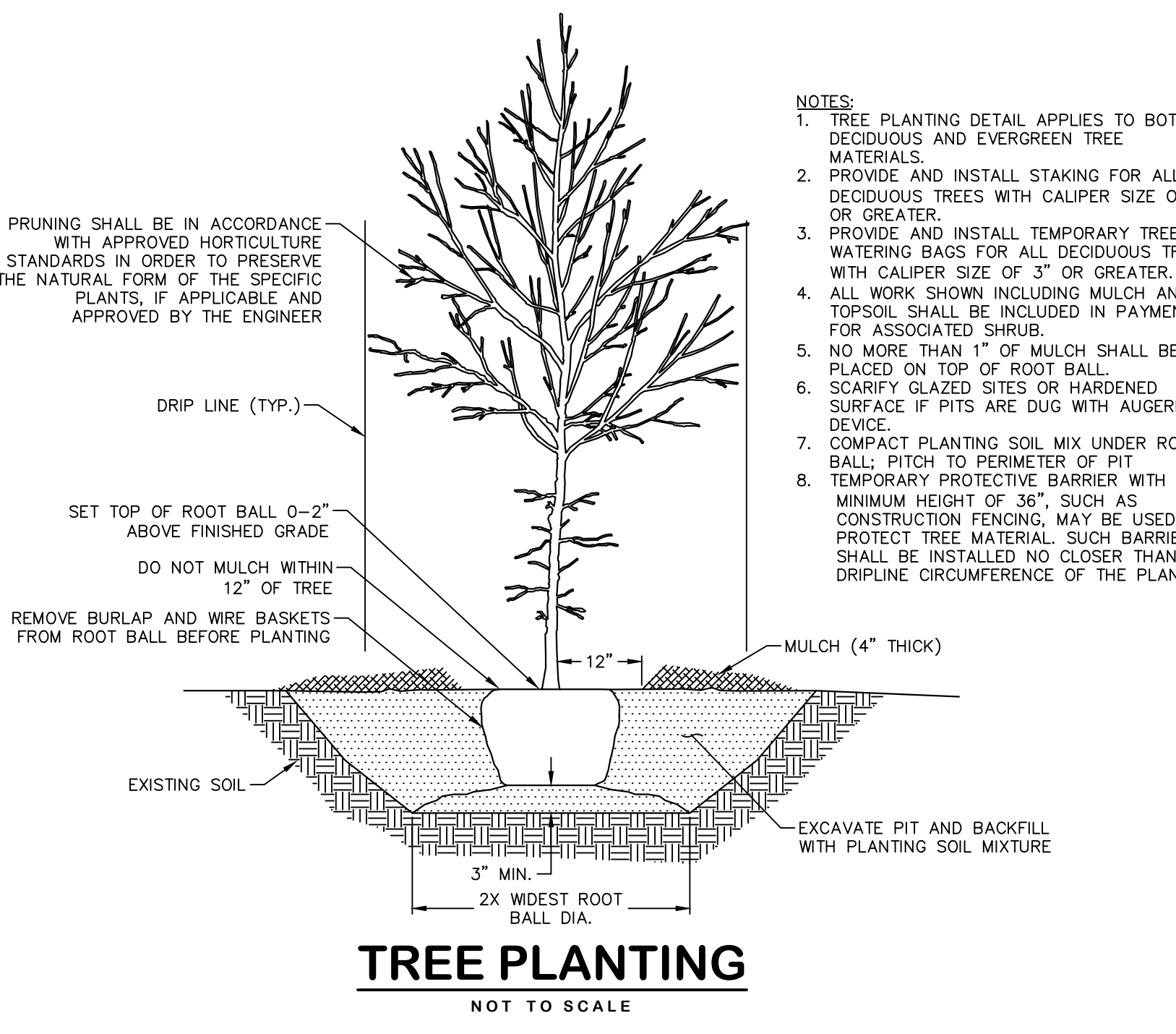
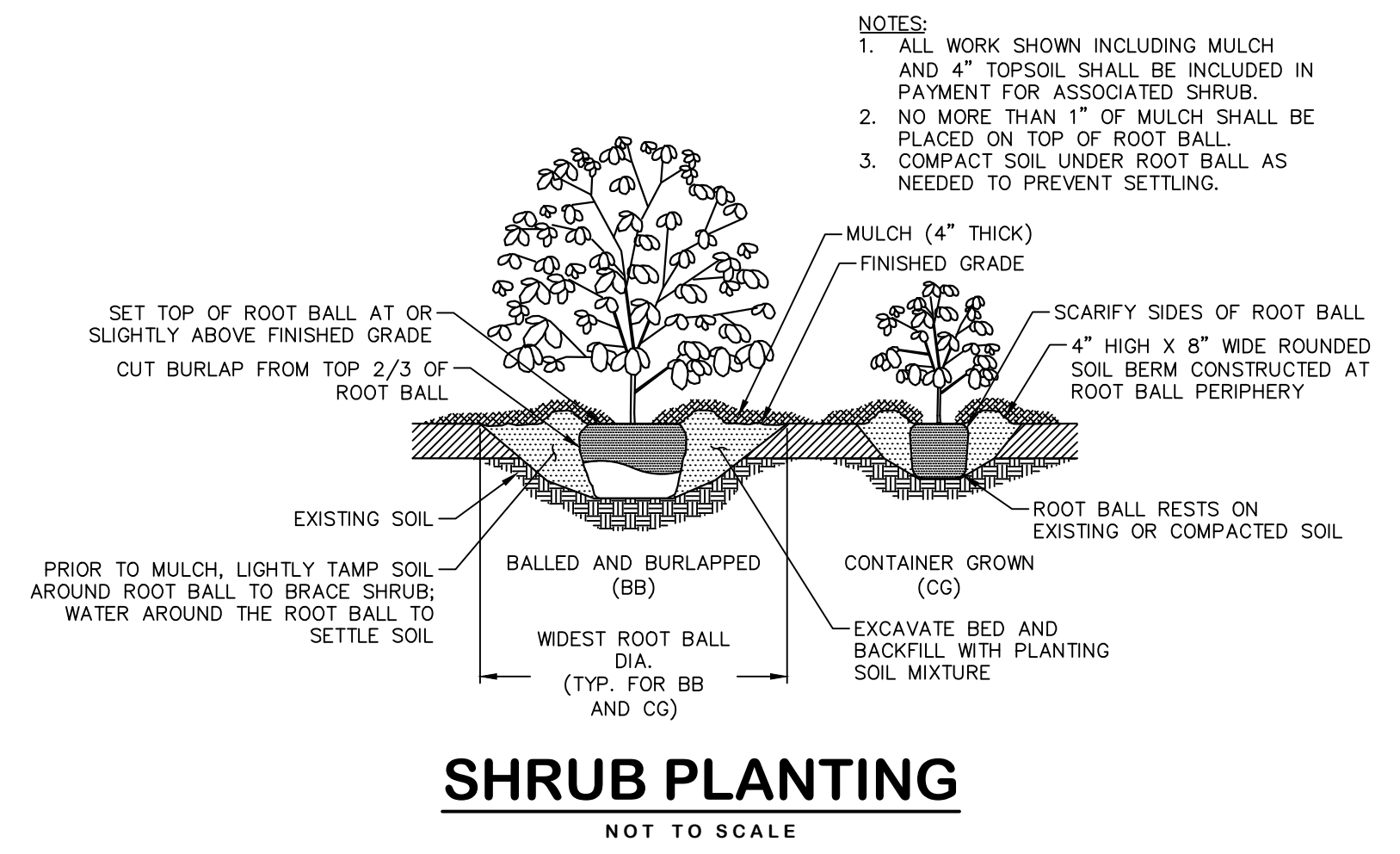
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
DETAILS

