

**TOWN OF MANCHESTER
PLANNING AND ZONING COMMISSION**

May 20, 2024
7:00 P.M.

Lincoln Center Hearing Room, 494 Main Street
Or virtually, via Zoom

AGENDA

NOTE: EXECUTIVE SESSION – 6:30 - 7:00 P.M.
Discussion with Town Attorney on pending appeal

This meeting will be held both in person and virtually, via Zoom. The meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to speak at or attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting> by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting and will be allowed to speak when directed by the Chairman. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to pzccomments@manchesterct.gov, or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.

PUBLIC HEARING:

1. **VESSEL TECHNOLOGIES** – Amendment to Article II, Section 7.03 to allow a higher density of dwelling units in the Planned Residential Development (PRD) zone by special exception, if the total number of bedrooms does not exceed 20 per acre.
 - Zoning Regulation Amendment (REG-0003-2024)

BUSINESS:

1. **VESSEL TECHNOLOGIES** – Amendment to Article II, Section 7.03 to allow a higher density of dwelling units in the Planned Residential Development (PRD) zone by special exception, if the total number of bedrooms does not exceed 20 per acre.
 - Zoning Regulation Amendment (REG-0003-2024)
2. **TRIVIK BUILDERS, LLC** – Modification to site plans at 27 Lillian Drive.
 - PRD Detailed Site Plan Modification (PRD-0001-2024)

3. **JULIANO'S POOLS** – Relocation of septic leaching field and construction of a new in-ground pool with patio and safety fence at 37 Pondview Drive.
 - Inland Wetlands Permit – Determination of Significance (IWP-0051-2023)
4. **BILLY NARVAEZ & RACHEL YIRIGIAN** – Pre-application review for a possible zoning regulation amendment proposal to allow construction of a new 4-family residence in Residence B (RB) zone.
 - Pre-application Review (PAR-0003-2024)
5. **APPOINTMENT OF ALTERNATE MEMBER TO CAPITOL REGION PLANNING COMMISSION**
6. **ADMINISTRATIVE REPORTS**
 - Upcoming Training Opportunities
 - Comprehensive Zoning Regulations update – consultant and schedule
7. **APPROVAL OF MINUTES**
 - May 6, 2024 – Public Hearing/Business Meeting
8. **RECEIPT OF NEW APPLICATIONS**

**TOWN OF MANCHESTER
LEGAL NOTICE**

The Planning and Zoning Commission will hold a public hearing on May 20, 2024 at 7:00 P.M., both virtually and in person in the Lincoln Center Hearing Room, 494 Main Street, Manchester, Connecticut, to hear and consider the following petitions:

VESSEL TECHNOLOGIES – Zoning Regulation Amendment (REG-0003-2024) – Amendment to Article II, Section 7.03 to allow a higher density of dwelling units in the Planned Residential Development (PRD) zone by special exception, if the total number of bedrooms does not exceed 20 per acre.

At this hearing interested persons may be heard, either in person or virtually via Zoom, and written communications received. This meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to speak at or attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting>, by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting and will be allowed to speak when directed by the Chairman. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to pzccomments@manchesterct.gov, or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.


Individuals may also submit comments in writing to the Planning and Economic Development Department via email to pzccomments@manchesterct.gov, or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191. All written comments received by 4:00 p.m. on the day of the meeting will be presented and recorded as part of the hearing.

A copy of the proposed zoning regulation amendment may be reviewed online at <https://www.manchesterct.gov/Government/Departments/Planning-and-Economic-Development>; by contacting the Town Clerk's office at townclerkdept@manchesterct.gov or (860) 647-3037 to request a PDF by email; or in the Planning and Economic Development Department, 494 Main Street, during regular business hours, 8:30 – 4:30, Monday through Friday. Information about this application will be available online at <https://Manchesterct.gov/pzc> by the Friday before the hearing.

Planning and Zoning Commission
Eric Prause, Chair

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: Megan Pilla, Principal Development Planner 

DATE: May 16, 2024

RE: Vessel Technologies
Zoning Regulation Amendment (REG-0003-2024)

Introduction

The applicant is proposing a zoning regulation amendment to Art. II, Sec. 7.03 to allow for an increase in the maximum density of multi-family dwelling units in the Planned Residential Development (PRD) zone.

Proposed Regulation Amendment

Under the current regulations, the maximum density of multi-family dwelling units in the PRD zone is 10 units per acre.

The proposed regulation would allow a higher density of units by special exception, with no maximum, if the total number of bedrooms does not exceed 20 per acre. Studio and efficiency units would be counted as one-bedroom units.

Plan of Conservation and Development

The Commission should consider whether the proposed regulation amendment is in line with the goals of the Plan of Conservation and Development (POCD), Manchester NEXT.

The following goal from the POCD might apply:

- ***Housing Attainability*** goal #2: “Prioritize policies and programs that encourage higher density pedestrian-oriented neighborhoods with a range of housing choices.”

Staff Review

Town staff has reviewed the proposed zoning regulation amendment, and there are no comments or objections.

The proposed regulation amendment was reviewed by CRCOG, and no conflict with regional plans was noted.

mp

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Attach.

Applicant: Vessel Technologies
Date: April 10, 2024
Application: Zoning Regulation Change

Draft Regulation Text


Applicant proposes to amend Article II, Section 7.03 to allow for an increase, by Special Exception, in the maximum number of multi-family dwelling units permitted per acre as follows:

Section 7.03.06 Multi-family developments having a higher density than that permitted in Article II, Section 7.02.03(c).

May be permitted at the discretion of the Planning and Zoning Commission, provided that the total number of bedrooms shall not exceed twenty (20) per acre of the multi-family dwelling site, excluding wetlands and slopes greater than 15%. For purposes of this calculation, studio and efficiency units shall be counted as one-bedroom units.

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: Megan Pilla, Principal Development Planner 

DATE: May 16, 2024

RE: Trivik Builders, LLC – 27 Lillian Drive
PRD Detailed Site Plan Modification (PRD-0001-2024)

Introduction

On December 13, 2021 the Commission approved a PRD Detailed Site Plan for a 37-unit residential development consisting of six (6) buildings at 27 Lillian Drive. Site construction began in 2022, and to date two (2) buildings have been completed, three (3) are under construction, and the foundation for the final building (Building B) is currently underway. The site driveway and parking areas have been installed with the first course of pavement and curbing, and portions of sidewalks in front of the buildings have been installed.

As part of the Town’s ongoing construction inspections, staff have made the developer (the applicant) aware that some of what has been constructed to this point is not consistent with the approved plans. The applicant was directed to either correct the inconsistencies in the field, or apply for a modification to the approved plans. They have elected to apply for a modification.

The previously approved site plans are included in this packet for reference. While minor changes can often be approved administratively, the number and significance of the variations in this case require them to be acted upon by the full Commission.

As-built Inconsistencies with Approved Plans

The most significant deviations from the approved plans are highlighted on the As-Built Plan sheet included in the attached plan set. These include:

- The grass strip between the sidewalk and parking in front of the buildings was eliminated.
- No curbing is installed where the sidewalk meets the parking in front of the buildings, resulting in a flush condition.
- Due to the lack of grass strip between the sidewalk and the parking, several light poles are located in the middle of the sidewalk. To remedy this, the applicant widened those segments of sidewalk so that a pedestrian could walk around the light poles.

- Changes to the radii of curves in the drive aisle have resulted in potential conflict points for large emergency vehicles.
- Unapproved stormwater infrastructure was installed (see highlighted area on sheet SP-4).
- Brick retaining walls were constructed in several locations at Buildings C, E, and F to remedy grading issues in the field. Several of these retaining walls block the pedestrian sidewalks.

Other minor deviations from the approved plans which are less significant include:

- The addition of a concrete pad and mailboxes within the parking lot island.
- The addition of wood decks at the rear of each unit, with minor grading adjustments to avoid the need for stairs.
- Other minor changes to the configuration of portions of sidewalks.
- Minor reconfiguration of parking stalls, resulting in no net change to total parking.

Proposed Modifications

In response to staff concerns about safety and accessibility impacts of some of the deviations from the previously approved plans, the applicant is proposing additional modifications to correct those issues. The proposed solutions to the most significant issues are highlighted on sheet SP-2 of the attached plan set.

The below table is a summary of the proposed modifications, the applicant’s proposed solutions to initial staff concerns, and staff comments:

<i>Deviation from approved plans</i>	<i>Proposed solution</i>	<i>Staff comment</i>
No curbing and no grass strip between parking and sidewalks in front of buildings	A 2-ft. grass strip is reintroduced by pulling the edge of pavement away from the sidewalks. The applicant states that minimum parking stall length and 24-ft. drive aisle width are maintained. The applicant states that curbing cannot be reintroduced due to grading issues, but concrete wheel stops are proposed to prevent vehicles from pulling too far forward.	The combination of a 2-ft. grass strip between the parking and sidewalk and concrete wheel stops alleviates the primary safety concern that staff initially had. This solution is acceptable to staff.
Light poles located within sidewalks	While the light poles were initially proposed to remain within the sidewalks, the applicant has updated the plan to relocate the light poles into the 2-ft. grass strip.	This solution alleviates the initial concern and is acceptable to staff.

<p>Changes to drive aisle curbs causing possible conflict points for large emergency vehicles</p>	<p>The updated plan includes removal and reinstallation of curbing at the two identified potential conflict points, and the applicant states that a 24-ft. drive aisle width will be maintained throughout the site.</p>	<p>This solution alleviates the initial concern and is acceptable to staff.</p>
<p>Unapproved stormwater infrastructure installed</p>	<p>No change proposed.</p>	<p>Although it is not ideal for the recreational walking path to be forced to jog around the yard drain between Buildings C and D, it does not create a safety or accessibility issue, and is therefore not a major concern to staff.</p>
<p>Brick retaining walls installed within sidewalks in front of Buildings C, E, and F</p>	<p>The plan has been modified to move all retaining walls out of the path of the primary sidewalk. At Building C, the sidewalk will be regraded so that no wall or stair is necessary. At Building E, the retaining wall will be moved into the landscaped island and the sidewalk will be regraded so that no stair is necessary. At Building F, the retaining wall will be moved into the landscaped island. A stair is still necessary here, but it has been moved out of the main sidewalk, and is instead located at the entry sidewalk leading to one of the units. The third unit from the left (when facing the front of the building) will have two (2) steps down at the approach to its entrance, but the main sidewalk will have no steps. The applicant has provided an elevation sketch showing the proposed sidewalk grading in front of Building F.</p>	<p>The proposed solution is acceptable to staff because the main sidewalk will be clear and not require steps.</p>
<p>Reconfiguration of parking spaces (no net change)</p>	<p>One (1) parking space each is moved from the fronts of Buildings A and C and relocated to the front of Building B.</p>	<p>This is acceptable to staff, but the applicant must ensure that the ADA spaces in front of Building B are properly marked, including the required van accessible space.</p>

<p>Addition of mailbox to the center island</p>	<p>The applicant states that USPS has agreed to deliver mail directly to the ADA units, so those residents will not need to access the mailbox.</p>	<p>As long as the agreement with USPS is expected to remain in place long term, this is acceptable to staff. If this agreement were to change, ADA ramps would need to be added to the center island to provide access to the mailboxes for disabled residents.</p>
<p>Modification to the floor plans and elevations for Building B, to include two (2) ADA accessible units in this building. This revision results in two (2) non-ADA units being entirely on the second floor, requiring exterior staircases on the end of the building as a means of secondary egress. Proposed floor plans and elevations for Building B are attached.</p>		<p>No staff objection.</p>

Staff Review

Any outstanding staff comments received after the issuance of this memo will be reported at the May 20, 2024 meeting.

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Attach.

Town of Manchester, CT



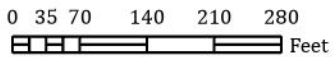
Geographic Information Systems 27 LILLIAN DRIVE

Legend

- Zoning
- IND - Industrial
 - PRD - Planned Residence Development
 - RA - Residence A
 - RM - Residence M
 - RR - Rural Residence

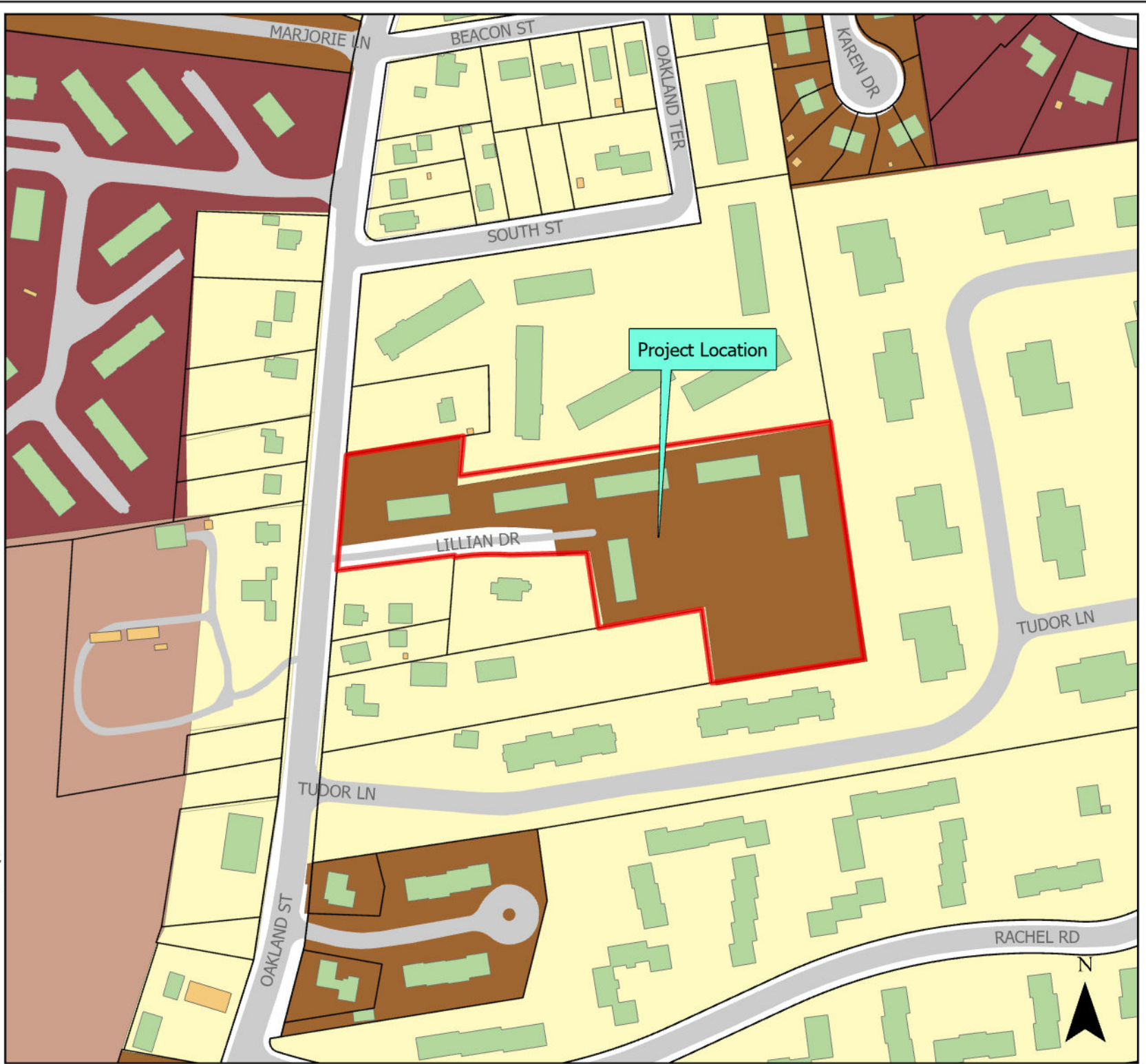
DISCLAIMER:
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

NOTES:
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.



1 inch = 200 ft

Date: 5/16/2024





**WENTWORTH CIVIL
ENGINEERS LLC**
177 West Town Street
Lebanon, Connecticut 06249
Tel. (860) 642-7255
Fax. (860) 642-4794
Email: Wes@WentworthCivil.com

PRD Detailed Site Plan Modification

Application Narrative

27 Lillian Dr.

Manchester, CT

Trivik Builders, LLC

Date: 3/19/24

Revised 5/06/24

Project & Site Plan Approval (Site Plan approval granted 12/15/21 – permit 2021-080)

The site lies on the east side of Oakland Street and contains Lillian Drive (private road). This parcel is 4.17 acres in size and is to be developed into 37 units of residential housing contained in (6) buildings. . The development will be served by public water and public sanitary sewer. All utilities onsite will be private and the project is designed as an apartment rental development under single ownership and management.

Plans and calculations have been prepared for this development. Site plans include parking layout, site grading, E&S controls, lighting, landscaping, traffic movement and drainage design.

A stormwater control report has been developed to address water quality and water quantity control and treatment. A stormwater quality / detention infiltration basin has been designed to address both areas of concern. The first flush rainfall event will be retained in the basin and slowly infiltrate into the ground for approximately 90% of annual rainstorm events. During larger storm events, the basin will also act to detain flows during 2 through 100 year events resulting in peak flows being close to or less than existing conditions.

Inland Wetlands Application (Wetlands permit granted 12/15/21 – permit 2021-076)

There is no activity proposed in any wetlands or watercourse. Activity within the upland review area is limited to minimal grading and the installation of an onsite proposed water quality infiltration / detention. Area of upland activity consists of 0.25 acres of disturbance. A wetlands permit has been granted for this activity. Current proposed modifications to the site plan require no changes in the area of disturbance within the 100' uplands review area beyond what has already been permitted.

All plans have been designed to minimize both long and short term impacts to inland wetlands and watercourses.

E&S Control Application (E&S permit granted 12/15/21 – permit 2021-081)

Site specific Erosion Control plans are part of this application.

The site is moderately to gently sloped to the south / southeast and drains to an isolated onsite wetland with no positive drainage outlet. The wetland discharges through the surrounding loamy sand soils into the groundwater. The developed E&S control design includes the following:

- Site driveway into site has already been stabilized with a base course of bituminous asphalt concrete.
- E&S controls including stockpile, construction entrance and silt fence location and details
- Sediment trap designed to CT DEEP standards
- Site specific construction sequencing
- Erosion control notes, details and narrative

Modifications to Site Development Plans (PRD Detailed Site Plan Modification permit submitted March 2024)

Site construction has been underway since 2022.

An as-built field survey of existing conditions onsite as of 1/15/24 by Martin Surveying Associates, LLC has been included in the plan set. Revised site plans reflect existing conditions as per the as-built survey. In order to paint an approximate picture of completed work thus far, the following is a list of completed items:

- 3 of the 6 buildings proposed are under construction
- 2 of the 6 buildings have been completed and are ready for final inspection by the town for Certificate of Occupancy
- The last building's foundation (Building B) is currently under construction

- site driveway and parking areas have been installed with the first course of pavement and curbing
- Site utilities including storm water system, sanitary sewer, water, fire hydrants, gas and underground utilities have been installed along with most of the exterior site lighting

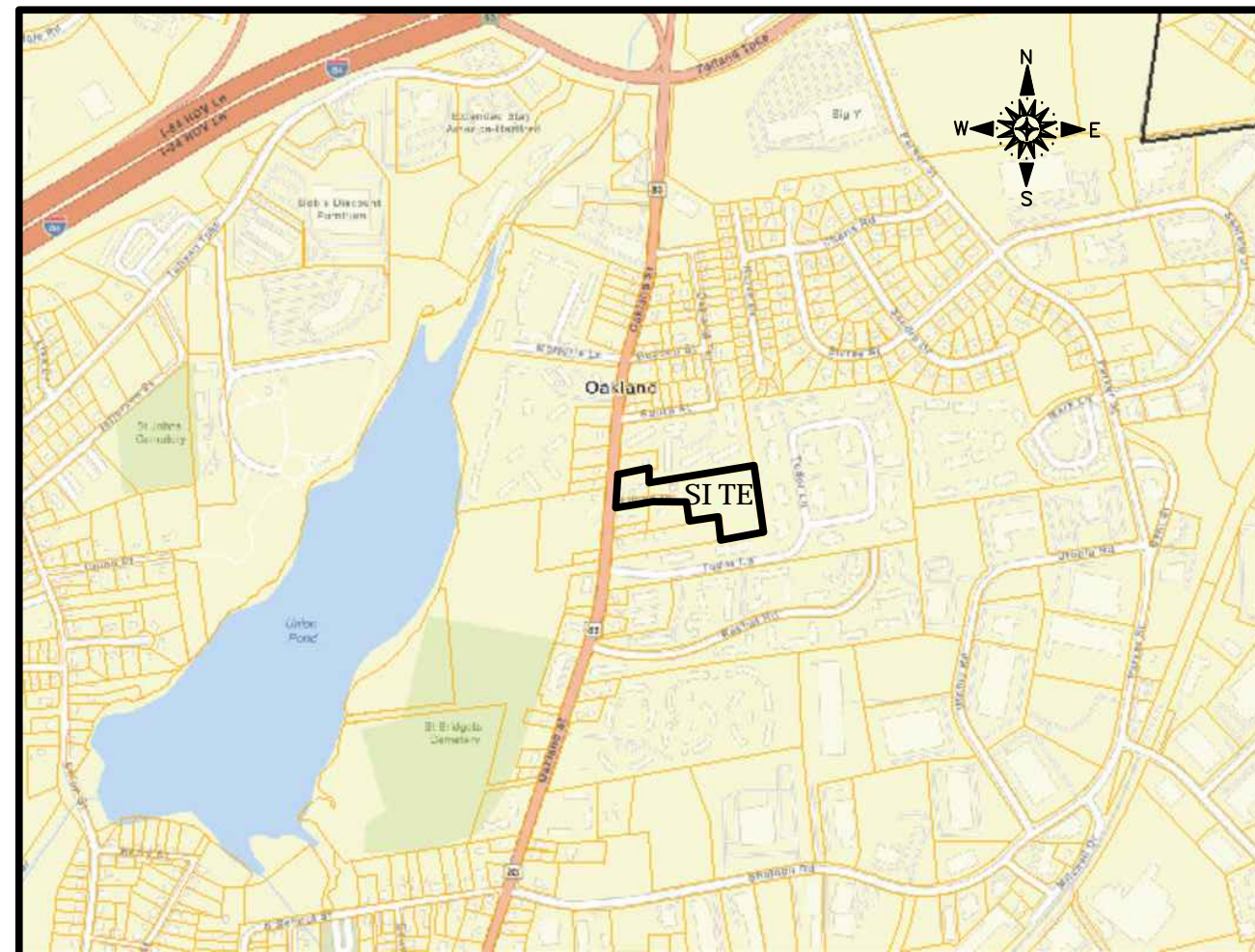
General items remaining to be completed are as follows:

- Interior finish work on 3 buildings
- Complete Building B from foundation up including parking spaces and sidewalks and connection to utilities
- Finish grade embankments to 2:1 maximum slopes including around interior and exterior of water quality basin
- Connect roof leaders to storm drainage system
- Install yard drainage system
- Install pedestrian walking trail and remaining sidewalks
- Finalize Lillian Drive entrance radius on north curb line
- Finish coarse of pavement, parking & fire lane striping and sign installation
- Loam, seed and mulch lawn areas, install landscaping and fenced play area and remove all erosion control devices once site is properly stabilized with vegetation

This application for a Detailed Site Plan Modification is for the following revised items:

- Curbing at front of parking spaces will be eliminated along proposed grass strips. Concrete wheel stops are to be added to all parking spaces without curbing for pedestrian safety.
- Grading has been raised on the back of existing and proposed buildings to avoid the need for steps from rear doors to concrete patios. Expansion of yard drains to the rear of buildings to drain low areas.
- Proposed Building B will include (2) ADA accessible units. Due to the revised building design, this will result in (2) non-ADA units being entirely on the second floor and will require exterior staircases on the end of the building as means of secondary egress.
- 2 down steps added to enter one of units in Building F
- Remove (1) parking space each from the front of Buildings A & C and relocate them to the front of Building B. No net change in total onsite parking spaces.
- Addition of mailbox to center parking island

The changes made to the revised site plans being submitted for the PRD Detailed Site Plan Modification do not affect stormwater management, public utilities or traffic. There is also no change in activity already approved under wetlands permit within wetlands, watercourses or 100' upland review area.



LOCATION MAP
C75@%1%SSS#

RESIDENTIAL MULTI-FAMILY SITE SUMMARY

ZONING TABLE

	REQUIRED	PROVIDED
ZONE: PLANNED RESIDENTIAL DEVELOPMENT		4.175 AC.
LOT AREA:		181,900 SF
LOT FRONTAGE:		174.37 FT.
BUILDING SETBACKS:	30' FY 30' SY 30' RY	

LOT AREA CALCULATIONS

TOTAL LOT AREA = 181,900 SF OR 4.18 ACRES
 TOTAL WETLANDS = 4,200 SF
 TOTAL AREA GREATER THAN 15% SLOPES = 15,000 SF
 AREA AVAILABLE FOR UNIT COUNT:
 = 181,900 SF - 4,200 SF - 15,000 SF
 = 162,700 SF OR 3.735 ACRES
 UNIT DENSITY CALCULATIONS:
 3.735 ACRES X 10 UNITS/ACRE = 37 UNITS
 37 UNITS PROPOSED

PARKING CALCULATIONS

REQUIRED	PROVIDED
2.0 SPACES PER UNIT = 2.0 x 37 = 74 SPACES REQUIRED	80 STANDARD SPACES 4 HANDICAPPED SPACES
1.0 VISITOR SPACE PER 4 UNITS = 37 / 4 = 10 SPACES REQUIRED	84 TOTAL SPACES PROVIDED
TOTAL SPACES REQUIRED: 74 + 10 = 84 SPACES	

SITE DEVELOPMENT PLAN 27 LILLIAN DRIVE (FORMERLY KNOWN AS 321 OAKLAND STREET AND 27 LILLIAN DRIVE) PREPARED FOR TRIVIK BUILDERS, LLC MANCHESTER, CONNECTICUT

INDEX TO SHEETS

COVER SHEET	SHEET C-1
SURVEY PLANS	
BOUNDARY & TOPOGRAPHIC SURVEY	SHEET 1 OF 2
BOUNDARY & TOPOGRAPHIC SURVEY NOTES	SHEET 2 OF 2
AS-BUILT PLAN	SHEET 1 OF 1
SITE PLANS	
OVERALL PLAN	SHEET SP-1
SITE LAYOUT PLAN	SHEET SP-2
EMERGENCY VEHICLE ACCESS PLAN	SHEET SP-3
SITE GRADING & DRAINAGE PLAN	SHEET SP-4
SITE UTILITY PLAN	SHEET SP-5
EROSION & SEDIMENTATION CONTROL PLAN	SHEET SP-6
GENERAL NOTES & DETAILS	SHEETS SP-7 THRU SP-9
SITE ILLUMINATION PLAN	SHEET SP-10
LANDSCAPING PLAN	SHEET SP-11

REV. 5/06/24 TOWN COMMENTS
 REV. 4/24/24 TOWN COMMENTS
 REV. 3/18/24 PLAN MODIFICATIONS
 REV. 10/12/23 MINOR REGRADING
 REV. 7-8-22 CONN DOT COMMENTS
 REV. 01-03-22 CONDITIONS OF APPROVAL
 REV. 12-08-21 TOWN COMMENTS
 REV. 11-16-21 TOWN COMMENTS
 REV. 9-15-21

Town of Manchester
 41 Center Street • P.O. Box 121
 Manchester, Connecticut 06102
 WWW.MANCHESTER.CT

CERTIFIED LETTER
 December 15, 2021

Mr. Harsham Kappanj
 Trivik Builders LLC
 77 Chapin Way
 South Windsor, CT 06074

Re: Trivik Builders LLC - 321 Oakland Street and 27 Lillian Drive
 Inland Wetlands Permit (2021-076)
 PRD Detailed Site Development Plan (2021-080)
 Erosion & Sedimentation Control Plan (2021-081)

Dear Mr. Kappanj,

As the agent for the applicant, please be advised that at its meeting of December 13, 2021, the Planning and Zoning Commission approved with modifications/conditions the above referenced applications. The approvals are for activities as shown on the following plans: Site plans entitled "SITE DEVELOPMENT PLAN - 27 LILLIAN DRIVE (FORMERLY KNOWN AS 321 OAKLAND STREET AND 27 LILLIAN DRIVE) - PREPARED FOR TRIVIK BUILDERS, LLC - MANCHESTER, CONNECTICUT," prepared by Worth Civil Engineers LLC, sheets C-1, SP-1, SP-2, SP-3, SP-4, SP-5, SP-6, SP-7, SP-8, SP-9, SP-10, SP-11, and SP-12, dated June 28, 2021, revised December 8, 2021; survey plans entitled "BOUNDARY & TOPOGRAPHIC SURVEY - PREPARED FOR TRIVIK BUILDERS, LLC - 321 OAKLAND STREET - 27 LILLIAN DRIVE - MANCHESTER, CONNECTICUT," prepared by Towns Engineering, Inc., sheets 1 and 2, dated June 1, 2021; a landscaping plan entitled "LANDSCAPE PLAN - 27 LILLIAN DRIVE (FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE) - PREPARED FOR TRIVIK BUILDERS, LLC - MANCHESTER, CONNECTICUT," prepared by John Alexopoulos, Landscape Architect, sheet SP-13, dated September 21, 2021, revised December 8, 2021; and architectural plans entitled "Proposed Condominiums at 321 Oakland Street - Manchester, CT" and "Proposed Townhouses at 321 Oakland Street - Manchester, CT," prepared by Young Design Unlimited LLC, sheets A1 (first elevation and floor plans, dated April 17, 2021), A1 (7-unit townhouse foundation plan, dated June 13, 2021), and A1 (7-unit townhouse foundation plan, dated June 13, 2021).

The specific approvals granted are as follows:

Inland Wetlands Permit (2021-076) - Acting in its capacity as the Inland Wetlands Agency, the Commission approved the inland wetlands permit for regulated activities associated with combining multiple parcels (including 27 Lillian Drive) to create a single 4.17-acre parcel to be

Mr. Harsham Kappanj
 Trivik Builders LLC
 December 15, 2021
 Page 3

Please submit a PDF of the plans, incorporating the modifications listed above for review. We will notify you of any necessary revisions. Once the plans have been revised to the satisfaction of the appropriate staff, we will advise you to submit one set of sealed and signed submittal, final, or original ink drawing on mylar plans, no less than 4 mils (0.004 inch) thick, and four (4) paper copies, sealed and signed to this office for stamping and signature. Please also provide a PDF file of the final approved stormwater management report with professional seal and signature and traffic report with professional seal and signature.

To speed the endorsement of final plans staff requests the following block be added to the lower right of each page of the plans above or to the left of the title block. Please do not reduce this block to less than 2" X 3".

APPROVED
 PLANNING AND ZONING
 COMMISSION
 MANCHESTER, CT

DATE: _____
 SIGNED: _____

You are also required to submit a fee to cover digital GIS conversion costs incurred by the Town. Specifically, you must submit a fee in the amount of \$50.00 for sheet SP-7. The payment for GIS conversion should accompany the final mylar and paper copies. A copy of the GIS Conversion Fee Requirement is enclosed.

To provide feedback on your experience working with the Planning and Economic Development Department, please fill out our online survey at www.biz101.com/Planning.

NOTE: No changes to the approved site plans or to the building elevations, materials or colors, are to be made until the proposed changes are submitted to the Planning and Economic Development Department and it is determined whether the changes can be approved administratively or will need Planning and Zoning Commission approval.

Sincerely,

 Megan Pilla,
 Senior Planner

Mr. Harsham Kappanj
 Trivik Builders LLC
 December 15, 2021
 Page 2

developed into 37 units of residential housing contained in 6 buildings at 321 Oakland Street and 27 Lillian Drive, with the modifications as specified in staff memoranda from:

- James Davis, Zoning Enforcement Officer, dated December 7, 2021.

PRD Detailed Site Development Plan (2021-080) - The Commission approved the PRD Detailed Site Development Plan to combine multiple parcels (including 27 Lillian Drive) to create a single 4.17-acre parcel to be developed into 37 units of residential housing contained in 6 buildings at 321 Oakland Street and 27 Lillian Drive, with the modifications:

- As specified in staff memoranda from James Davis, Zoning Enforcement Officer, dated December 7, 2021.
- That the applicant provide open space calculations on the final plan.
- That the applicant indicate a walking path as presented at the December 13, 2021 Planning and Zoning Commission meeting, to be approved by Town Staff prior to final plan submittal, and
- To allow modification of the requirements in Art. II, Sec. 7.04.05 (d) (4) to permit a 12-foot distance between the proposed buildings and the vehicle parking area, provided the applicant shows additional plantings between the parking area and buildings, to be approved by Town Staff prior to final plan submittal.

Erosion & Sedimentation Control Plan (2021-081) - The Commission certified the erosion & sedimentation control plan for combining multiple parcels (including 27 Lillian Drive) to create a single 4.17-acre parcel to be developed into 37 units of residential housing contained in 6 buildings at 321 Oakland Street and 27 Lillian Drive, with the modifications as specified in staff memoranda from:

- James Davis, Zoning Enforcement Officer, dated December 7, 2021.

The wetlands permit is valid for five years, until December 13, 2026. The Agency may extend the time period of the original permit upon request, but not for more than ten years from the original approval date. Any application to extend the expiration date of a previously issued permit shall be filed with the Agency not later than sixty-five (65) days prior to the expiration date for the permit in accordance with Subsections 4.3.1 and 4.3.2 of the Inland Wetlands and Watercourses Regulations. The activity approved by this permit must be completed within one year from the time such activity is commenced.

The site plan approval expires on December 13, 2026 in accordance with the Connecticut General Statutes, Section 8-3, in accordance with Article II, Section 7.06 of the Town of Manchester Zoning Regulations, the PRD zone will be effective for the duration of its associated Preliminary Plan. If the Preliminary Plan expires and construction of buildings and facilities has not begun, the parcel or parcels of land designated as PRD zone shall revert back to the previous zoning district and shall be so regulated.

Mr. Harsham Kappanj
 Trivik Builders LLC
 December 15, 2021
 Page 4

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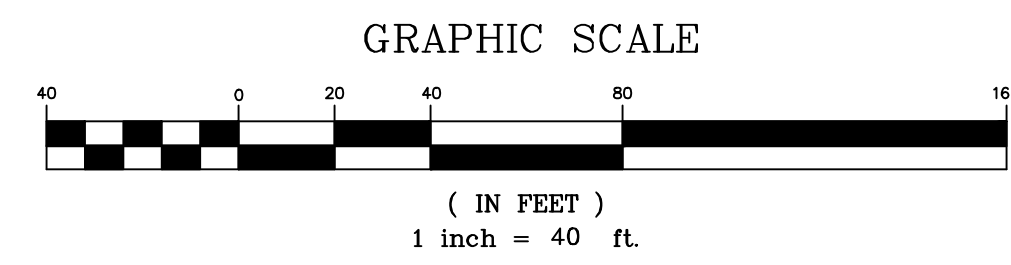
Enclosure

cc: Engineering Department
 John Rainaldi, Director of Assessment & Collection
 James A. Davis, Zoning Enforcement Officer
 Richard Gullacher, GIS Coordinator
 Greg Smith, Chief Building Official
 File: 2021-075,080,081

APPROVED
 PLANNING AND ZONING
 COMMISSION
 MANCHESTER, CT

DATE: _____
 SIGNED: _____

WENTWORTH CIVIL ENGINEERS LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. (860) 642-7255
 FAX (860) 642-4794
 web: wentworthcivil.com



BENCHMARK
TOP OF
HYDRANT NUT
ELEV = 215.06'

BENCHMARK
TOP OF 3/4"
REBAR FOUND
ELEV = 213.44'

N: 854064.85
E: 1063969.33

N: 854037.57
E: 1063973.18

N: 853725.38
E: 1063622.58

N: 853753.56
E: 1063778.71

N: 853725.38
E: 1063622.58

N: 853753.56
E: 1063778.71

N: 853725.38
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E: 1063778.71

N/F BROWNSTONE LLP
337 OAKLAND STREET
VOLUME 3880 PAGE 002

N/F BROWNSTONE LLP
337 OAKLAND STREET
VOLUME 3880 PAGE 002

N/F SANDRA M. NELSON
331 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F VICTOR L. FETIG
309 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F ASHOR & MONIKA SHAMONEI
22 LILLIAN DRIVE
VOLUME 4633 PAGE 666
SEE NOTES 6: A-F ON SHEET 2

N/F SETH B. TAYLOR
303 OAKLAND STREET
VOLUME 3117 PAGE 014

N/F CHARLES D. KING
299 OAKLAND STREET
VOLUME 650 PAGE 350

N/F OAKS AT MANCHESTER LIMITED PARTNERSHIP
165 TUDOR LANE
VOLUME 650 PAGE 350

TOTAL AREA
181,200 SQ. FT. ±
4.16 ACRES ±

SEE SHEET 2 OF 2 FOR NOTES AND MAP REFERENCES

CURVE TABLE - (NON-TANGENT)

CURVE	DELTA	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	11°59'59"	360.00'	75.40'	S 88°05'18" W	75.26'

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 82°05'12" W	8.95'
L2	N 04°57'12" E	3.24'

SURVEY DATA

Survey Type	BOUNDARY & TOPOGRAPHIC SURVEY
Horizontal Accuracy	A-2
Vertical Accuracy	V-2
Topographic Accuracy	T-2
Boundary Determination	RESURVEY

This map has been prepared in accordance with Regulations of the State of Connecticut Sections 20-300b-1 to 20-300b-20 as filed June 21, 1996 and as amended October 26, 2018

To my knowledge and belief, this map is substantially correct as noted hereon.

Land Surveyor	License #	Date

TOWNE ENGINEERING, INC.
CIVIL ENGINEERS AND LAND SURVEYORS
ROUTE 32 AND RICHMOND LANE, SOUTH WINDHAM CT
TEL (860) 423-6371/889-2100 FAX 423-5470

BOUNDARY & TOPOGRAPHIC SURVEY
PREPARED FOR
TRIVIK BUILDERS LLC
331 OAKLAND STREET
MANCHESTER, CONNECTICUT

DATE	REVISIONS	BOOK NO.	DRAWN	SHEET NO.
06/01/2021		485	JHB	1 OF 2
SCALE		DISC NO.	DESIGNED	JOB NO.
1"=40'		18-001.CRD	JHB	
		CAD DWG	CHECKED	
		21-026	MDM	21-026

NOTES:

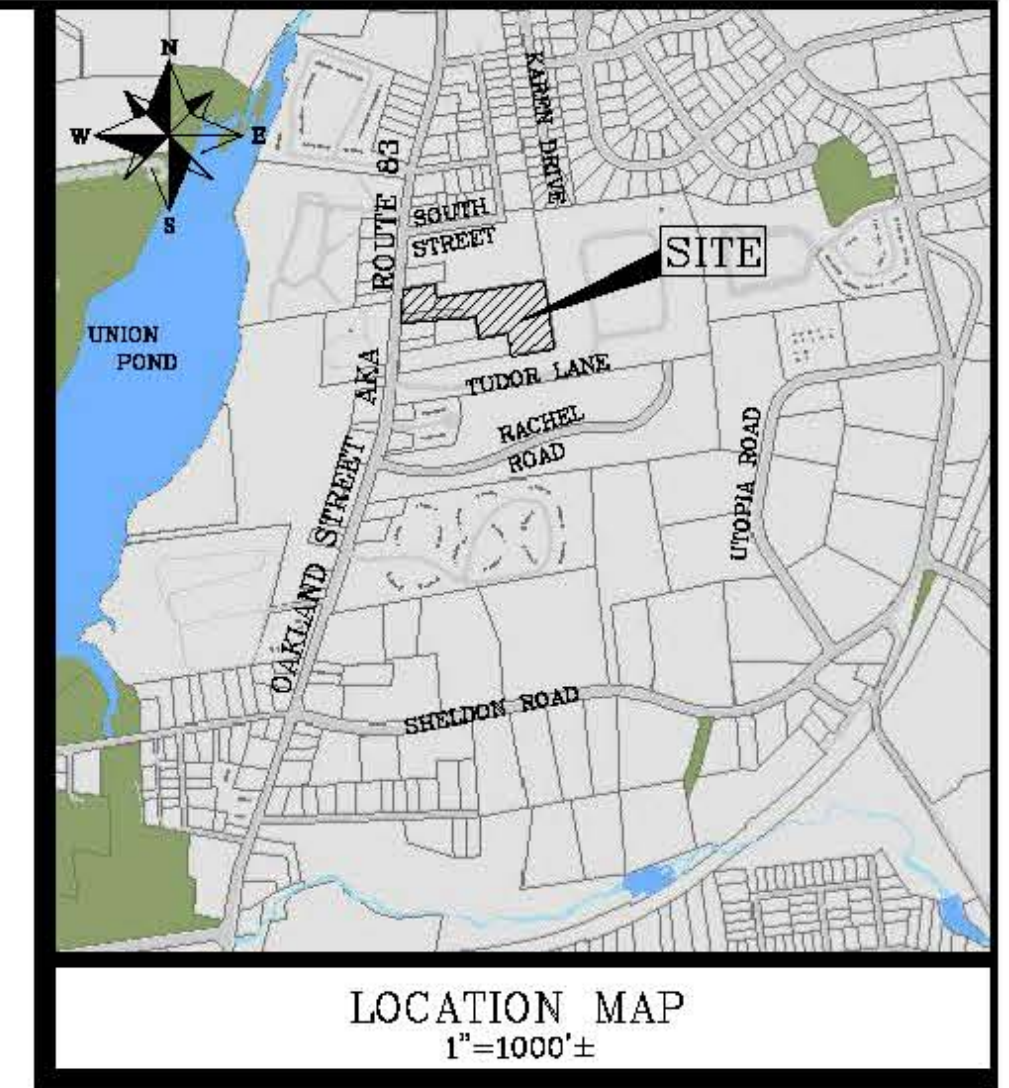
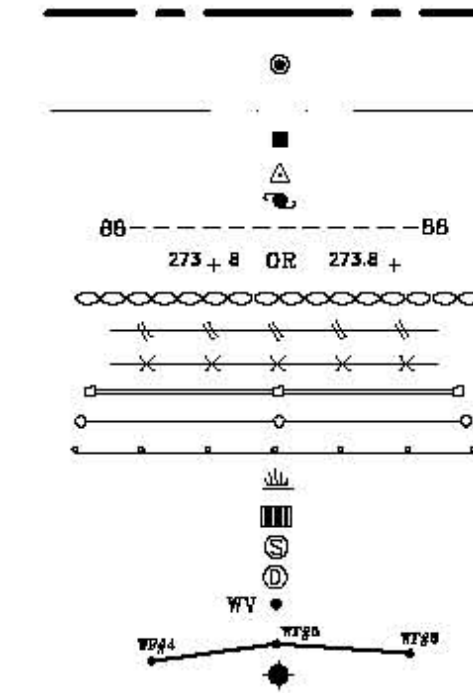
1. THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF THE STATE OF CONNECTICUT AS WERE FILED WITH THE SECRETARY OF STATE ON JUNE 21, 1996 AND AS WERE AMENDED EFFECTIVE OCTOBER 26, 2018 AND COMPRISE A BOUNDARY AND TOPOGRAPHIC SURVEY MEETING THE STANDARDS FOR CLASS A-2 HORIZONTAL ACCURACY, V-2 VERTICAL ACCURACY, AND T-2 TOPOGRAPHIC SURVEY. THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY.
2. THE BASIS OF BEARING AND COORDINATES SHOWN HEREON ARE NAD 83 AS REFERENCED TO TOWN OF MANCHESTER CONTROL POINT #061 WITH A REPORTED NORTHING OF 851713.356 AND EASTING OF 106261.599 AND MANCHESTER CONTROL POINT #062 WITH A REPORTED NORTHING OF 850685.918 AND EASTING OF 1062294.148. THE ELEVATIONS ARE NAVD 88 (GEOID 96) AS REFERENCED TO TOWN OF MANCHESTER CONTROL POINT #062 WITH A REPORTED ELEVATION OF 173.49'. THIS CONTROL INFORMATION WAS PROVIDED BY THE TOWN OF MANCHESTER CHIEF OF SURVEYS, DOUGLAS T. SANBORN, PLS.
3. THE CURRENT DEED FOR THIS PROPERTY IS RECORDED AS VOLUME 4564 PAGE 12 OF THE TOWN OF MANCHESTER LAND RECORDS.
4. THE PARCELS KNOWN AS 27 LILLIAN DRIVE, 321 OAKLAND STREET, AND 321 1/2 OAKLAND STREET ARE SHOWN AS ONE PARCEL FOR THE PURPOSES OF THIS SURVEY.
5. ANY RIGHTS GRANTED TO THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY IN VOLUME 392 PAGE 323 WERE RELEASED IN A DEED RECORDED AS VOLUME 3429 PAGE 4.
6. 22 LILLIAN DRIVE:
 - A. THE CURRENT DEED FOR THIS PARCEL IS RECORDED IN VOLUME 4633 AT PAGE 666 OF THE TOWN OF MANCHESTER LAND RECORDS.
 - B. THE CURRENT CONFIGURATION OF THIS PARCEL WAS ESTABLISHED IN VOLUME 390 PAGE 251 OF THE TOWN OF MANCHESTER LAND RECORDS, DATED JULY 11, 1963.
 - C. IN VOLUME 390 PAGE 251 THIS PROPERTY IS DESCRIBED AS "THAT CERTAIN PIECE OR PARCEL OF LAND, IN THE TOWN OF MANCHESTER, SITUATED ON THE SOUTHERLY SIDE OF LILLIAN DRIVE (SO-CALLED) BEING A PRIVATE RIGHT OF WAY..." AT THE END OF THAT SAME DEED IT IS RECITED "THE NORTHWESTERLY PORTION OF THE WITHIN DESCRIBED PARCEL ARE SUBJECT TO WHATEVER RIGHTS EXIST IN THE TOWN OF MANCHESTER BY VIRTUE OF THE APPROVED SUBDIVISION..." THE TOWN OF MANCHESTER LAND SURVEYOR INDICATED THAT LILLIAN DRIVE IS A PRIVATE WAY. NO CONVEYANCES OF ANY RIGHTS TO THE TOWN OF MANCHESTER WERE FOUND OF RECORD. IT IS THE SURVEYOR'S OPINION THAT THE 22 LILLIAN DRIVE PROPERTY HAS RIGHTS OF ACCESS ALONG ITS ENTIRE NORTHERLY LINE OVER LILLIAN DRIVE TO OAKLAND STREET (SEE MAP REFERENCE #9).
 - D. IT IS ALSO GENERAL KNOWLEDGE THAT 22 LILLIAN DRIVE IS SERVICED BY PUBLIC WATER, ELECTRICAL SERVICE, TELEPHONE SERVICE, AND CABLE TV SERVICE ALL OF WHICH ARE LOCATED IN LILLIAN DRIVE BUT FOR WHICH NO DEEDED EASEMENT RIGHTS WERE FOUND OF RECORD BUT IT IS THE OPINION OF THIS SURVEYOR THAT 22 LILLIAN DRIVE HAS RIGHTS FOR THESE PUBLIC UTILITIES TO EXIST ON THE PROPERTY SHOWN HEREON.
 - E. THERE IS A SCRIVENER'S ERROR IN THE DESCRIPTION FOR 22 LILLIAN DRIVE. THE BODY OF THE DEED CALLS FOR 2 COURSES ALONG THE NORTHERLY LINE (51 FEET & 150 FEET) BUT IN THE FOLLOWING PARAGRAPHS IT IS RECITED THAT THE PROPERTY IS BOUNDED NORTHERLY BY LILLIAN DRIVE "ONE HUNDRED NINETY-ONE (91) FEET MORE OR LESS" THE 201 FOOT (51 + 150) FITS THE CALL FOR THE PREVIOUS COURSE WHICH CALLS FOR A 90 DEGREE LAYOUT WITH THE SOUTHERLY LINE. A BOUNDARY LINE AGREEMENT IS SUGGESTED.
 - F. THE EASTERLY LINE OF 22 LILLIAN DRIVE IS FIRST DESCRIBED IN VOLUME 390 PAGE 251 "... ALONG LAND OF BARBARA STRICKLAND, 115 FEET MORE OR LESS TO A POINT IN THE SOUTHERLY LINE OF LILLIAN DRIVE (SO-CALLED) AS EXTENDED BY BROKEN LINES ON THE MAP REFERRED TO BELOW..." IN MAP REFERENCES 1 & 2 PREPARED BY GARDNER & PETERSON SHOW THE DIMENSION OF THE EASTERLY LINE OF 22 LILLIAN DRIVE TO BE 103.66 FEET. THIS SURVEY DISREGARDS THE 103.66 FOOT DIMENSION IN FAVOR OF THE DEEDED CALL OF 115 FEET. CLEARLY THE CALL TO THE DASHED LINE SHOWN ON MAP REFERENCE #3 SHOULD PREVAIL BUT MAP REFERENCE #3 IS AN OLD HAND DRAWN MAP WHICH DOES NOT SCALE WELL. A BOUNDARY LINE AGREEMENT WITH THE CURRENT OWNER OF 22 LILLIAN DRIVE WOULD BE NEEDED TO RESOLVE THE DISCREPANCY BETWEEN THE SURVEYS PREPARED BY GARDNER & PETERSON AND THE DEEDED DIMENSIONAL CALL.
7. REFERENCE SHOULD BE MADE TO THE TWO MAPS BY THE STATE OF CONNECTICUT AS SHOWN AS MAP REFERENCES 6 & 7 AND ALSO THE DEED LANGUAGE IN VOLUME 2023 PAGE 304 AND VOLUME 2074 PAGE 72 FOR RIGHTS ACQUIRED BY THE STATE OF CONNECTICUT IN CONJUNCTION WITH A PROJECT TO WIDEN OAKLAND STREET WHICH INCLUDES GRADING RIGHTS OUTSIDE OF THE ACTUAL NEW HIGHWAY LINE. IT SHOULD BE NOTED THAT THIS SURVEYOR CONTACTED THE STAFF IN THE DOT DISTRICT 1 SURVEY OFFICE AND THAT OFFICE INDICATED THAT THERE IS NO CURRENT MAPPING OF THE HIGHWAY LINES OF OAKLAND STREET WHICH REFLECT THE HIGHWAY LINE ESTABLISHED AS PART OF THE 1998 CONSTRUCTION PROJECT. IT SHOULD BE FURTHER NOTED THAT THE MAP REFERRED TO AS MAP REFERENCE #8 CONTAINS COORDINATE ERRORS.
8. DUE TO THICK BRUSH AND OVERGROWTH, THE BUILDINGS LOCATED ON 321 & 321 1/2 OAKLAND STREET WERE NOT ABLE TO BE ACCURATELY LOCATED AND THE TOPOGRAPHY IN THIS AREA IS BASED ON LIMITED FIELD SHOTS.
9. THERE IS A GATE AND A GRAVEL APRON ENTERING ONTO LILLIAN DRIVE NEAR THE NORTHEASTERLY CORNER OF LAND N/F FETTING. NO RIGHT FOR THIS USE WERE FOUND OF RECORD. IT DOES NOT APPEAR THAT THIS ACCESS TO THE LAND OF FETTING IS USED OFTEN.