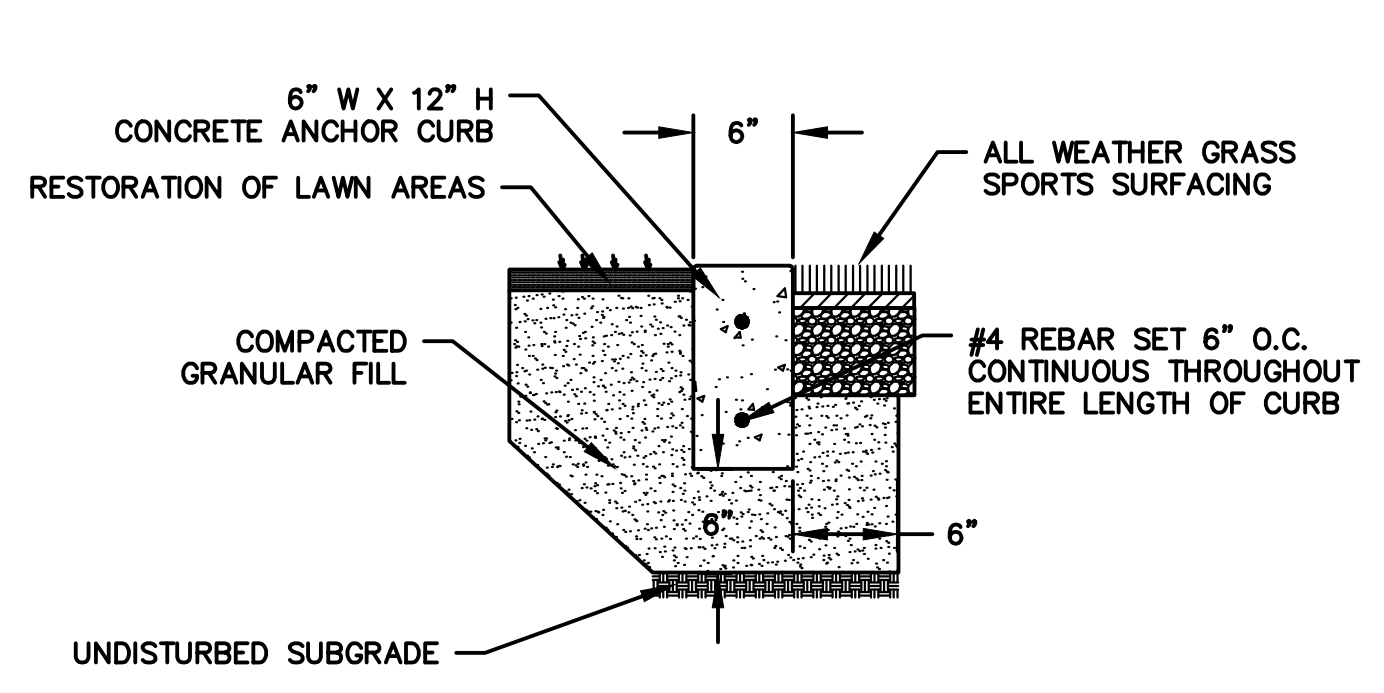
SHEET NUMBER
14 of 16



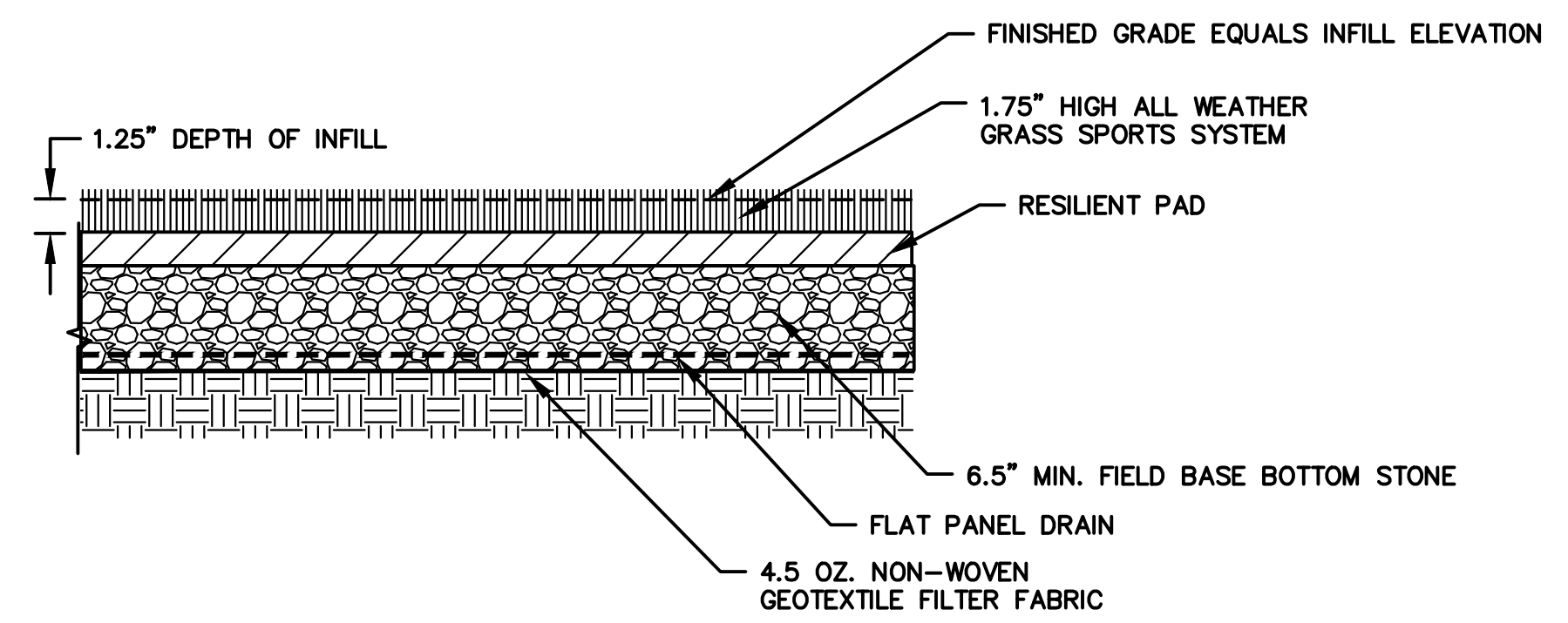
PROJECT NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "MANCHESTER PUBLIC IMPROVEMENT STANDARDS", EFFECTIVE OCTOBER 31, 2020, AS AMENDED AND THE STATE OF CONN. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, FORM 818, DATED 2020, INCLUDING ANY SUPPLEMENTS.
- ALL ELEVATIONS ARE BASED ON THE TOWN OF MANCHESTER CONTROL NETWORK.
- IMPLEMENTING WORKER SAFETY AND HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH ALL RULES, LAWS AND REGULATIONS REGARDING SAFETY AND RISK OF EXPOSURE TO PHYSICAL AND CHEMICAL HAZARDS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL EMPLOYEES OF THE CONTRACTOR AND SUBCONTRACTORS ARE TO WEAR REFLECTIVE VESTS AND HARD HATS AT ALL TIMES WHEN ON THE PROJECT SITE.
- A PRECONSTRUCTION MEETING WITH TOWN STAFF IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- IT IS ANTICIPATED THAT IMPROVEMENTS IDENTIFIED ON THE PLANS AS BEING COMPLETED "BY OTHERS" WILL BE DONE PRIOR TO OR AT THE BEGINNING STAGES OF CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE CARE NOT TO DISTURB EXISTING MONUMENTATION THAT MAY BE PRESENT NEAR THE PROJECT AREA.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND PAY ASSOCIATED FEES PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR MUST OBTAIN AN ENCROACHMENT PERMIT FROM THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION, PRIOR TO BEGINNING WORK WITHIN THE CHARTER OAK STREET RIGHT-OF-WAY AND SHALL BE RESPONSIBLE FOR ALL ASSOCIATED FEES AND REQUIREMENTS.
- THE CONTRACTOR SHALL COMMIT SUFFICIENT RESOURCES TO THE PROJECT TO ENSURE THE PROJECT IS COMPLETED WITHIN THE ALLOTTED CONTRACT TIME. ONCE MOBILIZED, THE CONTRACTOR SHALL WORK CONTINUOUSLY ON THE PROJECT UNTIL COMPLETION. ANY UNAUTHORIZED VACATING OF THE JOBSITE IS SUBJECT TO PENALTIES DESCRIBED UNDER THE "LIQUIDATED DAMAGES" SECTION OF THE CONTRACT SPECIFICATIONS.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED WHERE SHOWN ON THE PLANS OR WHERE DIRECTED BY THE ENGINEER DURING CONSTRUCTION. ALL CONSTRUCTION TRAFFIC SHALL ACCESS AND EXIT THE SITES OVER CONSTRUCTION ENTRANCES. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS OR CONSTRUCTION FENCE ACROSS OTHER ACCESS LOCATIONS TO THE SITE AT NO ADDITIONAL COST.
- NO WORK SHALL COMMENCE UNTIL ALL CONSTRUCTION AREA SIGNS ARE IN PLACE.
- ALL GRASSED AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPLACED WITH TOPSOIL, FERTILIZED AND SEEDDED AS PER THE SPECIFICATIONS. CONTRACTOR SHALL MAKE ALL EFFORTS TO MINIMIZE THE LIMITS OF DISTURBANCE AND ASSOCIATED RESTORATION THAT IS REQUIRED.
- ALL SEDIMENT CONTROL SYSTEMS SHALL MEET THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" AS PREPARED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, LATEST REVISION. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPAIR OF EROSION CONTROLS REQUIRED FOR THE PROJECT. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR FOR TEMPORARY STOCKPILING OF EXCAVATED MATERIAL AND WHERE DEEMED NECESSARY BY THE ENGINEER. EROSION CONTROLS SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL THE SITE IS STABILIZED AND THE ENGINEER APPROVES THEIR REMOVAL.
- SILT SACKS SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS WITHIN THE PROJECT AREA AND WHERE DIRECTED BY THE ENGINEER. SILT SACKS SHALL BE THE APPROPRIATE TYPE FOR CATCH BASINS WITH AND WITHOUT CURB INLETS.
- HORIZONTAL AND VERTICAL LOCATIONS OF PROPOSED WORK MAY BE ADJUSTED TO FIT EXISTING FIELD CONDITIONS WITH THE APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IF CONDITIONS ENCOUNTERED IN THE FIELD ARE DIFFERENT THAN INFORMATION SHOWN ON THE PLANS.
- THE EXISTENCE OF UTILITIES AND APPURTENANCES AS SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY. THE EXACT SIZE, LOCATION, TYPE, AND ELEVATION OF ALL UTILITIES WITHIN ALL WORK AREAS SHALL BE THOROUGHLY INVESTIGATED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AND MUST HAVE ALL UTILITIES MARKED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION.
- THE QUANTITIES AS INDICATED IN THE CONTRACT DOCUMENTS ARE APPROXIMATE AND MAY NOT INDICATE THE ACTUAL QUANTITIES OF WORK REQUIRED. THE CONTRACTOR MUST VERIFY ALL QUANTITIES.
- SURPLUS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL DISPOSE OF SURPLUS EXCAVATED MATERIAL IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY HANDLING OF ALL STORMWATER RUNOFF DURING CONSTRUCTION. METHODS OF HANDLING RUNOFF SHALL BE APPROVED BY THE ENGINEER.
- AT THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING NEW DRAINAGE SYSTEMS TO EXISTING. ALL DRAINAGE SYSTEMS WITHIN THE CONSTRUCTION LIMITS SHALL BE MAINTAINED BY THE CONTRACTOR.
- FOR CONNECTIONS TO EXISTING SANITARY SEWER STRUCTURES AND PIPING, THE CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATIONS, NOTIFY THE ENGINEER IF A DISCREPANCY EXISTS, AND ADJUST THE PIPE SLOPES AS DIRECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY HANDLING OF ALL SEWAGE FLOWS DURING CONSTRUCTION. METHODS OF HANDLING SEWAGE FLOWS SHALL BE APPROVED BY THE ENGINEER.
- AT THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING EXISTING SANITARY SEWER LATERALS TO NEW SANITARY FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL MATERIALS.
- ALL SANITARY SEWER MANHOLES SHALL HAVE A 48" INTERNAL DIAMETER UNLESS SPECIFIED OTHERWISE ON THE PLANS.
- ALL NEW WATER MAINS AND SERVICES SHALL HAVE 4.5 FEET OF COVER UNLESS OTHERWISE INDICATED ON THE PLANS. COVER LESS THAN OR IN EXCESS OF 4.5 FEET SHALL BE ALLOWED ONLY WHERE INDICATED ON THE PLANS OR APPROVED BY THE ENGINEER. WATER MAINS AND SERVICES WITH COVER LESS THAN 4.5 FEET SHALL BE INSULATED UNLESS APPROVED OTHERWISE BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY THRUST RESTRAINT THAT IS REQUIRED.

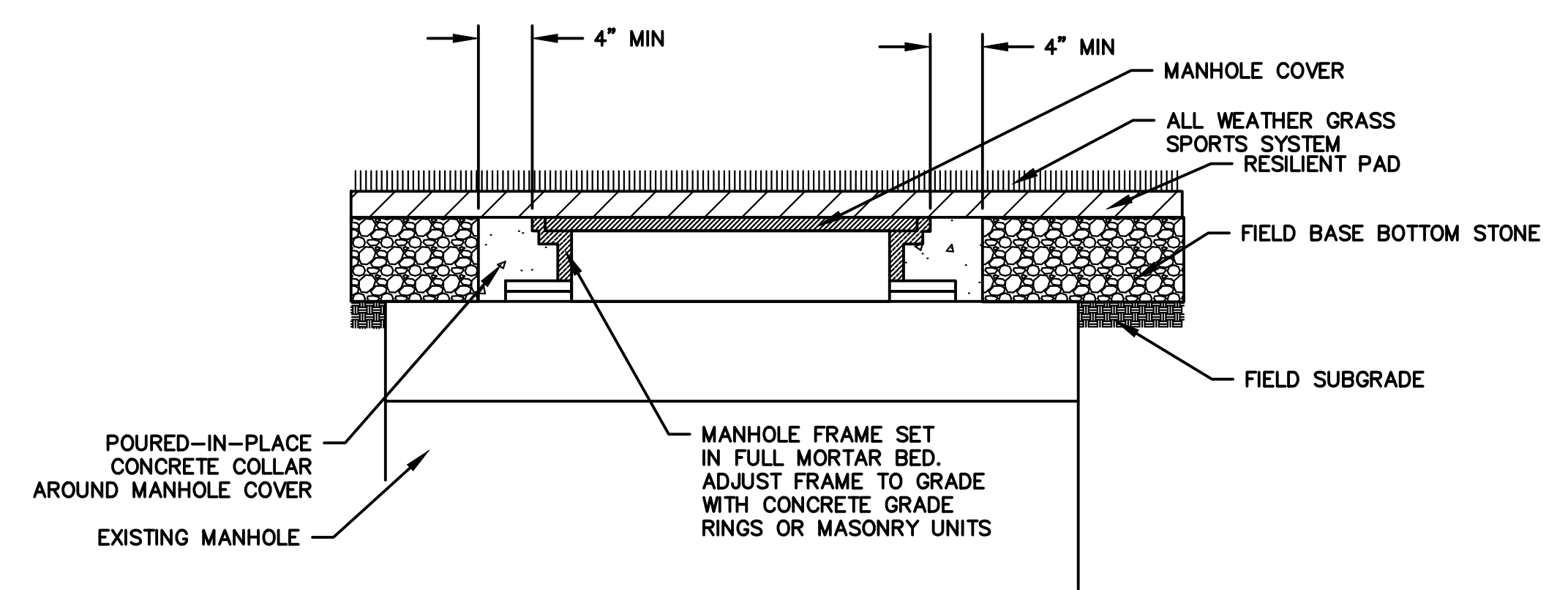
APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