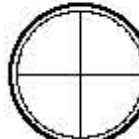
MAP REFERENCES:

1. PROPERTY AND TOPOGRAPHIC SURVEY PREPARED FOR GARDNER CHAPMAN 27 LILLIAN DRIVE MANCHESTER, CONNECTICUT; BY J.D.D.; SCALE 1"=40'; DATE 12-29-06; SHEET NO. 1 OF 1; MAP NO. 10210A AS PREPARED BY GARDNER & PETERSON ASSOCIATES, LLC.
2. PRELIMINARY SITE PLAN OXFORD VILLAGE DEVELOPMENT CORP. VETERANS DEVELOPMENT LILLIAN DRIVE MANCHESTER, CONNECTICUT; SCALE 1"=40'; JOB NO. 15856.10; DRAWN AEL; DATE 4/10/15 AS PREPARED F/LB ARCHITECTURE & PLANNING, INC.
3. MAP OF STRICKLAND HOMES PROPERTY OF LILLIAN M. STRICKLAND & ROY L. STRICKLAND; LILLIAN DRIVE - MANCHESTER, CONN. SCALE 1"=40'; FEB 2, 1952. HAYDEN L. GRISWOLD C.B. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #4-12.
4. PROPERTY OF OAKLAND MANOR ASSOCIATES LIMITED PARTNERSHIP (OAKLAND MANOR APARTMENTS TUDOR LANE (PRIVATE) MANCHESTER CONNECTICUT AS PREPARED BY CLOSE, JENSEN, AND MILLER. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #M24 PAGE 30.
5. PROPERTY SURVEY PREPARED FOR GARDNER CHAPMAN OAKLAND ST. & SOUTH ST. MANCHESTER, CONNECTICUT; JOB NUMBER 87374A10; PHASE 8000; DATE 5/17/02; SHEET NO. 1 OF 1 AS PREPARED BY FUSS & O'NEILL INC. CONSULTING ENGINEERS. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #2128.
6. TOWN OF MANCHESTER MAP SHOWING LAND ACQUIRED FROM BARBARA M. STRICKLAND BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF ROUTE 83; SCALE 1"=250; FEBRUARY 26, 1998; JAMES F. BYNES, JR. P.E.; TRANSPORTATION CHIEF ENGINEER-BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS; TOWN NO. 76; PROJECT NO. 175; SERIAL NO. 6; SHEET 1 OF 1. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #1120.
7. TOWN OF MANCHESTER MAP SHOWING LAND ACQUIRED FROM RANDY P. HAHN, ET AL BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF ROUTE 83; SCALE 1"=250; FEBRUARY 26, 1998; JAMES F. BYNES, JR. P.E.; TRANSPORTATION CHIEF ENGINEER-BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS; TOWN NO. 76; PROJECT NO. 175; SERIAL NO. 7; SHEET 1 OF 1. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #1157.
8. CONNECTICUT DEPARTMENT OF TRANSPORTATION PLAN FOR IMPROVEMENTS TO CONNECTICUT ROUTE 83 IN THE TOWN OF MANCHESTER FROM STA. 1+037 TO STA. 1+550; LENGTH 513 M. DESIGNED BY AI ENGINEERS, INC. THESE 3 MAP SHEETS WERE PROVIDED BY THE DOT DISTRICT 1 SURVEYING OFFICE.
9. CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF MANCHESTER OAKLAND STREET FROM NORTH MAIN ST. NORTH-EASTERLY TO TOLLAND TURNPIKE; ROUTE NO. 83; NUMBER 76-06; SHEET NO. 2; DATED OCT. 29, 1937. THIS MAP SHEET WAS PROVIDED BY THE DOT DISTRICT 1 SURVEYING OFFICE.
10. ZONE CHANGE APPLICATION PREPARED FRO WALTER LONDON 312 & 321 1/2 OAKLAND STREET AND 27 LILLIAN DRIVE MANCHESTER, CONNECTICUT; DATE 6/14/2019; SCALE: VARIUS; REVISED THRU 8/18/2020; BOOK NO. 485; DISC NO. 18-081.CRD; CAD DWG 18-081; DRAWN JHB; DESIGNED JHB; CHECKED MDM; SHEETS 1 THRU 7 OF 7; JOB NO. 18-081 AS PREPARED BY TOWNE ENGINEERING, INC.
11. ALTA/ACSM LAND TITLE SURVEY PREPARED FOR BROWNSTONE, LLP OAKLAND STREET, SOUTH STREET & OAKLAND TERRACE MANCHESTER, CONNECTICUT; SCALE 1"=40'; JUNE 21, 2011. PREPARED BY PETER PARIZO, REG #14653. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #2129.
12. TOWN OF MANCHESTER MAP SHOWING LAND ACQUIRED FROM CHARLES D. KING, ET AL BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF ROUTE 83; SCALE 1"=250; FEBRUARY 26, 1998; JAMES F. BYNES, JR. P.E.; TRANSPORTATION CHIEF ENGINEER-BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS; TOWN NO. 76; PROJECT NO. 175; SERIAL NO. 3; SHEET 1 OF 1. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #1147.
13. TOWN OF MANCHESTER MAP SHOWING LAND ACQUIRED FROM J. KENT HEWITT BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF ROUTE 83; SCALE 1CM=2.5M; FEBRUARY 26, 1998; JAMES F. BYNES, JR. P.E.; TRANSPORTATION CHIEF ENGINEER-BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS; TOWN NO. 76; PROJECT NO. 175; SERIAL NO. 4; SHEET 1 OF 1. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #1155.
14. TOWN OF MANCHESTER MAP SHOWING LAND ACQUIRED FROM LORI ANN FETTING, ET AL BY THE CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF ROUTE 83; SCALE 1:250; FEBRUARY 26, 1998; JAMES F. BYNES, JR. P.E.; TRANSPORTATION CHIEF ENGINEER-BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS; TOWN NO. 76; PROJECT NO. 175; SERIAL NO. 5; SHEET 1 OF 1. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #1148.
14. TOWN OF MANCHESTER MAP SHOWING LAND ACQUIRED FROM NEAL G. NELSON, ET AL BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF ROUTE 83; SCALE 1"=250; FEBRUARY 26, 1998; JAMES F. BYNES, JR. P.E.; TRANSPORTATION CHIEF ENGINEER-BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS; TOWN NO. 76; PROJECT NO. 175; SERIAL NO. 8; SHEET 1 OF 1. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #1128.
15. TOWN OF MANCHESTER MAP SHOWING LAND ACQUIRED FROM GARDNER CHAPMAN BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF ROUTE 83; SCALE 1:250; FEBRUARY 26, 1998; JAMES F. BYNES, JR. P.E.; TRANSPORTATION CHIEF ENGINEER-BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS; TOWN NO. 76; PROJECT NO. 175; SERIAL NO. 9; SHEET 1 OF 1. THIS MAP IS FIELD IN THE TOWN OF MANCHESTER LAND RECORDS AS MAP #1117.

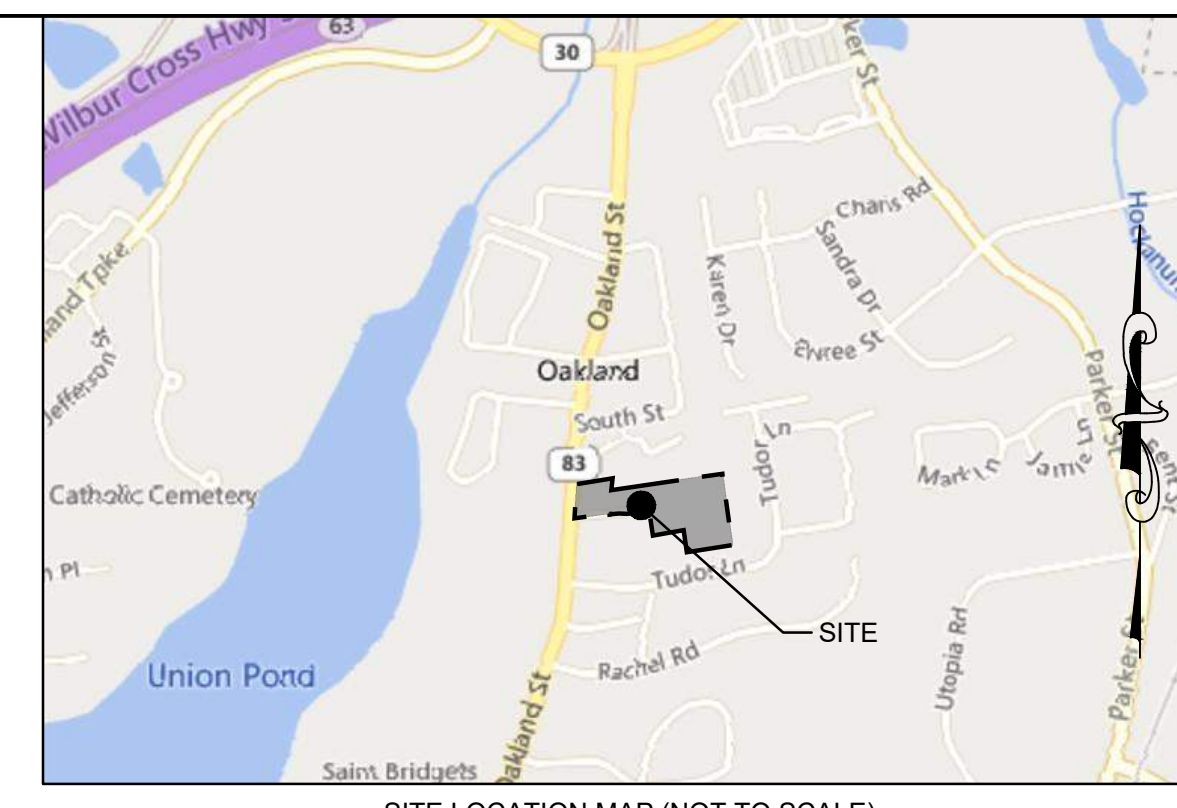
LEGEND

- PROPERTY LINE
- IRON PIN OR DRILL HOLE (SET OR FOUND)
- APPROXIMATE ABUTTER PROPERTY LINE
- CONCRETE MONUMENT (FOUND OR SET)
- SURVEY CONTROL POINT
- UTILITY POLE
- EXISTING CONTOUR LINE
- EXISTING SPOT ELEVATION
- STONE WALL
- BOX-WIRE FENCE
- BARBED WIRE FENCE
- WOOD FENCE
- CHAIN LINK FENCE
- GUARD RAIL
- WETLANDS SYMBOL
- CATCH BASIN
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- WV: WATER VALVE
- HYDRANT
- DELINEATED INLAND WETLANDS
- PVC: POLYVINYLCHLORIDE PIPE
- RCP: REINFORCED CONCRETE PIPE
- CMP: CORRUGATED METAL PIPE
- CPF: CORRUGATED PLASTIC PIPE
- N/F: NOW OR FORMERLY



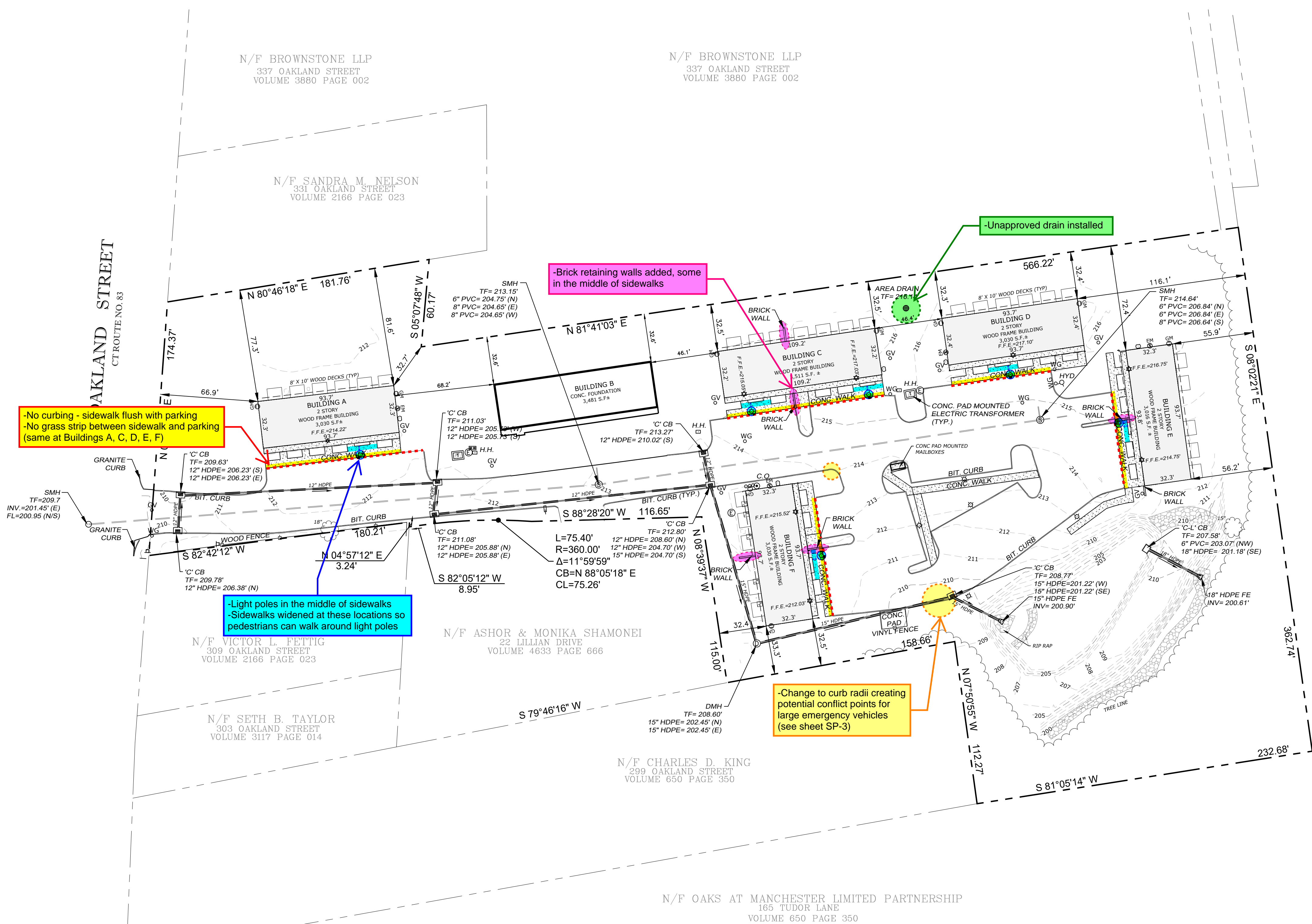
 TOWNE ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS ROUTE 32 AND RICHMOND LANE, SOUTH WINDHAM CT TEL (860) 423-6371/889-2100 FAX 423-5470				
BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR TRIVIK BUILDERS LLC 321 OAKLAND STREET 321 LILLIAN DRIVE MANCHESTER, CONNECTICUT				
DATE	REVISIONS	BOOK NO.	DRAWN	SHEET NO.
06/01/2021		485	JHB	2 OF 2
SCALE		DISC NO.	DESIGNED	JOB NO.
N.T.S.		18-081.CRD	JHB	
		CAD DWG	CHECKED	
		21-026	MDM	21-026

As-built survey as of 1/15/24 with the most significant deviations from approved plans noted



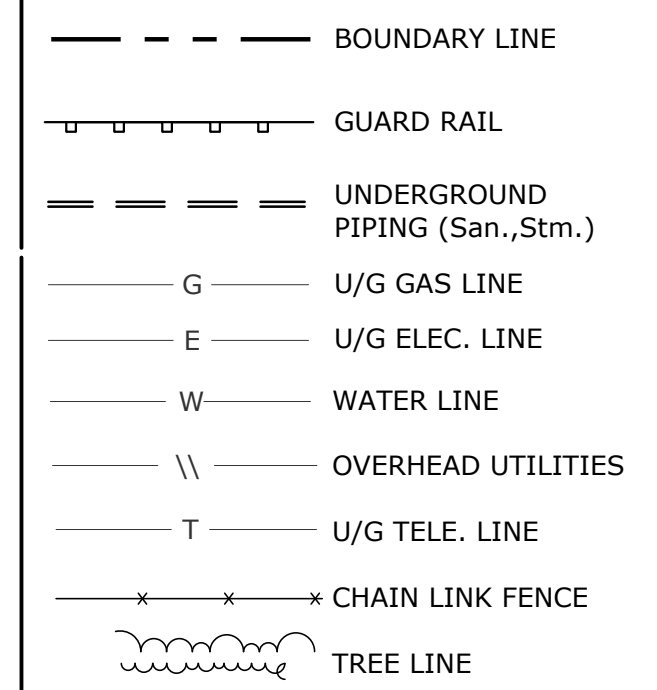
LEGEND:

○ IRON PIN (FOUND)	△ SIGN
● Rebar/Drill Hole (To Be Set)	○ POST
□ MONUMENT (FOUND)	☆ LIGHT POLE
⊠ MANHOLE	⊠ GUY ANCHOR
⊙ DRAINAGE MANHOLE	⊠ UTILITY POLE
⊙ SANITARY MANHOLE	⊠ WATER GATE
⊙ ELEC. MANHOLE	⊠ WATER METER
⊙ TELE. MANHOLE	⊠ GAS VALVE
⊠ "C" CATCH BASIN	⊠ GAS METER
⊠ "C-L" CATCH BASIN	⊠ TRANSFORMER
⊠ EVERGREEN TREES	⊠ ELEC. METER
⊠ SHRUB/BUSH	⊠ MAIL BOX
⊠ FLAG POLE	⊠ HAND HOLE
⊠ TRAFFIC CONTROL BOX	⊠ BUTTON BOX
	⊠ A.C. UNIT
	⊠ TRAFFIC LIGHT POLE



- MAP NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ADOPTED JUNE 21, 1996; AMENDED OCTOBER 26, 2018.
 - THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF AN IMPROVEMENT LOCATION SURVEY AND IS INTENDED TO DEPICT THE NEWLY CONSTRUCTED BUILDINGS UPON THE SUBJECT PARCEL.
 - THE HORIZONTAL BASELINE CONFORMS TO A CLASS A-2 ACCURACY. THE VERTICAL BASELINE CONFORMS TO A CLASS V-2 ACCURACY. THE TOPOGRAPHIC FEATURES CONFORM TO A CLASS T-2 ACCURACY.
 - THE NORTH ARROW, BEARINGS, AND ELEVATIONS ARE BASED UPON MAP REFERENCE 'A' AND NOTED AS BEING ON THE TOWN OF MANCHESTER DATUM.
 - THE PROPERTY/BOUNDARY LINES DEPICTED HEREON WERE COMPILED FROM MAP REFERENCE 'A' AND CONFORM TO A CLASS D ACCURACY. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS A RESULT OF A FIELD SURVEY, AND IS SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.
 - THE TOPOGRAPHIC FEATURES DEPICTED HEREON ARE THE RESULT OF A FIELD SURVEY CONDUCTED ON JANUARY 15, 2024 UNLESS OTHERWISE NOTED.
 - UNDERGROUND UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON ARE BASED UPON OBSERVABLE SURFACE EVIDENCE WHILE CONDUCTING THE FIELD SURVEY. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE WHICH IS UNKNOWN TO MARTIN SURVEYING ASSOCIATES, LLC. ALL CONTRACTORS ARE REQUIRED TO CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 FOR LOCATION AND OR STAKEOUT OF ANY UTILITY PRIOR TO ANY EXCAVATION.
 - NO FIELD RECORDS REGARDING THE LOCATIONS OF NEWLY INSTALLED UNDERGROUND UTILITIES SUCH AS GAS, WATER, ELECTRICAL, OR TELECOMMUNICATIONS HAS BEEN PROVIDED TO THE SURVEYOR FOR THE PRODUCTION OF THIS SURVEY.

- MAP REFERENCES:
- "BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR TRIVIK BUILDERS LLC 27 LILLIAN DRIVE MANCHESTER, CONNECTICUT" SCALE: 1"=40'; DATED: JUNE 1, 2021; BY: TOWNE ENGINEERING, INC.
 - "SITE DEVELOPMENT PLAN 27 LILLIAN DRIVE (FORMERLY KNOWN AS 321 OAKLAND STREET & 27 LILLIAN DRIVE) PREPARED FOR TRIVIK BUILDERS, LLC MANCHESTER CONNECTICUT" DATED: JUNE 28, 2021; BY: WENTWORTH CIVIL ENGINEERS LLC.



REVISONS:
2024-04-23: BUILDING 'B' FOUNDATION: MAILBOX; POND ELEVATIONS AND RIP RAP.

**IMPROVEMENT LOCATION SURVEY
RECORD DRAWING
AS-BUILT PLAN PREPARED FOR
TRIVIK BUILDERS, LLC
27 LILLIAN DRIVE
MANCHESTER, CONNECTICUT**

MSA PROJECT NO: 22-030 SITE ASB	SCALE: 1"=40'	DRAWN BY: G.S.D.
DATE: 2024.01.23	CHECKED BY: D.G.M.	

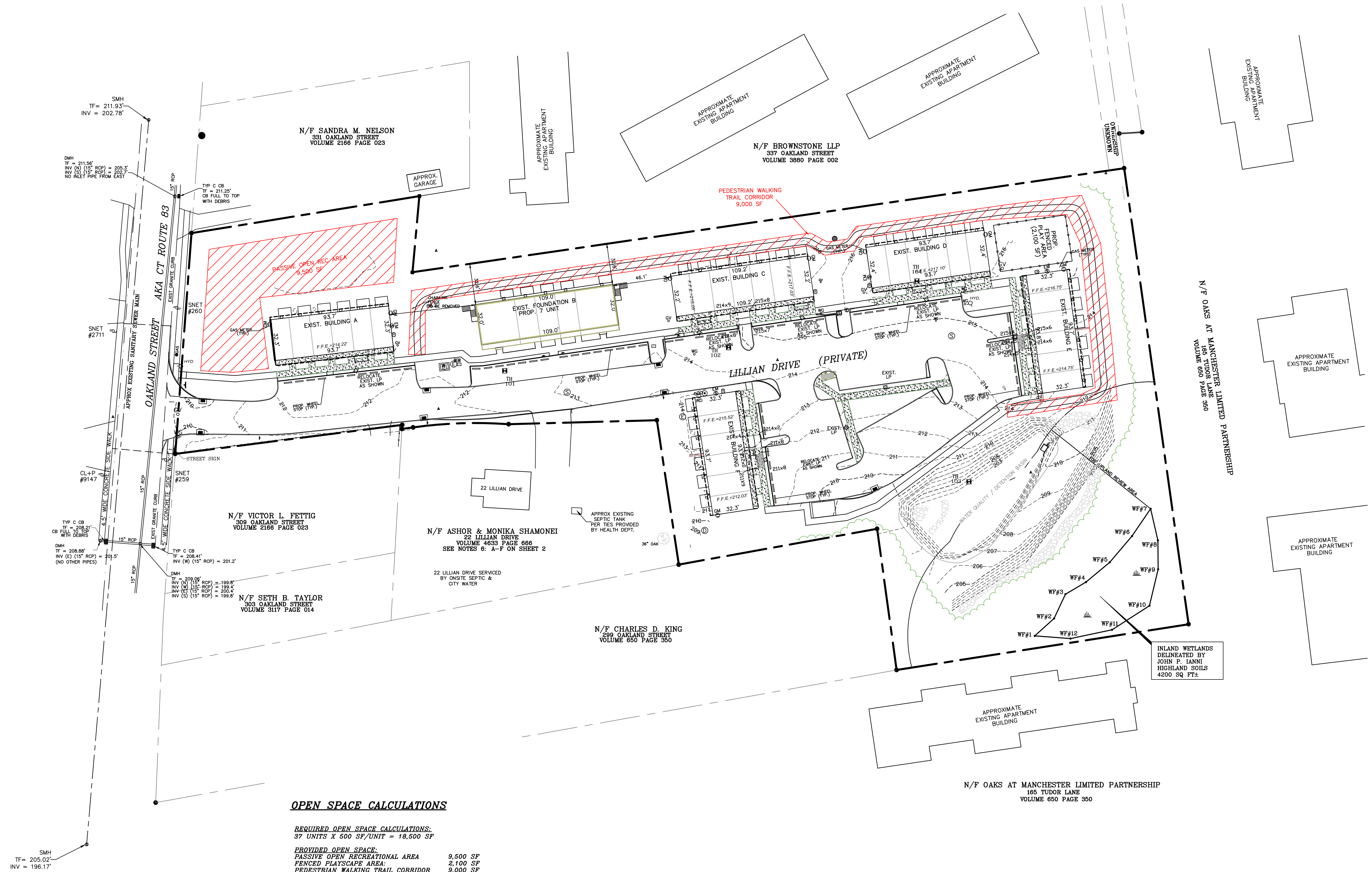
SHEET:
1 OF 1

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Dean Martin
DEAN MARTIN LICENSE NO. 70147

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID.

Proposed modifications



OPEN SPACE CALCULATIONS

REQUIRED OPEN SPACE CALCULATIONS:	
37 UNITS X 500 SF/UNIT	= 18,500 SF
PROVIDED OPEN SPACE:	
PASSIVE OPEN RECREATIONAL AREA	9,500 SF
FENCED PLAYSCAPE AREA	2,100 SF
PEDESTRIAN WALKING TRAIL CORRIDOR	9,000 SF
TOTAL OPEN SPACE PROVIDED:	20,600 SF

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

TOPOGRAPHY BASED ON ACTUAL FIELD SURVEY.

ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN. FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT. VERIFY ALL GRADES IN THE FIELD.

APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT

DATE: _____
SIGNED: _____

REV. 5/06/24 TOWN COMMENTS
REV. 4/24/24 TOWN COMMENTS
REV. 3/18/24 PLAN MODIFICATIONS
REV. 7-18-22 CONN. DOT COMMENTS
REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 12-08-21 TOWN COMMENTS
REV. 11-15-21

DATE: 6-28-21
SCALE: 1"=40'
SHEET SP-1

MAP NO. 21-026-10A

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

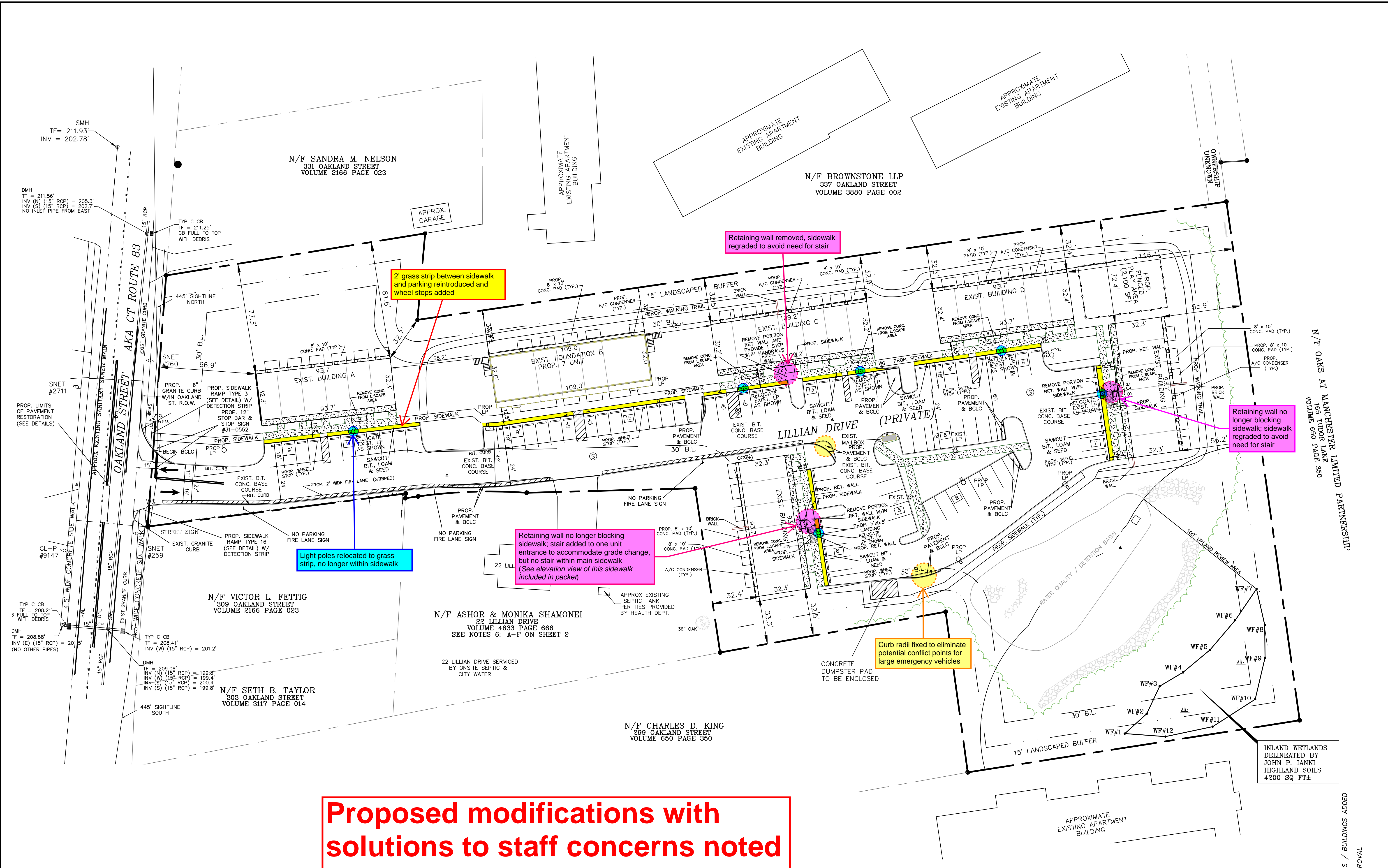
WESLEY L. WENTWORTH
Wesley L. Wentworth
P.E. # 20360

**WENTWORTH CIVIL
ENGINEERS LLC**

177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX. (860) 642-4794
web: wentworthcivil.com

OVERALL LAYOUT MAP
27 LILLIAN DRIVE
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

N/F OAKS AT MANCHESTER LIMITED PARTNERSHIP
165 TUDOR LANE
VOLUME 650 PAGE 350



Proposed modifications with solutions to staff concerns noted

NOTE: ALL PLANTS CAUSING SKIN IRRITATION OR ALLERGIC REACTION SHALL BE ELIMINATED FROM SHOWN RECREATION AREAS.

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

NOTE: END UNITS DO NOT HAVE SIDE WINDOWS.

NOTE: WHEEL STOPS TO BE UTILIZED WHERE THERE IS NO CURBING AT THE FRONT OF PARKING STALL.

APPROVED
 PLANNING AND ZONING
 COMMISSION
 MANCHESTER, CT
 DATE: _____
 SIGNED: _____

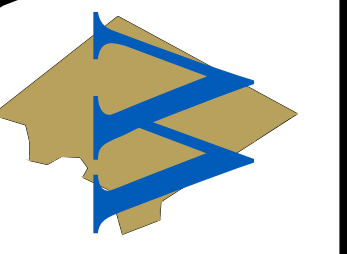
LEGEND

PROPERTY LINE
 BUILDING SETBACK LINE
 LANDSCAPE BUFFER SETBACK LINE
 EXISTING TREELINE

REV. 5/06/24 TOWN COMMENTS
 REV. 4/24/24 TOWN COMMENTS
 REV. 3/18/24 PLAN MODIFICATIONS
 REV. 10/12/23 MINOR REGRADING
 REV. 8/17/23 EXISTING FOUNDATIONS / BUILDINGS ADDED
 REV. 7-8-22 CONN. DOT COMMENTS
 REV. 01-03-22 CONDITIONS OF APPROVAL
 REV. 12-08-21 TOWN COMMENTS
 REV. 11-15-21 TOWN COMMENTS

DATE: 6-28-21
 SCALE: 1"=30'
 SHEET: SP-2
 MAP NO. 21-026-1L

SITE LAYOUT PLAN
 27 LILLIAN DRIVE
 PREPARED FOR
TRIVIK BUILDERS, LLC
 MANCHESTER, CONNECTICUT
 (FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)



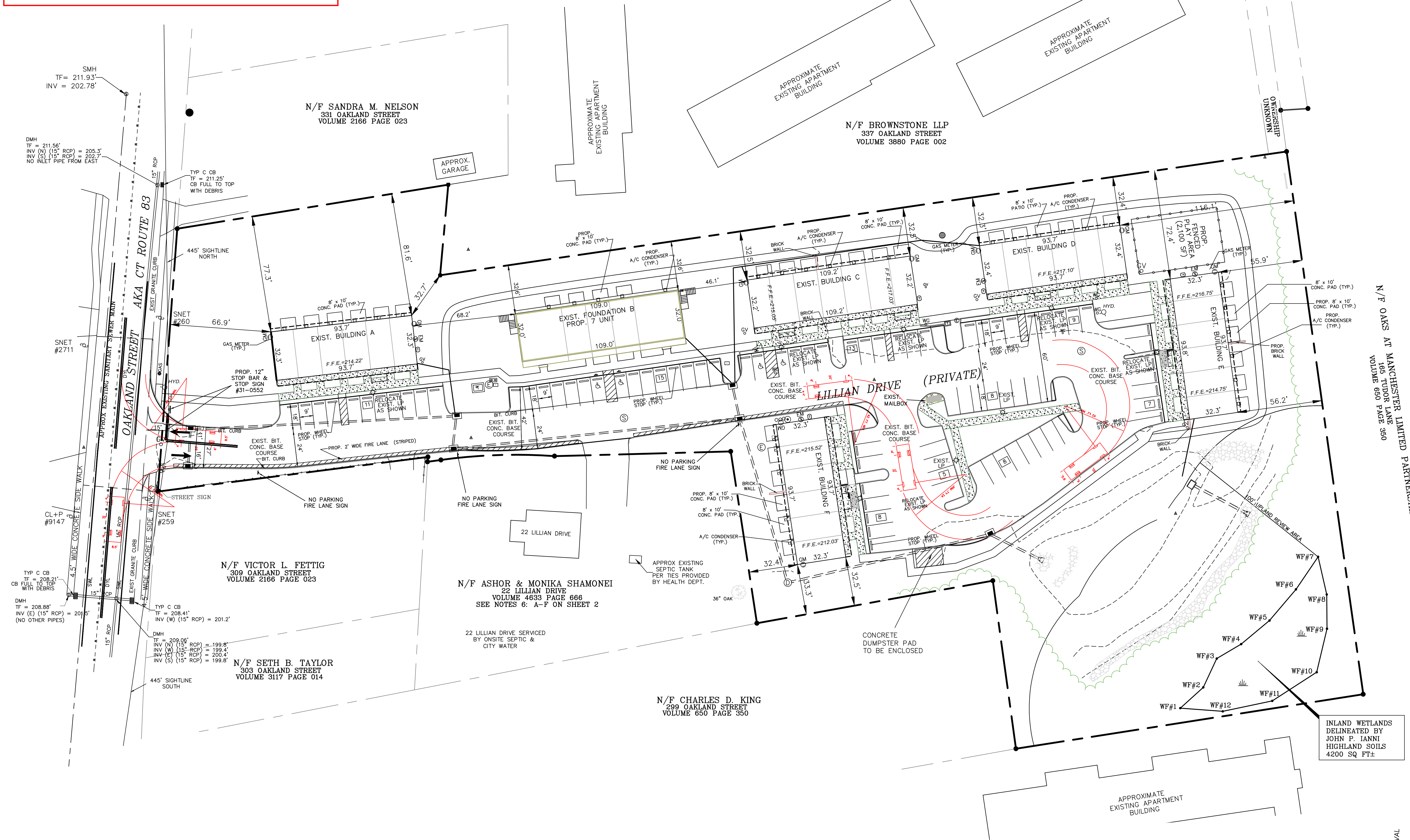
WENTWORTH CIVIL ENGINEERS LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. (860) 642-7255
 FAX. (860) 642-7794
 web: wentworthcivil.com

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

[Signature]
 WENTWORTH CIVIL ENGINEERS
 P.E. # 20360

MANCHESTER UNKONSHIP

Proposed modifications



NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

APPROVED
 PLANNING AND ZONING
 COMMISSION
 MANCHESTER, CT

DATE: _____
 SIGNED: _____

REV. 5/06/24 TOWN COMMENTS
 REV. 4/24/24 TOWN COMMENTS
 REV. 3/18/24 PLAN MODIFICATIONS
 REV. 7-16-22 CONN. DOT COMMENTS
 REV. 01-03-22 CONDITIONS OF APPROVAL
 REV. 12-08-21 TOWN COMMENTS
 REV. 11-16-21 TOWN COMMENTS
 REV. 9-9-15-21

DATE: 6-28-21
 SCALE: 1"=30'
 SHEET: SP-3
 MAP NO. 21-026-1TR

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WENTWORTH CIVIL ENGINEERS, LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. (860) 642-7255
 FAX. (860) 642-4794
 web: wentworthcivil.com

WENTWORTH CIVIL ENGINEERS, LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. (860) 642-7255
 FAX. (860) 642-4794
 web: wentworthcivil.com

EMERGENCY VEHICLE ACCESS PLAN
 27 LILLIAN DRIVE
 (FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
 TRIVIK BUILDERS, LLC
 MANCHESTER, CONNECTICUT

N/F SANDRA M. NELSON
 331 OAKLAND STREET
 VOLUME 2166 PAGE 023

N/F BROWNSTONE LLP
 337 OAKLAND STREET
 VOLUME 3880 PAGE 002

N/F VICTOR L. FETTIG
 309 OAKLAND STREET
 VOLUME 2166 PAGE 023

N/F ASHOR & MONIKA SHAMONEI
 22 LILLIAN DRIVE
 VOLUME 4633 PAGE 666
 SEE NOTES 6: A-F ON SHEET 2

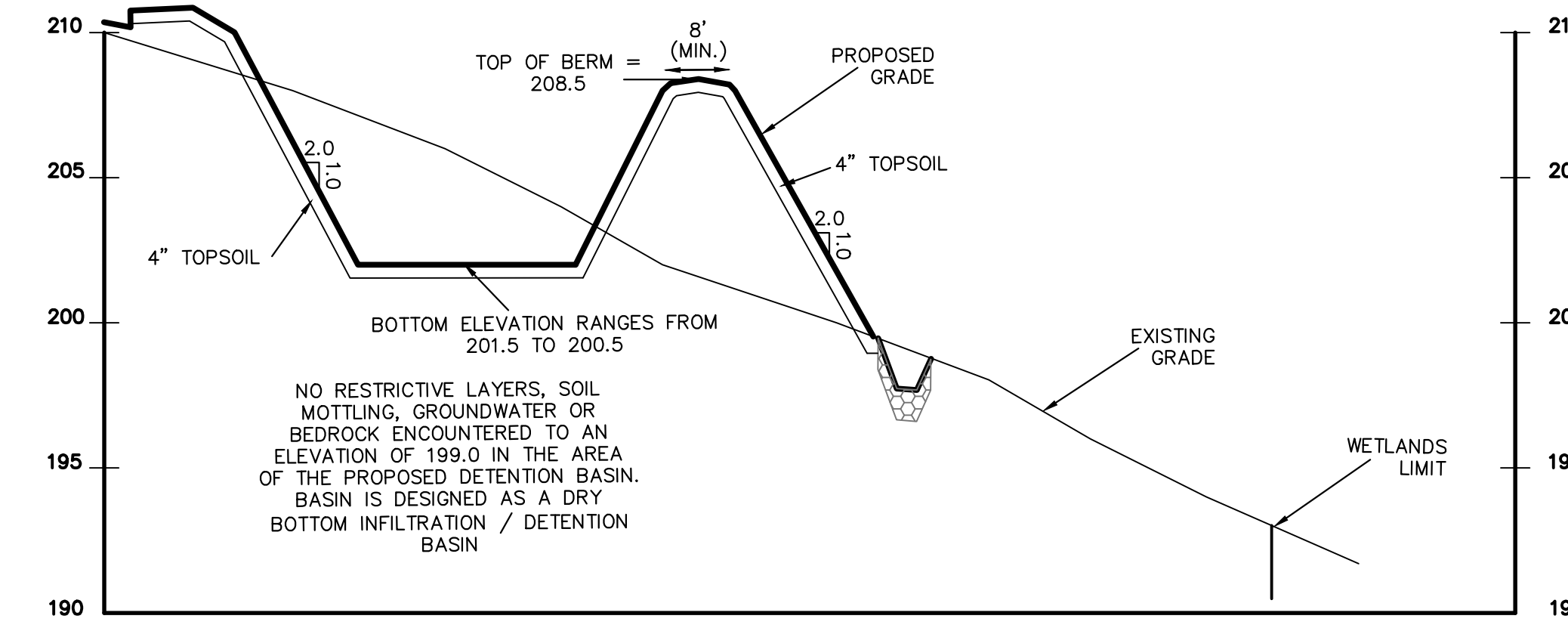
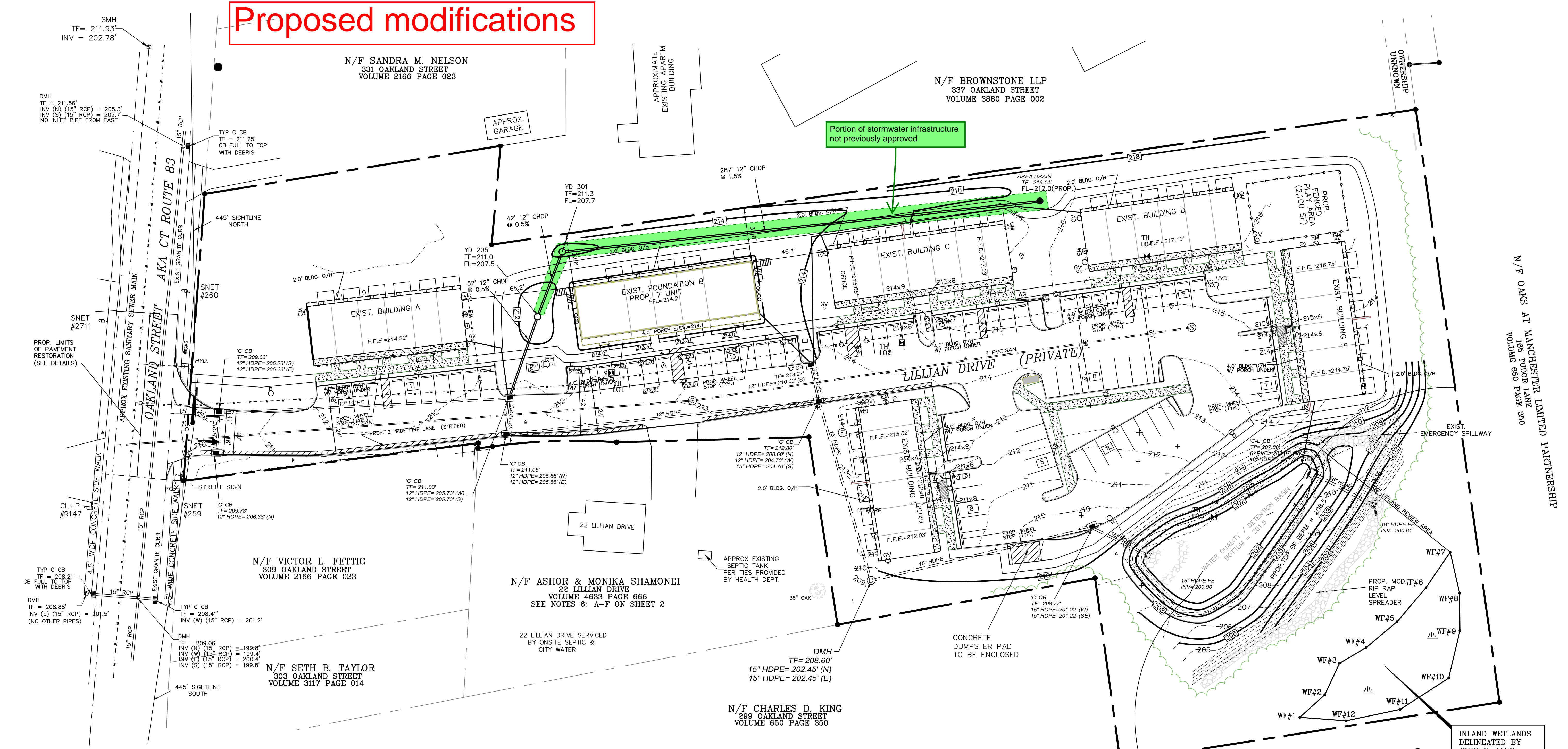
N/F SETH B. TAYLOR
 303 OAKLAND STREET
 VOLUME 3117 PAGE 014

N/F CHARLES D. KING
 299 OAKLAND STREET
 VOLUME 650 PAGE 350

N/F OAKS AT MANCHESTER LIMITED PARTNERSHIP
 168 TUDOR LANE 360
 VOLUME 650 PAGE 360

INLAND WETLANDS
 DELINEATED BY
 JOHN P. IANNI
 HIGHLAND SOILS
 4200 SQ FT±

Proposed modifications



STORAGE BASIN X-SECT.

SCALE: 1"=20' HORIZ.
1"=5' VERT.

DETENTION BASIN CONSTRUCTION NOTES

- CLEAR NECESSARY TREES.
- INSTALL SILT FENCE BACKED W/ HAYBALES.
- STUMP & GRUB SITE. STRIP TOPSOIL AND STOCKPILE OUTSIDE UPLAND REVIEW AREA.
- BEGIN TO EXCAVATE / INSTALL BASIN. USE AS A TEMPORARY SEDIMENTATION BASIN DURING CONSTRUCTION.
- EXCAVATE/PLACE FILL TO SUBGRADE. FILL USED IN EARTHEN BERM IS TO ONSITE MATERIAL, FREE OF ORGANIC MATERIALS. FILL IS TO BE PLACED IN 18" LIFTS AND COMPACTED TO 90% MAXIMUM DENSITY USING A VIBRATORY ROLLER. NO ROCKS IN EXCESS OF 10" TO BE USED IN FILLS.
- PRIOR TO FINAL GRADING, REMOVE SEDIMENT AND EXCAVATE TO SUBGRADE.
- TOPSOIL & FINISH GRADE BASIN, BERM & SIDESLOPES, SEED W/ NEW ENGLAND WETLAND NURSERY CONSERVATION MIX & MULCH. FINAL STABILIZATION OF BASIN TO OCCUR DURING DRY WEATHER TO ENSURE STABILIZATION OF THE BASIN. JUTE NETTING TO BE USED ON SLOPES IN EXCESS OF 3:1.
- REMOVE ALL EROSION & SEDIMENTATION CONTROLS ONCE SITE IS COMPLETELY STABILIZED.

Test Pit Data
TEST PITS BY WESLEY J. WENTWORTH, PE / SOIL SCIENTIST - 7/21/21

- TP 101
0 - 14" TOPSOIL
14 - 34" LIGHT TAN / BROWN FINE SANDY LOAM
34 - 100" REDDISH BROWN LOAMY SAND & GRAVEL - BOULDERS
- SEEPAGE: NONE
MOTTILING: NONE
LEDGE: NONE
- TP 102
0 - 7" TOPSOIL
7 - 24" LIGHT TAN / BROWN FINE SANDY LOAM
24 - 98" REDDISH BROWN LOAMY SAND & GRAVEL - BOULDERS
- SEEPAGE: NONE
MOTTILING: NONE
LEDGE: NONE
- TP 103
0 - 6" TOPSOIL
6 - 24" LIGHT TAN / BROWN FINE SANDY LOAM W/ STONES
24 - 114" REDDISH BROWN LOAMY SAND & GRAVEL - W/STONES
- SEEPAGE: NONE
MOTTILING: NONE
LEDGE: NONE
ROOTS: 36"
- TP 104
LEDGE: 36" (POSSIBLE BOULDERS)

ALL SLOPES IN EXCESS OF 3:1 ARE TO BE REINFORCED WITH JUTE NETTING AT TIME OF LOAM, MULCH & SEED

APPROVED
PLANNING AND ZONING COMMISSION
MANCHESTER, CT
DATE: _____
SIGNED: _____

LEGEND

PROPERTY LINE	---
EXISTING CONTOUR	---434---
EXISTING SPOT ELEVATION	212+1'
PROPOSED CONTOUR	---214---
PROPOSED SPOT ELEVATION	212+1'
EXIST. WATER	---
PROP. WATER	---
EXIST. GAS	---
PROP. GAS	---
EXISTING TREELINE	---

REV. 5/06/24 TOWN COMMENTS
REV. 4/24/24 TOWN COMMENTS
REV. 10/17/23 MINOR REGRADING
REV. 8/17/23 EXISTING FOUNDATIONS / BUILDINGS ADDED
REV. 5/08/23 EXISTING LOT GRADING
REV. 7-8-22 CONN. DOT COMMENTS
REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 12-08-21 TOWN COMMENTS
REV. 11-15-21 TOWN COMMENTS

WETLANDS LIMITS TAKEN FROM MAP TITLED 'EXISTING CONDITIONS ZONE CHANGE APPLICATION PREPARED FOR WALTER LONDON 321 & 321 1/2 OAKLAND STREET 27 LILLIAN DRIVE MANCHESTER, CONNECTICUT' BY TOWN ENGINEERING, INC. SOUTH WINDHAM, CT. SCALE: 1"=40', DATE: 6/14/19, REV. THRU 8/18/20.

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

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ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN. FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT. VERIFY ALL GRADES IN THE FIELD

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WESLEY J. WENTWORTH

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX. (860) 642-4794
web: wentworthcivil.com

DATE: 6-28-21
SCALE: 1"=30'
SHEET SP-4
MAP NO. 21-026-1G

TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

SITE GRADING AND DRAINAGE PLAN
27 LILLIAN DRIVE
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)

N/F OAKS AT MANCHESTER LIMITED PARTNERSHIP
166 TUDOR LANE
VOLUME 650 PAGE 350

N/F SANDRA M. NELSON
331 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F BROWNSTONE LLP
337 OAKLAND STREET
VOLUME 3880 PAGE 002

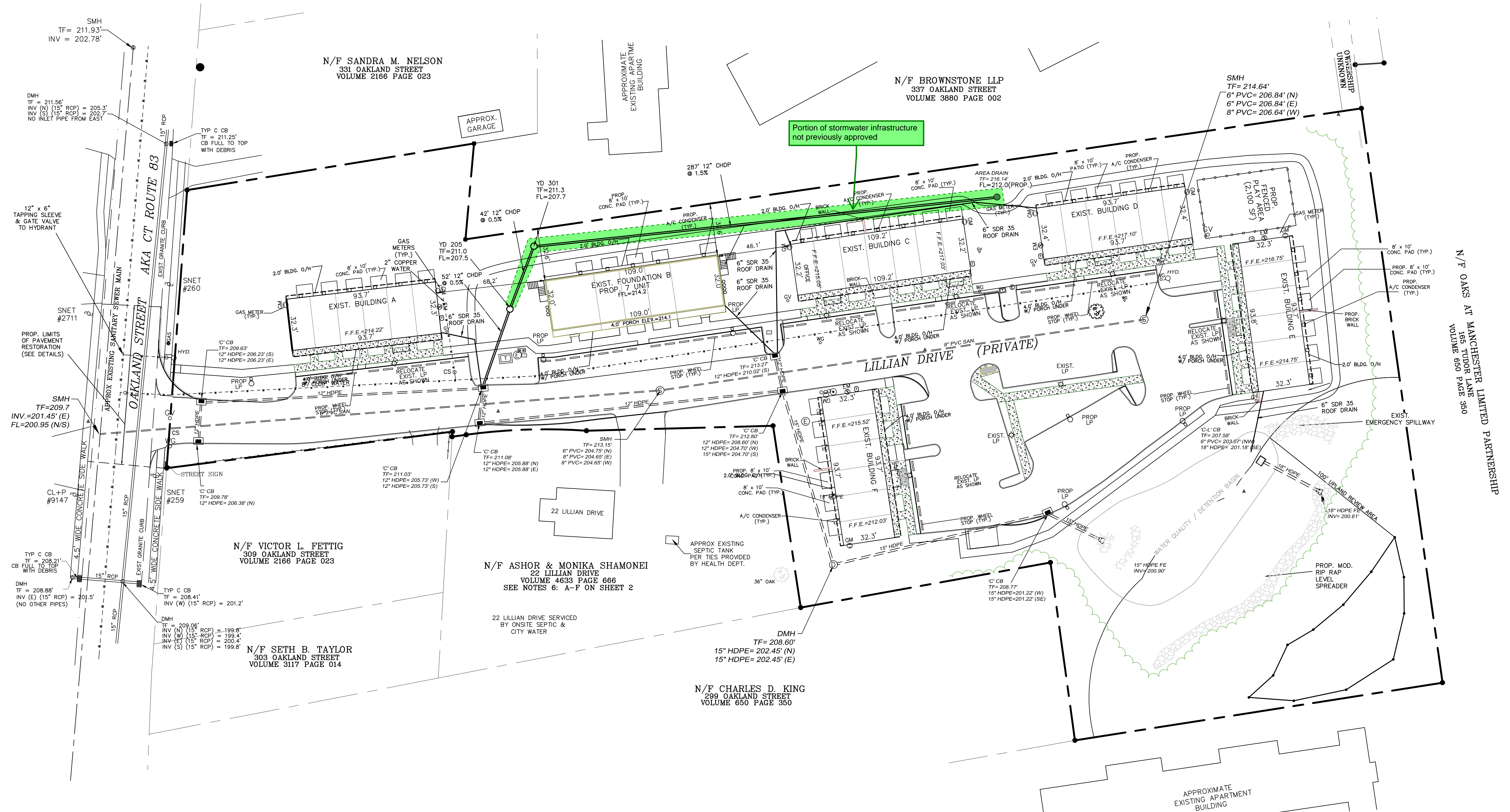
N/F VICTOR L. FETTIG
309 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F SETH B. TAYLOR
303 OAKLAND STREET
VOLUME 3117 PAGE 014

N/F ASHOR & MONIKA SHAMONEI
22 LILLIAN DRIVE
VOLUME 4633 PAGE 666
SEE NOTES 6: A-F ON SHEET 2

N/F CHARLES D. KING
299 OAKLAND STREET
VOLUME 650 PAGE 350

Proposed modifications



WATER AND SANITARY SEWER MAINS AND SERVICES WITHIN THE DEVELOPMENT SHALL BE PRIVATELY OWNED AND MAINTAINED.

HOURS FOR UTILITY WORK ON ROUTE 83 AT THE SITE DRIVEWAY ARE 7:00 PM - 5:00 AM SUNDAY THROUGH THURSDAY

NOTE: CHDP = SMOOTH WALL INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE PIPE

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT

DATE: _____
SIGNED: _____

LEGEND

PROPERTY LINE	---
EXIST. WATER	---
PROP. WATER	---
EXIST. GAS	---
PROP. GAS	---

REV. 5/06/24 TOWN COMMENTS
REV. 4/24/24 TOWN COMMENTS
REV. 3/18/24 PLAN MODIFICATIONS
REV. 10/12/23 MINOR REGRADING
REV. 7-8-22 CONN. DOT COMMENTS
REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 12-08-21 TOWN COMMENTS
REV. 11-16-21 TOWN COMMENTS
REV. 9-15-21

DATE: 6-28-21
SCALE: 1"=30'
SHEET SP-5
MAP NO. 21-026-1U

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WESLEY L. WENTWORTH
P.E. # 20360

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX. (860) 642-4794
web: wentworthcivil.com

TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

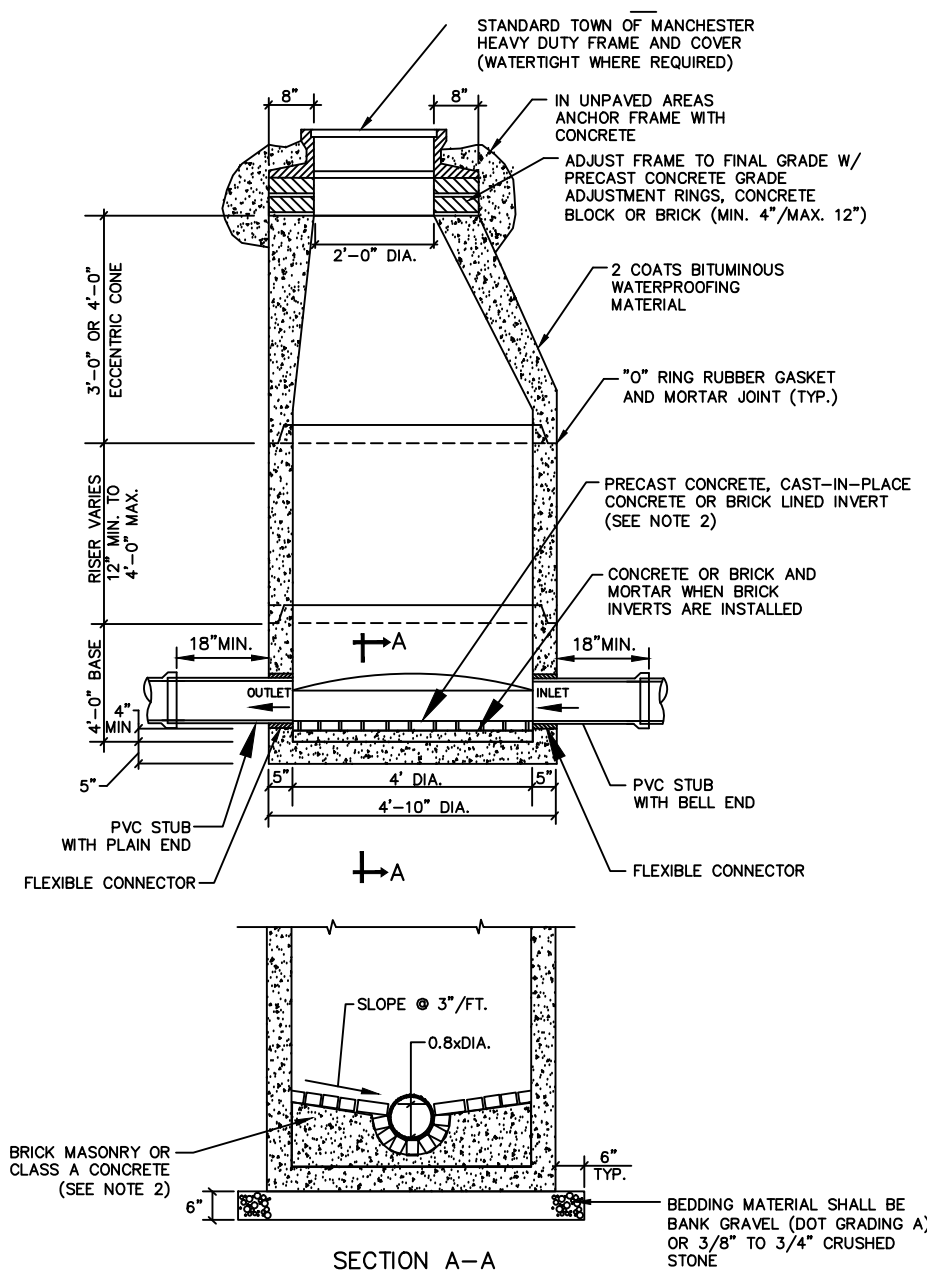
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

SITE UTILITY PLAN
27 LILLIAN DRIVE
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)

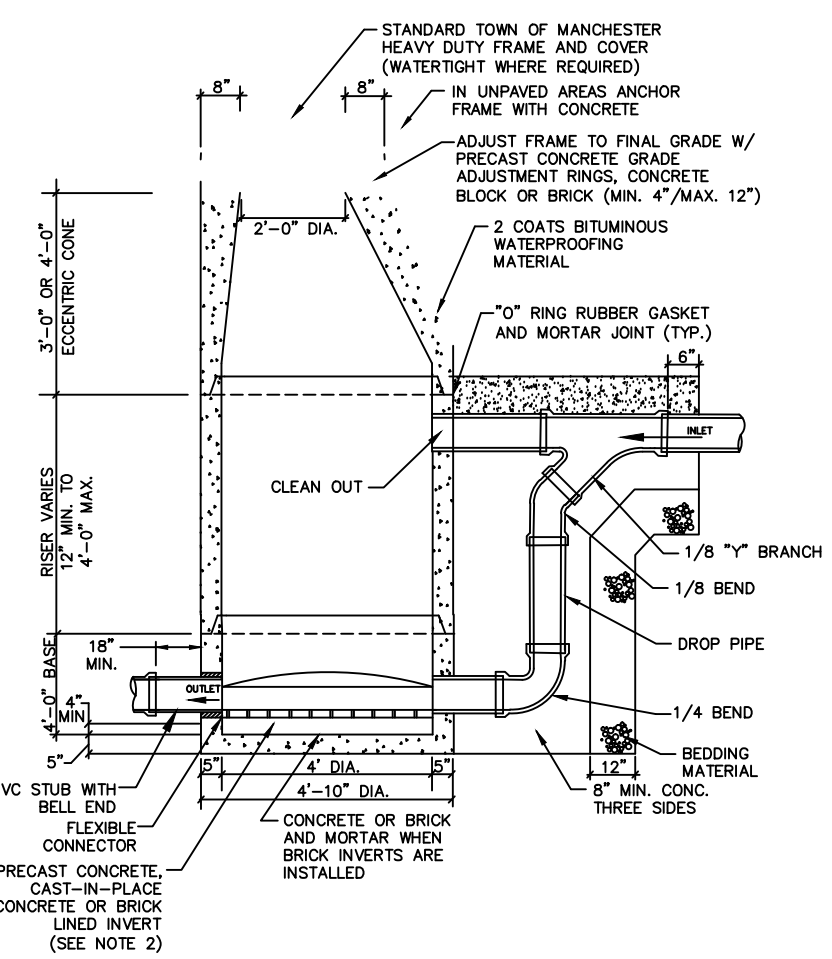
N/F OAKS AT MANCHESTER LIMITED PARTNERSHIP
166 TODOR LANE
VOLUME 650 PAGE 350

**TOWN OF MANCHESTER
SITE CONSTRUCTION, WATER AND SANITARY SEWER
CONSTRUCTION STANDARD NOTES
FOR P&Z PROJECTS**

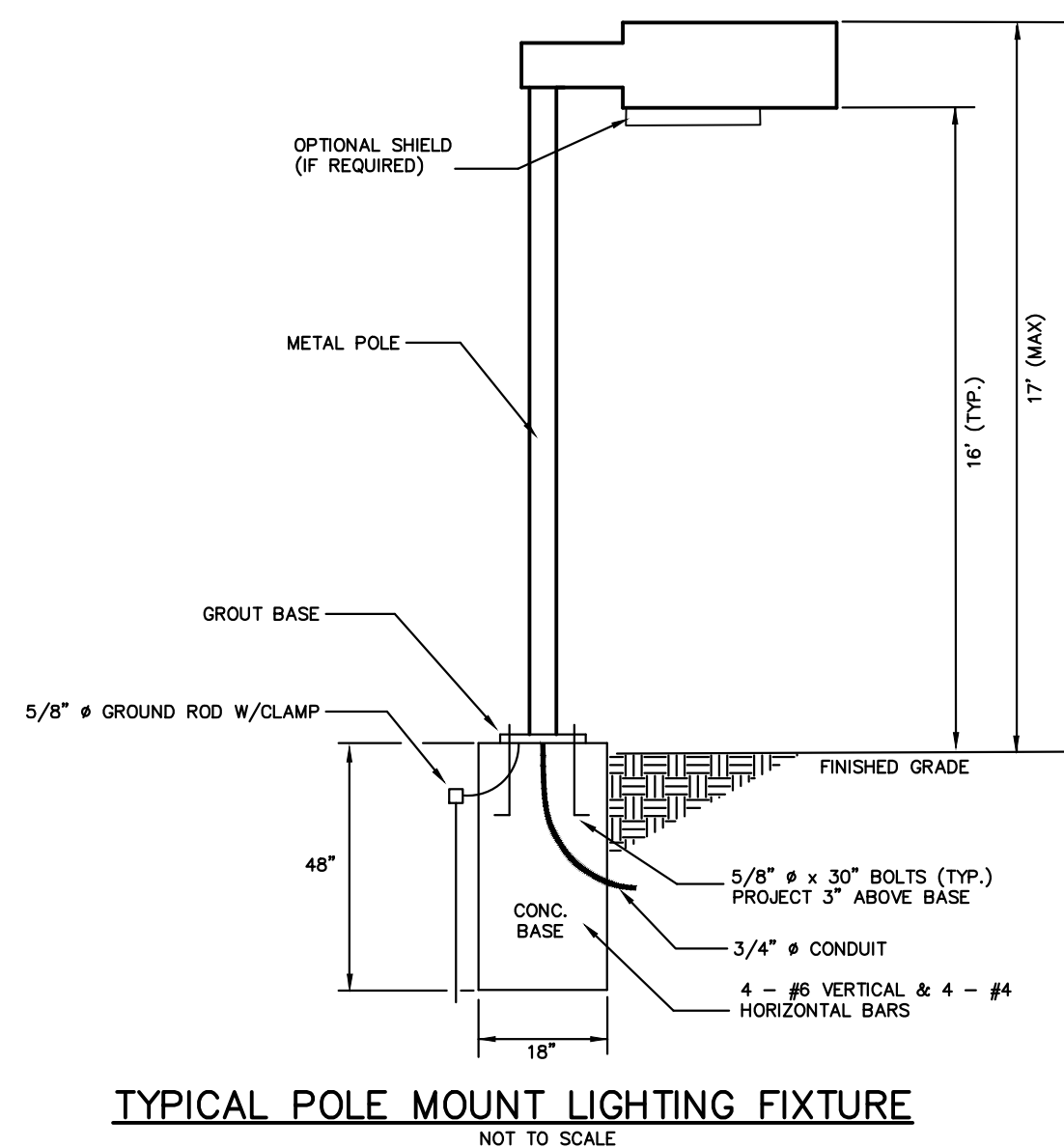
- A PRECONSTRUCTION MEETING WITH TOWN STAFF AND EIGHTH UTILITIES DISTRICT STAFF IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES DEPICTED ON THESE DRAWINGS ARE FROM THE BEST AVAILABLE SOURCES. SUCH INFORMATION IS FURNISHED ONLY FOR THE INFORMATION OF THE CONTRACTOR AND IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- THE LOCATION OF ALL PROPOSED UNDERGROUND UTILITIES (IE. GAS, TELEPHONE, CABLE TV, ELECTRIC, ETC.) SHALL BE APPROVED BY THE TOWN PRIOR TO CONSTRUCTION.
- ALL MATERIALS AND METHODS OF CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF MANCHESTER "PUBLIC IMPROVEMENT STANDARDS" EFFECTIVE OCTOBER 31, 2020, AS AMENDED.
- AT UTILITY CROSSINGS A MINIMUM 18" VERTICAL SEPARATION DISTANCE SHALL BE PROVIDED FROM WATER OR SEWER UTILITIES UNLESS INDICATED OTHERWISE ON THE PLANS OR AS APPROVED BY THE TOWN AND EIGHTH UTILITIES DISTRICT. A CONCRETE CRADLE SHALL BE UTILIZED IF A MINIMUM SEPARATION DISTANCE OF LESS THAN 12" IS ALLOWED BY THE TOWN AND EIGHTH UTILITIES DISTRICT. A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10" SHALL BE PROVIDED BETWEEN WATER AND SEWER UTILITIES. PROVIDE 5" MINIMUM SEPARATION DISTANCE BETWEEN WATER OR SEWER UTILITIES AND STORM DRAIN LINES. PROVIDE 2" MINIMUM SEPARATION DISTANCE BETWEEN WATER MAINS AND CATCH BASINS.
- THRUST RESTRAINT FOR ALL MECHANICAL JOINTS AT VALVES AND FITTINGS SHALL BE PROVIDED BY MEANS OF DUCTILE IRON RESTRAINER GLANDS. WEDGE-ACTION JOINT RESTRAINERS OR GASKET-TYPE JOINT RESTRAINT SHALL BE USED TO RESTRAIN ALL DUCTILE IRON PIPE JOINTS FOR A DISTANCE OF AT LEAST 27 FEET ON EACH SIDE OF ALL VALVES OR FITTINGS. NO MORE THAN ONE PIPE JOINT SHALL BE ALLOWED WITHIN THE 27 FEET OF PIPE.
- ALL VALVE BOXES AND CURB BOXES SHALL BE ADJUSTED TO THE FINAL GRADES. ALL CURB BOXES SHALL BE LOCATED IN GRASSY AREAS AT THE STREET LINE FRONTING THE PROPERTY UNLESS INDICATED OTHERWISE ON THE PLANS.
- ALL VALVES AND HYDRANTS SHALL BE EITHER RIGHT-OPENING (CLOCKWISE) OR LEFT OPENING (COUNTER CLOCKWISE) BASED ON THEIR LOCATION IN TOWN. THE CONTRACTOR SHALL VERIFY THE DIRECTION OF OPENING PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION. ALL MAIN LINE AND AUXILIARY VALVES (4" TO AND INCLUDING 12") SHALL BE RESILIENT WEDGE GATE VALVES.
- ALL WATER MAINS SHALL HAVE 4' FEET OF COVER UNLESS OTHERWISE INDICATED ON THE PLANS. COVER LESS THAN OR IN EXCESS OF 4' FEET SHALL BE ALLOWED ONLY AS INDICATED ON THE PLANS OR APPROVED BY THE TOWN. WATER MAINS HAVING COVER LESS THAN 4' SHALL BE INSULATED.
- ALL EXISTING WATER OR SANITARY SEWER SERVICES THAT WILL NOT BE REUSED AS PART OF THE FUTURE DEVELOPMENT SHALL BE ABANDONED AT THE MAIN IN ACCORDANCE WITH PROCEDURES SET FORTH BY THE TOWN.
- ALL WELLS SHALL BE ABANDONED IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN THE RULES OF PRACTICE AND REGULATIONS MANUAL PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF CONSUMER PROTECTION, WELL DRILLING BOARD. THE TOWN SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY SUCH ABANDONMENT.
- ALL PROPOSED WATER AND SEWER EASEMENTS SHALL BE DESCRIBED BY METES AND BOUNDS. PROPOSED EASEMENTS SHALL BE APPROVED BY THE TOWN AND FILED WITH THE TOWN CLERK PRIOR TO MAKING A REQUEST FOR A CERTIFICATE OF OCCUPANCY. PROVIDE VOLUME AND PAGE REFERENCES FOR ALL EXISTING WATER AND SEWER EASEMENTS.
- IF THE PROJECT IS WITHIN AN AQUIFER PROTECTION ZONE A BEST MANAGEMENT PLAN FOR THE STORAGE OR USE OF ANY POTENTIALLY HAZARDOUS MATERIALS SHALL BE SUBMITTED TO AND APPROVED BY THE TOWN PRIOR TO MAKING A REQUEST FOR A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY HANDLING OF SANITARY SEWAGE FLOWS DURING CONSTRUCTION. METHODS OF HANDLING SEWAGE FLOWS SHALL BE APPROVED BY THE TOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY THRUST RESTRAINT THAT MAY BE REQUIRED.
- ALL EXISTING HYDRANTS TO BE REMOVED OR REPLACED SHALL BE SALVAGED WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE TOWN. ALL OTHER MATERIALS WHICH ARE REMOVED FROM THE ROADWAY SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF PROPERLY, UNLESS INDICATED OTHERWISE ON THE PLANS.
- WHEN DOMESTIC OR FIRE WATER SERVICES GREATER THAN OR EQUAL TO 4" IN DIAMETER ARE PROPOSED TO BE CONNECTED TO THE WATER MAIN USING A TAPPING SLLEEVE AND VALVE A WET TAP CONTRACTOR PRE-APPROVED BY THE TOWN SHALL BE USED.
- IN ACCORDANCE WITH ARTICLE II, SECTION 7.05.05 OF THE TOWN OF MANCHESTER ZONING REGULATIONS, RECORD DRAWINGS MUST BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY EXCEEDING BOX OF THE TOTAL PROPOSED NUMBER OF UNITS WITHIN THE DEVELOPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL INFORMATION NECESSARY TO GENERATE DRAWINGS AND FOR PROVIDING THE ACTUAL DRAWINGS TO THE TOWN.
- IN ACCORDANCE WITH TOWN OF MANCHESTER ORDINANCE 14-57, THE CONTRACTOR SHALL REPLACE ALL BROKEN OR DAMAGED SIDEWALK AND CURBS ALONG THE FRONTAGE OF THE PROPERTY AS DIRECTED BY THE TOWN.
- ALL PROPOSED WORK WITHIN THE STATE OF CONNECTICUT RIGHT-OF-WAY ALONG OAKLAND STREET MUST BE APPROVED BY THE DEPARTMENT OF TRANSPORTATION AND THAT THE CONTRACTOR MUST SATISFY PAVEMENT REPAIR REQUIREMENTS ESTABLISHED IN THE ASSOCIATED ENCROACHMENT PERMIT.
- AN APPROVED EROSION CONTROL BOND IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- PRIOR TO ANY TREE REMOVAL WITHIN THE TOWN OF MANCHESTER RIGHT-OF-WAY, THE CONTRACTOR MUST CONTACT THE TOWN TREE WARDEN FOR POSTING OF TREE REMOVAL NOTICES. FAILURE TO COMPLY WILL RESULT IN A FINE.
- THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT ACCUMULATES IN THE DOWNSTREAM DRAINAGE SYSTEM AS A RESULT OF THE PROJECT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN DEMOLITION PERMITS FROM THE TOWN OF MANCHESTER BUILDING DEPARTMENT FOR THE DEMOLITION OF THE EXISTING STRUCTURES. AS PART OF THE DEMOLITION PERMIT, ALL EXISTING WATER AND SEWER SERVICES THAT WILL NOT BE REUSED AS PART OF THE PROPOSED DEVELOPMENT SHALL BE ABANDONED AT THE MAIN PER WATER AND SEWER DEPARTMENT REQUIREMENTS.



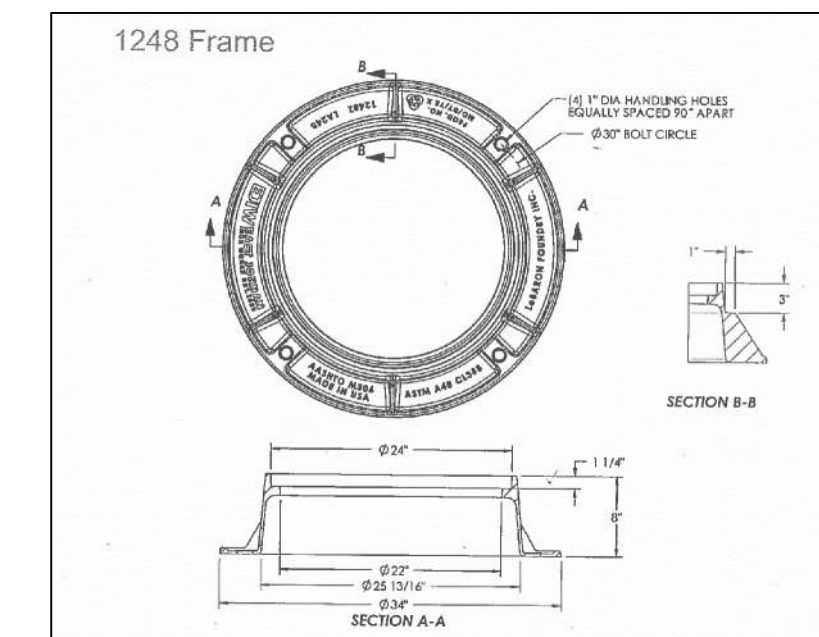
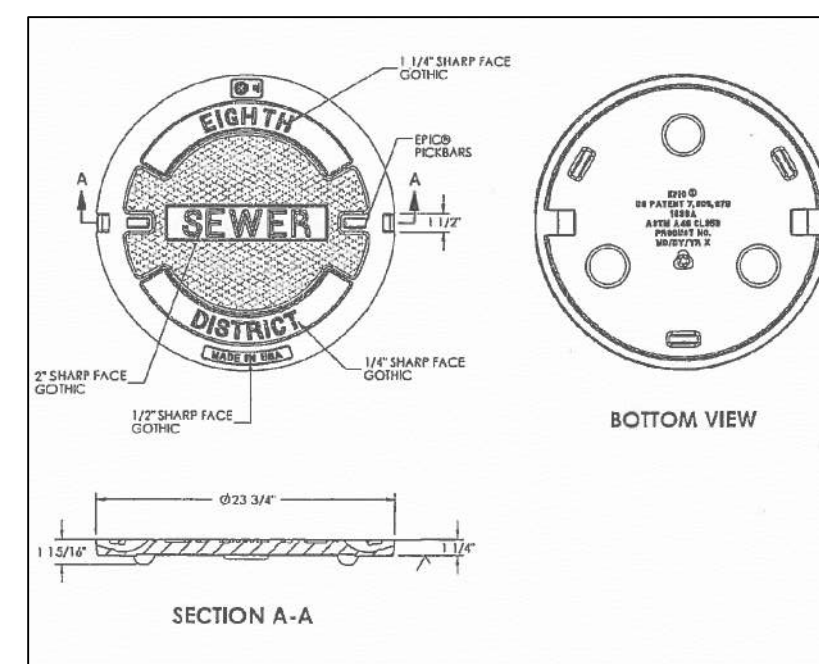
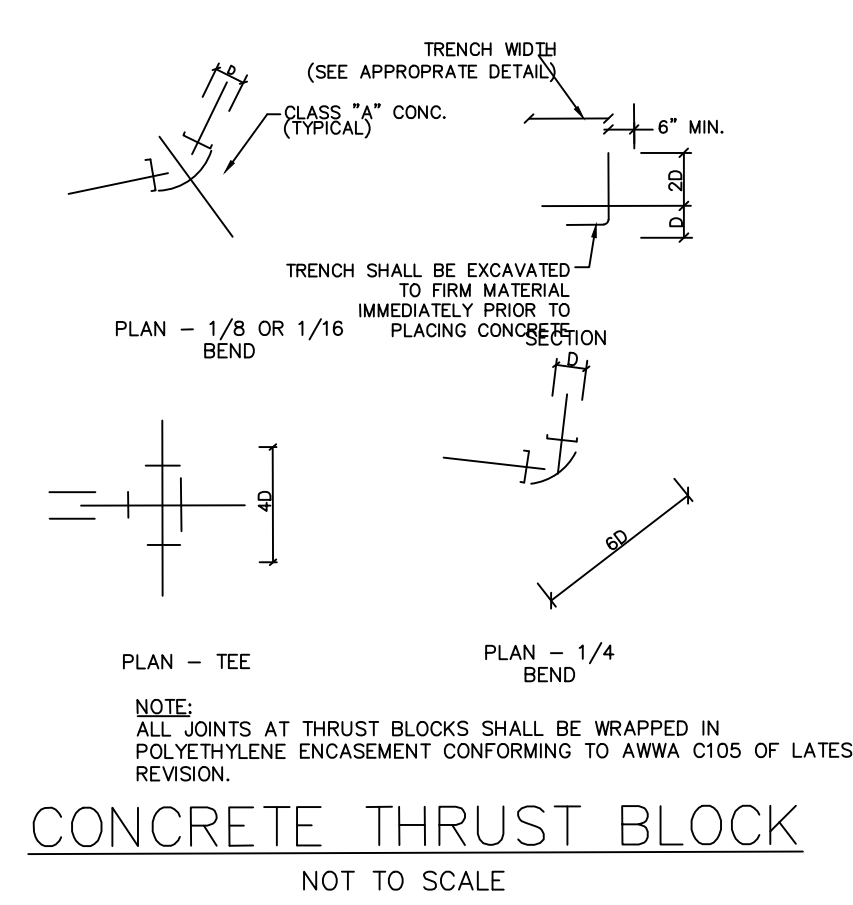
48" SANITARY MANHOLE
NOT TO SCALE



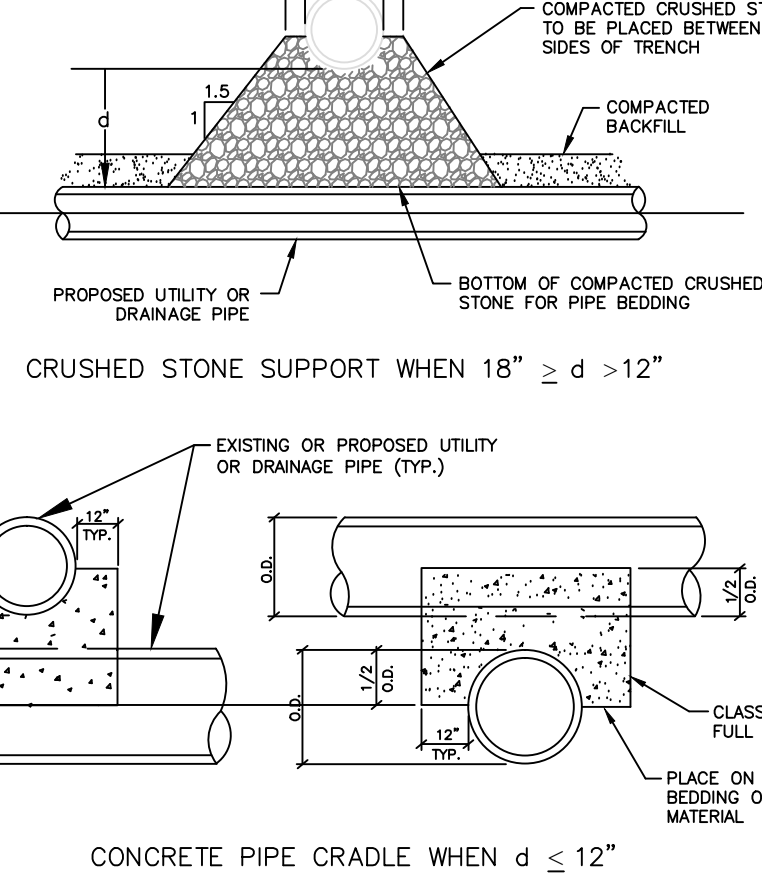
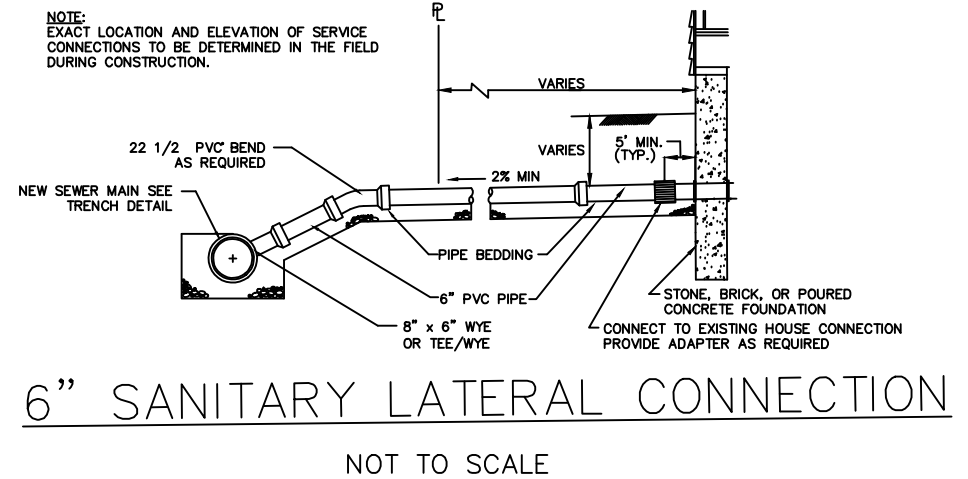
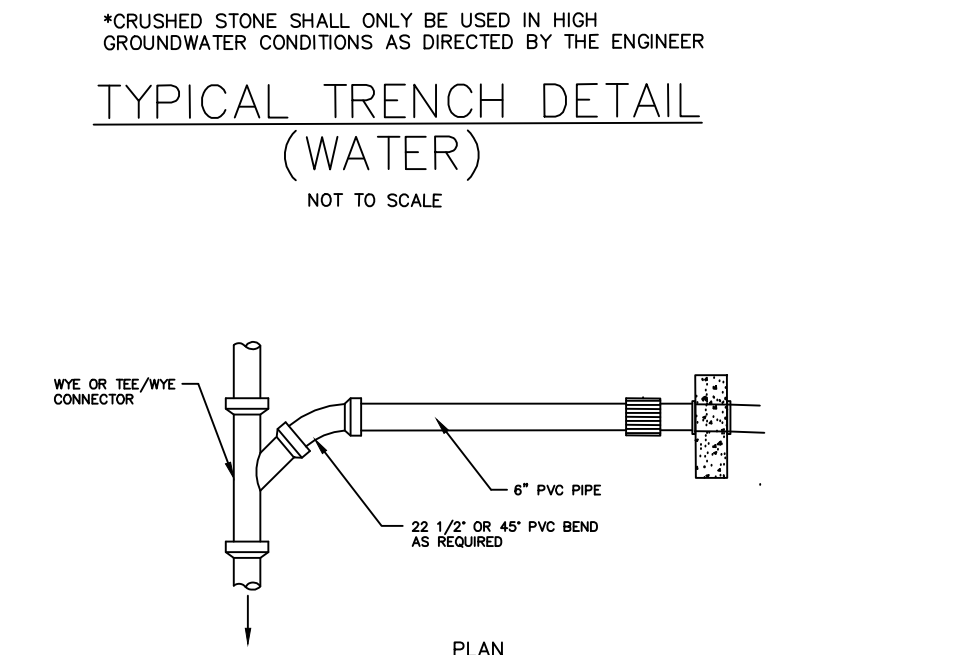
48" OUTSIDE DROP SANITARY MANHOLE
NOT TO SCALE