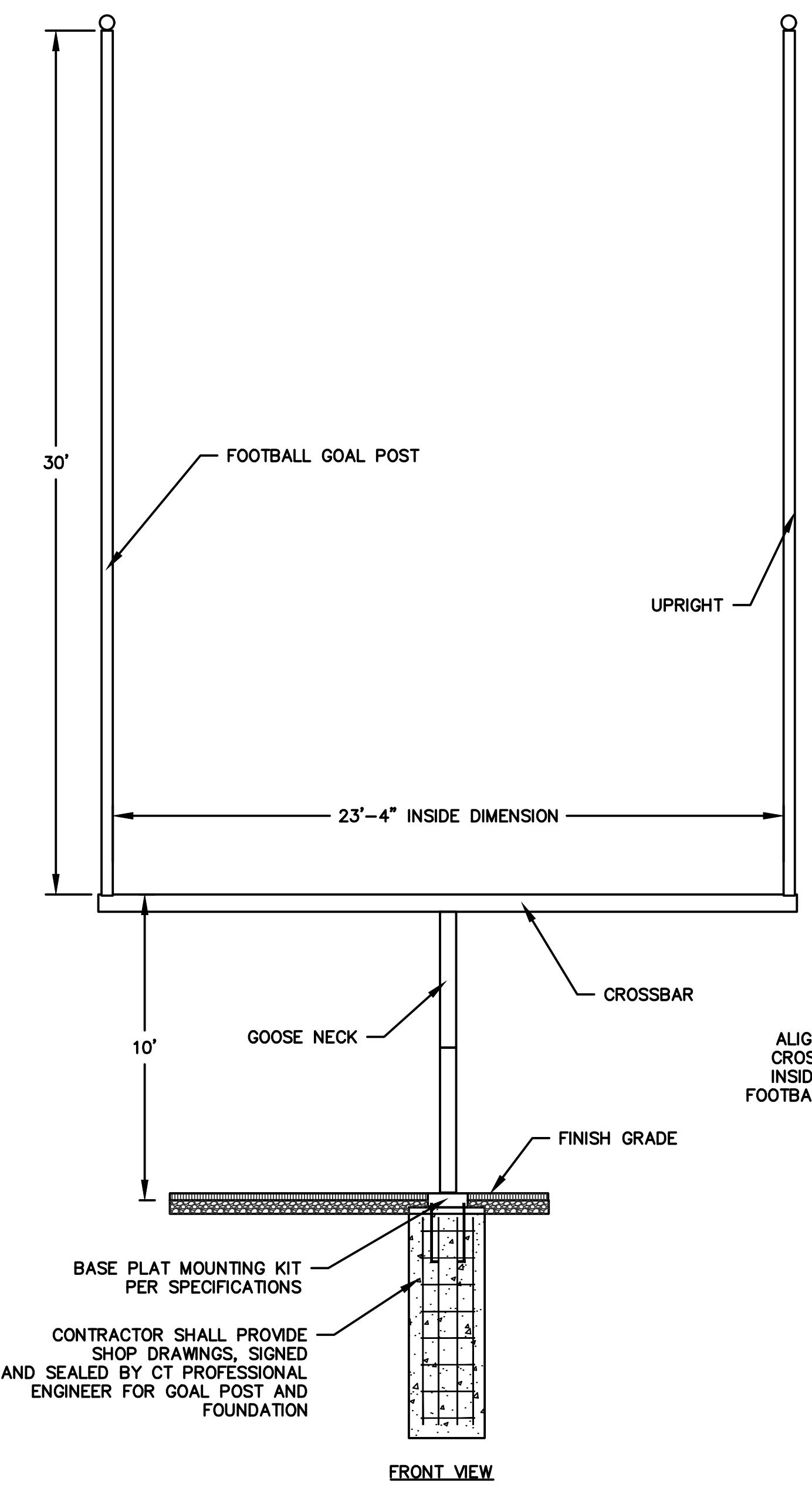
CONCRETE ANCHOR CURB
NOT TO SCALE



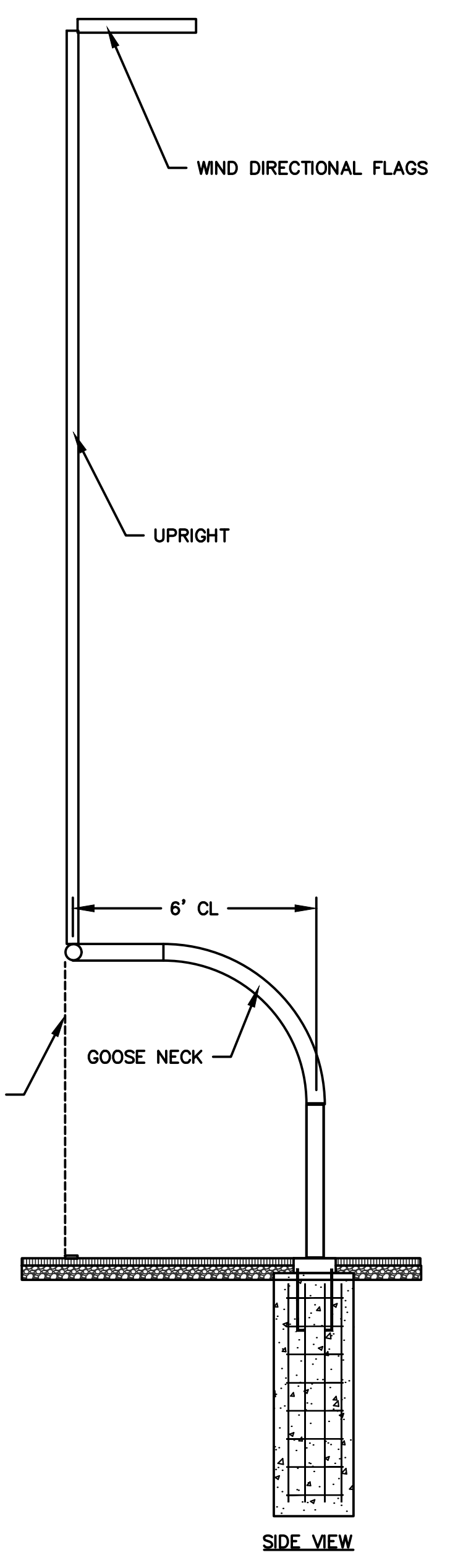
ALL WEATHER GRASS SPORTS SURFACE
NOT TO SCALE



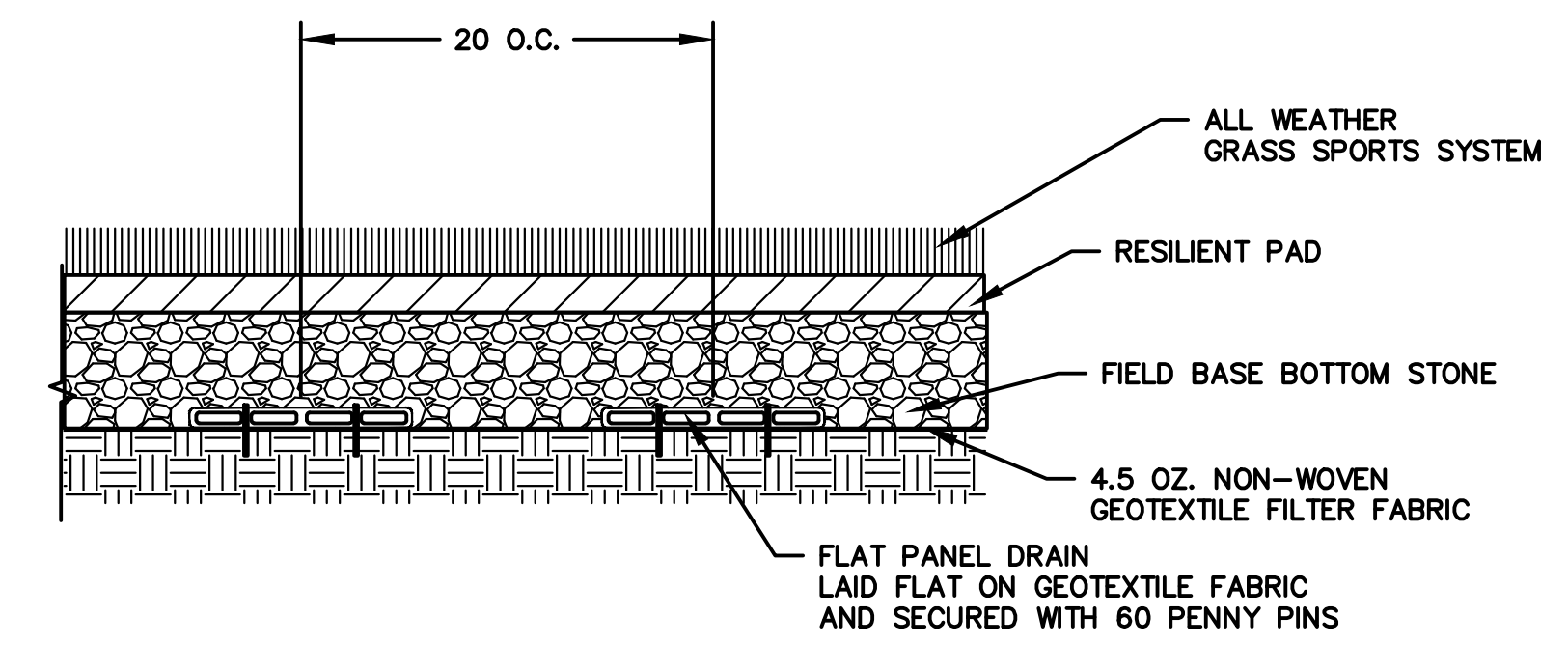
MANHOLE IN ALL WEATHER GRASS
NOT TO SCALE