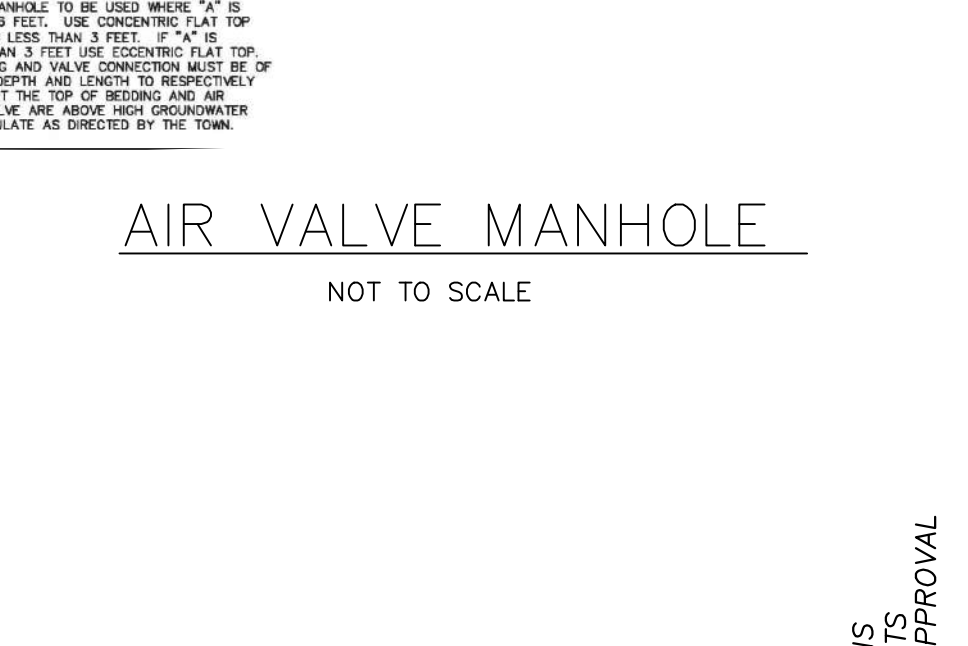
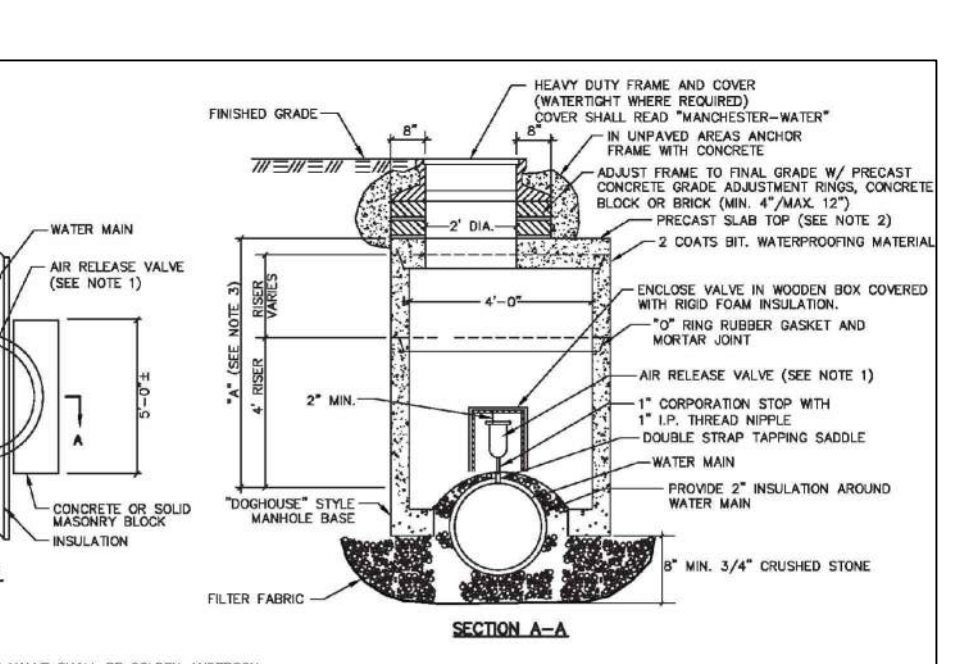
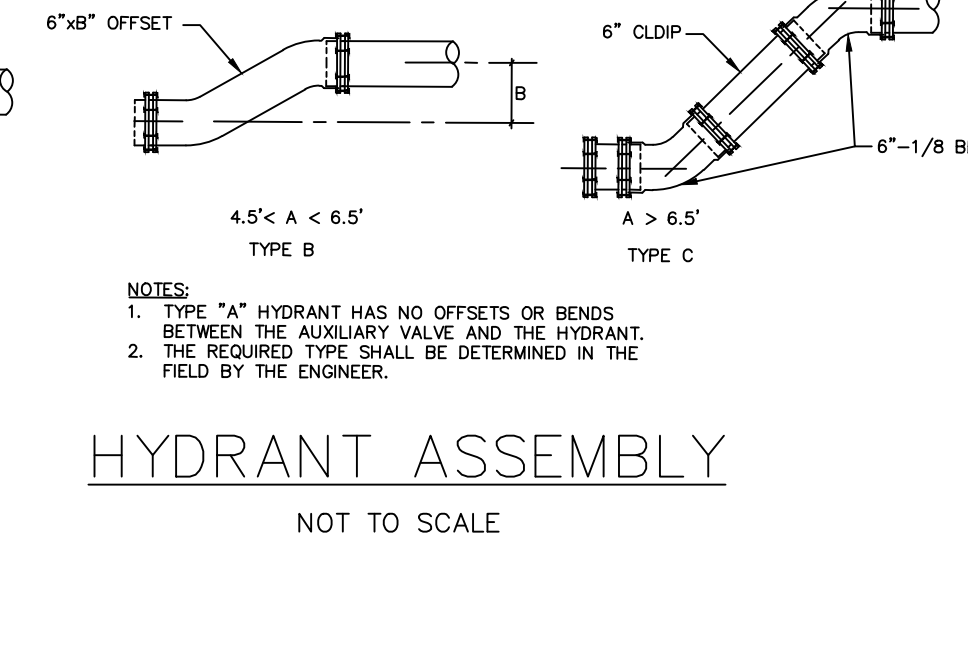
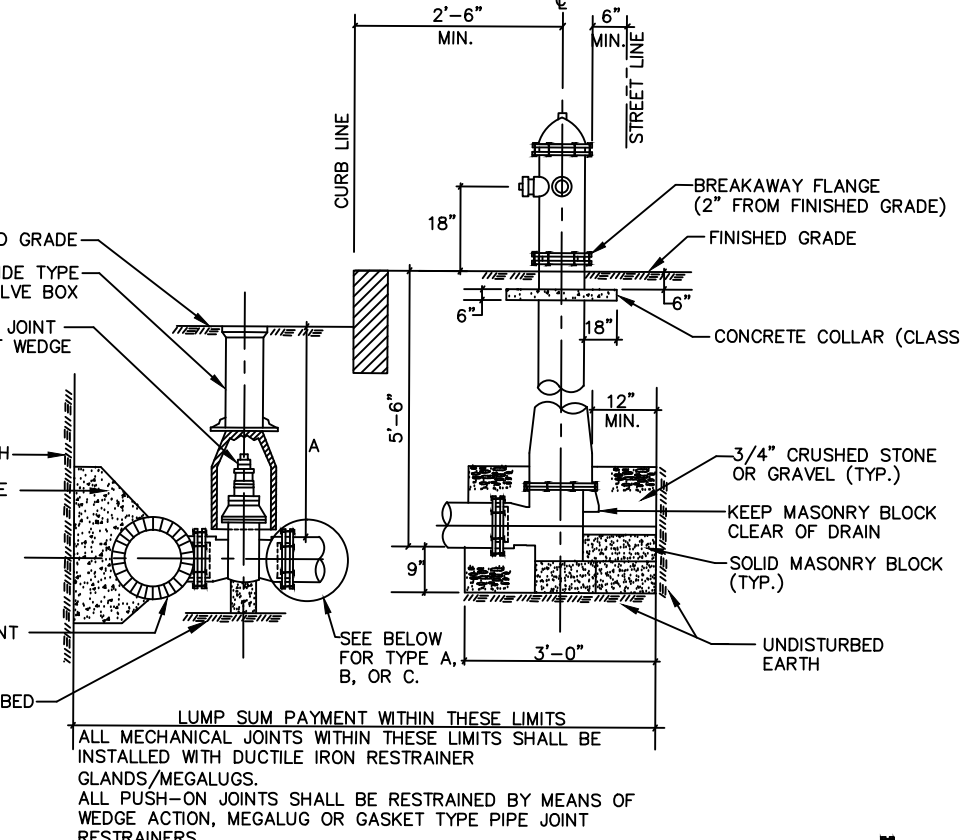
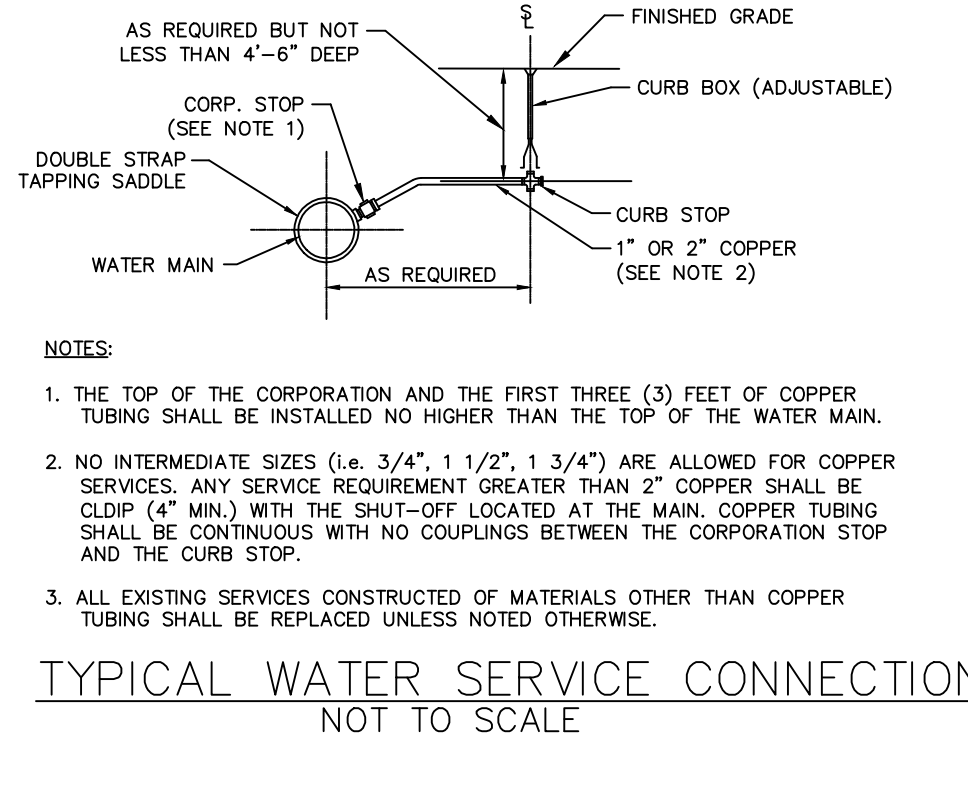
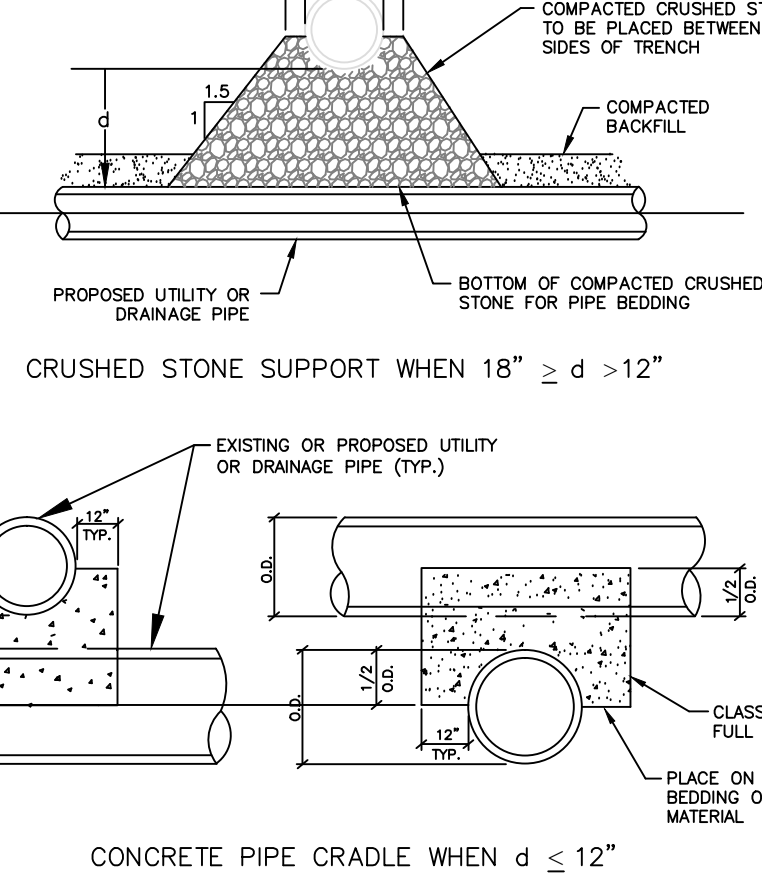
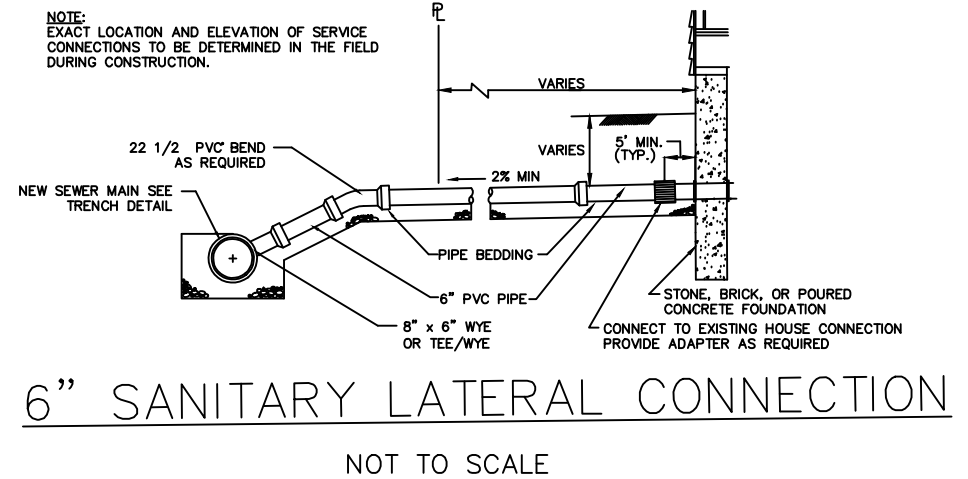
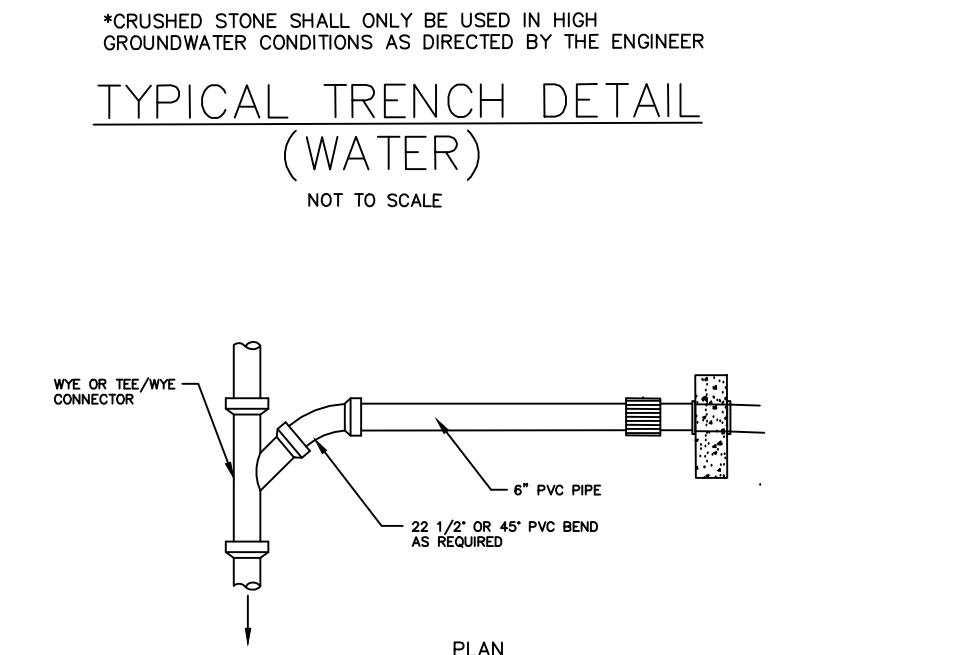
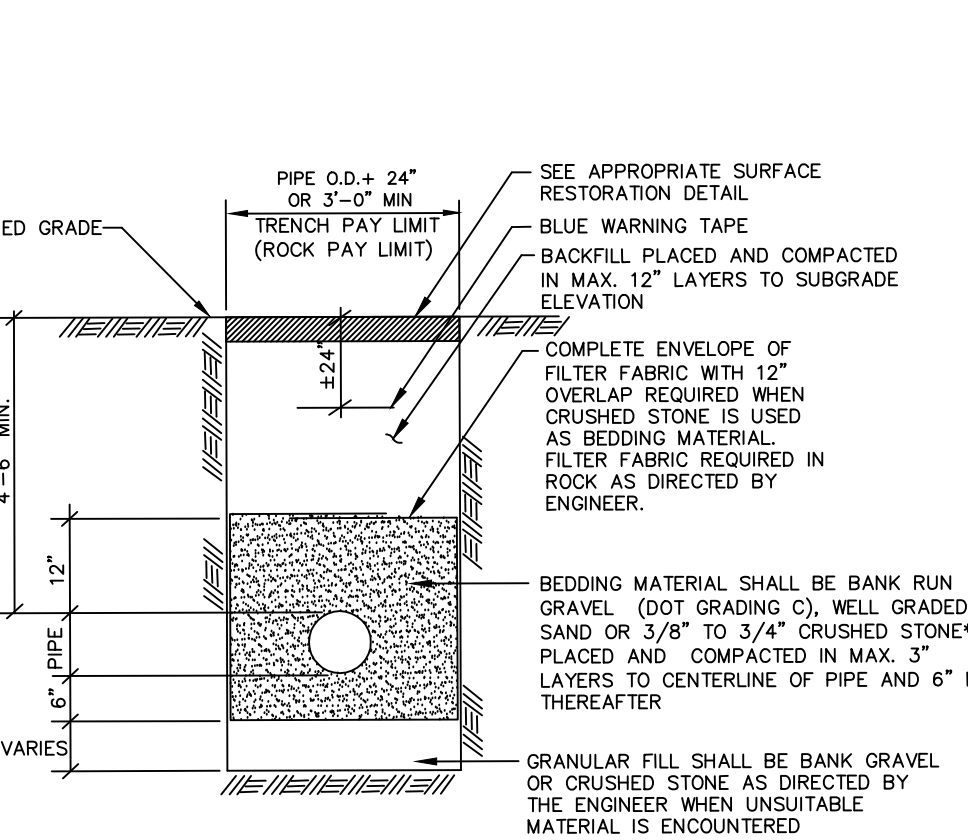
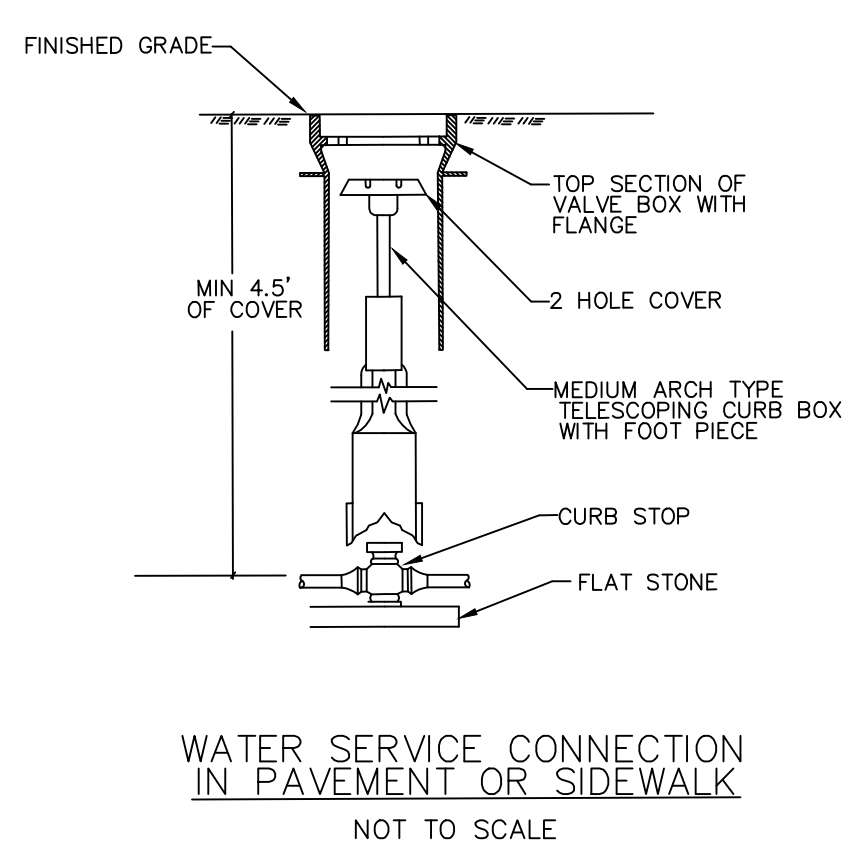
LIGHT FIXTURES TO BE HORIZONTAL RECTILINEAR SHARP CUT-OFF LUMINAIRE



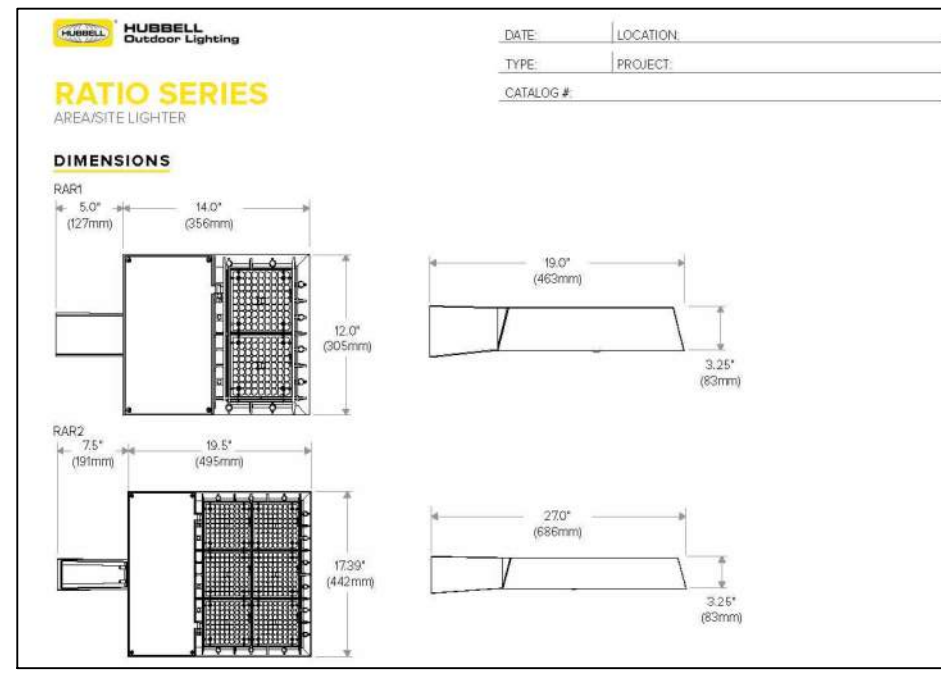
SANITARY MANHOLE FRAME & COVER
NOT TO SCALE



TYPICAL UTILITY SUPPORTS
NOT TO SCALE



TYPICAL TRENCH DETAIL (WATER)
NOT TO SCALE



TYPICAL POLE MOUNT LIGHTING FIXTURE
NOT TO SCALE

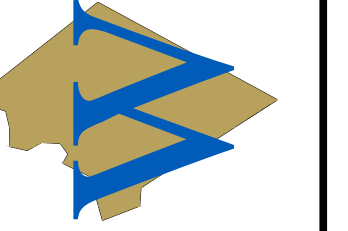
APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT
DATE: _____
SIGNED: _____

REV. 5/06/24 TOWN COMMENTS
REV. 4/24/24 TOWN COMMENTS
REV. 3/18/24 PLAN MODIFICATIONS
REV. 7-8-22 CONN. DOT COMMENTS
REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 12-08-21 TOWN COMMENTS
REV. 11-16-21 TOWN COMMENTS
REV. 9-15-21

CONSTRUCTION NOTES & DETAILS
27 LILLIAN DRIVE
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

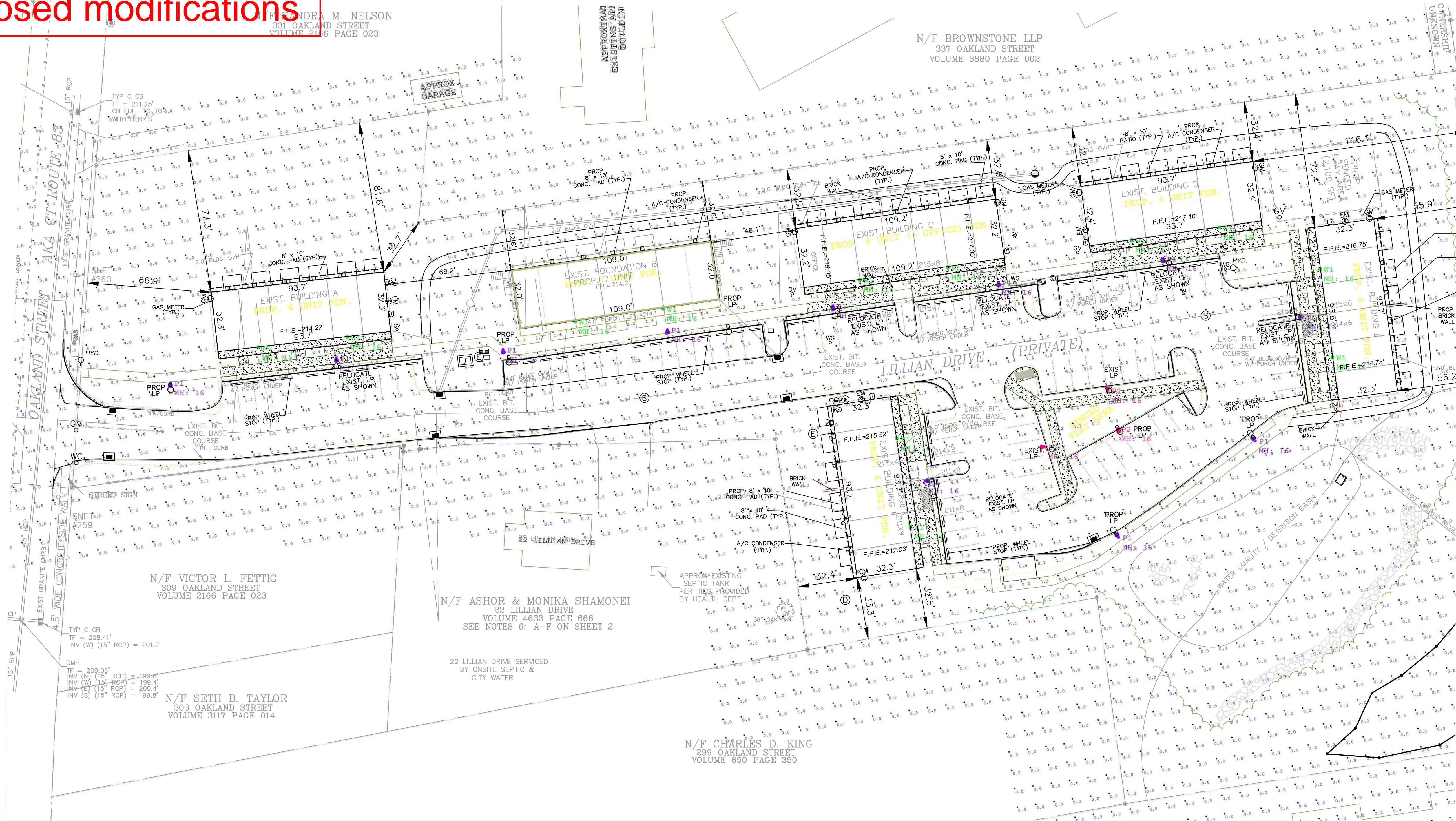
DATE: 6-28-21
SCALE: SHOWN
SHEET SP-9
MAP NO. 21-026-1GV

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL: (860) 642-7255
FAX: (860) 642-1794
web: wentworthcivil.com



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.
WENTWORTH CIVIL ENGINEERS
P.E. # 20960

Proposed modifications



Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens
[Symbol]	3	P2	SINGLE	0.900	RAR-1-160L-115-4K7-2-BC	8853
[Symbol]	11	P1	SINGLE	0.900	RAR-1-160L-115-4K7-4W-BC	9459
[Symbol]	12	W1	SINGLE	0.900	RWL1-48L-25-4K7-4W-U	3679

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.53	7.9	0.0	N.A.	N.A.

N/F OAKS AT MANCHESTER LIMITED PAR
165 TUDOR LANE
VOLUME 650 PAGE 350

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY.
VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION.
(SEE NOTE BELOW)

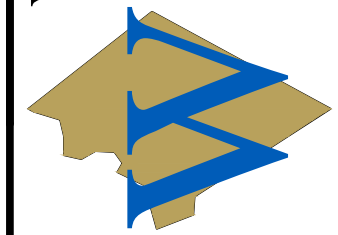
WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES.
CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT
DATE: _____
SIGNED: _____

REV. 5/06/24 TOWN COMMENTS
REV. 3/18/24 PLAN MODIFICATIONS
REV. 7-18-22 CONN. DOT COMMENTS
REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 12-08-21 TOWN COMMENTS
REV. 11-16-21 TOWN COMMENTS
REV. 9-15-21

DATE: 6-28-21
SCALE: 1"=30'
SHEET SP-10
MAP NO. 21-026-1LP

SITE ILLUMINATION PLAN
27 LILLIAN DRIVE
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT



**WENTWORTH CIVIL
ENGINEERS, LLC**
177 WEST TOWN ST.
LEBANON, CT 06249
TEL: (860) 642-7255
FAX: (860) 642-7794
web: wentworthcivil.com

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

Wesley L. Wentworth
Wesley L. Wentworth

P.E. # 20360

Proposed modifications

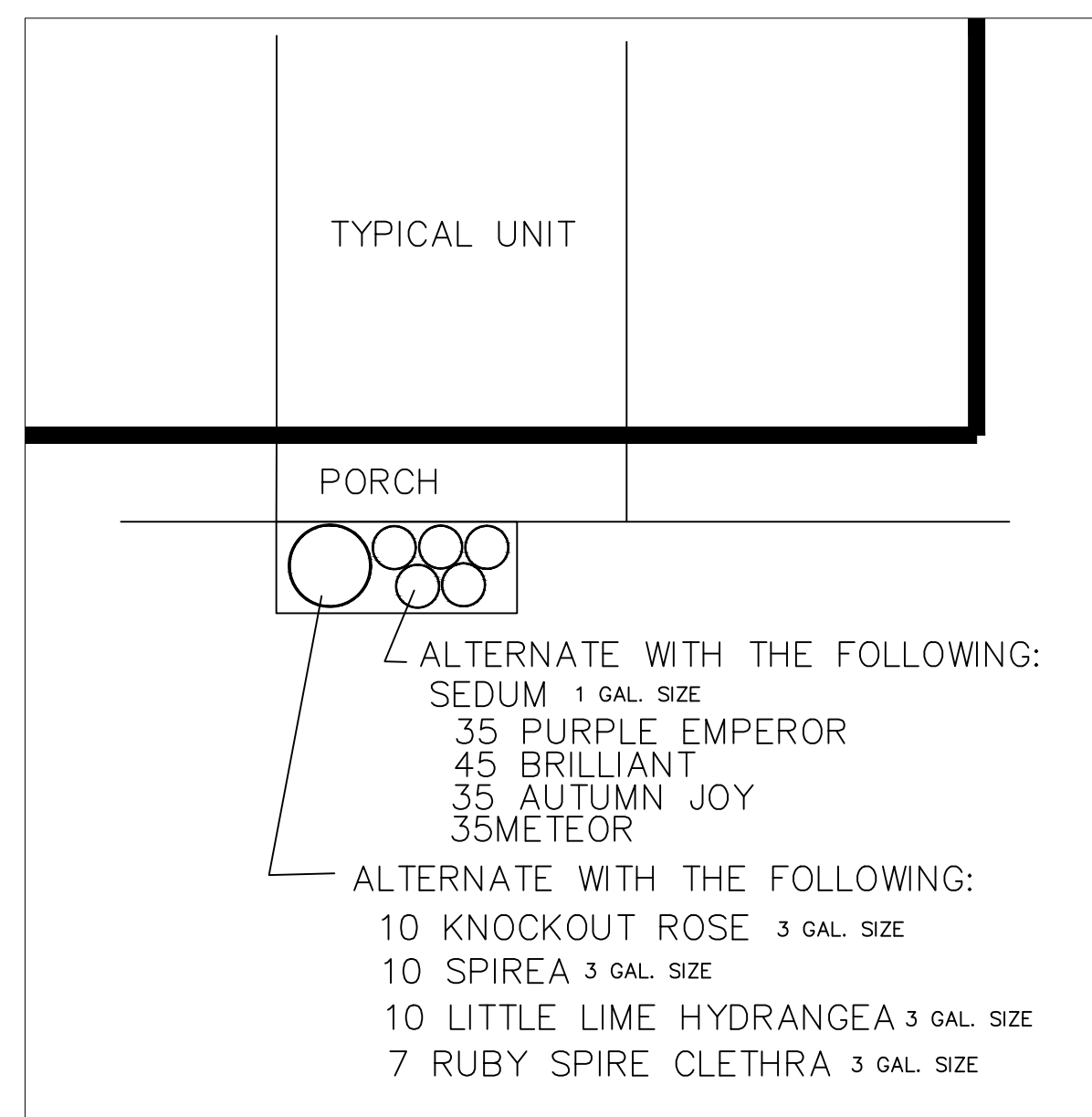
N/F SANDRA M. NELSON
331 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F BROWNSTONE LLP
337 OAKLAND STREET
VOLUME 3860 PAGE 002

N/F VICTOR L. FETTIG
309 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F ASHOR & MONIKA SHAMONEI
22 LILLIAN DRIVE
VOLUME 4633 PAGE 666
SEE NOTES 6: A-F ON SHEET 2

N/F SETH B. TAYLOR
303 OAKLAND STREET
VOLUME 3117 PAGE 014



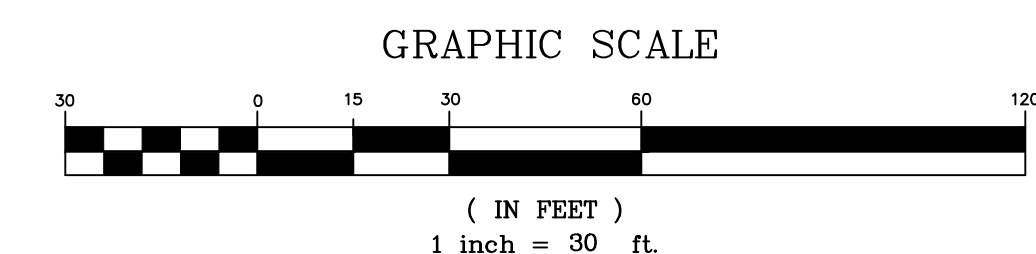
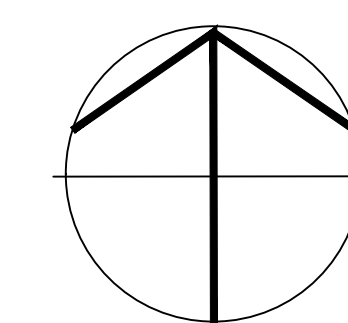
TYPICAL FRONT PLANTER
NOT TO SCALE

PLANTING SPECIFICATIONS

SYMBOL	NAME/ SCIENTIFIC NAME	QUANTITY	SIZE
TREES: DECIDUOUS	ACER X FREEMANII 'JEFFERSRED'/ AUTUMN BLAZE MAPLE	10	3 - 3 1/2" CALIPER
	ACER RUBRUM 'OCTOBER GLORY'/ OCTOBER GLORY RED MAPLE	4	3 - 3 1/2" CALIPER
	AMELANCHIER CANADENSIS/ SHADBLOW	4	6 - 7'
	BETULA NIGRA 'HERITAGE'/ HERITAGE RIVER BIRCH	18	6 - 7'
TREES: EVERGREEN	ABIES FRASERI/ FRASER FIR	14	4-5'
	PICEA ABIES/ NORWAY SPRUCE	37	4-5'
SHRUBS:	JUNIPERUS CHIN. PFITZ. COMPACTUM/ COMPACT PFITZER JUNIPER	20	18 - 24"
	ROSA 'KNOCKOUT'/ KNOCKOUT SHRUB ROSE	13	18 - 24"
	VACCINIUM CORYMBOSUM/ BLUEBERRY	7	18 - 24"
	VIBURNUM DILATATUM 'CARDINAL CANDY'/ VIBURNUM	8	18 - 24"
HERBACEOUS PLANTS:	CALAMAGROSTIS KARL FOERSTER/ FEATHER REED GRASS	42	2 Gal.
	CONSERVATION GRASS MIX FOR DRAINAGE BASIN: HARTS NATURALIZED GRASS SEED MIX		

○ EXISTING TREE TO REMAIN

✗ EXISTING TREE TO BE REMOVED



APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT
DATE: _____
SIGNED: _____

REV. 5-06-24 TOWN COMMENTS
REV. 4-24-24 TOWN COMMENTS
REV. 03-16-24 CONDITIONS OF APPROVAL
REV. 01-03-22 CONDITIONS OF APPROVAL

DATE: 9-21-21
SCALE: 1"=30'
SHEET SP-11

LANDSCAPE PLAN
27 LILLIAN DRIVE
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

JOHN ALEXOPOULOS
LANDSCAPE ARCHITECT
CT LICENSE # 550

Proposed sidewalk elevation in front of Building F



BUILDING 'F'
SIDEWALK PROFILE
27 LILLIAN DRIVE
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT
DATE: 5/10/24 SCALE: 1"=8'
REV. 5/13/24

Proposed modifications to Building B

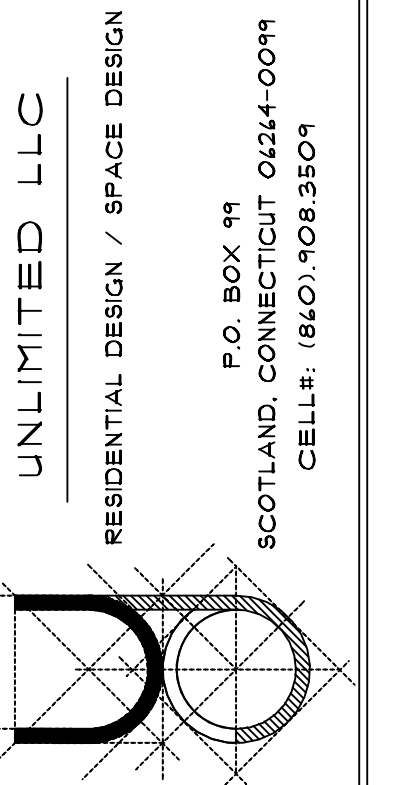
PROPOSED TOWNHOUSE PROJECT

" APEX TOWNHOUSES "

1 UNIT BUILDING

27 LILLIAN DRIVE
MANCHESTER, CONNECTICUT 06040

BUILDER / DEVELOPER
TRIVIK BUILDERS LLC



YOUNG DESIGNS
UNLIMITED LLC
RESIDENTIAL DESIGN / SPACE DESIGN
P.O. BOX 88
SCOTLAND, CONNECTICUT 06214-0088
CELL: 860.708.9501

NOTE:
OWNER SHALL VERIFY ALL PERMITS, LOCAL ORDINANCES AND REGULATIONS BEFORE CONSTRUCTION.
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE AND LOCAL BUILDING CODES.
IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW THE PERMITS AND REGULATIONS AND OBTAIN ANY NECESSARY PERMITS BEFORE CONSTRUCTION.
THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.

COVER SHEET

DATE: OCTOBER 24, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 882/ADA
REVISIONS: _____ DATE: _____

Proposed Townhouses
for ADA Units
27 Lillian Drive
Manchester, CT

FIRST FLOOR ADA UNIT 412 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT 141 SQ.FT.
SINGLE UNIT 1070 SQ.FT.

SHEET NO.
C1

DRAWING INDEX	
COVER SHEET / BUILDING DATA	C1
FRONT & REAR ELEVATIONS	A1
OPTIONAL FRONT ELEVATION & RIGHT - LEFT ELEVATIONS	A2
FOUNDATION PLAN	A3
FIRST FLOOR PLAN	A4
SECOND FLOOR PLAN	A5
DETAILED FOUNDATION - FIRST - SECOND FLOOR	A6
ROOF PLAN	A7
CROSS SECTIONS & GENERAL NOTES	A8
DETAILS - SCHEDULES	A9

BUILDING DATA	
AREA	AREA OF CONSTRUCTION
FIRST FLOOR - EACH UNIT	504 SQ.FT.
SECOND FLOOR - EACH UNIT	583 SQ.FT.
TOTAL SQUARE FOOTAGE	1087 SQ.FT.
4-UNIT TOTAL SQUARE FOOTAGE	4322 SQ.FT.
1-UNIT TOTAL SQUARE FOOTAGE	1087 SQ.FT.
CONSTRUCTION CLASS	R2
USE GROUP	A2
ZONE	PRD

LIST OF ABBREVIATIONS

I	AND	LB.	POUNDS
•	AT	PSP	POUNDS PER SQUARE FOOT
APPROX.	APPROXIMATE (LY)	PSI	POUNDS PER SQUARE INCH
FT.	FOOT/FEET	P.T.	PRESSURE TREATED
F.F.L.	FINISHED FLOOR LEVEL	REBAR	REINFORCED STEEL
H	HEIGHT	REQ'D	REQUIRED
IN.	INCHES	SQ.FT.	SQUARE FOOT/FEET
L.V.L.	LAMINATED-VENEER LUMBER	T & G	TONGUE AND GROOVE
MAX.	MAXIMUM	TYP.	TYPICAL
MIN.	MINIMUM	W	WIDTH
#	NUMBER	W/	WITH
O.C.	ON CENTER	W.W.M.	WELDED WIRE MESH

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

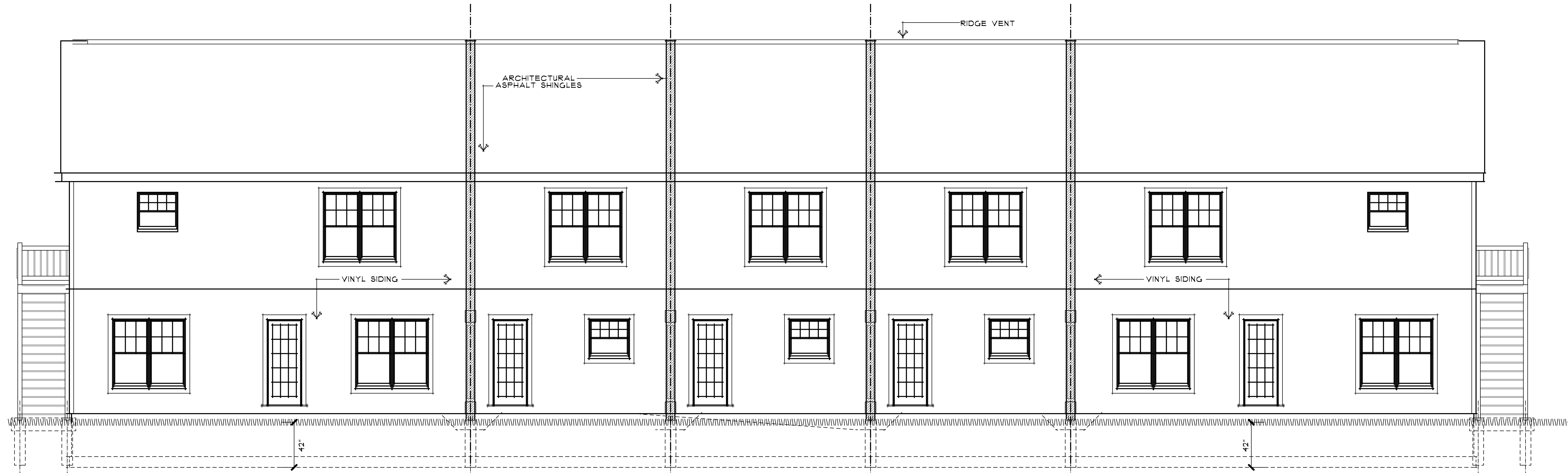
GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WIND SPEED	ICE BARRIER REQUIRED	FLOOR JOISTS	ICE FREEZING INDEX	MEAN ANNUAL TEMP	CLIMATE ZONE
	SPEED (MPH)	EXPOSURE CATEGORY		WEATHERING	ROOF LINE	TERMINI						
30 psf	125		B	SEVERE	42" DEPTH	MODERATE TO HEAVY	1 DEG F	YES	TBD LOCALLY	1500 OR LESS	50 DEG F	5A

- BUILDING CODE DATA
1. 2022 STATE BUILDING CODE
 2. 2021 INTERNATIONAL BUILDING CODE
 3. 2011 ICC/ANSI A117-1
 4. 2021 INTERNATIONAL MECHANICAL CODE
 5. INTERNATIONAL ENERGY CONSERVATION CODE/2021
 6. 2021 NATIONAL PLUMBING CODE
 7. 2021 NFPA 70 NATIONAL ELECTRICAL CODE
 8. 2001 WFCM FOR 110 MPH. WIND DESIGN

DESIGN LOADS

FIRST FLOOR	ATTIC
LIVE LOAD 40#/SF	LIVE LOAD 20#/SF
DEAD LOAD 10#/SF	DEAD LOAD 10#/SF
	ROOF
	LIVE LOAD 35#/SF
	DEAD LOAD 10#/SF

Proposed modifications to Building B



REAR ELEVATIONS

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. ALL MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED AND TO MAKE ANY NECESSARY CHANGES TO THE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES.

FRONT & REAR ELEVATIONS

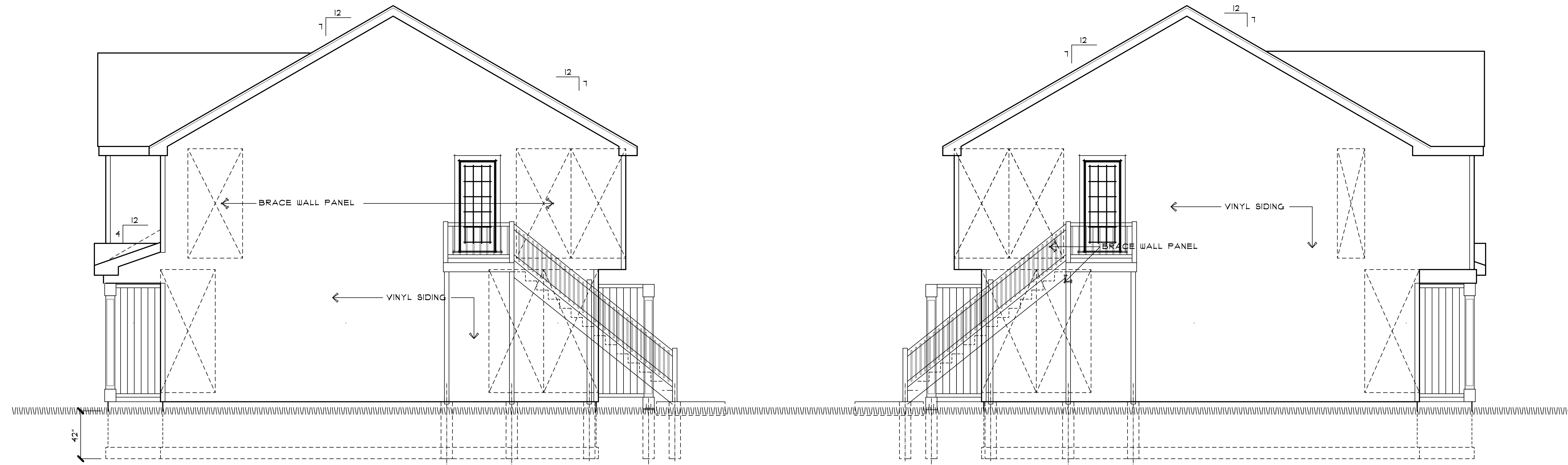
DATE: OCTOBER 30, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 8821ADA
REVISIONS: DATE:

Proposed Townhouses
for ADA Units
27 Lillian Drive
Manchester, CT

FIRST FLOOR ADA UNIT 492 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT 1441 SQ.FT.
SINGLE UNIT 1070 SQ.FT.

SHEET NO.
AI

Proposed modifications to Building B



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BRACKETS ON ELEVATIONS INCLUDING ALL CORNER AND ALL OTHER DIMENSIONS. ALL DIMENSIONS TO BE SHOWN IN SPECIFIC COMPLIANCE WITH NATIONAL, STATE AND LOCAL BUILDING CODES.
 NOTE:
 IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW ALL DIMENSIONS AND BRACKETS ON ELEVATIONS AND VERIFY ANY CHANGES THAT MAY BE REQUIRED TO THE FINAL PLANS AND OBTAIN ANY CHANGES THAT MAY BE REQUIRED TO THE FINAL PLANS. THE BUILDER SHALL BE RESPONSIBLE FOR THE BUILDER CONTRACTOR AND THE BUILDER CONTRACTOR SHALL BE RESPONSIBLE FOR THE BUILDER CONTRACTOR.

RIGHT & LEFT ELEVATIONS

DATE: OCTOBER 30, 2023
 SCALE: AS NOTED
 DRAWN BY: B. YOUNG
 DATA REF: 882/ADA
 REVISIONS: _____ DATE: _____

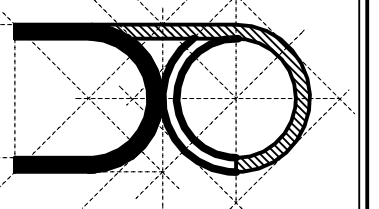
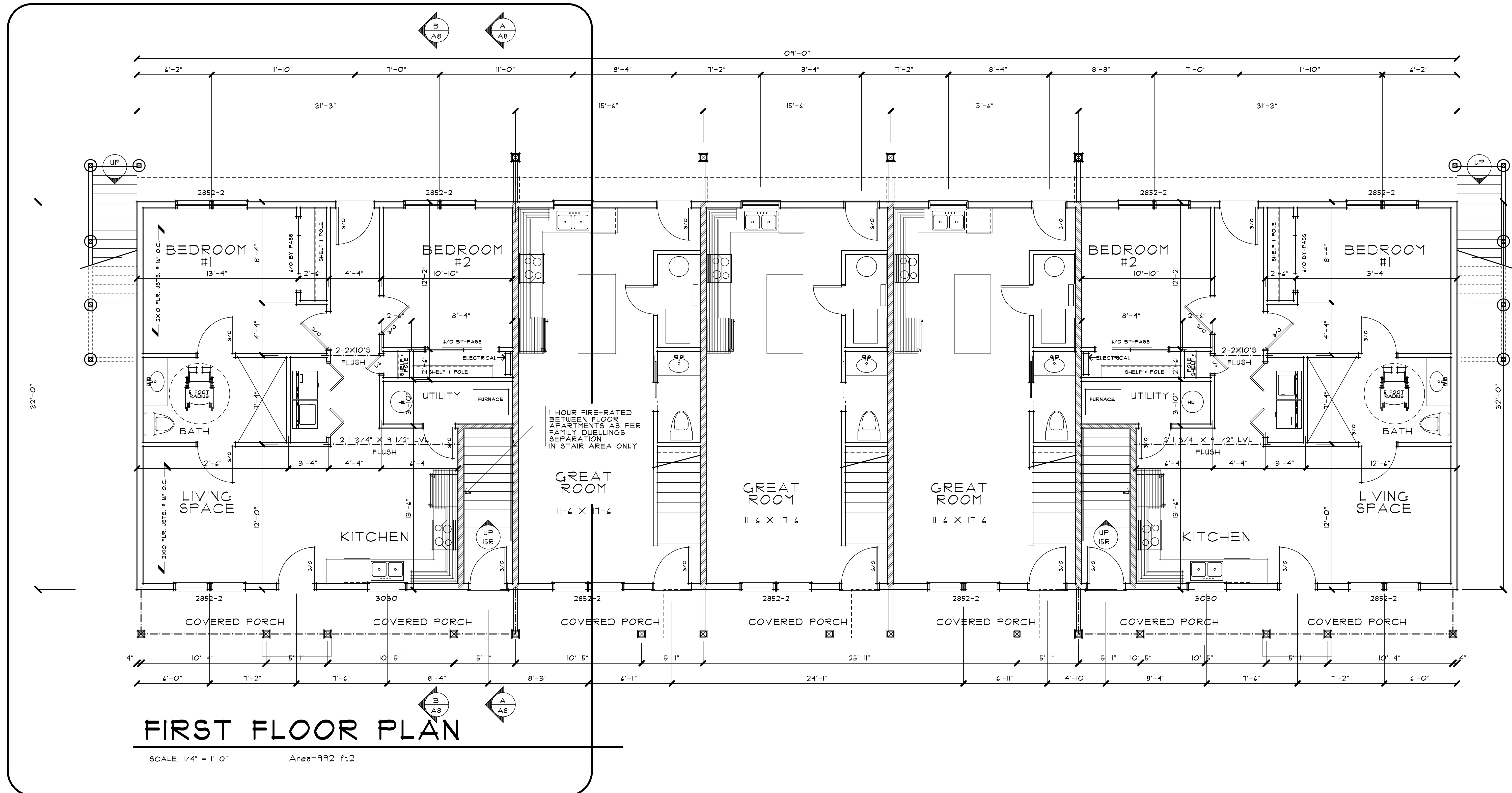
Proposed Townhouses
 for ADA Units
 27 Lillian Drive
 Manchester, CT

FIRST FLOOR ADA UNIT	492 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT	1441 SQ.FT.
SINGLE UNIT	1070 SQ.FT.

SHEET NO.

A2

Proposed modifications to Building B



NOTE:
DESIGNER'S RESPONSIBILITY INCLUDES ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW ALL CONTRACT DOCUMENTS AND VERIFY ANY CHANGES TO THE PLAN. THE BUILDER SHALL BE RESPONSIBLE FOR THE ROLE OF THE CONTRACTOR.

FIRST FLOOR
PLAN

DATE: OCTOBER 30, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 882/ADA
REVISIONS: _____ DATE: _____
REVISIONS: _____ DATE: 1/12/24

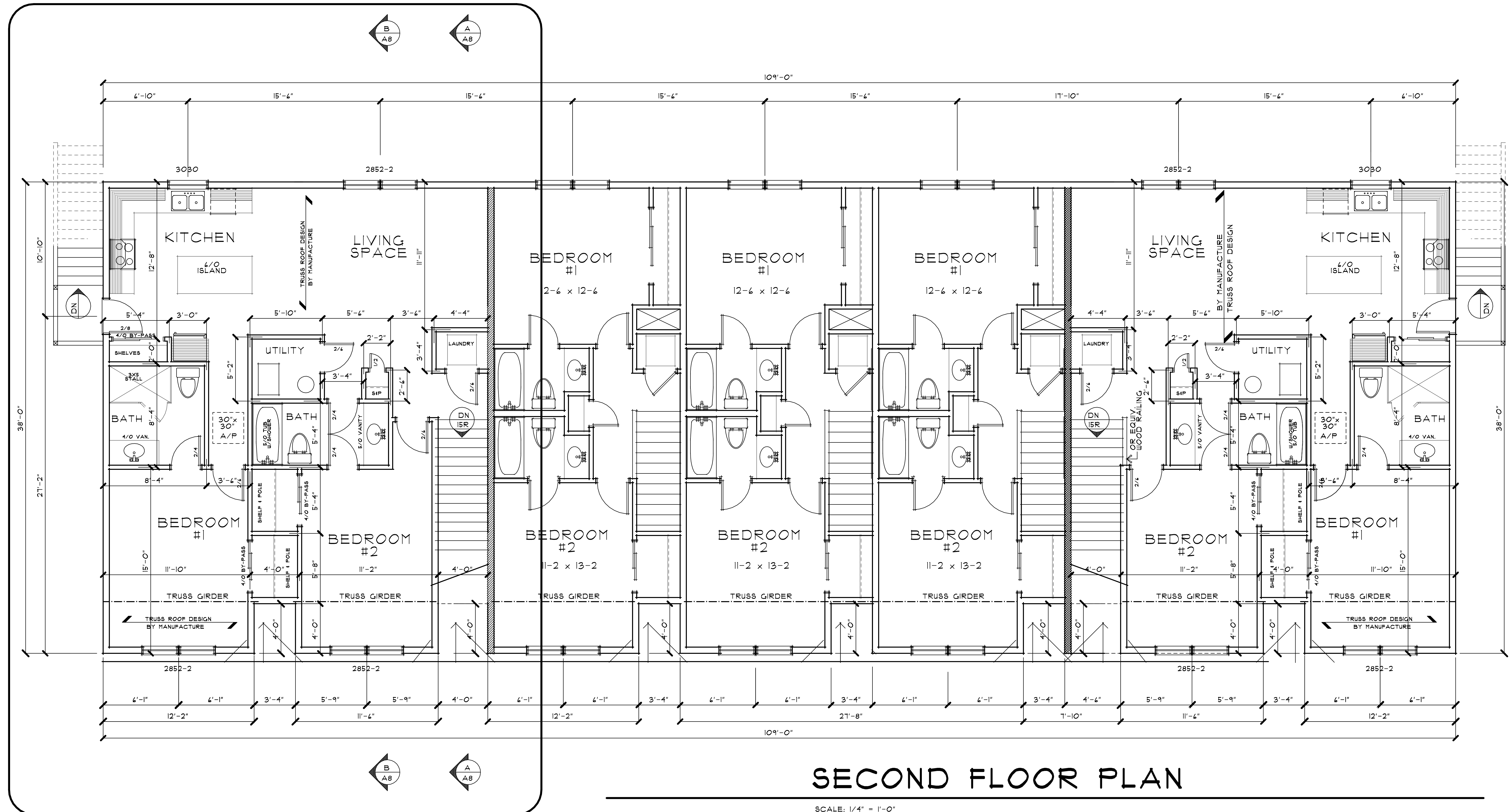
Proposed Townhouses
for ADA Units
27 Lillian Drive
Manchester, CT

FIRST FLOOR ADA UNIT 492 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT 1491 SQ.FT.
SINGLE UNIT 1070 SQ.FT.

SHEET NO.

A4

Proposed modifications to Building B



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE FIELD MEASUREMENTS AND SPECIFICATIONS FOR THE WORK SHOWN ON THIS PLAN. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS ON THE JOB. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THE PLAN MADE BY THE CONTRACTOR OR ANY OTHER PARTY.

SECOND FLOOR PLAN

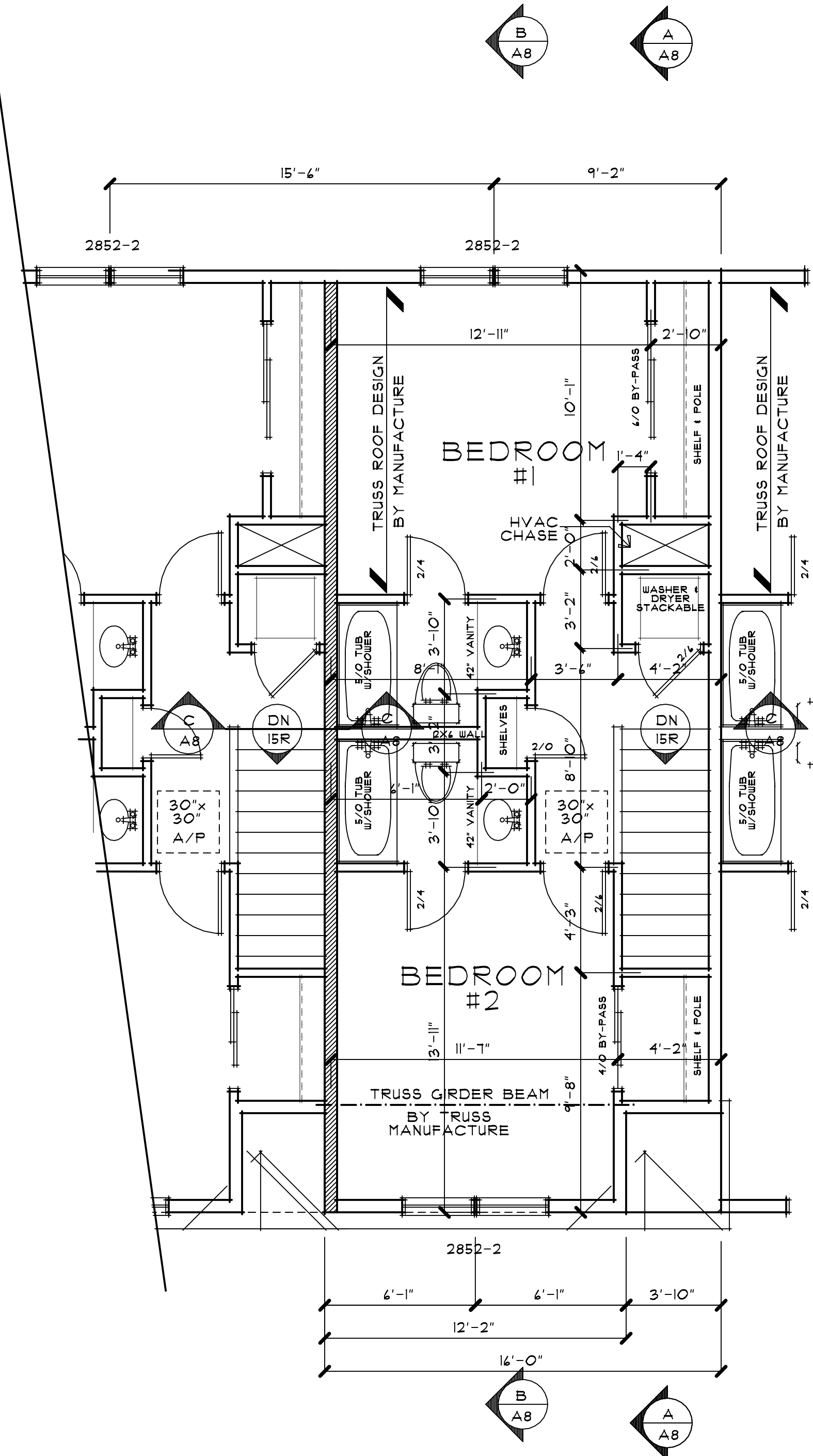
DATE: OCTOBER 30, 2023
 SCALE: AS NOTED
 DRAWN BY: B. YOUNG
 DATA REF: 8821ADA
 REVISIONS: _____ DATE: _____

Proposed Townhouses
 for ADA Units
 27 Lillian Drive
 Manchester, CT

FIRST FLOOR ADA UNIT 412 SQ.FT.
 SECOND FLOOR ABOVE ADA UNIT 1441 SQ.FT.
 SINGLE UNIT 1070 SQ.FT.

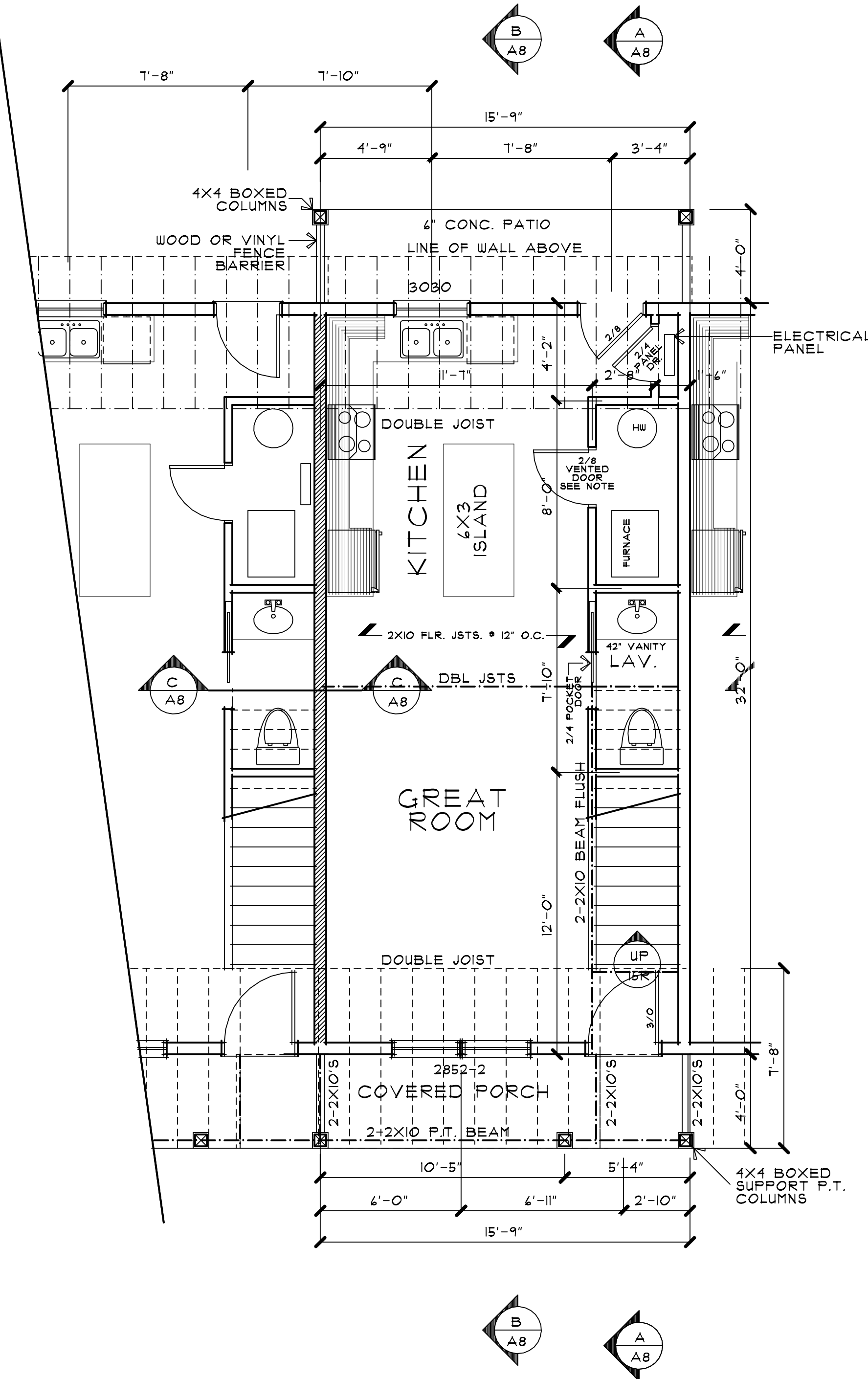
SHEET NO.
A5

Proposed modifications to Building B



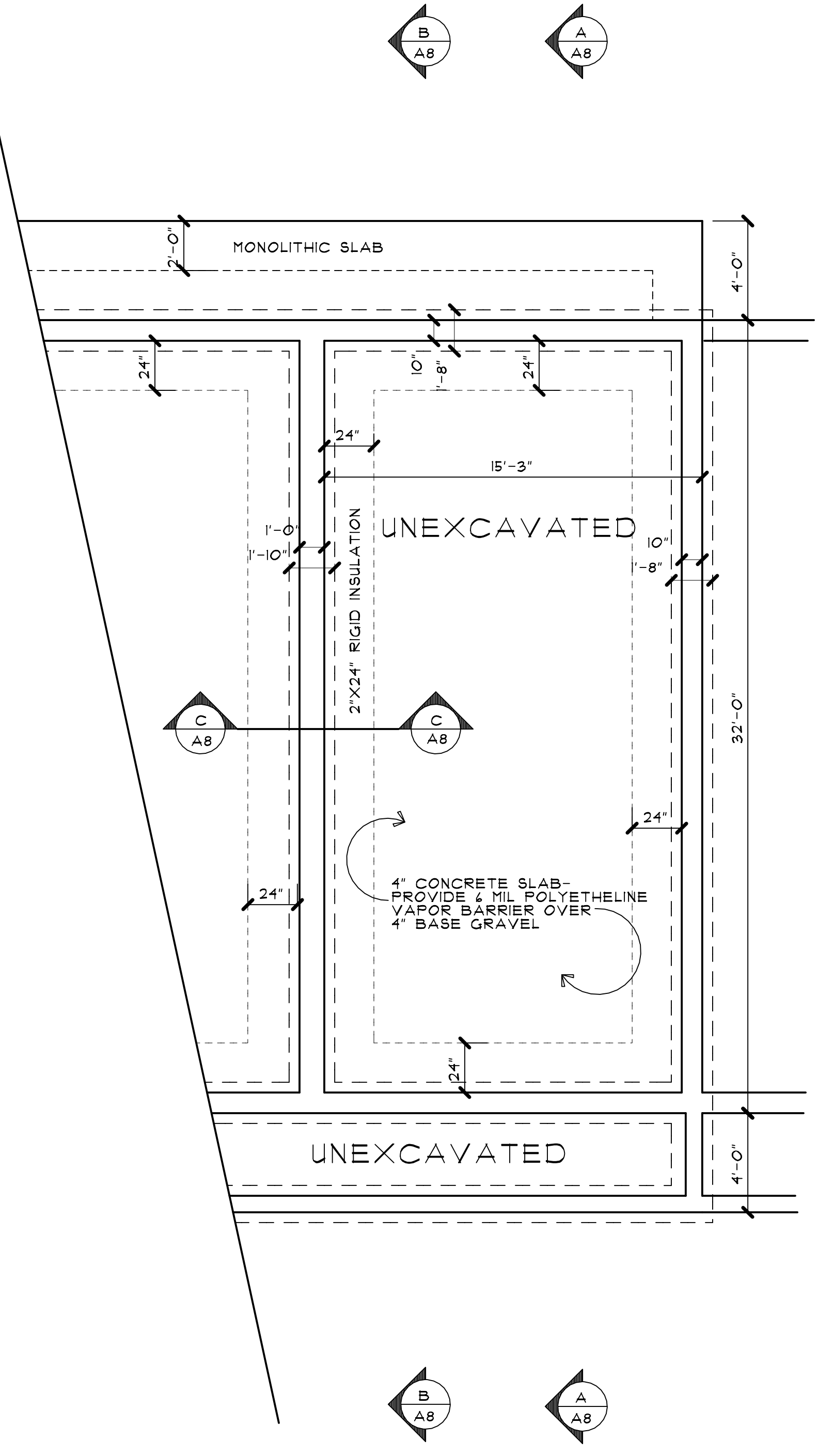
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



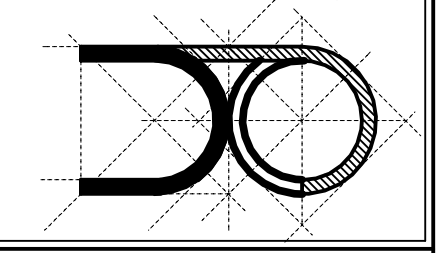
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

DESIGN No. U305
 Fire-Resistance Ratings - ANSI/UL 263

BASE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO FLOOR JOIST 16" O.C. WITH 1 1/8" TYPE W OR S DRYWALL SCREW 1" O.C.

FACE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIES RIGHT ANGLES TO JOISTS WITH 1 1/8" TYPE G DRYWALL SCREWS 12" O.C. AT JOISTS AND INTERMEDIATE JOINTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED ON EITHER SIDE OF END JOINTS. JOINTS OFFSET 24" FROM BASE.



NOTE: THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. ALL INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR MISFEASANCE.

NOTE: IT IS THE RESPONSIBILITY OF THE ARCHITECT TO REVIEW THE PLANS FOR CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. ALL INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR MISFEASANCE.

FOUNDATION
 FIRST FLOOR
 SECOND FLOOR

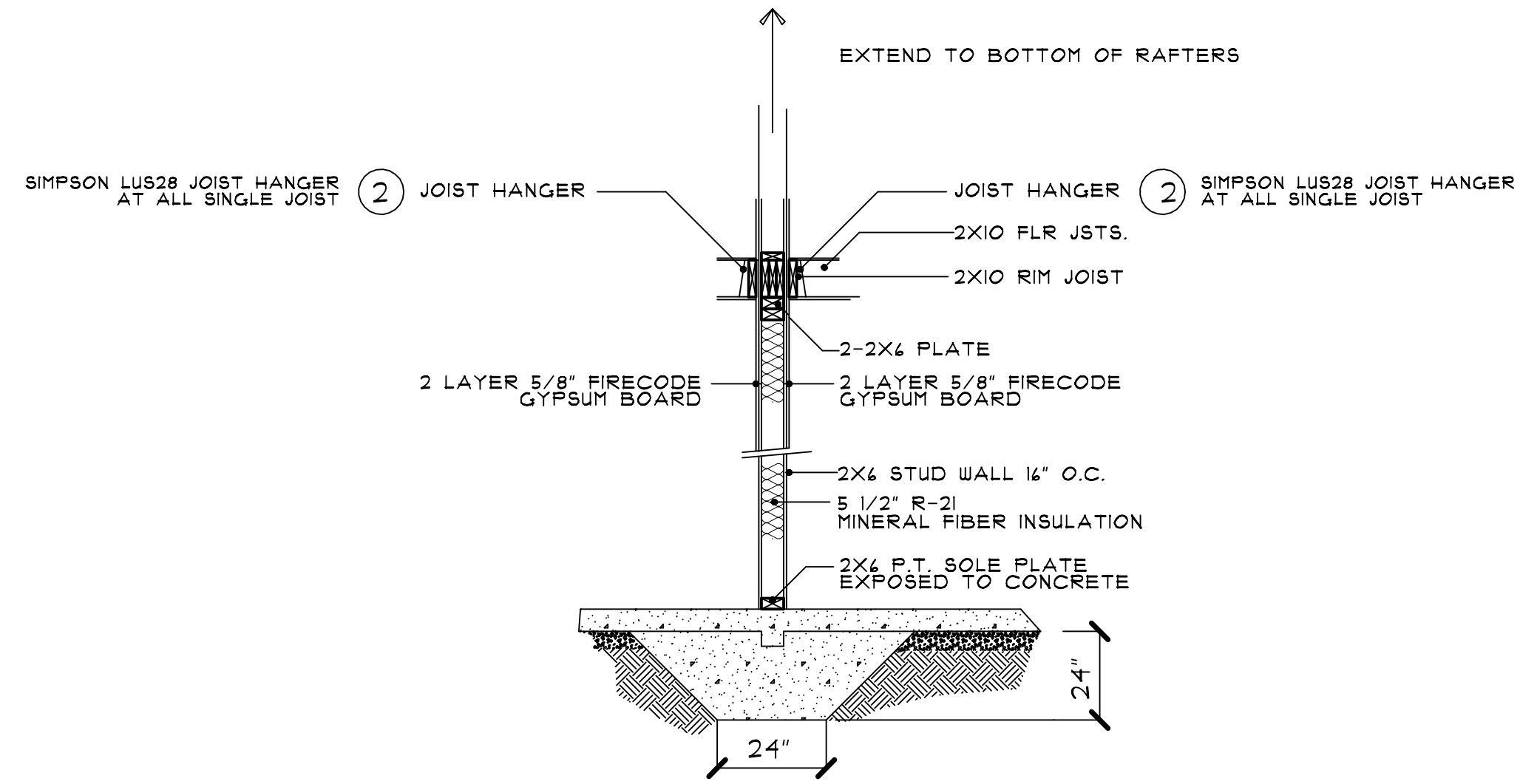
DATE: OCTOBER 30, 2023
 SCALE: AS NOTED
 DRAWN BY: B. YOUNG
 DATA REF: 8821ADA
 REVISIONS: _____ DATE: _____

Proposed Townhouses
 for ADA Units
 27 Lillian Drive
 Manchester, CT

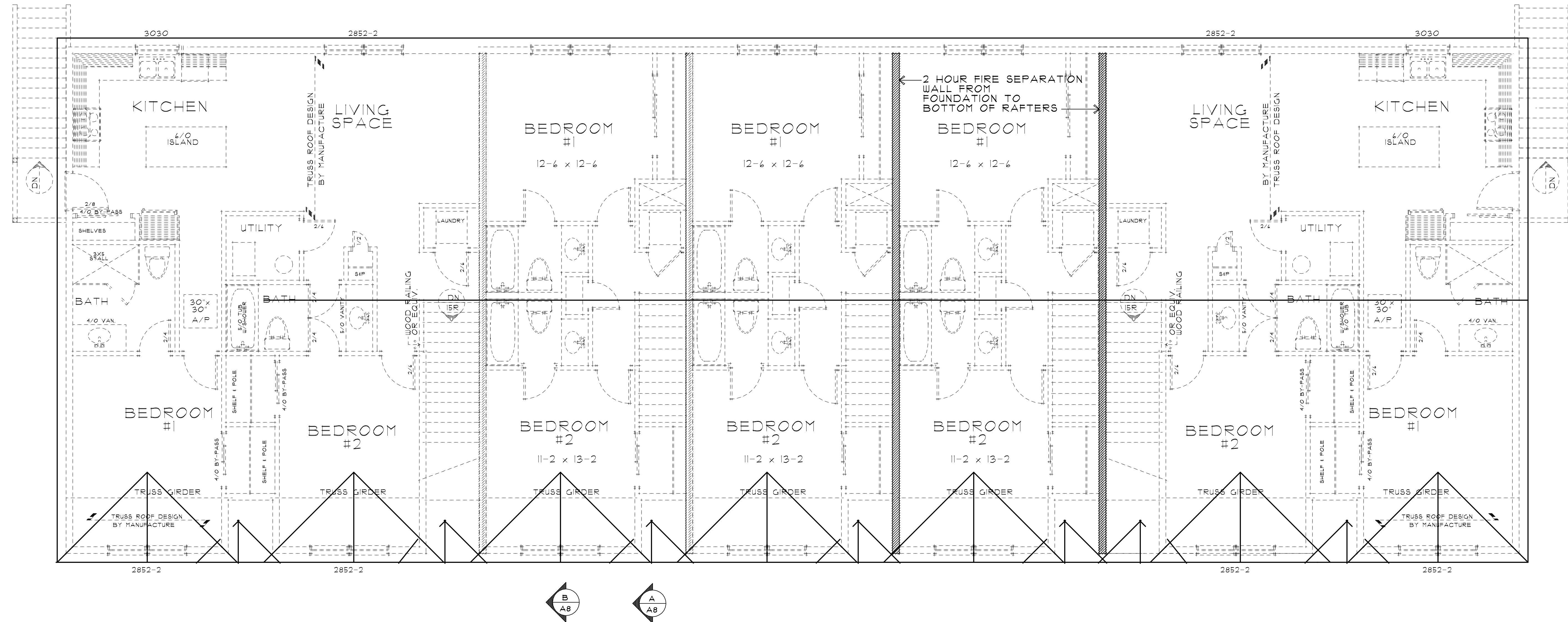
FIRST FLOOR ADA UNIT 412 SQ.FT.
 SECOND FLOOR ABOVE ADA UNIT 1441 SQ.FT.
 SINGLE UNIT 1070 SQ.FT.

SHEET NO.
A6

Proposed modifications to Building B

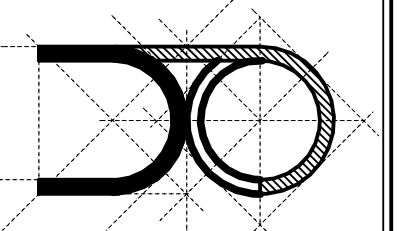


C CROSS SECTION
SCALE: 3/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"

YOUNG DESIGNS
UNLIMITED LLC
RESIDENTIAL DESIGN / SPACE DESIGN
P.O. BOX 88
SCOTLAND, CONNECTICUT 06214-0088
CELL#: 860.708.9501



NOTE:
DESIGNER'S RESPONSIBILITY INCLUDES ONLY THE DESIGN AND SPECIFICATIONS FOR THE BUILDING AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ADJACENT PROPERTIES.

ROOF PLAN & DETAIL

DATE: OCTOBER 30, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 8821ADA
REVISIONS: _____ DATE: _____

Proposed Townhouses
for ADA Units
27 Lillian Drive
Manchester, CT

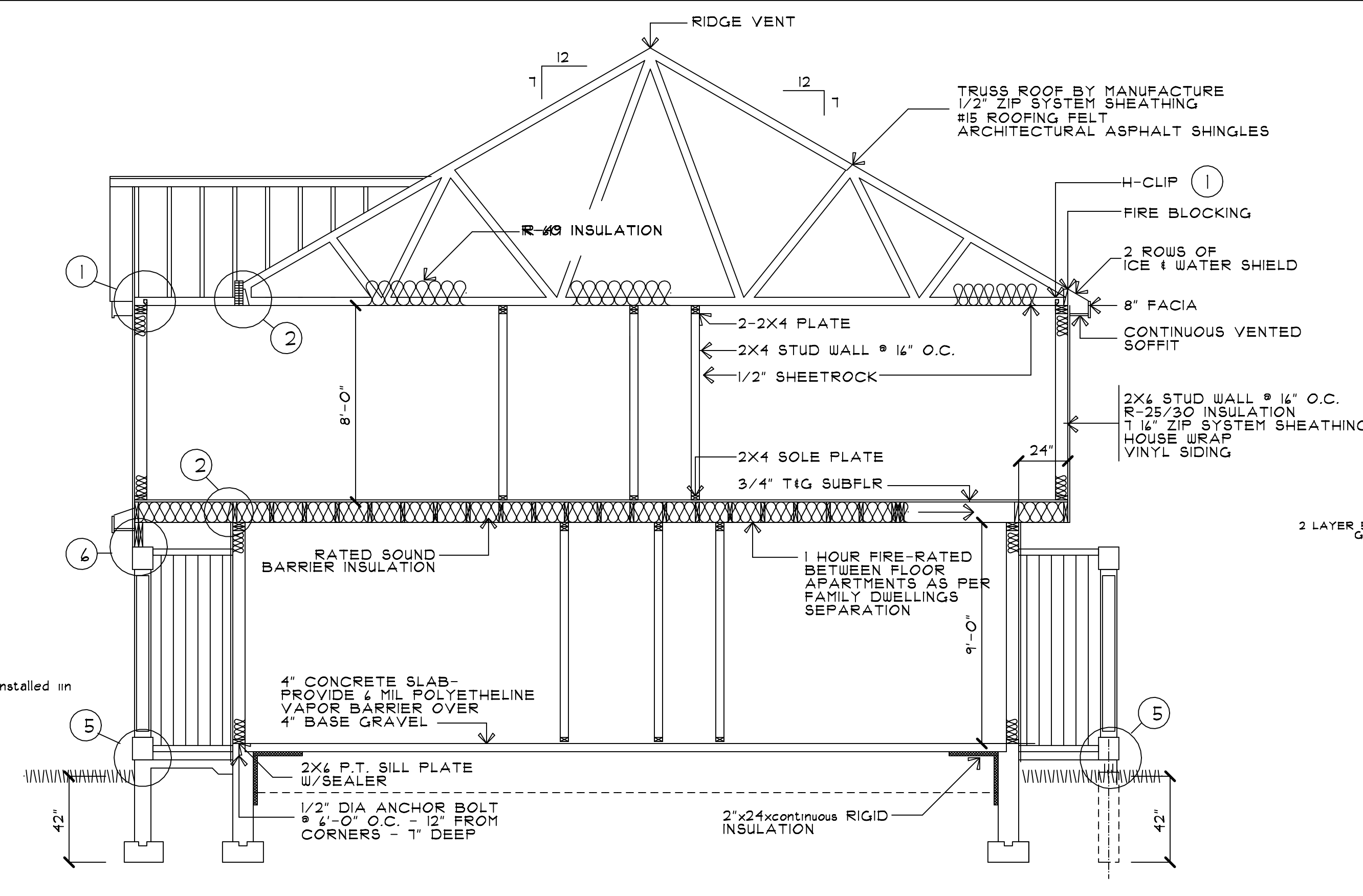
FIRST FLOOR ADA UNIT 412 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT 1441 SQ.FT.
SINGLE UNIT 1070 SQ.FT.