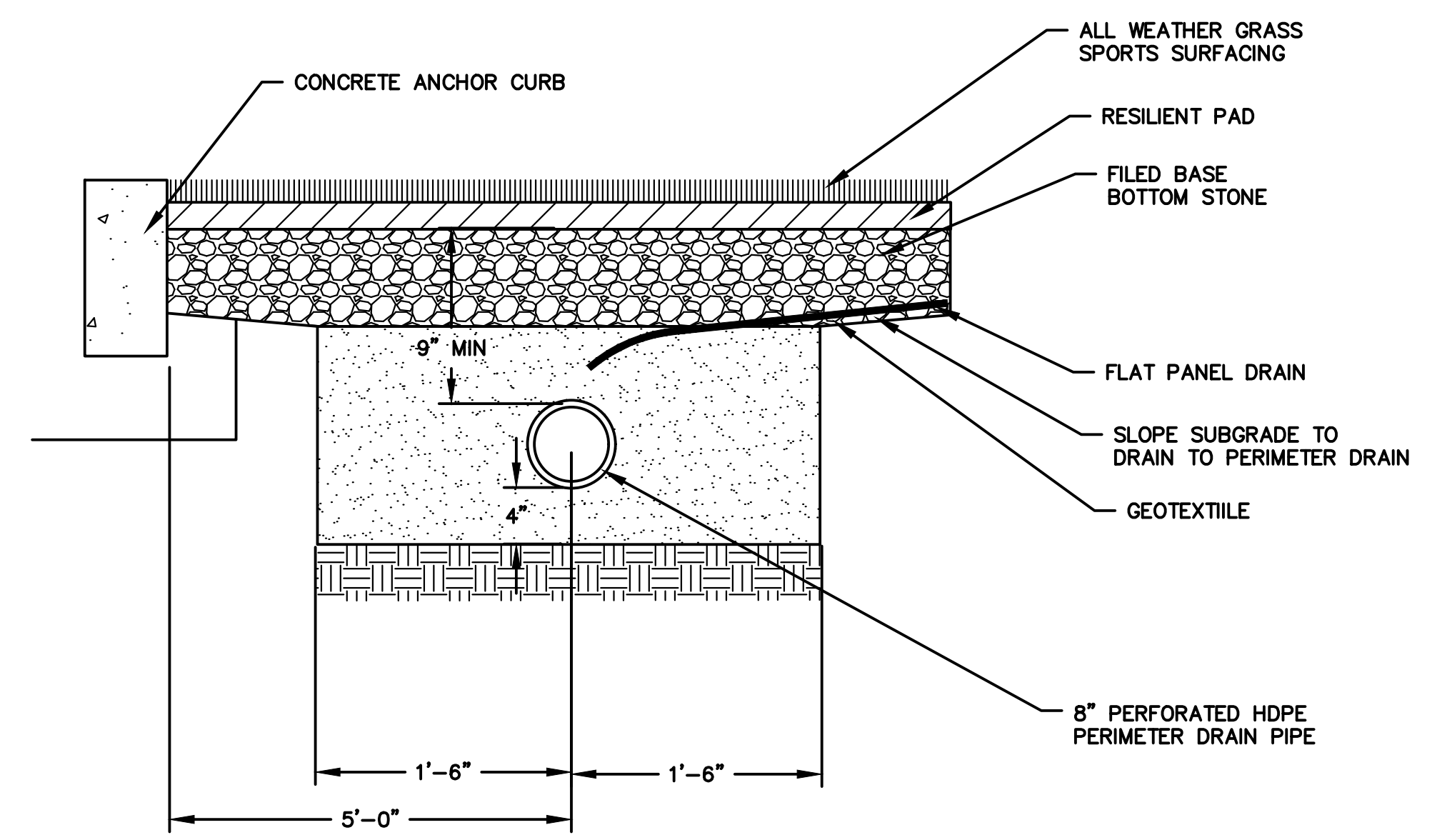
FOOTBALL GOAL POST
NOT TO SCALE



SIDE VIEW



FLAT PANEL DRAIN
NOT TO SCALE



FIELD PERIMETER COLLECTION DRAIN
NOT TO SCALE

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

—	WETLAND BOUNDARY	☆	LIGHT POLE
—	RETAINING WALL	⊗	CONIFEROUS TREE
—	QUAKE WALL	⊙	DECIDUOUS TREE
—	STONE WALL	⊕	SANITARY MANHOLE
—	STOCKADE FENCE	⊗	DRAINAGE MANHOLE
—	WIRE FENCE	⊕	CATCH BASIN
—	CHAIN LINK FENCE	⊕	CULVERT END
—	PROPERTY LINE	⊕	HYDRANT
—	RAILROAD TRACKS	⊕	CURB STOP
—	SILT FENCE	⊕	WATER VALVE
□	CONCRETE MONUMENT	⊕	BUTTERFLY VALVE
■	GRANITE MONUMENT	⊕	BLOW OFF
○	IRON PIPE	⊕	SIGN
●	IRON ROD	⊕	DOUBLE POST SIGN
△	CONTROL POINT	⊕	MAIL BOX
○	DRILL HOLE	⊕	BOLLARD
⊕	UTILITY POLE	⊕	CONTROLLER CABINET
⊕	UTILITY POLE WITH LIGHT	⊕	GAS GATE
⊕	TRAFFIC SPAN POLE	⊕	TELEPHONE BOX
⊕	ELECTRIC BOX	⊕	CATV TUBE
⊕	WETLAND FLAG		

PROJECT NUMBER
2021078

FILENAME
2021078-PLAN-PZC.DWG

NO.	DATE	FILE
—	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY:
CHECKED BY: JL
RELEASED BY: TB

DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

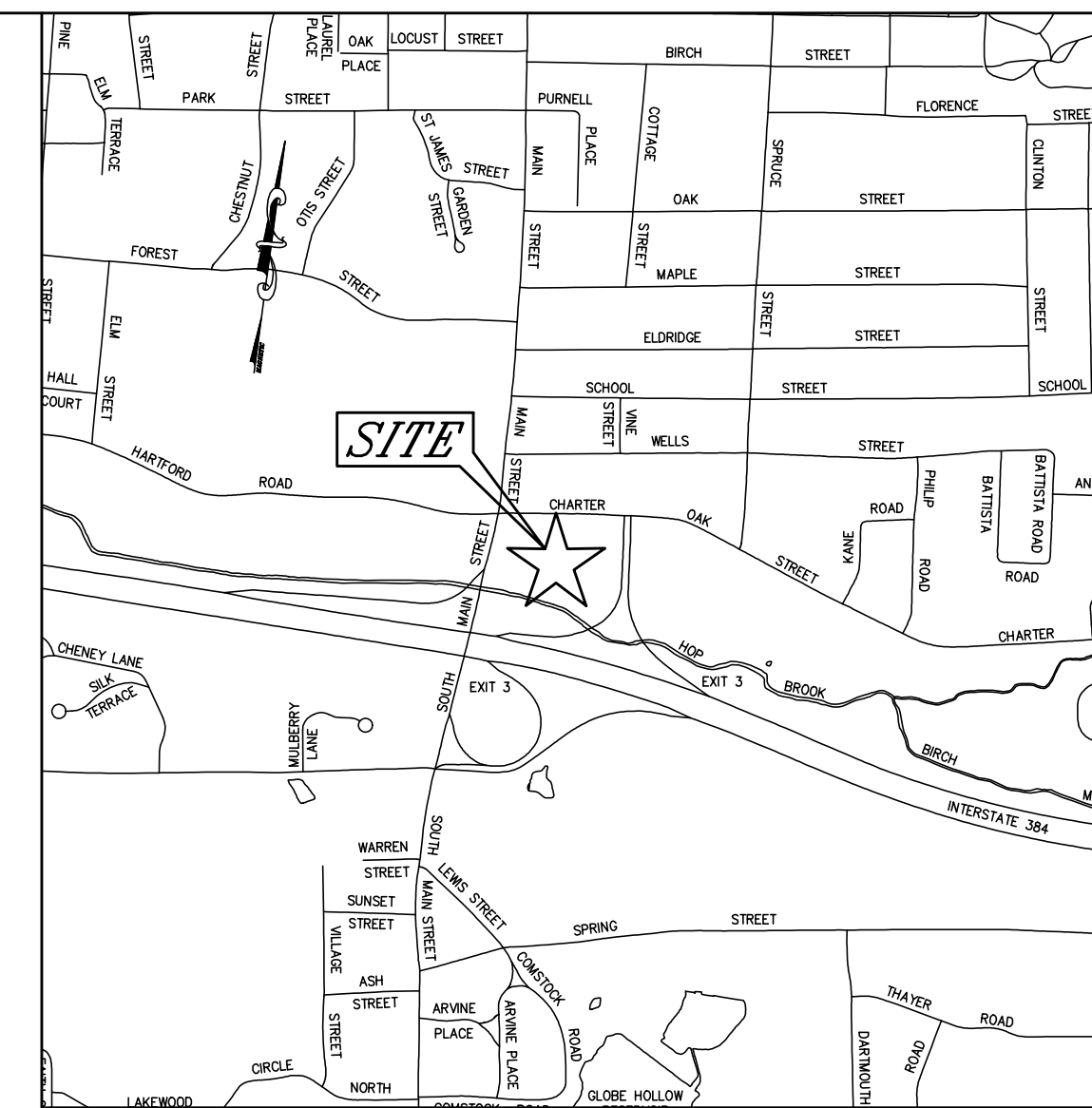
PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
DETAILS

SHEET NUMBER
15 of 16



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191



LOCATION MAP
Scale: 1"=1000'

LEGEND

	WETLANDS BOUNDARY		LIGHT POLE
	RETAINING WALL		CONIFEROUS TREE
	GUIDE RAIL		DECIDUOUS TREE
	STONE WALL		SANITARY MANHOLE
	STOCKADE FENCE		DRAINAGE MANHOLE
	WIRE FENCE		CATCH BASIN
	CHAIN LINK FENCE		CULVERT END
	PROPERTY LINE		HYDRANT
	RAILROAD TRACKS		CURB STOP
	GRAVEL DRIVEWAY		WATER VALVE
	CONCRETE MONUMENT		BUTTERFLY VALVE
	GRANITE MONUMENT		BLOW OFF
	IRON PIPE		SIGN
	IRON ROD		DOUBLE POST SIGN
	CONTROL POINT		MAIL BOX
	DRILL HOLE		BOLLARD
	UTILITY POLE WITH LIGHT		CONTROLLER CABINET
	TRAFFIC SPAN POLE		GAS GATE
	ELECTRIC BOX		TELEPHONE BOX
	WETLAND FLAG		GULLY TUBE

PROJECT NUMBER
2021078

FILENAME
2021078BASE.DWG

NO.	DATE	FILE
-	03/15/24	PZC PERMIT SUBMISSION

DRAWN BY: MAW
CHECKED BY: DTS
RELEASED BY: DTS

DRAWING SCALE
HORIZONTAL: 1" = 40' VERTICAL: NONE OR AS NOTED

GRAPHIC SCALE

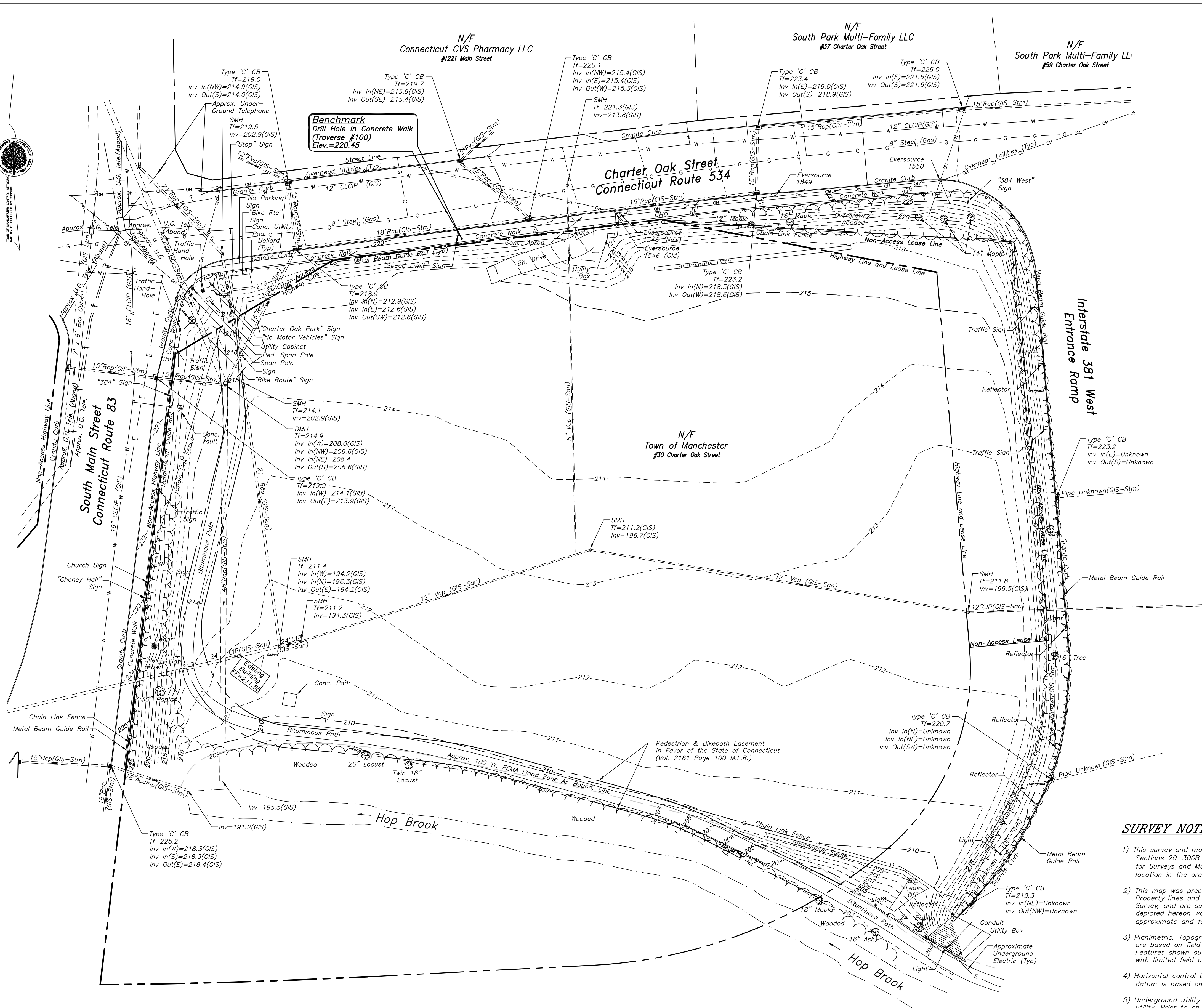
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**CHARTER OAK STREET
MANCHESTER, CT**

PROJECT TITLE
**PARK IMPROVEMENTS
CHARTER OAK WEST**

SHEET TITLE
**GENERAL LOCATION SURVEY
EXISTING CONDITIONS PLAN**

SHEET NUMBER
16 of 16



SURVEY NOTES:

- 1) This survey and map have been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300B-1 through 20-300B-20, and the "Minimum Standards of Accuracy, Content & Certification for Surveys and Maps," as revised October 26, 2018. It is a General Location Survey with physical feature location in the areas of construction conforming to a Class "C" standard of accuracy.
- 2) This map was prepared from record research, other maps, limited field measurements, and other sources. Property lines and Street lines depicted hereon are not to be construed as a Boundary or Limited Boundary Survey, and are subject to such facts as said surveys may show. Property line and Street line information depicted hereon was taken from existing Town of Manchester mapping as referenced hereon. It is approximate and for general orientation purposes only. It does not represent a property/boundary opinion.
- 3) Planimetric, Topographic, and Utility Elevations (Visible Surface Structures) depicted within the project area are based on field survey conducted prior to the project and conform to a Class 1-2 standard of accuracy. Features shown outside of the project area were obtained from Townwide Aerial Mapping dated April 1999, with limited field checks.
- 4) Horizontal control based on Town of Manchester control network points #254 & #9000 (NAD 1983). Vertical datum is based on Town of Manchester control network (NAVD 1988). (Established in 1998).
- 5) Underground utility information is based on the best available information as provided by the respective utility. Prior to any construction activity, contact Call Before You Dig at 1-800-922-4455. Test Pits may be required by respective utilities.
- 6) It is the intent of this plan to depict existing topographic and planimetric data within the area shown for infrastructure improvements.

To my knowledge and belief this map is substantially correct as noted hereon.

DOUGLAS T. SANBORN, P.L.S. 18144
CERTIFICATION INVALID WITHOUT LIVE SIGNATURE AND RAISED SEAL
DATE


MAP REFERENCES:

- 1) "Right of Way Map Town of Manchester Interstate 84 From Main Street to the Bolton Town Line, Sheet 1 of 7, Number 76-16, Scale: 1"=80', Dated: January 1977, By: Connecticut Department of Transportation Bureau of Highways" (T.O.M. Engineering Map #65/02)
- 2) "Right of Way Survey Town of Manchester Map Showing Easement Acquired From Town of Manchester By The State of Connecticut Department of Transportation Pedestrian Walkway and Bikepath, Scale: 1:5000m, By: The Bureau of Engineering and Highway Operations" (T.O.M. Town Clerk Map #1233)
- 3) "Lease Sketch Town of Manchester Showing Land Leased to Town of Manchester by the State of Connecticut Department of Transportation Interstate Route 384, Project No. 76-184, Scale: 1"=40', Dated December 2019, By: Connecticut DOT Bureau of Engineering and Construction"

R:\ProjectPublic Works\2021078 - Park Improvements - Adventure Park at Charter Oak\Proj\SURVEY\2021078_Base.dwg, 3/19/2024 8:30:07 AM, imwood@town...

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: Megan Pilla, Principal Development Planner 

DATE: March 28, 2024

RE: Discussion – Open space acquisition process

Introduction

The attached draft of a proposed resolution regarding the open space acquisition process has been provided for discussion by Commissioner Farina.

Staff will provide feedback at the April 1, 2024 meeting.

mp

R:\Planning\PZC\2024\04 - April 01\Packet\Land Acquisition - Memo.docx

Attach.

**Manchester Planning and Zoning Commission
Resolution to Create a Plan of Open Space Acquisition
and Greenways Protection and Development**

WHEREAS, the Town of Manchester is committed to preserving and protecting its natural resources and open spaces for the benefit of its residents and future generations; and

WHEREAS, open space acquisition is a stated goal of the Town of Manchester Plan of Conservation and Development; and

WHEREAS, the Town of Manchester Planning and Zoning Commission may make recommendations for the implementation of the Plan of Conservation and Development [Sec. 8-23. (f) (6)]; and

WHEREAS, the Town of Manchester Planning and Zoning Commission may make plans for open space acquisition and greenways protection and development [Sec. 8-23. (f) (6) (E)]; and

WHEREAS, no current Planning and Zoning Commission plan for open space acquisition and greenways protection and development exists; and

WHEREAS, whereas the Planning and Zoning Commission desires a plan for open space acquisition and greenways protection and development:

NOW, THEREFORE, BE IT RESOLVED that the Planning and Zoning Commission of the Town of Manchester shall create a Plan of Open Space Acquisition and Greenways Protection and Development; and

BE IT FURTHER RESOLVED that the Planning and Zoning Commission of the Town of Manchester shall appoint a subcommittee of [3–4] commissioners to draft a Plan of Open Space Acquisition and Greenways Protection and Development; and

BE IT FURTHER RESOLVED that the subcommittee shall take into consideration the recommendations of, but not limited to, the Conservation Commission, Advisory Recreation and Parks Commission, the Hockanum River Trail Committee, the Manchester Land Conservation Trust, and the Manchester Land Acquisition and Historical Preservation Committee; and

BE IT FURTHER RESOLVED that the Plan of Open Space Acquisition and Greenways Protection and Development shall include explicit goals consistent with the Town of Manchester Plan of Conservation and Development; and

BE IT FURTHER RESOLVED that the Plan of Open Space Acquisition and Greenways Protection and Development shall include recommendations for implementation of the plan,

including but not limited to timelines, amount of land to be purchased, funds to be expended annually, and funding mechanisms such as referenda and grants; and

BE IT FURTHER RESOLVED that the subcommittee shall present a draft plan to the Planning and Zoning Commission for review by Sept 16, 2024, which may debate and modify the plan directly, or return the plan to the subcommittee for additional work, to be finalized and presented no later than December 9, 2024.