SHEET NO.
A1

Governing Building Codes

All construction shall comply with the: 2021 International Residential Code

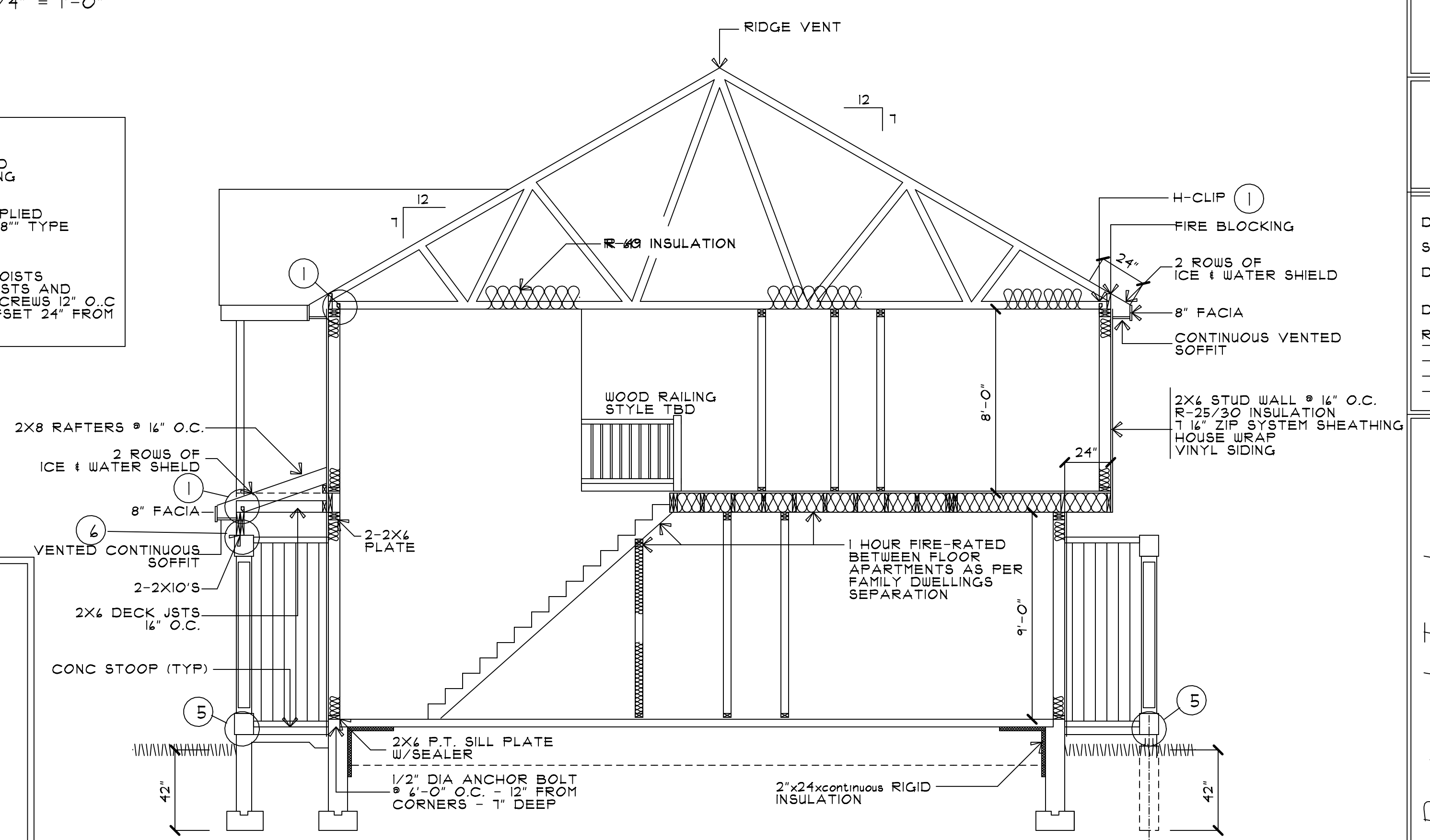
- All products listed by ICC/N.E.R. number(s) shall be installed per the report and manufacturer's written instructions. Product substitution(s) for product(s) listed shall also have an ICC approved evaluation report(s) or be approved.
- Exterior wall bottom sill plate, shall be pressure treated or equal, and shall bear/extend minimum 4 inches above finished grade.
- Miscellaneous site structures, pools, spas, fences, site walls, retaining walls, and gas storage tanks require separate permits.
- All exits to be operable from the inside without the use of a key or special knowledge.
- Doors leading into house from garage shall be self-closing.
- Exterior wall penetrations by pipes, ducts or conduits shall be caulked.
- Provide roof attic ventilation per (R804.1)
- Lumber shall bear an approval grading stamp. (R502.1)
- Fire blocking shall comply with (R402.B) and be maximum 10ft. O.C. horizontal or vertical.
- Floor-ceiling assemblies with a concealed space in excess of 1000 square feet shall have draft stops installed that divide the concealed space into approximately equal areas. Draft-stopping material shall comply with (R502.12)
- Walls and soffits of enclosed usable space under interior stairways shall be protected on the enclosed side by minimum 1/2" gypsum board. (R311.2.2)
- Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or 5/8" when framing members are 24" o.c. or use labeled sag-resistant gypsum ceiling board. Table R102.3.5 (d).
- Shower area walls shall be finished with smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. When gypsum wallboard is used as a base for tile or wall panels, water-resistant gypsum wallboard shall be used. Water-resistant gypsum board shall not be used over a vapor retarder, in areas of high humidity or on ceilings where the frame spacings exceeds 12 inches on center for 1/2" gypsum, and 16" on center for 5/8" gypsum. (R102.4.2)
- Showers and tub-shower combinations shall be provided with control valves of the pressure balance or thermostatic mixing valve type.
- R314.1 Smoke Detection and notifications. All smoke detectors shall be listed and labeled in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72
- R315.1 Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separated sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.
- Section 402.1 Insulation and fenestration criteria. The building thermal envelope shall meet the requirements of Table 402.1(i) based on the climate zone specified in Chapter 3.
- 2012 IECC Section 402.4.2.1. Blower Door Testing.
- Section R403.2.3 Buiding Cavities - Mandatory. Framing cavities cannot be used as ducts or plenums.
- Domestic dishwashing machines connected to a disposer shall have the discharge installed as high as possible, not lower than 2" above the flood rim of the sink.
- Registers, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on at least two opposite sides in addition to being connected to the ductwork they serve.
- The clothes dryer shall be provided with a 4-inch diameter exhaust to the exterior and shall not exceed a total length of 25 feet, unless an engineered duct system is provided. Provide IC-rated recessed light fixtures installed in insulated ceilings.
- Fixtures located in damp or wet locations shall be "listed" to be suitable for such location.
- Provide GFCI protection for receptacles at within 4ft. of all lavatories, sinks and basins.
- Provide GFCI protected receptacles at all exterior, bathroom and garage locations.
- Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory.
- All circuits supplying receptacle outlets in all 15 and 20amp branch circuits shall be AFCI protected.
- Receptacle outlets shall be installed so that no point along the floor line in a wall space is more than 4ft., measured horizontally, from an outlets in that space, including any wall space 2 feet or more in width.
- Bathroom receptacle outlets shall be supplied by at least one 20-ampere branch circuit. Such circuits shall have no other outlets.
- Provide a separate 20-ampere branch circuit to the laundry.
- Provide a minimum of two 20-amp small appliance branch circuits for kitchen/dining/breakfast.
- The two or more 20-ampere small appliance branch circuits shall have no other outlets, except the receptacle installed solely for electric supply to an electrical clock on the kitchen/ding/breakfast areas or receptacle for supplemental equipment and lighting for gas-fired ranges, ovens or counter-mounted units.
- Receptacle outlets for ranges and clothes dryers shall be a 3-pole with a ground type. Four-wire, grounded-type flexible cords will be required for connection of ranges and clothes dryers. The bonding jumper shall not be connected between the neutral terminal and the frame of the appliance.
- Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper (220 ampere service).
- Provide bonding to the water piping, gas and metal building systems. (minimum #4 for 200-amp service).
- All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydro massage tub shall be bonded together using a copper bonding jumper, insulated, covered, or bare, not smaller than No.8 solid. Metal parts of listed equipment incorporating an approved system of double insulation and proving a means for grounding internal non-accessible, non-current-carrying metal parts shall not be bonded.
- ALL EXPOSED LUMBER TO BE PRESSURE TREATED GRADED SPECIES.
- ALL BUILDING LUMBER TO BE DOUGLAS FIR LARCH NO. 2 OR BETTER
- ROOF POSTS TO BE PLACED AS NECESSARY TO SUPPORT LENGTHY MEMBERS.
- Headers: all exterior openings to be 2-2x10's unless otherwise noted. Interior headers to be 2-2x8's unless otherwise noted
- IRC N1102.4.1.2 (R303.4) Mechanical Ventilation. The building shall be provided with ventilation that meets the requirements of IRC section R1507.
- All cantilevers need to be blocked.
- Ice barrier is required to extend from the lowest edges of all roof surfaces to a point of least 24" inside the exterior wall line of the bulding per IRC R05.2.1.1 measured horizontally.
- Radon mitigation prep is required. Section AF104
Per R311.7.8, continuous handrail is required on at least one side of the basement, first floor and second floor also P.T. Wood deck stairs.
- R302.3 Two-family dwelling. Dwelling units in two-family dwellings shall be separated from each other by wall or floor-ceiling assemblies having not less than 1-hour fire-resistance rating where tested in accordance with ASTM E119 or UL243. Fire-resistance-rated floor-ceiling and wall assemblies shall extend to and be tight against the exterior wall and wall assemblies shall extend from the foundation to underside of the roof sheathing.
- Comply with R302.6 of the 2014 Connecticut State Building Code.
- Building must comply with Table 302.1
- Membrane Penetrations per Section R302.4.2 shall comply.
- Walls to be R30 or R20 cavity + 5 continuous or R13+R10 continuous.



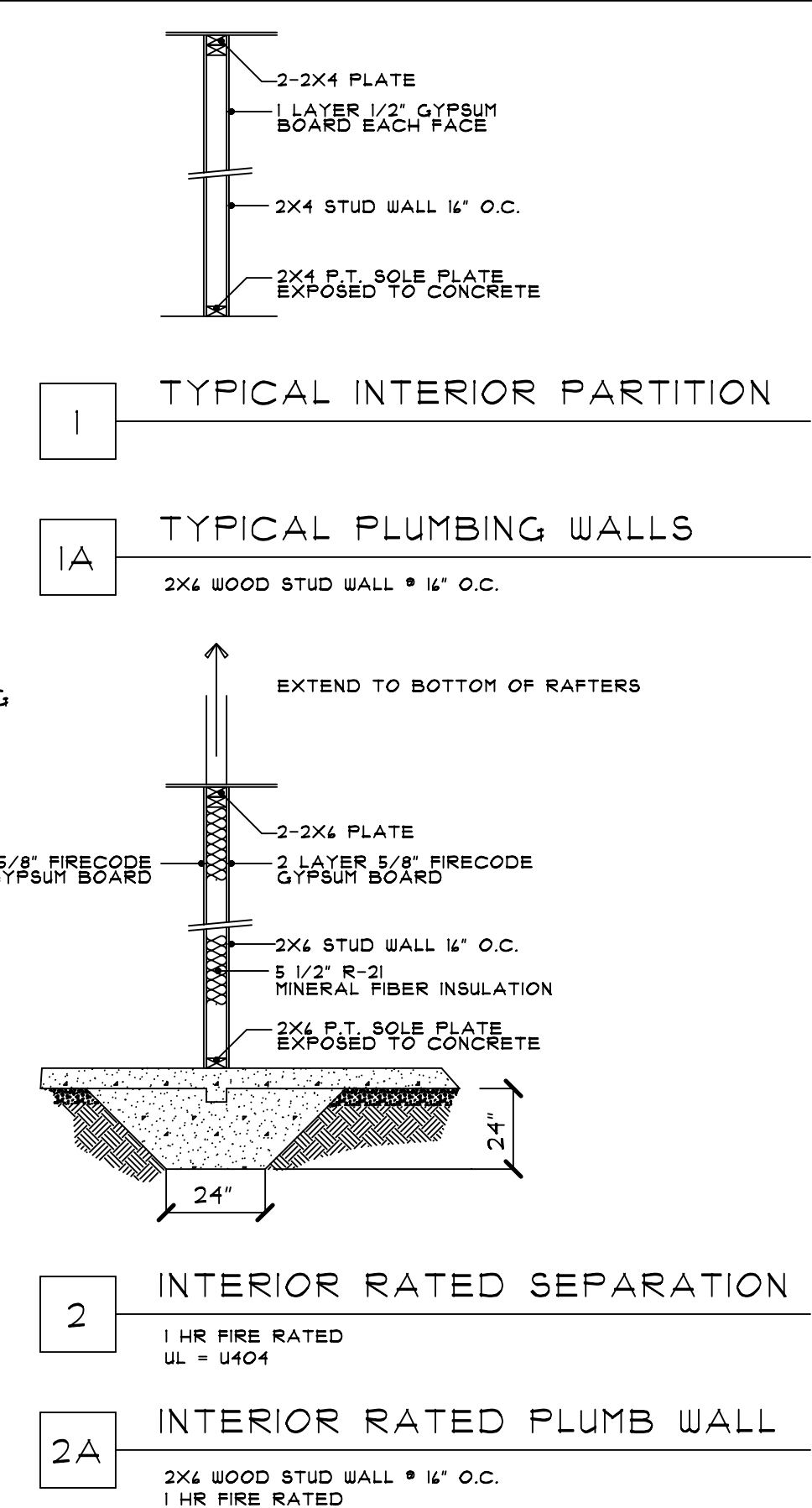
B CROSS SECTION
SCALE: 1/4" = 1'-0"

DESIGN No. U305
Fire-Resistance Ratings - ANSI/UL 243
1 HOUR FIRE RATED CEILING BETWEEN 1ST FLOOR AND 2ND FLOOR APARTMENT AS PER TWO FAMILY DWELLING SEPERATION.
BASE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO FLOOR JOIST 16" O.C. WITH 1 1/8" TYPE W OR S DRYWALL SCREW 1" O.C.
FACE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIES RIGHT ANGLES TO JOISTS WITH 1 1/8" TYPE G DRYWALL SCREWS 12" O.C. AT JOISTS AND INTERMEDIATE JOINTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C PLACED ON EITHER SIDE OF END JOINTS. JOINTS OFFSET 24" FROM BASE.

METAL TIE DOWN SCHEDULE	
1	SIMPSON H2.5A HURRICANE TIE AT EACH RAFTER UNLESS OTHERWISE NOTED
2	SIMPSON LUS28 JOIST HANGER AT ALL SINGLE JOIST
3	SIMPSON LUS28-2 JOIST HANGER TYPICAL AT ALL DOUBLE JOIST
4	SIMPSON A35 CLIP AT EACH RAFTER
5	SIMPSON ABU4 POST BASE AT POST
6	SIMPSON AC4 POST CAP TYP AT POST
7	SIMPSON ACE4(MIN) CORNER POST CAP
8	SIMPSON HDU4-SDS2.5 HOLD-DOWNS



A CROSS SECTION
SCALE: 1/4" = 1'-0"



1 TYPICAL INTERIOR PARTITION
1A TYPICAL PLUMBING WALLS
2X4 WOOD STUD WALL 16" O.C.
2 INTERIOR RATED SEPERATION
2A INTERIOR RATED PLUMB WALL

YOUNG DESIGNS UNLIMITED LLC
RESIDENTIAL DESIGN / SPACE DESIGN
P.O. BOX 88
SCOTLAND, CONNECTICUT 06214-0088
CELL: 860-14083501

NOTE: THE ARCHITECT HAS REVIEWED THE BUILDING PERMITS AND FOUND THEM TO BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
NOTE: IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW THE PERMITS AND BUILDING CODES TO DETERMINE IF ANY CHANGES TO THE BUILDING PERMITS OR BUILDING CODES ARE REQUIRED.

CROSS SECTIONS GENERAL NOTES

DATE: OCTOBER 24, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 8821ADA
REVISIONS: _____ DATE: _____

Proposed Townhouses for ADA Units
27 Lillian Drive
Manchester, CT

FIRST FLOOR ADA UNIT 412 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT 1441 SQ.FT.
SINGLE UNIT 1070 SQ.FT.

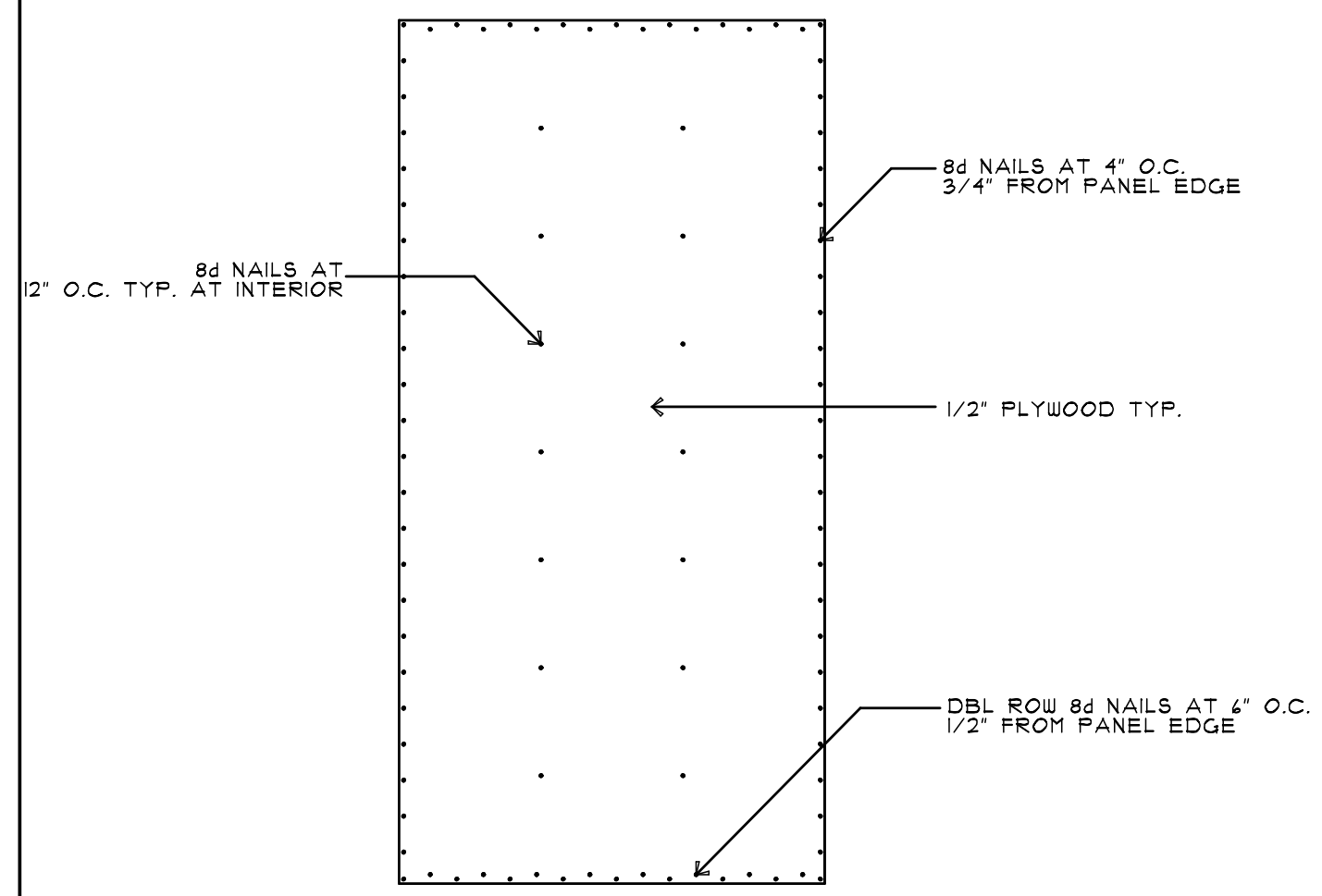
SHEET NO. A8

Proposed modifications to Building B

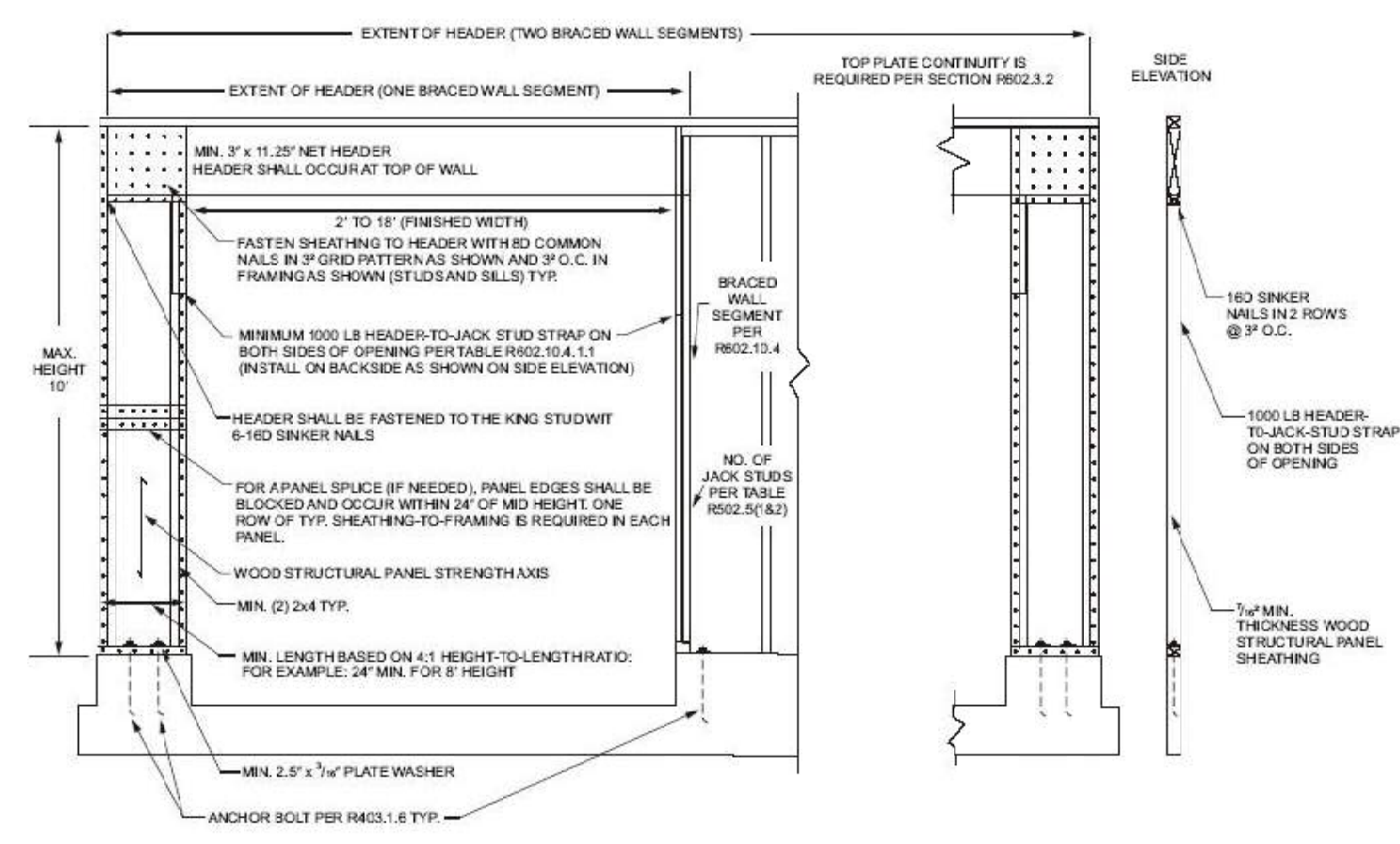
TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS, b, c	SPACING OF FASTENERS
1	Roof		
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2 1/2" x 0.113")	---
2	Ceiling joists to plate, toe nail	3-8d (2 1/2" x 0.113")	---
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	---
4	Collar tie rafter, face nail or 1 1/4" x 20 gage ridge strap	3-16d (3" x 0.128")	---
5	Rafter to plate, toe nail	2-16d (3 1/2" x 0.135")	---
6	Roof rafters to ridge, valley or hip rafters, toe nail	4-16d (3 1/2" x 0.135")	---
7	Roof rafters to ridge, valley or hip rafters, face nail	3-16d (3 1/2" x 0.135")	---
8	Wall		
7	Built-up corner studs	10d (3" x 0.128")	24" o.c.
8	Built-up header, two pieces with 1/2" spacer	16d (3 1/2" x 0.135")	16" o.c. along each edge
9	Continued header, two pieces	16d (3 1/2" x 0.135")	16" o.c. along each edge
10	Continuous header to stud, toe nail	4-8d (2 1/2" x 0.113")	---
11	Double studs, face nail	10d (3" x 0.128")	24" o.c.
12	Double top plates, face nail	10d (3" x 0.128")	24" o.c.
13	Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d (3 1/2" x 0.135")	---
14	Sole plate to joist or blocking, face nail	16d (3 1/2" x 0.135")	16" o.c.
15	Sole plate to joist or blocking at braced wall panels	3-8d (2 1/2" x 0.113") or 2-16d (3 1/2" x 0.135")	16" o.c.
16	Stud to sole plate, toe nail	3-8d (2 1/2" x 0.113") or 2-16d (3 1/2" x 0.135")	---
17	Top of sole plate to stud, end nail	2-16d (3 1/2" x 0.135")	---
18	Top plates, laps at corners and intersections, face nail	2-10d (3" x 0.128")	---
19	1" brace to each stud and plate, face nail	2-8d (2 1/2" x 0.113") 2 staples 13/4"	---
20	1" x 6" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 2 staples 13/4"	---
21	1" x 8" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 3 staples 13/4"	---
22	Wider than 1" x 8" sheathing to each bearing, face nail	3-8d (2 1/2" x 0.113") 4 staples 13/4"	---
23	Floor		
23	Joist to sill or girder, toe nail	3-8d (2 1/2" x 0.113")	---
24	1" x 6" subfloor or less to each joist, face nail	2-8d (2 1/2" x 0.113") 2 staples 13/4"	---
25	2" subfloor to joist or girder, blind and face nail	2-16d (3 1/2" x 0.135")	at each bearing
26	Rim joist to top plate, toe nail (roof applications also)	8d (2 1/2" x 0.113")	6" o.c.
27	2" planks (plank & beam - floor & roof)	2-16d (3 1/2" x 0.135")	Nail each layer as follows: 32" o.c. at top and bottom and staggered Two nails at ends and at each splice
28	Built-up girders and beams, 2-inch lumber layers	10d (3" x 0.128")	At each joist or rafter
29	Ledger strip supporting joists or rafters	3-16d (3 1/2" x 0.135")	At each joist or rafter

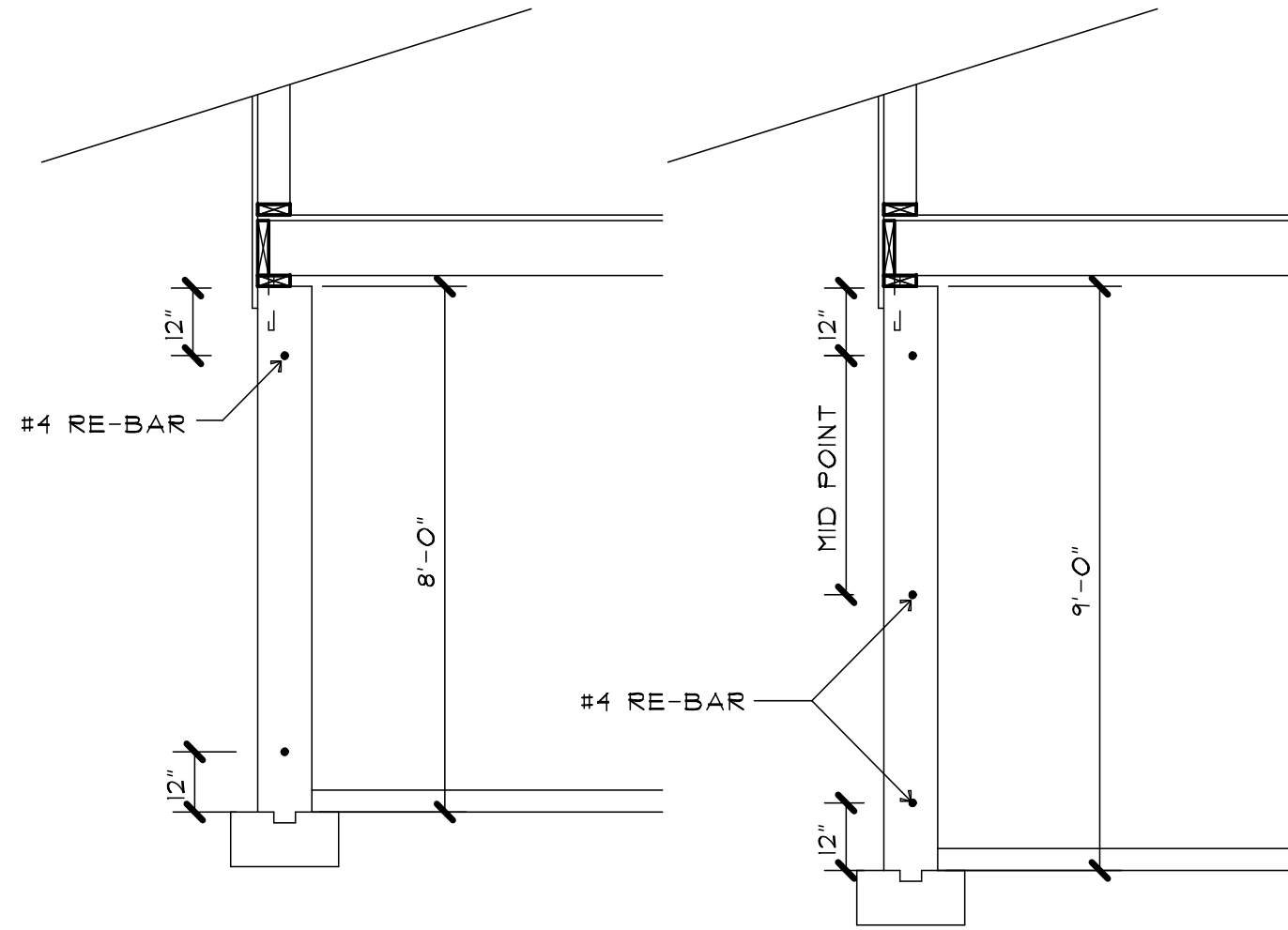
ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENERS, b, c, e	SPACING OF FASTENERS	
			Edges (inches)	Intermediate supports, e (inches)
Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing				
30	3/8" - 1/2"	6d common (2" x 0.113") nail (subfloor wall) 8d common (2 1/2" x 0.131") nail (roof)	6	12g
31	19/32" - 1"	8d common nail (2 1/2" x 0.131")	6	12g
32	1 1/8" - 1 1/4"	10d common (3" x 0.148") nail or 8d (2 1/2" x 0.131") deformed nail	6	12g
Other wall sheathing (h)				
33	1/2" structural cellulosic fiberboard sheathing	1 1/2" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1 1/4" long	3	6
34	25/32" structural cellulosic fiberboard sheathing	1 3/4" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1 1/2" long	3	6
35	1/2" gypsum sheathing (d)	1 1/2" galvanized roofing nail, staple galvanized, 7 1 1/2" long, 1 1/4" screws, Type W or S	7	7
36	5/8" gypsum sheathing	1 3/4" galvanized roofing nail, staple galvanized, 7 1 5/8" long, 1 5/8" screws, Type W or S	7	7
Wood structural panels, combination subfloor underlayment to framing				
37	3/4" and less	6d deformed (2" x 0.120") nail or 8d common (2 1/2" x 0.131") nail	6	12
38	7/8" - 1"	8d common (2 1/2" x 0.131") nail or 8d deformed (2 1/2" x 0.120") nail	6	12
39	1 1/8" - 1 1/4"	10d common (3" x 0.148") nail or 8d deformed (2 1/2" x 0.120") nail	6	12



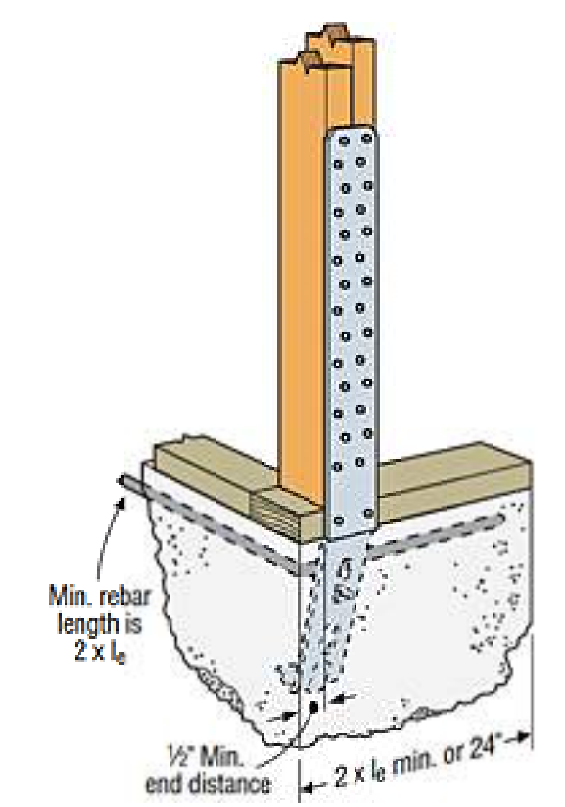
TYPICAL SHEAR WALL NAILING DETAIL
NOT TO SCALE



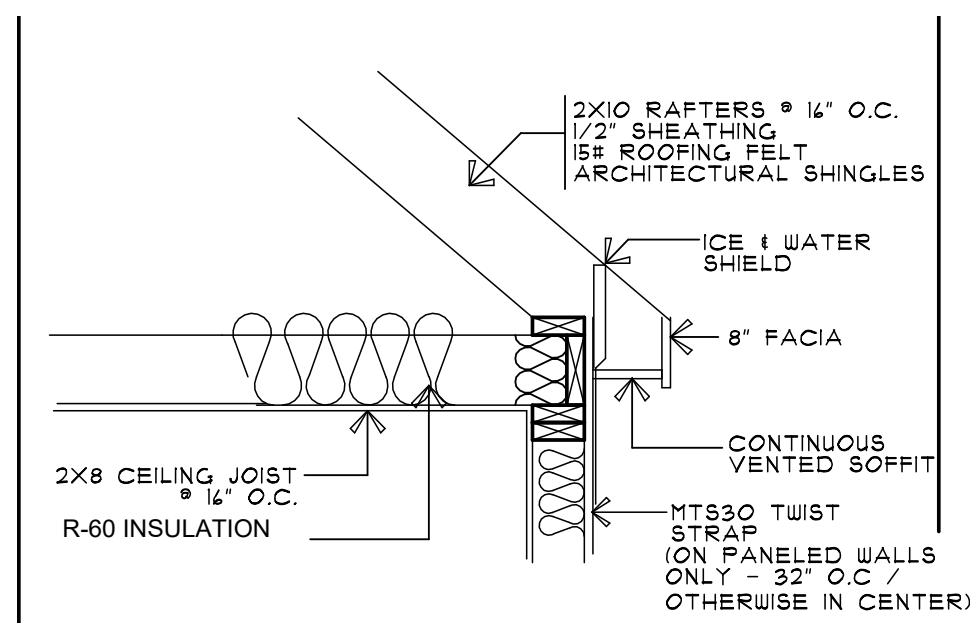
METHOD PFG PORTAL FRAME AT GARAGE DOOR OPENING
N.T.S.



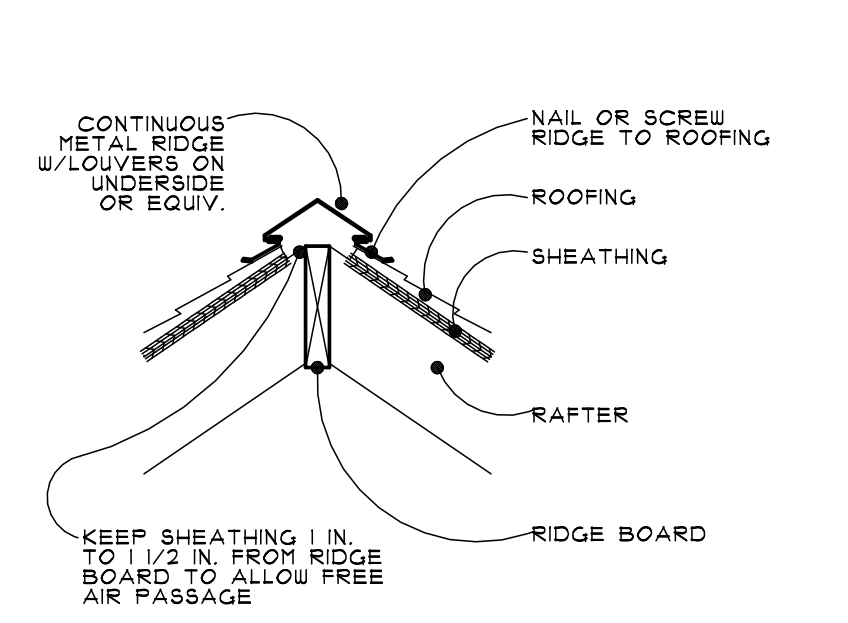
RE-BAR LOCATION DETAILS
N.T.S.



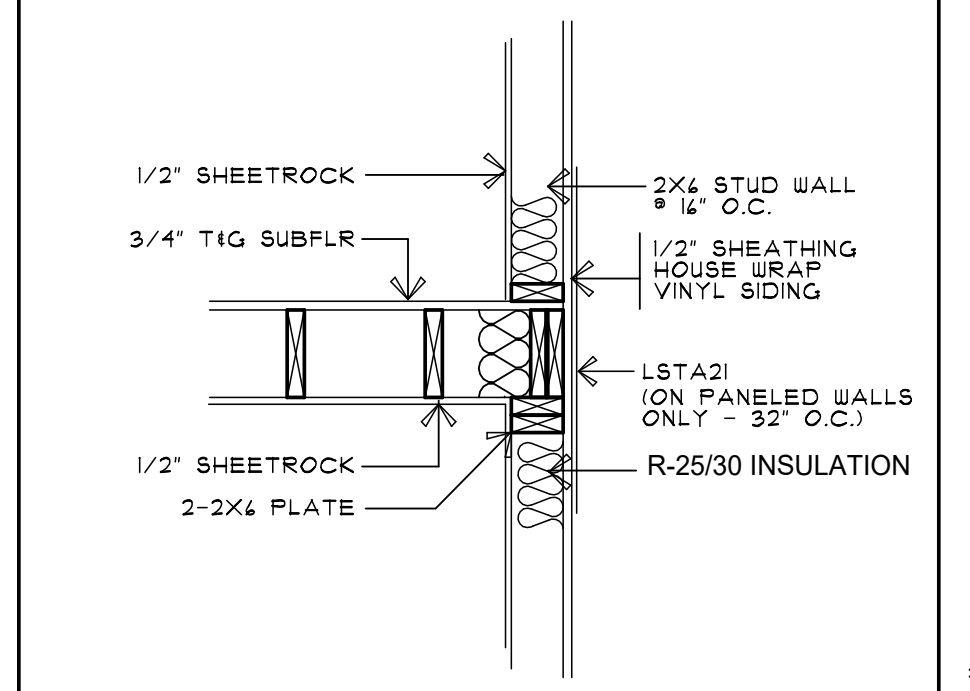
TYPICAL STHD14 DETAIL
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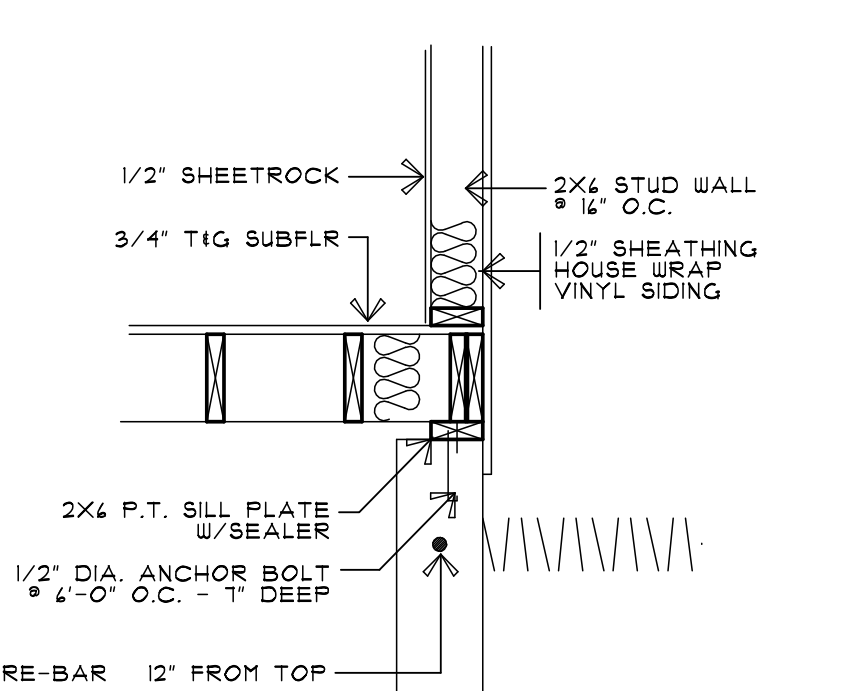
ROOF EAVE DETAIL
N.T.S.



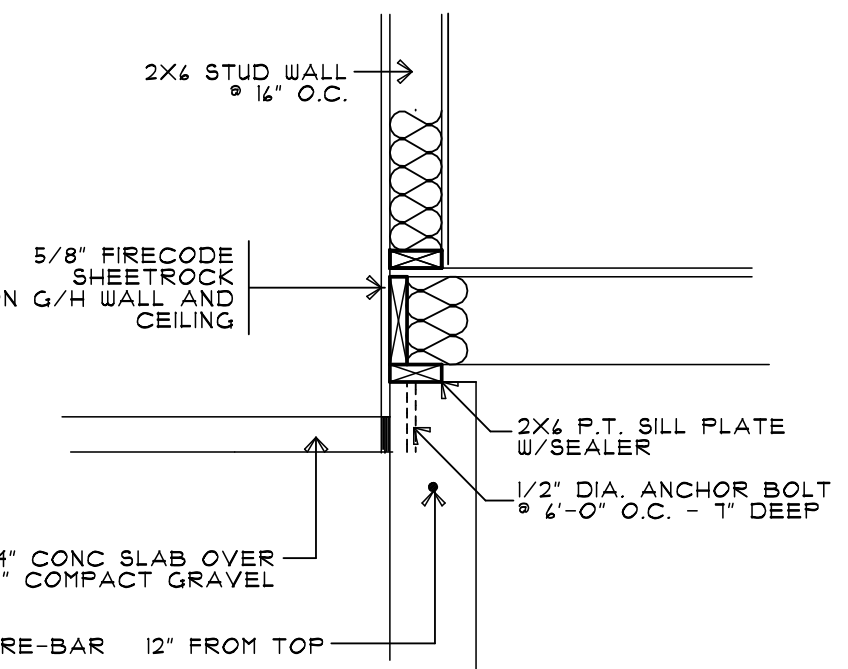
RIDGE VENT
N.T.S.



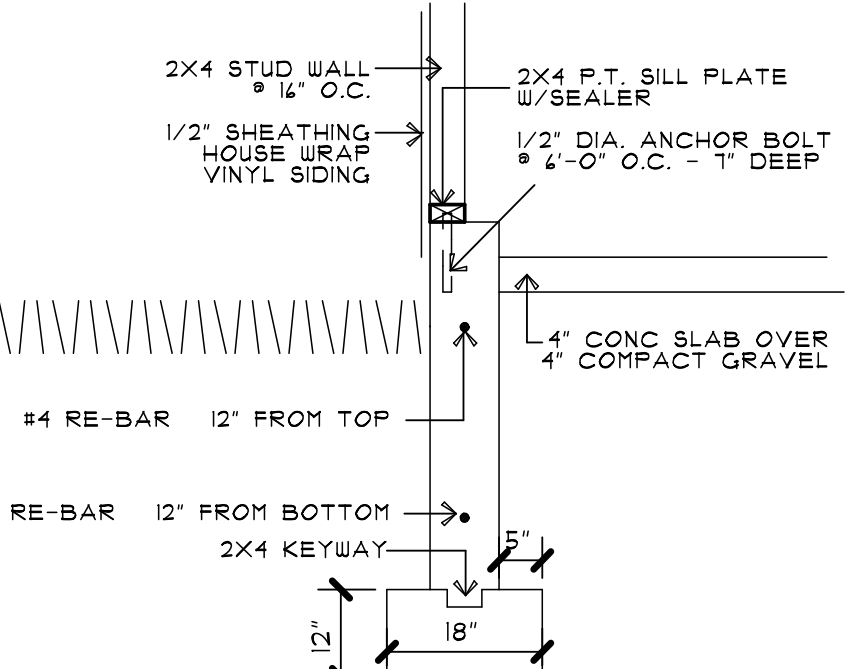
FLOOR/WALL DETAIL
N.T.S.



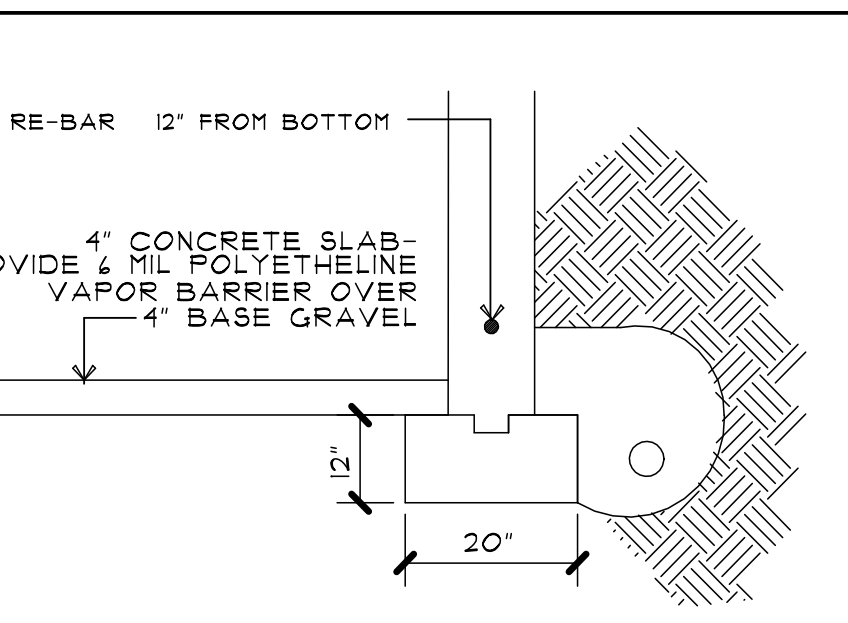
FOUNDATION/FLOOR DETAIL
N.T.S.