ADOPTED this [*day*] of [*month*], 2024.


PLANNING AND ZONING COMMISSION OF THE TOWN OF MANCHESTER

By: _____

Chair

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: Megan Pilla, Principal Development Planner 

DATE: March 28, 2024

RE: Discussion – Municipal fines for inland wetlands violations

Introduction

The attached draft of a possible ordinance proposal has been modified from the draft originally provided by Commissioner Farina, in consultation with the Town Attorney's office.

The two (2) references to the Connecticut General Statutes that are highlighted in yellow are being confirmed, and may be updated if necessary.

mp

R:\Planning\PZC\2024\04 - April 01\Packet\IW Ordinance - Memo.docx

Attach.

Proposed Ordinance:
Inland Wetlands Agency Citations and Fines

Article I - Authority and Purpose

This ordinance is enacted under the authority of the Connecticut General Statutes §§ 22a-36 to 22a-45, inclusive, and the Town of Manchester Charter. It aims to describe the principals and procedures associated with the enforcement and implementation of citations and/or fines associated with inland wetland violations in the Town of Manchester, Connecticut.

Article II – Definitions [Is this redundant to definitions in

Charter?] Article III - Citation Authority and Procedure

The Inland Wetlands Agent or any duly authorized person as designated by the Town Manager, of the Town of Manchester is empowered to issue citations for any violations of this ordinance. Citations may be served either by hand delivery or by certified mail, return receipt requested, to the person or entity named in the citation. Citations shall be issued for egregious violations and/or instances where the violator has failed to comply with initial notices and/or orders issued by the Inland Wetlands Agent.

Article IV - Violations and Penalties

Any activity violating the regulations set forth by this ordinance, the Inland Wetlands and Watercourses Regulations (Regulations), or any actions, activities, or requirements as included within an active approved permit, or any order issued pursuant thereto, may be subject to citation and/or fine.

Article V. Penalties for offenses; fines

A. Violations of Wetlands Regulations.

- (1) The following fines may be assessed by citation for a violation of the Inland Wetland and Watercourse Regulations, or any actions, activities, or requirements as included within an active approved permit, or any order issued pursuant thereto:
 - (a) For conducting, assisting, or allowing the conduct of any regulated activity within wetlands or watercourses or the 100-foot upland review area without a permit or in violation of any permit, as further defined in Section 3.5 of the Regulations: a fine of up to \$1,000 for each offense.
 - (b) For conducting, assisting, permitting the conduct of, undertaking, permitting the existence of, or allowing any regulated activity outside of an inland wetland or watercourse without a permit or in violation of any permit which causes, directly or indirectly, any alteration of the physical, chemical or biological properties of any wetland or watercourse: a fine of up to \$1,000 for each offense.
 - (c) For noncompliance with permit conditions and/or limitations or with enforcement orders, where such noncompliance is not described in Article V(1)(a-b) of this section: a fine of up to \$1,000 for each offense.
 - (d) For conducting any other regulated activity without the issuance of a permit, where such activity is not described in Article V(1)(a-b) of this section: a fine of up to \$1000 for each offense.
- (2) Each violation of the Regulations or permit or enforcement order may be a separate and distinct offense, and, in the case of a continuing violation, each day's continuance may be deemed to be a separate and distinct offense.

(3) For repeated violations on the same property, fines shall be doubled to the extent permissible by law.

(4) The date of the offense shall be concurrent with the date that the violation was first identified. Any fines associated with the current offense shall be retroactively incurred to the date of identification of the violation.

Article VI - Period for Uncontested Payment of Fines

Those persons or entities cited have a period of thirty days from receipt of the citation to make an uncontested payment of the fine. Such fines shall be made payable to the Collector of Revenue of the Town of Manchester. If such fine is not paid within the thirty-day period, further actions may be taken pursuant to Section **7-152c** of the Connecticut General Statutes.

Article VII - Appeals and Hearing Procedures

Any person or entity cited wishing to contest a citation may request a hearing before the Citation Hearing Officer within thirty days of receipt of the citation. Hearing procedures shall be established in accordance with the provisions of Section **7-152c** of the Connecticut General Statutes.

Article VIII - Citation Hearing Officers

The Town Manager shall appoint an impartial Citation Hearing Officer to conduct hearings. No person with a personal conflict of interest shall serve as a Citation Hearing Officer. The Inland Wetlands Agent, Zoning Enforcement Officer, or any current member of the Planning and Zoning Commission or Inland Wetlands Agency may not be appointed as a Citation Hearing Officer.

Article IX - Remedies Not Exclusive

The remedies provided by this ordinance are not exclusive and shall be in addition to any other remedies available under state law or other municipal ordinances.

Article X - Severability

If any part of this ordinance is declared invalid by a court, the remainder shall not be affected and shall continue in full force and effect.

Article XI - Effective Date

This ordinance shall take effect upon passage by the Board of Directors.

Adoption

This ordinance is hereby adopted by the Board of Directors of the Town of Manchester, Connecticut, on [Adoption Date], and shall be published as required by law.

DRAFT

**TOWN OF MANCHESTER
MINUTES OF PUBLIC HEARING
HELD BY THE PLANNING AND ZONING COMMISSION/
INLAND WETLANDS AND WATERCOURSES AGENCY
MARCH 18, 2024**

MEMBERS PRESENT:

In Person: Eric Prause, Chairman
Patrick Kennedy, Vice Chairman
Michael Stebe, Secretary
Teresa Ike
Chris Schoeneberger
Daniela Luna
Michael Farina

**ALTERNATE MEMBER SITTING FOR
APPROVAL OF MINUTES ONLY:**

In Person: Maliha Ahsan

ALTERNATES PRESENT

In Person: Bonnie Potocki

ABSENT:

Zachary Schurin

ALSO PRESENT:

In Person: Megan Pilla, Principal Development Planner
Gary Anderson, Director of Planning & Economic
Development
Electronically: Nancy Martel, Recording Secretary

The Chairman opened the Public Hearing at 7:00 P.M. The Secretary read the legal notice when the call was made.

TOWN OF MANCHESTER PLANNING & ZONING COMMISSION (continued from March 4, 2024) – Proposed regulation amendment at Art. II, Sec. I (General Requirements for Residential Zones) to allow the conversion of former school buildings to multi-family residential. – Zoning Regulation Amendment (REG-0001-2024)

Ms. Pilla recapped the proposed new section to allow for the conversion of former school buildings to multi-family residential by special exception. It is similar to, though not exactly the same as, special exceptions that allow similar conversions of historic mills and hotels and motels. This would be applicable to all residential zones because that is where nearly all existing school buildings are located and where schools are permitted.

Ms. Pilla responded to questions:

1. *How was Bennet housing approved?* In 1982, housing for the elderly and handicapped was a special exception use in residential zones. It was later removed from the zoning regulations and replaced with the EHD zone.
2. *Minimum floor area requirements in the draft proposal.* That has been removed. In doing research, she sought examples of other municipalities' minimum floor areas of dwelling units, which she could not find. She contacted the Connecticut Planning Listserve as well as the Town Attorney's office and learned that it is not allowed to have minimum dwelling unit floor areas in zoning regulations anymore, which was part of Public Act 21-29 in 2021: Zoning regulations shall not: (7) Establish for any dwelling unit a minimum floor area that is greater than the minimum floor area set forth in the applicable building, housing or other code.
3. *Financial Guarantee.* Art. IV, Sec. 22 of Manchester's zoning regulations, added after the mill conversion regulations were created, does outline all financial guarantee requirements in accordance with state law and they are applicable to all projects. She added a brief reference to the proposed section to ensure it is noted.

4. *Affordable Housing.*

- Option 1 – No requirement. Most consistent with the rest of the zoning regulations.
- Option 2 – Incentivizes by allowing construction of new buildings or building additions if 15% of units in the development are dedicated affordable units. (Includes height and density criteria for new buildings and additions.)
- Option 3 – Same requirement as historic mill conversions, 10% of all must be dedicated as affordable units.

If the Commission moved tonight to approve the draft as written, it would be Option 1 with no affordable housing requirement.

5. *Consistency with POCD Recommendations.*

- “Educational Facilities” Recommendation #3 – Complete the Repurposed Schools project and move forward.
- “Housing – Changing Preferences” Recommendation #1 – Strengthen neighborhoods and expand housing choices through an increased mix of uses, diversified housing choices, and the concentration of more housing within mixed-use areas such as Downtown.
- “Housing Attainability” Recommendation #2 – Prioritize policies and programs that encourage higher density pedestrian-oriented neighborhoods with a range of housing choices.

Between Option 2 and Option 3, staff prefers Option 2 because Option 3 with the mill conversion did not achieve the intent they sought in terms of affordable units. Incentivizing, rather than requiring, allows more flexibility and opens the door to more development proposals and a wider range of possibilities, and potentially more interest from developers.

Mr. Farina asked for clarification about the state guidelines for affordable housing in a community and where Manchester stands. He noted that Manchester has done a great job providing affordable housing.

Mr. Anderson reported that there is an Affordable Housing Appeals List. The municipalities in the state are required to have at least 10% of their units dedicated as affordable. Manchester is on the good side of that, in the 14% range. The Planning Department has issues with the way those are measured, but all towns are measured by the same criteria.

Mr. Stebe observed that Manchester had to report its listing and ratings recently, and Mr. Anderson confirmed that it is every year.

Ms. Potocki stated that she reviewed the Transforming Manchester document put together by the consultant on the schools. Page 27, which pertains to Nathan Hale School, reported the desires of the neighborhood: housing, school, incorporating mixed use, and perhaps community space. She suggested that Commission members consider the effort made to have a consultant review the survey. Regarding the historic character of the building, it is a historic façade, but the inside will need substantial rehab.

Mr. Anderson pointed out that this proposal is just the work to change the zoning regulations to allow this type of use.

Mr. Prause thanked the staff for the affordable housing options. Having a requirement may be difficult and developers may shy away. The second option with an incentive would allow expansion of the density or the height and he asked whether staff believe it to be in any way detrimental to have this clause in the regulations.

Mr. Anderson did not see it as a negative. One of the Commission's priorities over the next year or two will be redoing the zoning regulations. In his opinion, that is something to be looked at holistically instead of adding it to a rehab use within the regulations. While he did not see the harm in adding it, perhaps there are other places to add it and think more about incentivizing affordable housing throughout town.

Mr. Prause added that the two incentives it looks at are: increasing the building height to three floors, and potentially adding more buildings to increase density on the site. Looking at all the potential schools, there are not any that are already three stories high, and he is unsure how feasible it would be to add a third story. However, a developer could add more structures that are three story.

Ms. Pilla agreed, clarifying that it does not have to be a third story; it could be an addition of any kind. This is a special exception regulation, and each proposal would be reviewed and approved on a case-by-case basis.

Mr. Prause speculated whether there would be enough area to have the correct amount of open space and parking for there to be another building, or if it could never be invoked based on the three potential buildings.

Ms. Pilla stated that it could potentially be feasible at the sites based on the size, setbacks and other dimensional standards that would be required.

Mr. Schoeneberger, referring to Option 2, stated that is illustrative and there could be other types of incentives.

Ms. Pilla reported that, for the Option 2 wording, any building addition or any new building could trigger that requirement for affordable housing. She acknowledged that it could be worded however the Commission wanted it to be.

Mr. Stebe recognized that there is already a plan for a more holistic review of the zoning regulations, and adding an affordable housing clause would be pushing this out for another meeting. In his opinion, going with what was written without an affordable housing section is the appropriate step, with the notion that the overhaul of the regulations adds a section on affordable housing.

Ms. Potocki referred to Sec. 12, Recreational Areas, noting that minimum floor areas are not allowed. She asked whether that would be in conflict. She additionally asked about Public Act 21-29.

Ms. Pilla stated that has nothing to do with minimum floor areas of the dwelling units; that references the gross floor area of the entire building. Public Act 21-29 refers to minimum floor area of dwelling units.

Ms. Pilla reported the response to the referral to CRCOG. They found no conflict with the original proposal and regional plans and applauded the effort to increase diversified housing options by allowing conversions.

There were no members of the public to speak on the application.

MOTION: Mr. Kennedy moved to close the public hearing. Ms. Ike seconded the motion and all members voted in favor.

The public hearing was closed at 7:30 P.M.

I certify these minutes were adopted on the following date:

Date

Eric Prause, Chairman

**NOTICE: A DIGITAL RECORDING OF THIS PUBLIC HEARING CAN BE HEARD
IN THE PLANNING DEPARTMENT.**

DRAFT

**TOWN OF MANCHESTER
MINUTES OF BUSINESS MEETING
HELD BY THE PLANNING AND ZONING COMMISSION/
INLAND WETLANDS AND WATERCOURSES AGENCY
MARCH 18, 2024**

MEMBERS PRESENT:

In Person: Eric Prause, Chairman
Patrick Kennedy, Vice Chairman
Michael Stebe, Secretary
Teresa Ike
Chris Schoeneberger
Daniela Luna
Michael Farina

**ALTERNATE MEMBER SITTING FOR
APPROVAL OF MINUTES ONLY:**

In Person: Maliha Ahsan

ALTERNATES PRESENT

In Person: Bonnie Potocki

ABSENT:

Zachary Schurin

ALSO PRESENT:

In Person: Megan Pilla, Principal Development Planner
Gary Anderson, Director of Planning & Economic
Development
Electronically: Nancy Martel, Recording Secretary

The Chairman opened the Business Meeting at 7:30 P.M.

TOWN OF MANCHESTER PLANNING & ZONING COMMISSION – Proposed regulation amendment at Art. II, Sec. I (General Requirements for Residential Zones) to allow the conversion of former school buildings to multi-family residential. – Zoning Regulation Amendment (REG-0001-2024)

Zoning Regulation Amendment (REG-0001-2024)

MOTION: Mr. Kennedy moved to approve the zoning regulation amendment to add Art. II, Sec. 1.00.03 to allow the conversion of former school buildings to multi-family housing by special exception in residential zones. Ms. Ike seconded the motion and all members voted in favor.

The reason for the approval is that the proposed amendment is consistent with the following recommendations of the Plan of Conservation and Development:

- “*Educational Facilities*” recommendation #3: Complete the Repurposed Schools project and move forward.
- “*Housing – Changing Preferences*” recommendation #1: Strengthen neighborhoods and expand housing choices through an increased mix of uses, diversified housing choices, and the concentration of more housing within mixed-use areas such as Downtown.
- “*Housing Attainability*” recommendation #2: Prioritize policies and programs that encourage higher density pedestrian-oriented neighborhoods with a range of housing choices.

The zoning regulation amendment will be effective on April 8, 2024.

Mr. Stebe commended Town staff for their diligence in revising the proposal. He felt this is a major step to bringing life and vitality back into the Nathan Hale building and neighborhood.

Mr. Prause commented that this is very much in compliance with the recent Plan of Conservation and Development (POCD), in that it referenced the Repurposed Schools project. He reported that he is in support of Option 2, which would provide incentives when affordable housing is included.

APPROVAL OF MINUTES

March 4, 2024 – Public Hearing/Business Meeting

MOTION: Mr. Kennedy moved to approve the minutes as written. Mr. Schoeneberger seconded the motion. Mr. Prause, Mr. Kennedy, Mr. Stebe, Ms. Ike, Mr. Schoeneberger, Mr. Farina, and Ms. Ahsan voted in favor of the motion. Ms. Luna abstained.

ADMINISTRATIVE REPORTS

- Lot Line Revision administratively approved for 38 and 46 Markwood Lane.
- Upcoming Training Opportunities
- Notice of Intent received to file a petition for a declaratory ruling to the Connecticut Siting Council for a 1.66 megawatt solar facility at 186 Foster Street in South Windsor.
- Update on 250 Carter Street – At a hearing last week, the Siting Council did grant the request that they hold a public hearing. The date has not yet been set.
- Comprehensive Zoning Update – Interviews of potential consultants are scheduled for the first week of April with the Steering Committee.

Mr. Stebe interjected that CRCOG will hold a series of items that will precede their quarterlies.

Ms. Potocki requested an update on a matter before Superior Court regarding Wyneding Hill Road.

Ms. Pilla responded that there is no update at this time. It was an appeal brought by a resident on the decision.

RECEIPT OF NEW APPLICATIONS

There were no new applications.

MOTION: Mr. Kennedy moved to close the Business Meeting. Ms. Ike seconded the motion and all members voted in favor.

The Business Meeting was closed at 7:50 P.M.

I certify these minutes were adopted on the following date:

Date

Eric Prause, Chairman

NOTICE: A DIGITAL RECORDING OF THIS BUSINESS MEETING CAN BE HEARD IN THE PLANNING DEPARTMENT.