FOUNDATION/FLOOR DETAIL
N.T.S.



GARAGE WALL DETAIL
N.T.S.



FOUNDATION WALL DETAIL
N.T.S.

YOUNG DESIGNS
UNLIMITED LLC
RESIDENTIAL DESIGN / SPACE DESIGN
P.O. BOX 88
SCOTLAND, CONNECTICUT 06214-0088
CELL: 860-148-9501

NOTE: THE ARCHITECT HAS REVIEWED THE BUILDING CODES AND LOCAL ORDINANCES AND HAS ADVISED THE CLIENT OF ANY APPLICABLE REQUIREMENTS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE RESULTS OF ANY TESTS OR ANALYSES PERFORMED BY OTHERS.

DETAILS & SCHEDULES

DATE: OCTOBER 24, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 8821ADA
REVISIONS: _____ DATE: _____

Proposed Townhouses
for ADA Units
27 Lillian Drive
Manchester, CT

FIRST FLOOR ADA UNIT 492 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT 1449 SQ.FT.
SINGLE UNIT 1070 SQ.FT.

SHEET NO.
A9

Proposed modifications to Building B

Proposed modifications to Building B

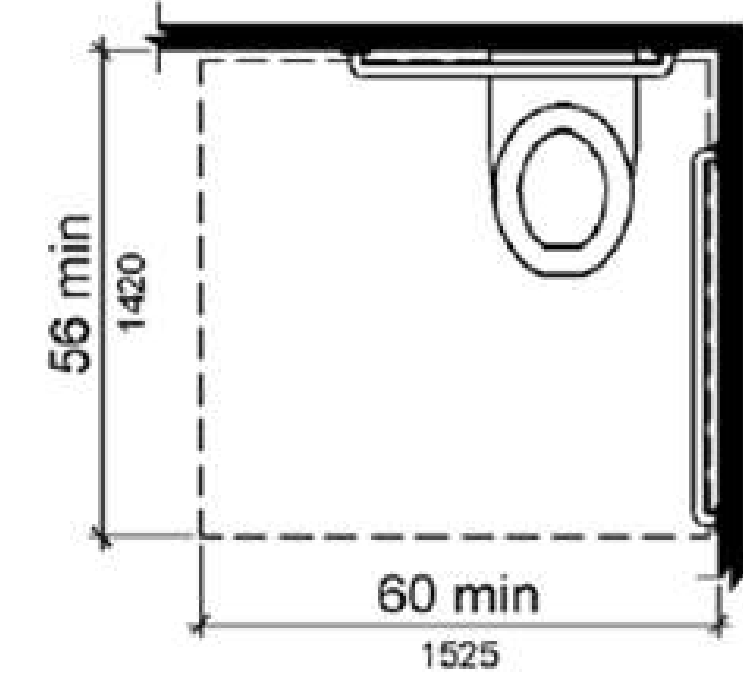


Figure 604.3.1 Size of Clearance at Water Closets

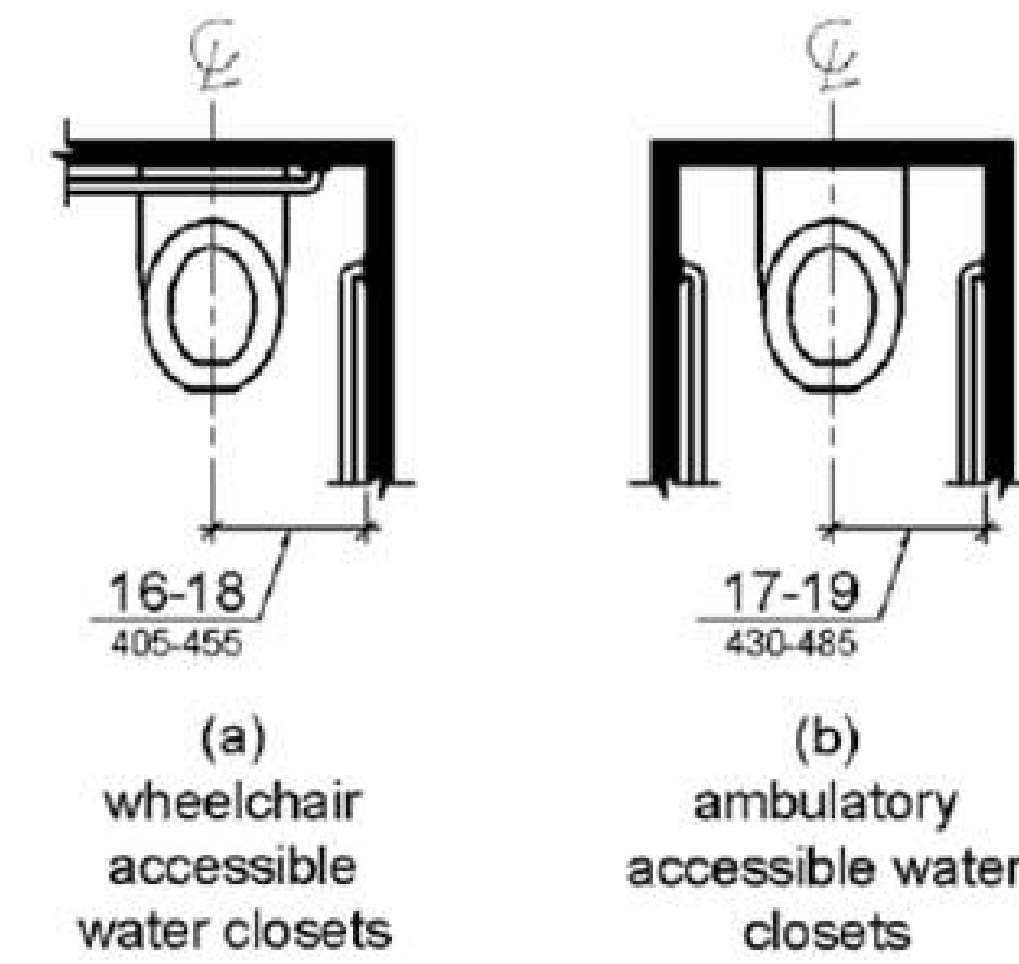


Figure 604.2 Water Closet Location

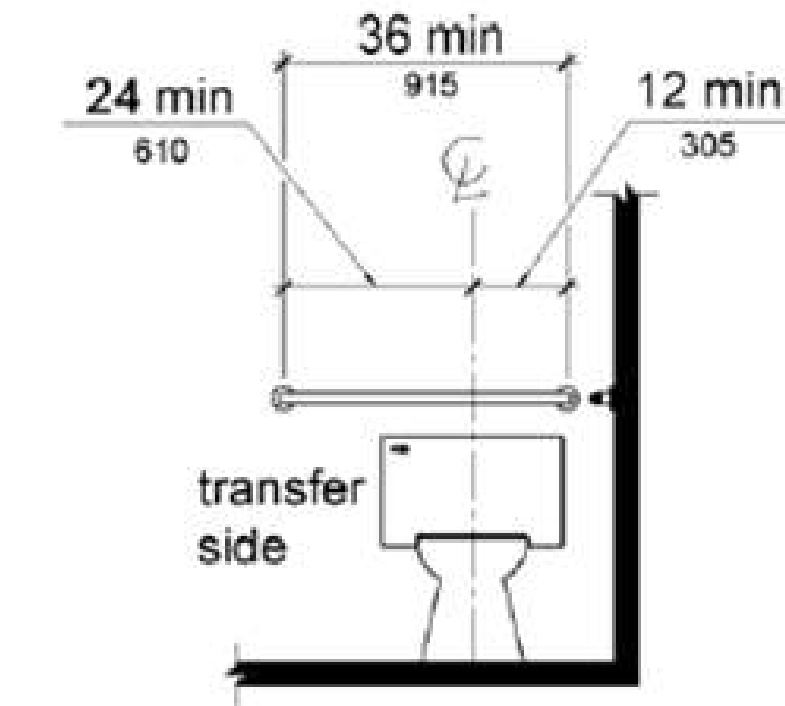
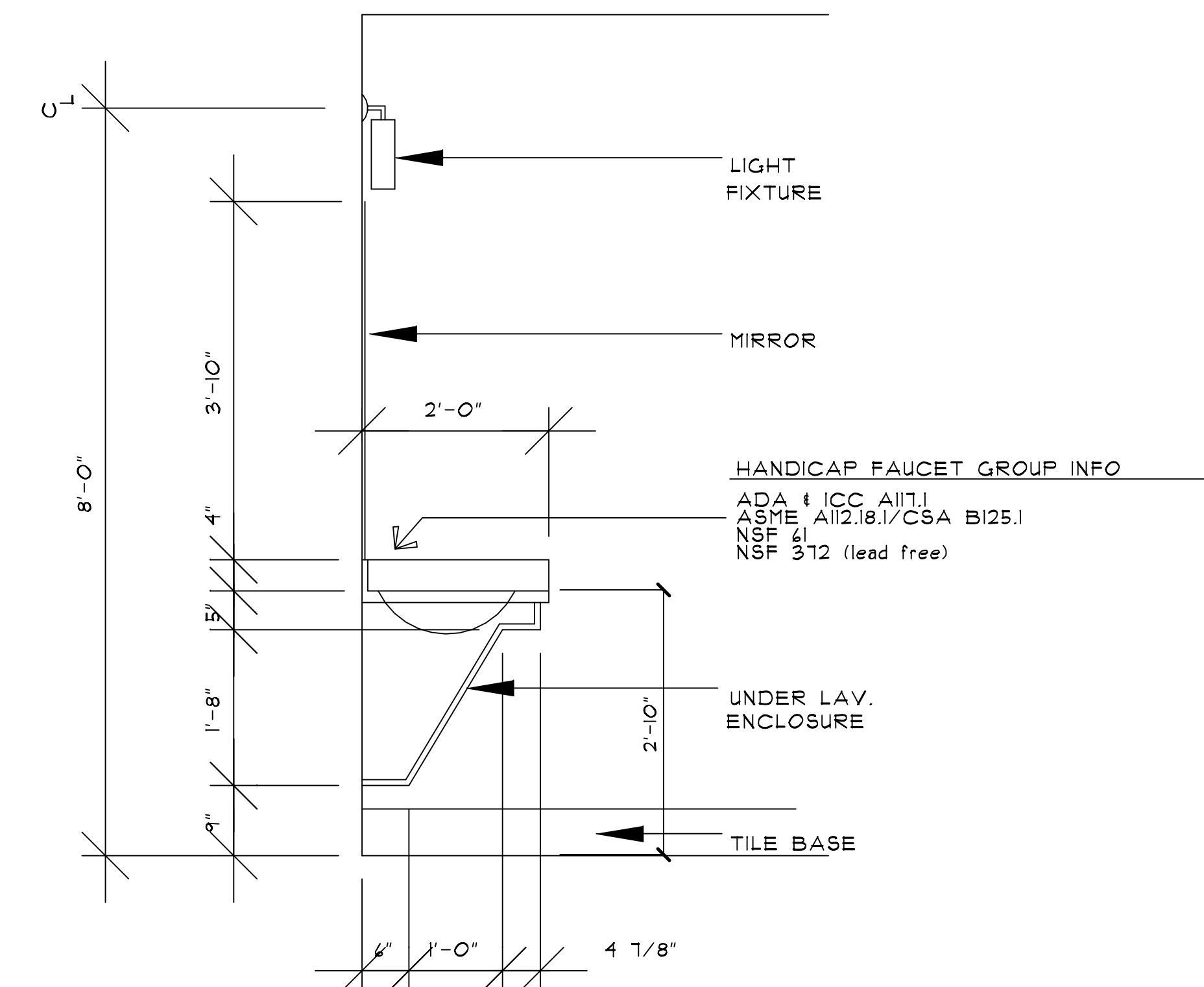
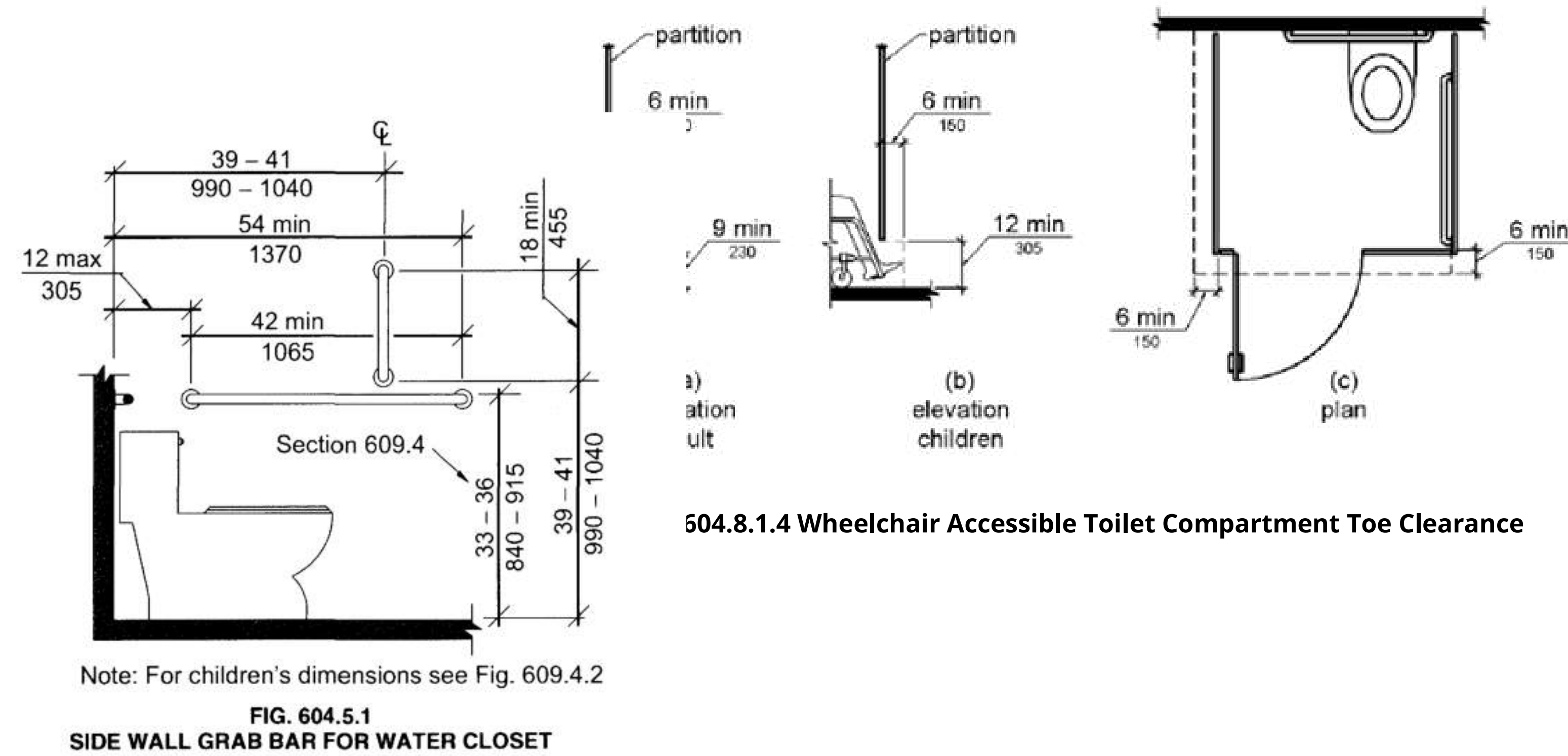


Figure 604.5.2 Rear Wall Grab Bar at Water Closets



SINK DETAIL A
NOT TO SCALE

NOTE:
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS AND MATERIALS PRIOR TO CONSTRUCTION. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW THE CONTRACT DOCUMENTS AND VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

ADA
DETAILS

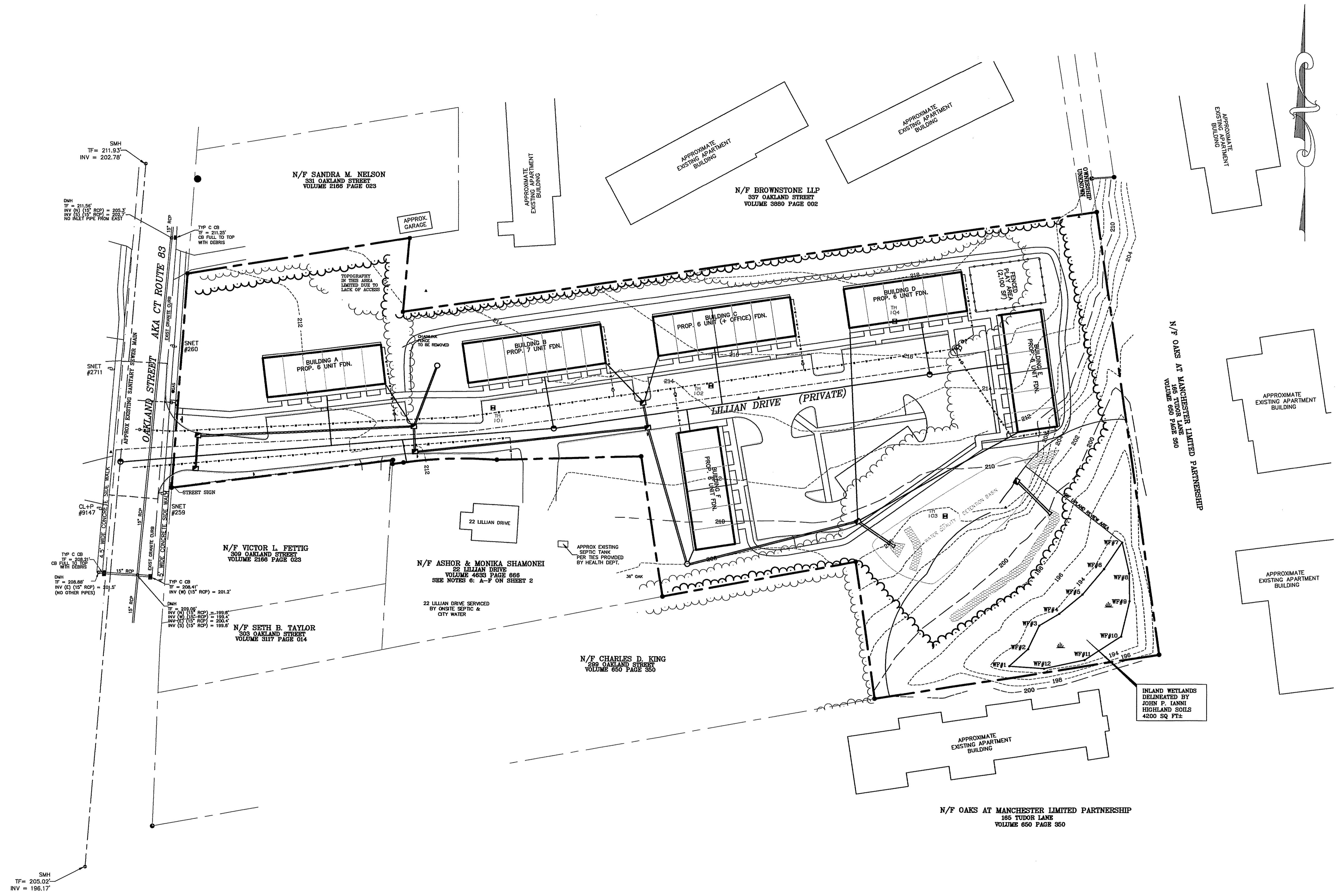
DATE: OCTOBER 24, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 882/ADA
REVISIONS: _____ DATE: _____

Proposed Townhouses
for ADA Units
27 Lillian Drive
Manchester, CT

FIRST FLOOR ADA UNIT 492 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT 1449 SQ.FT.
SINGLE UNIT 1070 SQ.FT.

SHEET NO.
10

Previously approved plans - for reference



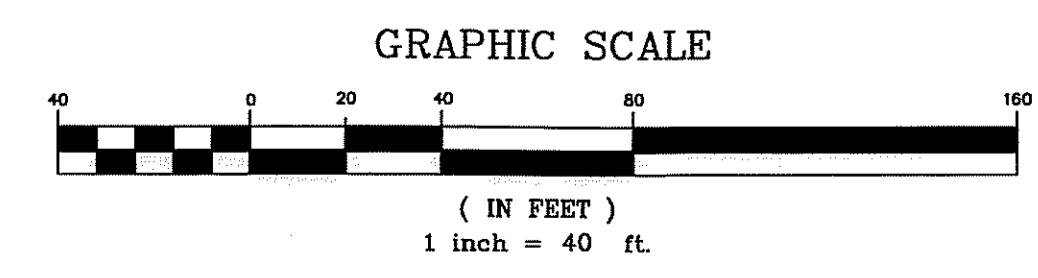
NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

TOPOGRAPHY BASED ON ACTUAL FIELD SURVEY.

ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN. FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT. VERIFY ALL GRADES IN THE FIELD.

APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT
DATE: DEC 13 2021
SIGNED: [Signature]



ORIGINAL INK DRAWING
ON MYLAR
PRODUCED BY:
WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN STREET
LEBANON, CT 06249
TEL. 860-642-7255

REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 12-08-21 TOWN COMMENTS
REV. 11-16-21 TOWN COMMENTS
REV. 9-15-21

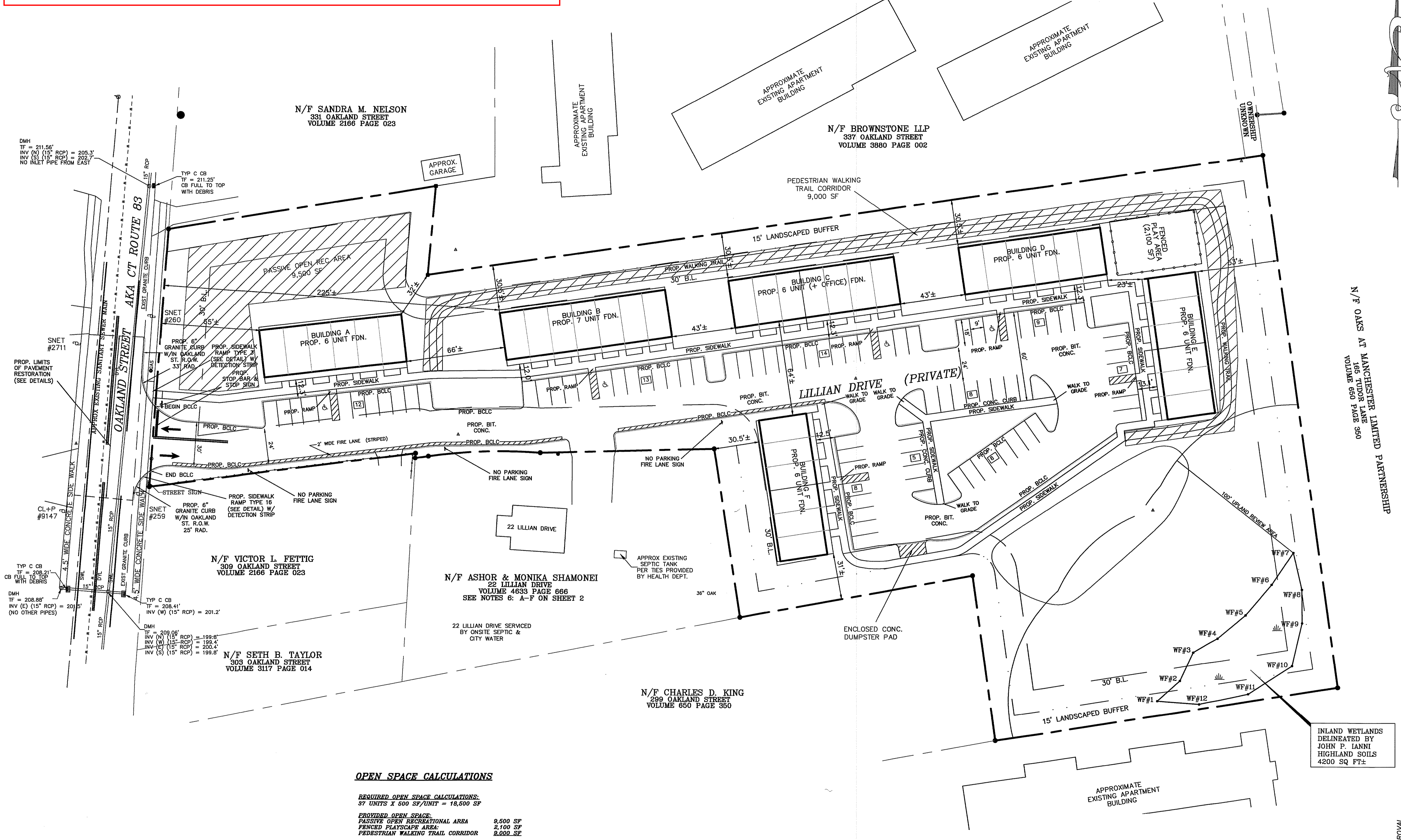
OVERALL LAYOUT MAP
27 LILLIAN DRIVE
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)

WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

I HEREBY DECLARE UNDER THE BEST OF MY KNOWLEDGE AND BELIEF THAT THESE PLANS ARE SUBSTANTIALLY CORRECT.
[Signature]
REGISTERED PROFESSIONAL ENGINEER
STATE OF CONNECTICUT
P.E. # 20380

DATE: 6-28-21
SCALE: 1"=40'
SHEET: SP-1
MAP NO. 21-026-10A

Previously approved plans - for reference



OPEN SPACE CALCULATIONS

REQUIRED OPEN SPACE CALCULATIONS:
37 UNITS X 500 SF/UNIT = 18,500 SF

PROVIDED OPEN SPACE:

PASSIVE OPEN RECREATIONAL AREA	9,500 SF
FENCED PLAYSCAPE AREA	2,100 SF
PEDESTRIAN WALKING TRAIL CORRIDOR	9,000 SF
TOTAL OPEN SPACE PROVIDED:	20,600 SF

NOTE: ALL PLANTS CAUSING SKIN IRRITATION OR ALLERGIC REACTION SHALL BE ELIMINATED FROM SHOWN RECREATION AREAS.

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

NOTE: END UNITS DO NOT HAVE SIDE WINDOWS.

ORIGINAL INK DRAWING ON MYLAR

PRODUCED BY:
WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN STREET
LEBANON, CT. 06249
TEL. 860-642-7255

APPROVED

PLANNING AND ZONING COMMISSION
MANCHESTER, CT

DATE: DEC 13 2021

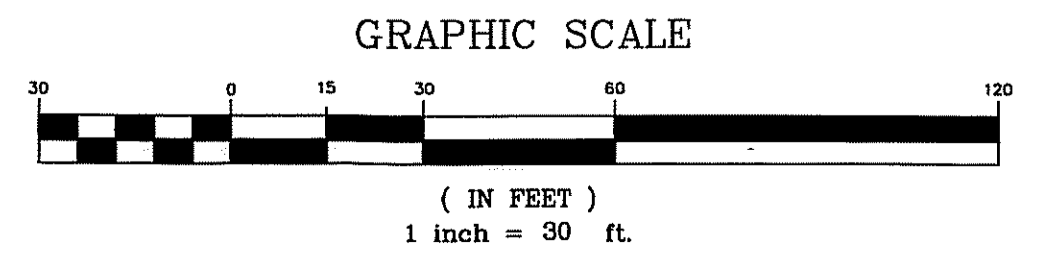
SIGNED: *[Signature]*

LEGEND

PROPERTY LINE ————

BUILDING SETBACK LINE - - - - -

LANDSCAPE BUFFER SETBACK LINE - · - · -



REV. 01-03-22 CONDITIONS OF APPROVAL

REV. 12-08-21 TOWN COMMENTS

REV. 11-16-21 TOWN COMMENTS

REV. 9-15-21

DATE: 6-28-21

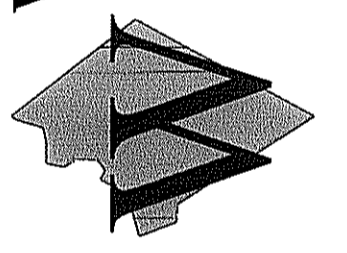
SCALE: 1"=30'

SHEET SP-3

MAP NO. 21-026-1L

SITE LAYOUT PLAN
27 LILLIAN DRIVE
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)



WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THESE PLANS ARE SUBSTANTIALLY CORRECT.

WESLEY J. WENTWORTH
REGISTERED PROFESSIONAL ENGINEER
STATE OF CONNECTICUT
NO. 10000

P.E. # 20380

N/F OAKS AT MANCHESTER LIMITED PARTNERSHIP
166 TUDOR LANE
VOLUME 690 PAGE 350

N/F BROWNSTONE LLP
337 OAKLAND STREET
VOLUME 3880 PAGE 002

N/F SANDRA M. NELSON
331 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F VICTOR L. FETTIG
309 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F ASHOR & MONIKA SHAMONEI
22 LILLIAN DRIVE
VOLUME 4633 PAGE 666
SEE NOTES 6: A-F ON SHEET 2

N/F SETH B. TAYLOR
303 OAKLAND STREET
VOLUME 3117 PAGE 014

N/F CHARLES D. KING
299 OAKLAND STREET
VOLUME 650 PAGE 350

INLAND WETLANDS
DELINEATED BY
JOHN P. IANNI
HIGHLAND SOILS
4200 SQ FT±

Previously approved plans - for reference

SMH
TF = 211.93'
INV = 202.78'

DMH
TF = 211.56'
INV (2) (15" RCP) = 205.3'
INV (3) (15" RCP) = 202.7'
NO INLET PIPE FROM EAST

TYP C CB
TF = 208.21'
CB FULL TO TOP WITH DEBRIS

DMH
TF = 208.88'
INV (E) (15" RCP) = 201.5'
(NO OTHER PIPES)

TYP C CB
TF = 208.41'
INV (W) (15" RCP) = 201.2'

DMH
TF = 209.08'
INV (2) (15" RCP) = 199.8'
INV (3) (15" RCP) = 199.4'
INV (5) (15" RCP) = 199.8'

N/F SANDRA M. NELSON
331 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F BROWNSTONE LLP
337 OAKLAND STREET
VOLUME 3880 PAGE 002

N/F VICTOR L. FETTIG
309 OAKLAND STREET
VOLUME 2166 PAGE 023

N/F ASHOR & MONIKA SHAMONEI
22 LILLIAN DRIVE
VOLUME 4833 PAGE 666
SEE NOTES 6: A-F ON SHEET 2

N/F SETH B. TAYLOR
303 OAKLAND STREET
VOLUME 3117 PAGE 014

N/F CHARLES D. KING
299 OAKLAND STREET
VOLUME 650 PAGE 350

INLAND WETLANDS
DELINEATED BY
JOHN P. IANNI
HIGHLAND SOILS
4200 SQ FT±

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY.
VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION.
(SEE NOTE BELOW)

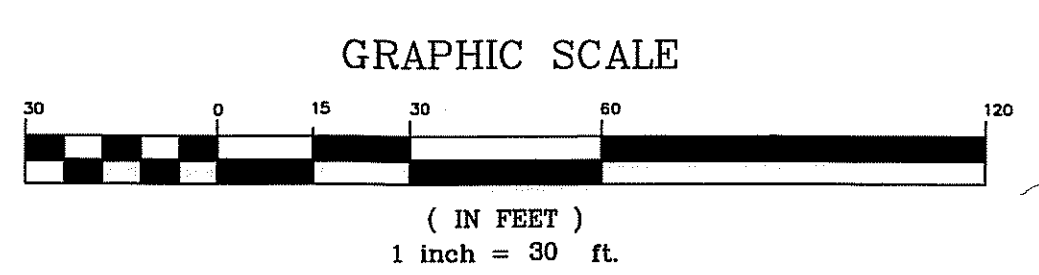
WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES.
CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT

DATE: DEC 13 2021
SIGNED: [Signature]

ORIGINAL INK DRAWING
ON MYLAR

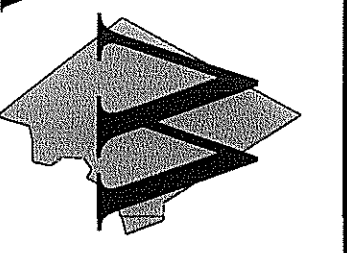
PRODUCED BY:
WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN STREET
LEBANON, CT, 06249
TEL. 860-642-7255



REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 12-08-21 TOWN COMMENTS
REV. 11-16-21 TOWN COMMENTS
REV. 9-9-21

DATE: 6-28-21
SCALE: 1"=30'
SHEET SP-4
MAP NO. 21-026-1TR

EMERGENCY VEHICLE ACCESS PLAN
27 LILLIAN DRIVE
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

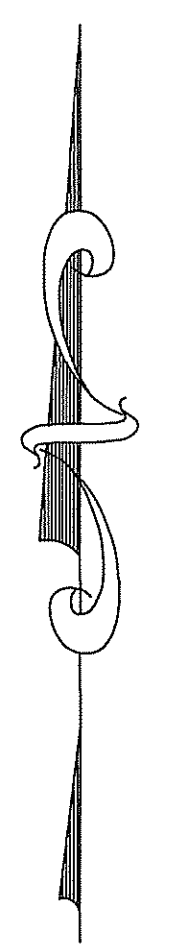


WENTWORTH CIVIL
ENGINEERS, LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

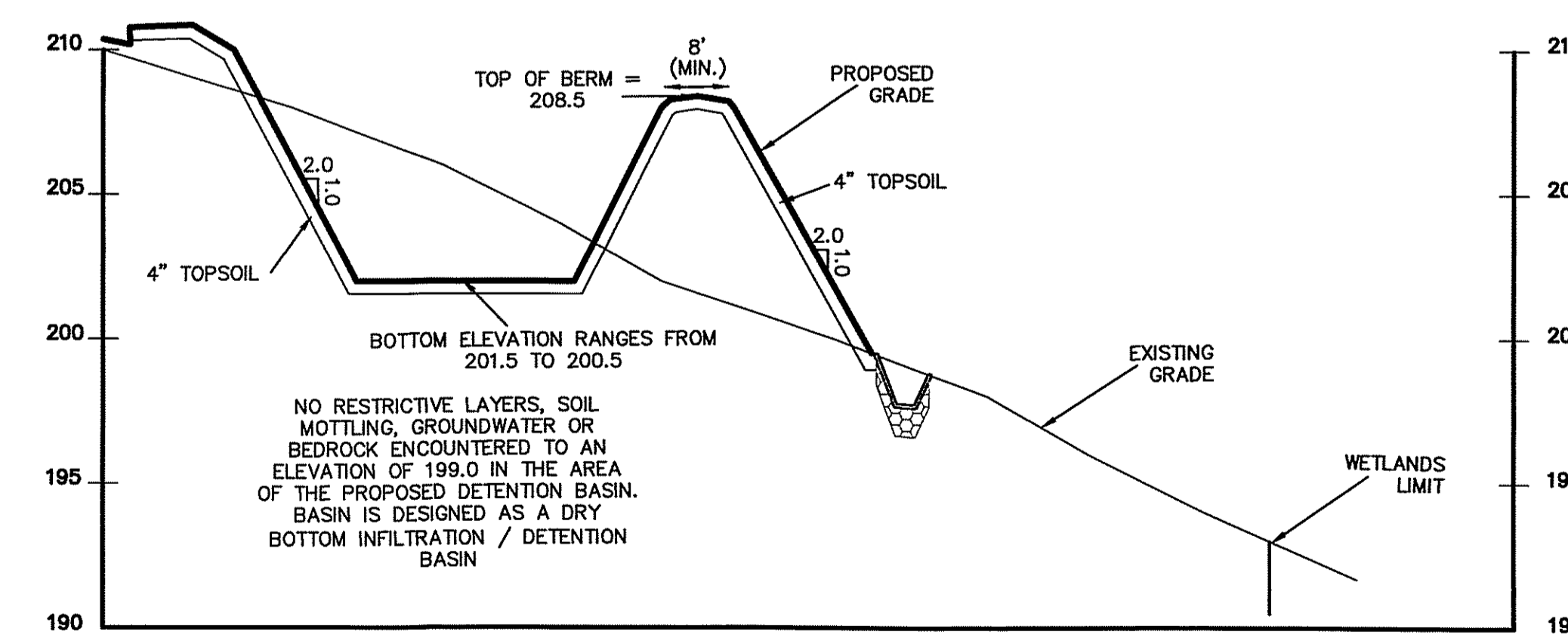
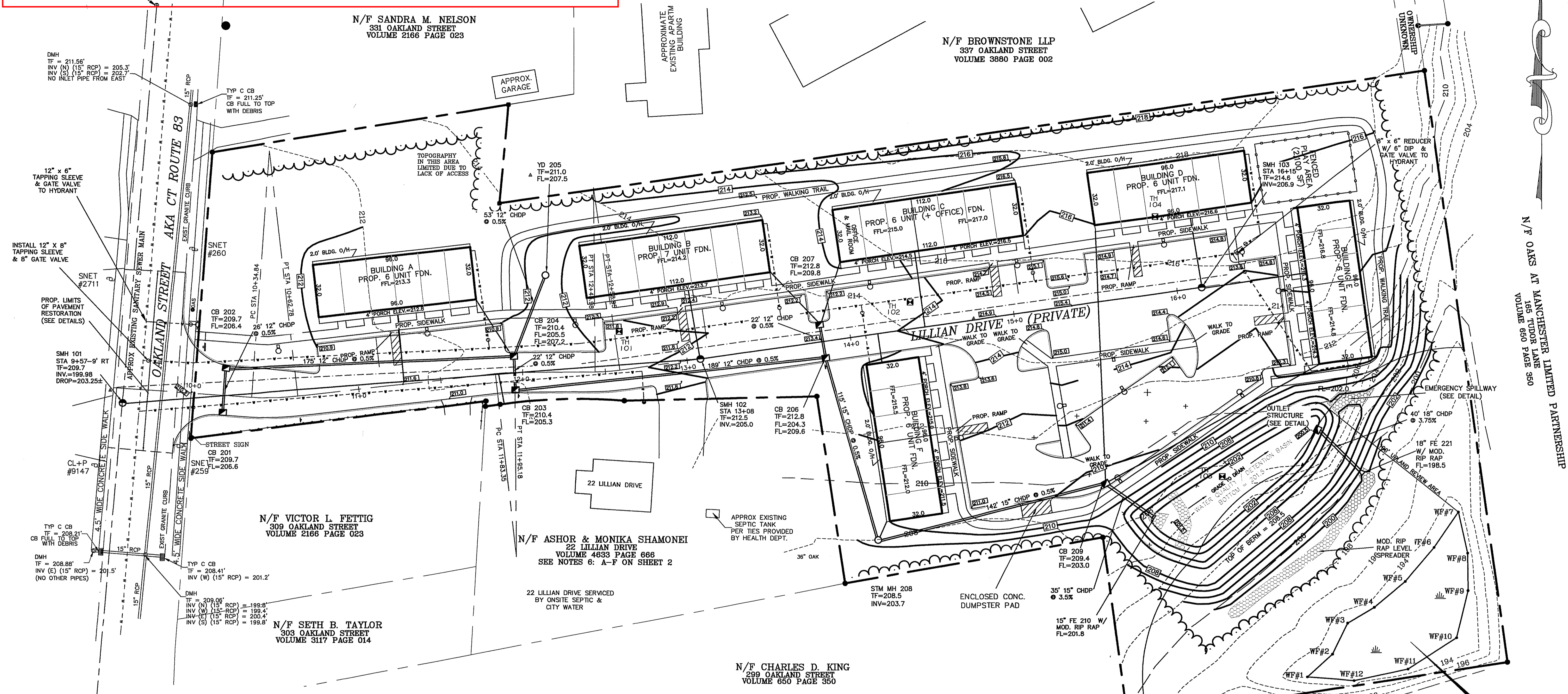
I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS DRAWING IS SUBSTANTIALLY CORRECT.

WENTWORTH CIVIL ENGINEERS, LLC
LEBANON, CT
P.E. # 20380

N/F OAKS AT MANCHESTER LIMITED PARTNERSHIP
165 TUDOR LANE
VOLUME 650 PAGE 350



Previously approved plans - for reference



Test Pit Data
TEST PITS BY WESLEY J. WENTWORTH, PE / SOIL SCIENTIST - 7/21/21

TP 101	0' - 14" TOPSOIL
	14 - 34" LIGHT TAN / BROWN FINE SANDY LOAM
	34 - 100" REDDISH BROWN LOAMY SAND & GRAVEL - BOULDERS
SEEPAGE: NONE	
MOTTLING: NONE	
LEDGE: NONE	
TP 102	0' - 7" TOPSOIL
	7 - 24" LIGHT TAN / BROWN FINE SANDY LOAM
	24 - 98" REDDISH BROWN LOAMY SAND & GRAVEL - BOULDERS
SEEPAGE: NONE	
MOTTLING: NONE	
LEDGE: NONE	
TP 103	0' - 6" TOPSOIL
	6 - 24" LIGHT TAN / BROWN FINE SANDY LOAM W/ STONES
	24 - 114" REDDISH BROWN LOAMY SAND & GRAVEL - W/STONES
SEEPAGE: NONE	
MOTTLING: NONE	
LEDGE: 36" (POSSIBLE BOULDERS)	
TP 104	
LEDGE: 36" (POSSIBLE BOULDERS)	

APPROVED
PLANNING AND ZONING COMMISSION
MANCHESTER, CT
DATE: **DEC 13 2021**
SIGNED: *[Signature]*

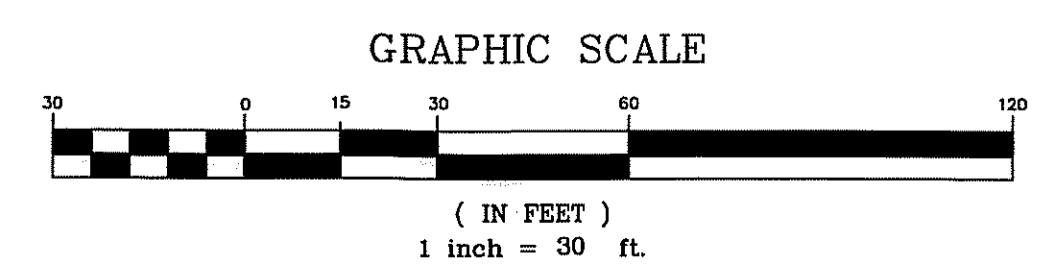
ORIGINAL INK DRAWING ON MYLAR
PRODUCED BY:
WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN STREET
LEBANON, CT. 06249
TEL. 860-642-7255

LEGEND

PROPERTY LINE	---
EXISTING CONTOUR	---434---
PROPOSED CONTOUR	---214---
PROPOSED SPOT ELEVATION	212.1
EXIST. WATER	---
PROP. WATER	---
EXIST. GAS	---
PROP. GAS	---

LEGEND

PROPERTY LINE	---
BUILDING SETBACK LINE	---
PROP. 25% COMMERCIAL USE AREA	---
EXISTING ZONING BOUNDARY	---
EXISTING CONTOUR	---434---
EXISTING SPOT ELEVATION	434X2
WETLANDS BOUNDARY	---
100' UPLANDS REVIEW LIMIT	---
PROPOSED GUIDERAIL	---



WETLANDS LIMITS TAKEN FROM MAP TITLED 'EXISTING CONDITIONS ZONE CHANG
APPLICATION PREPARED FOR WALTER LONDON 321 & 321 1/2 OAKLAND STREET 27
LILLIAN DRIVE MANCHESTER, CONNECTICUT BY TOWN ENGINEERING, INC. SOUTH
WINDHAM, CT. SCALE: 1"=40', DATE: 6/14/19, REV. THRU 8/18/20.

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY.
VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION.
(SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES.
CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.
TOPOGRAPHY BASED ON ACTUAL FIELD SURVEY.

ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN.
FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT.
VERIFY ALL GRADES IN THE FIELD.

- DETECTION BASIN CONSTRUCTION NOTES**
- CLEAR NECESSARY TREES.
 - INSTALL SILT FENCE BACKED W/ HAYBALES.
 - STUMP & GRUB SITE, STRIP TOPSOIL AND STOCKPILE OUTSIDE UPLAND REVIEW AREA.
 - BEGIN TO EXCAVATE / INSTALL BASIN. USE AS A TEMPORARY SEDIMENTATION BASIN DURING CONSTRUCTION.
 - EXCAVATE/PLACE FILL TO SUBGRADE. FILL USED IN EARTHEN BERM IS TO ONSITE MATERIAL, FREE OF ORGANIC MATERIALS. FILL IS TO BE PLACED IN 18" LIFTS AND COMPACTED TO 90% MAXIMUM DENSITY USING A VIBRATORY ROLLER. NO ROCKS IN EXCESS OF 10" TO BE USED IN FILLS.
 - PRIOR TO FINAL GRADING, REMOVE SEDIMENT AND EXCAVATE TO SUBGRADE.
 - TOPSOIL & FINISH-GRADE BASIN, BERM & SIDESLOPES, SEED W/ NEW ENGLAND WETLAND NURSERY CONSERVATION MIX, & MULCH. FINAL STABILIZATION OF BASIN TO OCCUR DURING DRY WEATHER TO ENSURE STABILIZATION OF THE BASIN. JUTE NETTING TO BE USED ON SLOPES IN EXCESS OF 3:1.
 - REMOVE ALL EROSION & SEDIMENTATION CONTROLS ONCE SITE IS COMPLETELY STABILIZED.

ALL SLOPES IN EXCESS OF 3:1 ARE TO BE REINFORCED WITH JUTE NETTING AT TIME OF LOAM, MULCH & SEED

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

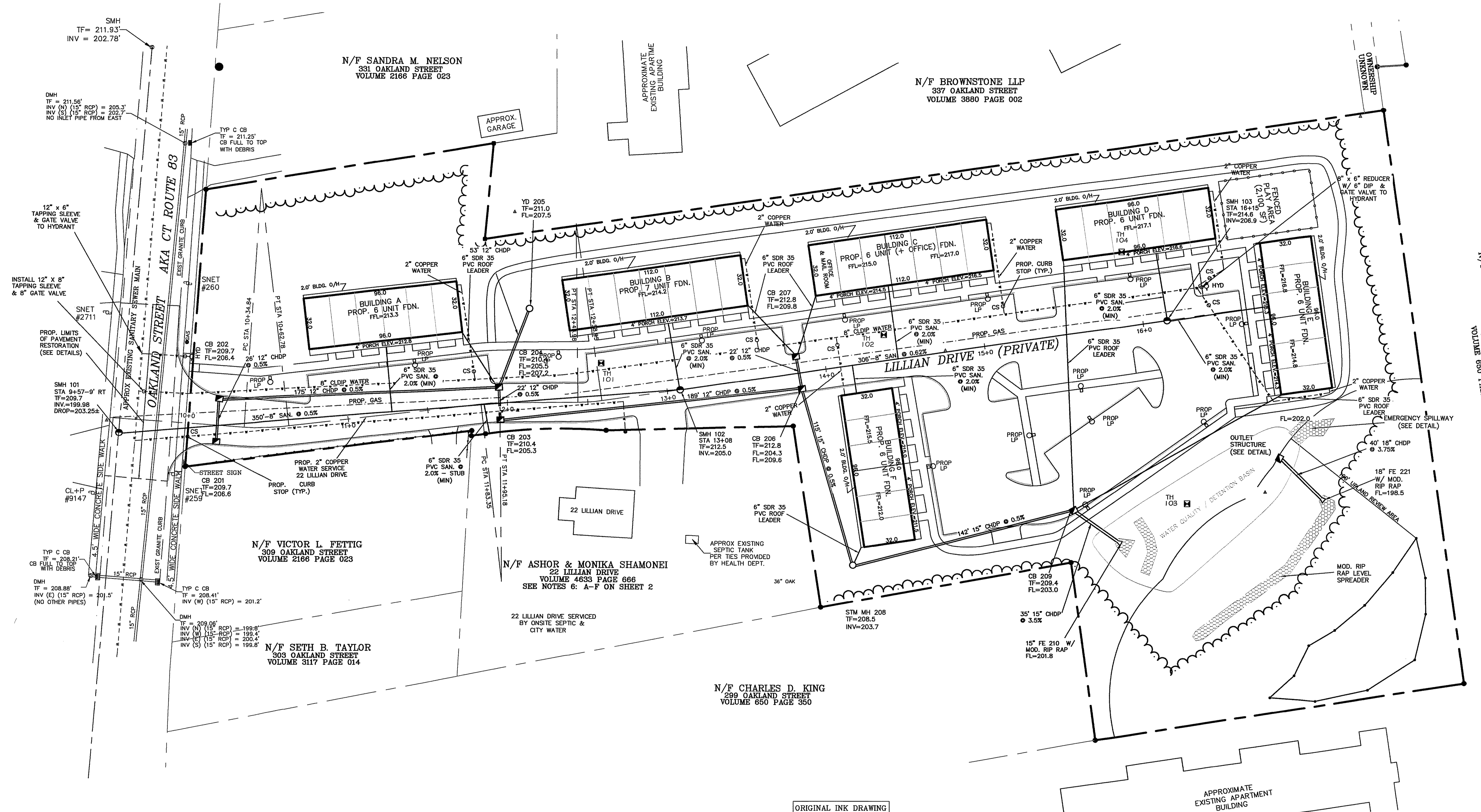
WENTWORTH CIVIL ENGINEERS, LLC
SITE GRADING AND DRAINAGE PLAN
27 LILLIAN DRIVE
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

DATE: 6-28-21
SCALE: 1"=30'
SHEET SP-5
MAP NO. 21-026-1G

REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 02-08-22 COMMENTS
REV. 11-16-21 TOWN COMMENTS
REV. 9-15-21

P.E. # 20360

Previously approved plans - for reference



WATER AND SANITARY SEWER MAINS AND SERVICES WITHIN THE DEVELOPMENT SHALL BE PRIVATELY OWNED AND MAINTAINED.

NOTE: CHDP = SMOOTH WALL INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE PIPE

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

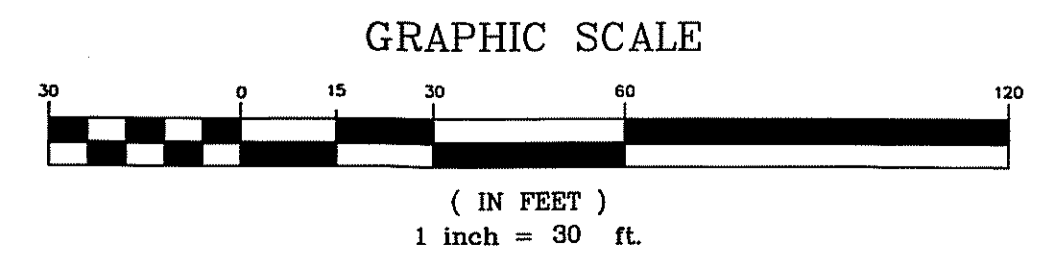
WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

ORIGINAL INK DRAWING ON MYLAR
 PRODUCED BY:
 WENTWORTH CIVIL ENGINEERS, LLC
 177 WEST TOWN STREET
 LEBANON, CT 06249
 TEL. 860-642-7255

APPROVED
 PLANNING AND ZONING COMMISSION
 MANCHESTER, CT
 DATE: DEC 13 2024
 SIGNED: [Signature]

LEGEND

PROPERTY LINE	---
EXIST. WATER	---
PROP. WATER	---
EXIST. GAS	---
PROP. GAS	---



REV. 01-03-22 CONDITIONS OF APPROVAL
 REV. 12-08-21 TOWN COMMENTS
 REV. 11-16-21 TOWN COMMENTS
 REV. 9-15-21

DATE: 6-28-21
 SCALE: 1"=30'
 SHEET: SP-6
 MAP NO. 21-026-1U

SITE UTILITY PLAN
 27 LILLIAN DRIVE
 (FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
 PREPARED FOR
TRIVIK BUILDERS, LLC
 MANCHESTER, CONNECTICUT

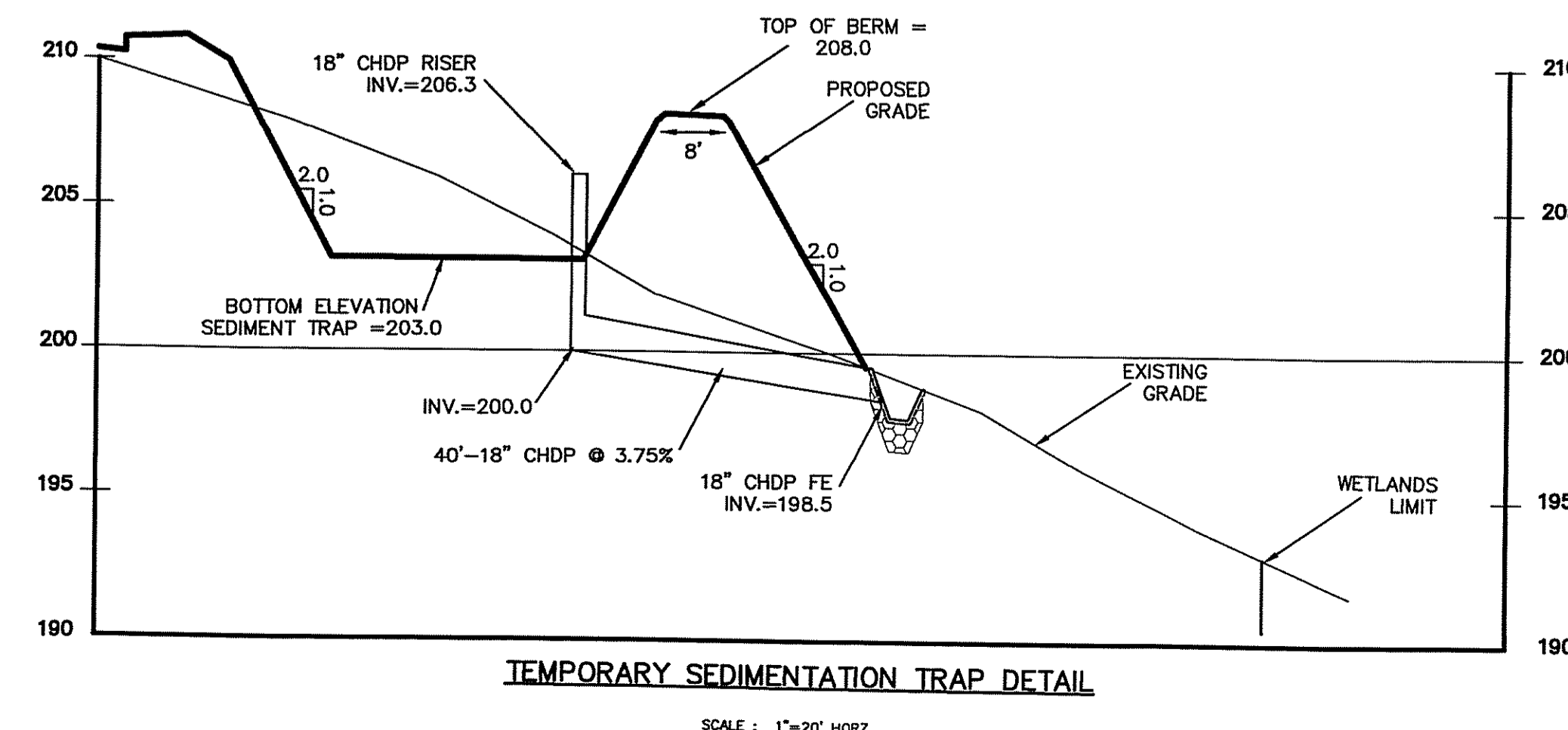
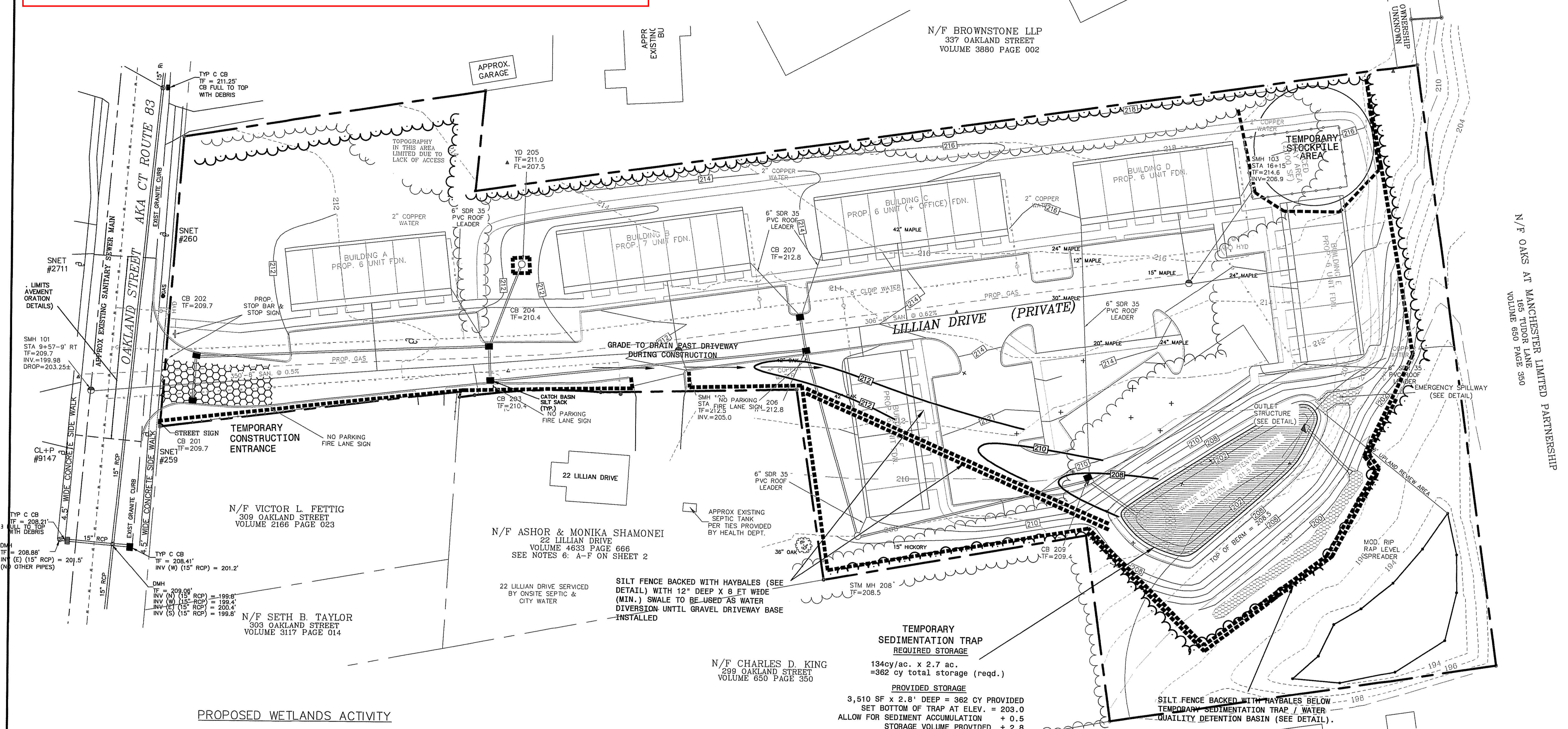
WENTWORTH CIVIL ENGINEERS, LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. (860) 642-7255
 FAX (860) 642-4794
 web: wentworthcivil.com

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THESE PLANS SUBMITTED ARE CORRECT.

 WESLEY J. WENTWORTH
 P.E. # 20380

N/F OAKS AT MANCHESTER LIMITED PARTNERSHIP
 165 TUDOR LANE
 VOLUME 690 PAGE 360

Previously approved plans - for reference



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LEBANON, CT. 06249
TEL. 860-642-7255

APPROVED
PLANNING AND ZONING COMMISSION
MANCHESTER, CT
DATE: DEC 13 2021
SIGNED: [Signature]

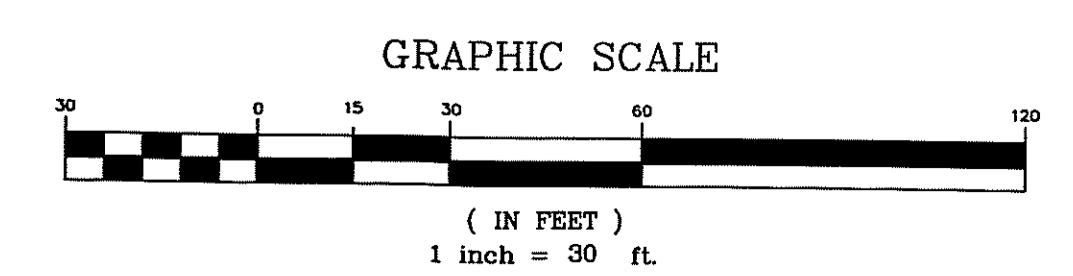
"The Planning and Zoning Commission certifies that the Soil and Erosion and Sedimentation Control Plan complies with the requirements of the Town of Manchester Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 2002, as amended."

Signature: [Signature]
Date of Approval: DEC 13 2021

"I hereby certify that this plan is in compliance with the Town of Manchester Soil Erosion and Sedimentation Control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 2002, as amended."

(Signature)
(Name) CERTIFICATION NO.

- LEGEND**
- PROPERTY LINE
 - SILT FENCE
 - SILT FENCE BACKED W/ HAY BALES
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING SPOT ELEVATION
 - STAKED HAYBALES / SILT FENCE
 - EXISTING TREELINE
 - PROPOSED LIMIT OF CLEARING



REV. 01-03-22 CONDITIONS OF APPROVAL
REV. 12-08-21 TOWN COMMENTS
REV. 11-16-21 TOWN COMMENTS
REV. 9-15-21

DATE: 6-28-21
SCALE: 1"=30'
SHEET SP-8
MAP NO. 21-026-1ES

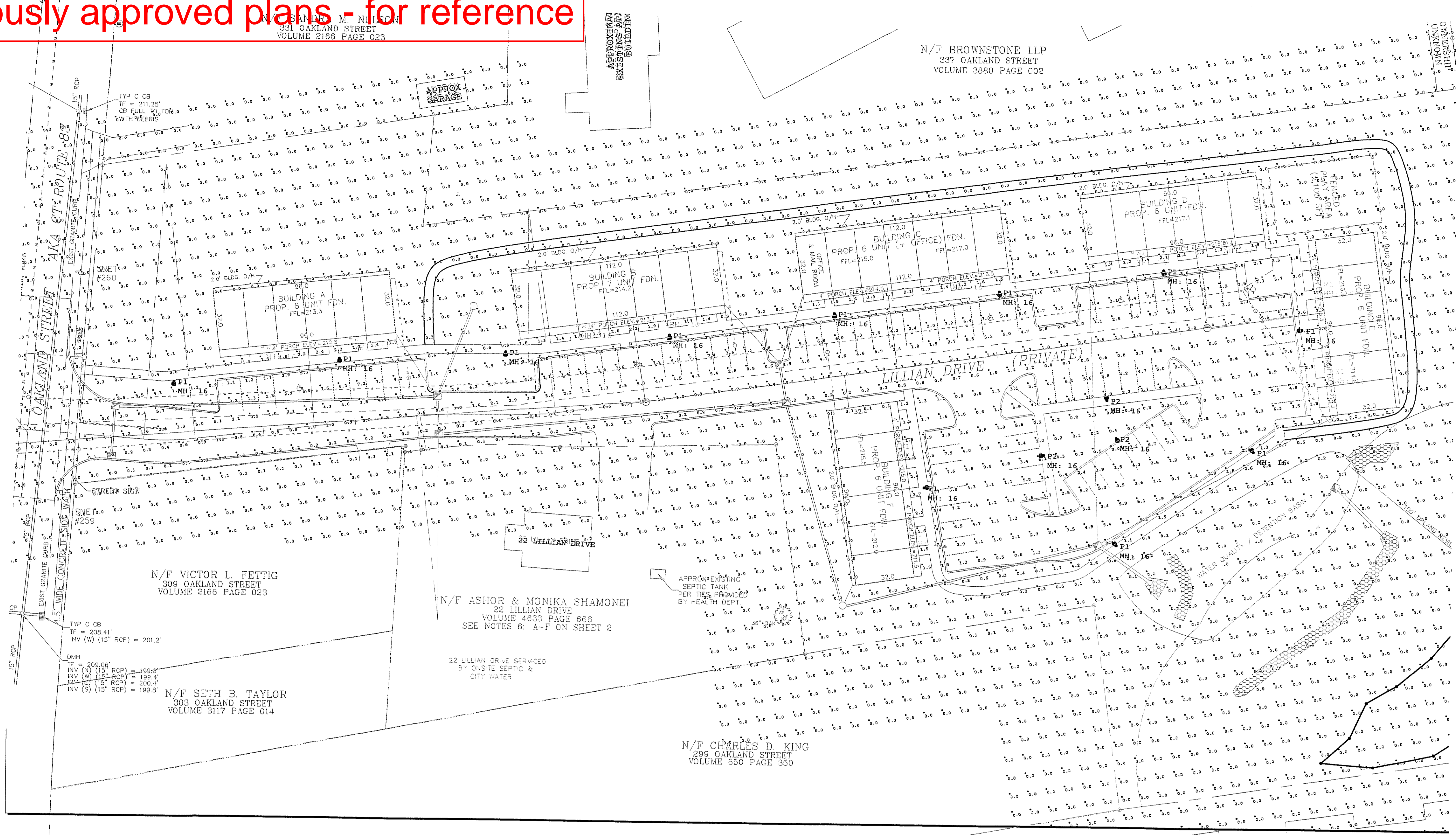
EROSION & SEDIMENTATION CONTROL and PHASING PLAN
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-7255
web: wentworthcivil.com

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE PLANS AND SPECIFICATIONS SUBMITTED ARE CORRECT.

WESLEY WENTWORTH
REGISTERED PROFESSIONAL ENGINEER
STATE OF CONNECTICUT
P.E. # 20380

Previously approved plans - for reference



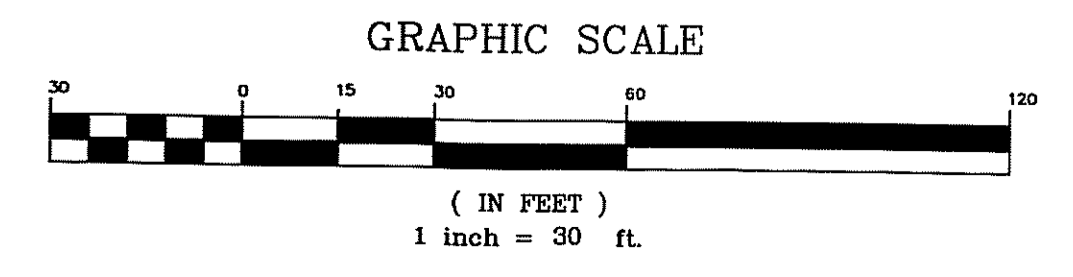
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[Symbol]	3	P2	SINGLE	0.900	RAR-1-160L-115-4K7-2-BC	8853
[Symbol]	11	P1	SINGLE	0.900	RAR-1-160L-115-4K7-4W-BC	9459
[Symbol]	12	W1	SINGLE	0.900	RWL1-48L-25-4K7-4W-U	3679

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.53	7.9	0.0	N.A.	N.A.

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)
 WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

APPROVED
 PLANNING AND ZONING COMMISSION
 MANCHESTER, CT
 DATE: DEC 13 2021
 SIGNED: [Signature]

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 PRODUCED BY:
 WENTWORTH CIVIL ENGINEERS, LLC
 177 WEST TOWN STREET
 LEBANON, CT 06249
 TEL. 860-642-7255



REV. 01-03-22 CONDITIONS OF APPROVAL
 REV. 12-08-21 TOWN COMMENTS
 REV. 11-16-21 TOWN COMMENTS
 REV. 9-15-21

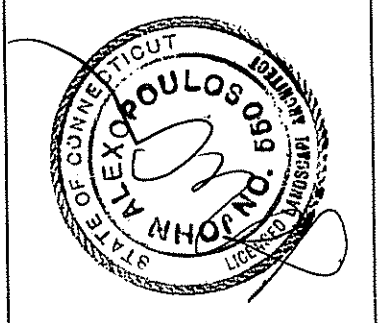
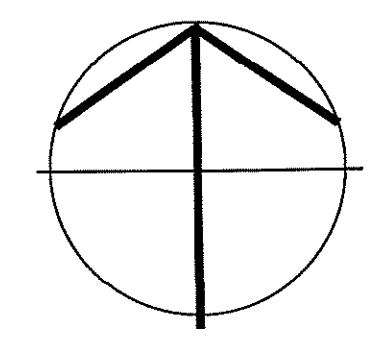
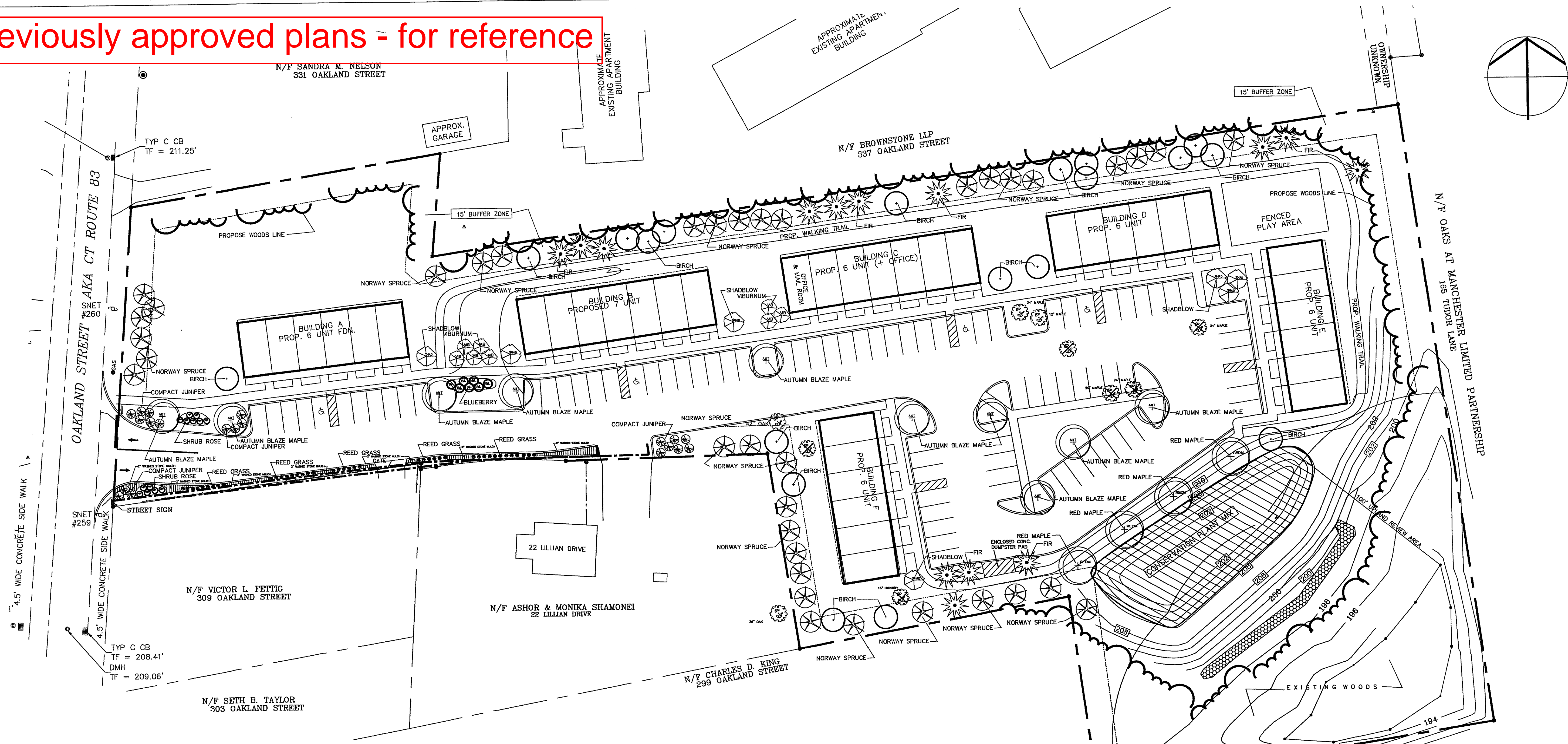
DATE: 6-28-21
 SCALE: 1"=30'
 SHEET: SP-12
 MAP NO. 21-026-1LP

WENTWORTH CIVIL ENGINEERS LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. 860-642-7255
 FAX 860-642-7276
 web: wentworthcivil.com

SITE ILLUMINATION PLAN
 27 LILLIAN DRIVE
 27 LILLIAN STREET AND 27 LILLIAN DRIVE
 PREPARED FOR
 TRIVIK BUILDERS, LLC
 MANCHESTER, CONNECTICUT

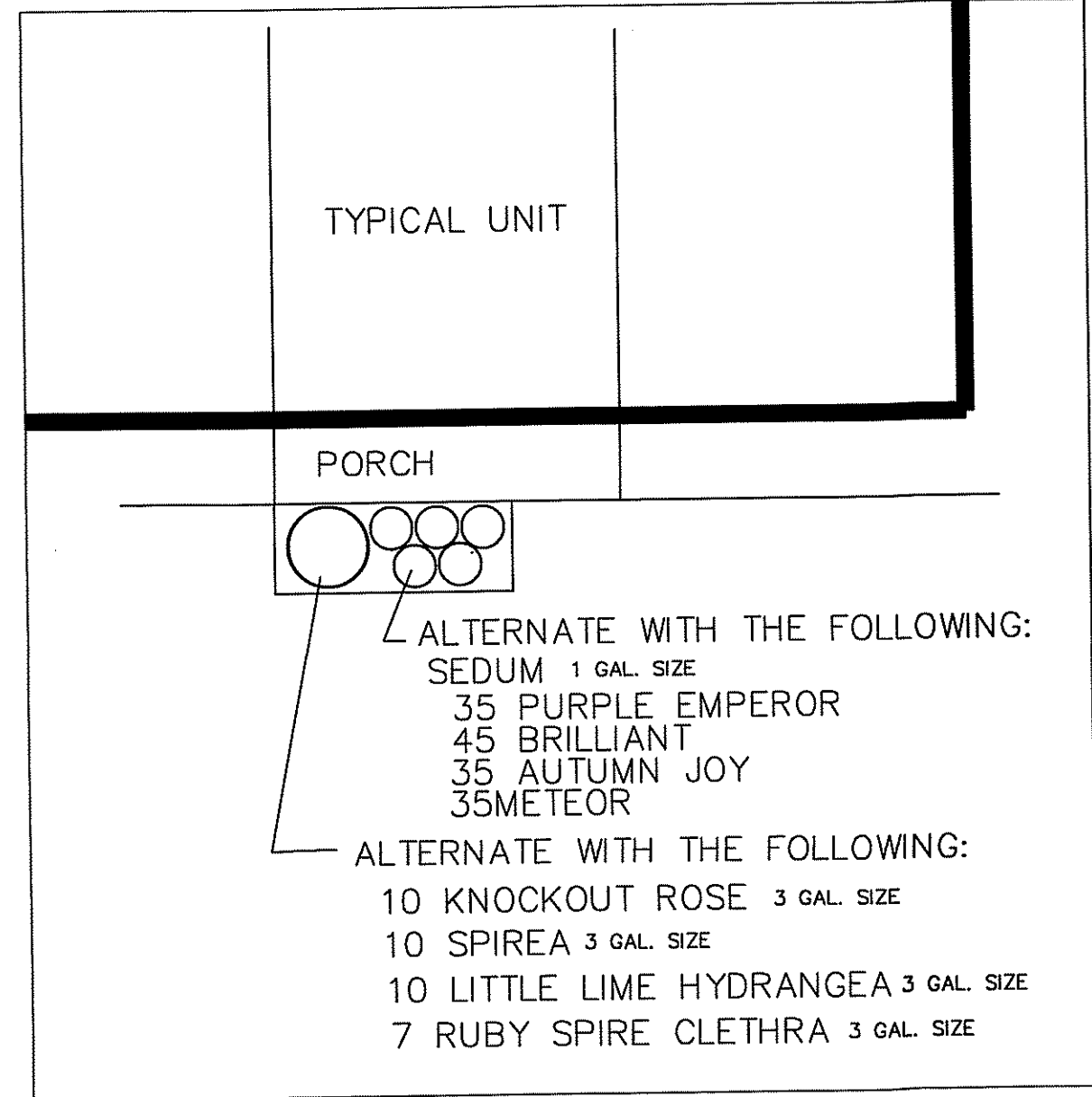
I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS IS AN ACCURATE AND SUBSTANTIALLY CORRECT.
 WENTWORTH CIVIL ENGINEERS, LLC
 P.E. # 20380

Previously approved plans - for reference



JOHN ALEXOPOULOS
LANDSCAPE ARCHITECT
CT LICENSE # 550

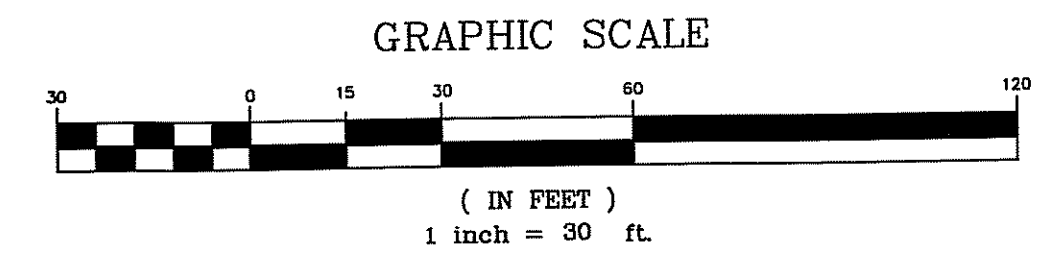
LANDSCAPE PLAN
27 LILLIAN DRIVE
PREPARED FOR
TRIVIK BUILDERS, LLC
MANCHESTER, CONNECTICUT
(FORMERLY 321 OAKLAND STREET AND 27 LILLIAN DRIVE)



PLANTING SPECIFICATIONS

SYMBOL	NAME/ SCIENTIFIC NAME	QUANTITY	SIZE
TREES: DECIDUOUS	ACER X FREEMANII 'JEFFERSRED' / AUTUMN BLAZE MAPLE	10	3 - 3 1/2" CALIPER
	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	4	3 - 3 1/2" CALIPER
	AMELANCHIER CANADENSIS / SHADBLOW	4	6 - 7'
	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	18	6 - 7'
TREES: EVERGREEN	ABIES FRASERI / FRASER FIR	14	4-5'
	PICEA ABIES / NORWAY SPRUCE	37	4-5'
SHRUBS:	JUNIPERUS CHIN. PFITZ. COMPACTUM / COMPACT PFITZER JUNIPER	20	18 - 24"
	ROSA 'KNOCKOUT' / KNOCKOUT SHRUB ROSE	13	18 - 24"
	VACCINIUM CORYMBOSUM / BLUEBERRY	7	18 - 24"
	VIBURNUM DILATATUM 'CARDINAL CANDY' / VIBURNUM	8	18 - 24"
HERBACEOUS PLANTS:	CALAMAGROSTIS KARL FOERSTER / FEATHER REED GRASS	42	2 Gal.
	CONSERVATION GRASS MIX FOR DRAINAGE BASIN: HARTS NATURALIZED GRASS SEED MIX		

EXISTING TREE TO REMAIN
X EXISTING TREE TO BE REMOVED



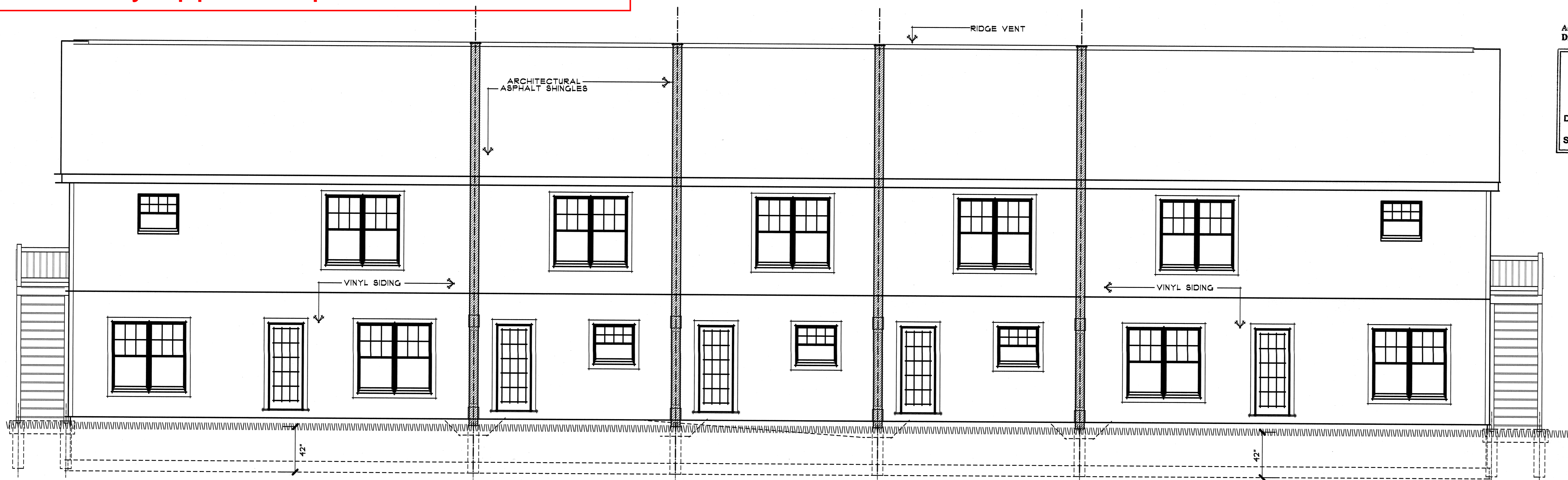
APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT
DATE: DEC 18 2021
SIGNED: [Signature]

ORIGINAL INK DRAWING
ON MYLAR
PRODUCED BY:
WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN STREET
LEBANON, CT. 06249
TEL. 860-642-7255

REV. 01-03-22 CONDITIONS OF APPROVAL

REV. 1-5-22
DATE: 9-21-21
SCALE: 1"=30'
SHEET SP-13

Previously approved plans - for reference



REAR ELEVATIONS

SCALE: 1/4" = 1'-0"

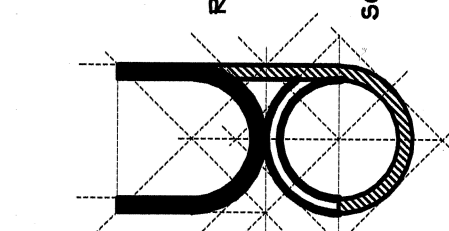
Administrative revision approved by
Director of Planning/Design

APPROVED
PLANNING AND ZONING
COMMISSION
MANCHESTER, CT

DATE: OCT 25 2023

SIGNED: *Maple Hill*

YOUNG DESIGNS
UNLIMITED LLC
RESIDENTIAL DESIGN / SPACE DESIGN
P.O. BOX 99
SCOTLAND, CONNECTICUT 06244-0099
CELL #: (860) 408 3501



NOTE: THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND MATERIALS AND SPECIFICATIONS BEFORE BEGINNING CONSTRUCTION OF ALL MATERIALS TO BE USED IN THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES.



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

FRONT & REAR ELEVATIONS

DATE: OCTOBER 30, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 8821ADA
REVISIONS: _____ DATE: _____

Proposed Townhouses
for ADA Units
27 Lillian Drive
Manchester, CT

FIRST FLOOR ADA UNIT 142 SQ.FT.
SECOND FLOOR ABOVE ADA UNIT 149 SQ.FT.
SINGLE UNIT 291 SQ.FT.

SHEET NO.

AI

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: David Laiuppa, Environmental Planner/Wetlands Agent DL

DATE: May 16, 2024

RE: Juliano's Pools – 37 Pondview Drive
Inland Wetlands Permit Determination of Significance (IWP-0051-2023)

Introduction

The applicant is requesting approval of a wetland permit for the relocation of a septic leaching field and construction of a new inground pool at 37 Pondview Drive. This project is in the upland review area of a wetland system to the east.

Project Description

Juliano's Pools, on behalf of the property owner at 37 Pondview Drive, proposes to relocate a portion of an existing septic leaching field in order to construct a new inground swimming pool at 37 Pondview Drive. In order to meet local Health Department requirements, the existing septic leaching field must be relocated so that a new pool may be constructed. The leaching field and pool are both proposed to be within the upland review area of a larger wetland system to the east of the project. The proposed impacts from this project will be approximately 5,000 square feet in the upland review area.

Inland Wetlands Permit

It is estimated that the project will disturb approximately 5,000 square feet (0.11 acres) within the 100' regulated upland review area. This disturbance will be permanent and is associated with the relocation of the leaching field and the construction of a new, inground pool.

Control measures will include the use of a construction entrance and the installation of silt fence along the eastern side of the project limits downgrade of the proposed construction.

The total proposed area of **direct disturbance within the upland review area is 0.11 acres.**

[NOTE: This number is provided by the applicant.]

Determination of Significance

The Inland Wetlands Agency is required to make a determination of the significance of the impact of the proposed activities on the wetlands, watercourses, and/or water bodies. In making

its determination, the Agency should be guided by the definition of "Significant Impact Activity" as found in the Inland Wetlands and Watercourses Regulations, which means any activity including, but not limited to, the following activities which may have a major effect or significant impact:

- a. Any activity involving a deposition or removal of material which will or may have a substantial effect on the wetland or watercourse or on wetlands or watercourses outside the area for which the activity is proposed; or
- b. Any activity which substantially changes the natural channel or may inhibit the natural dynamics of a watercourse system; or
- c. Any activity which substantially diminishes the natural capacity of an inland wetland or watercourse to support aquatic, plant or animal life, prevent flooding, supply water, assimilate waste, facilitate drainage, provide recreation or open space or perform other functions; or
- d. Any activity which is likely to cause or has the potential to cause substantial turbidity, siltation or sedimentation in a wetland or watercourse; or
- e. Any activity which causes a substantial diminution of flow of a natural watercourse or groundwater levels of the wetland or watercourse; or
- f. Any activity which is likely to cause or has the potential to cause pollution of a wetland or watercourse; or
- g. Any activity which damages or destroys unique wetland or watercourse areas or such areas having demonstrable scientific or educational value.

If the Agency finds the proposed activity may have a significant impact on the wetlands, a public hearing is required. A public hearing shall also be held if either 1) a petition signed by at least twenty-five persons who are eighteen years of age or older and who reside in the municipality is filed no later than fourteen days after the receipt of such application, or 2) the Agency finds that a public hearing regarding such application would be in the public interest. Should the Agency find that none of the above circumstances applies to the application, then no public hearing is required.

Staff Review

Town staff is still reviewing the materials submitted with this application. Any outstanding comments will be provided to the Agency during the final decision meeting.

dl/kw

R:\Planning\PZC\2024\05 - May 20\Packet\IWP-0051-2023 (37 Pondview) - Memo.docx

Attach.

Town of Manchester, CT



Geographic Information Systems

37 PONDVIEW DRIVE

Legend

Zoning

RR - Rural Residence



DISCLAIMER:
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

NOTES:
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-built and/or field survey data. Aerial photography dated April 24, 1999.

0 35 70 140 210 280
Feet

1 inch = 200 ft

Date: 5/16/2024

April 8th, 2024

Town of Manchester Inland Wetlands Agency

Subject: Swimming Pool Installation at 37 Pondview Drive

To Whom It May Concern,

The information below pertains to the wetlands application for 37 Pondview Drive. The application has been filed by Juliano's Pools on behalf of the homeowner, Jose and Lynnette Fabian. The application is being filed per the request of the Town of Manchester to ensure wetlands compliance.

At A Glance

Homeowner: Jose Fabian

Address: 37 Pondview Drive

Phone: 860-989-9324

Project: Construction of a new 20x34 inground pool and 4' safety fence with self-closing and self-latching gate.

Location of Pool/Fence: See attached plot plan.

Materials: Suitable soil will be used for backfill; unsuitable soil will be hauled away.

Significant Event Q/A

- Will the proposed activity involve the deposit or removal of material in or near a regulated area?
20x34 inground pool and 4' safety fencing will be built within wetlands upland review area on established lawn. Silt fence and straw wattles (if req'd) will be installed prior to the start of work.
- Will the proposed activity change the natural channel or inhibit the natural dynamics of a watercourse system? **No**
- Will the proposed activity cause any decrease in the natural capacity of a wetlands or watercourse to: support desirable fisheries, wildlife, or other biological life; prevent flooding; supply water; assimilate waste; facilitate drainage; or provide recreation or open space? **No**
- Will the proposed activity cause turbidity, siltation or sedimentation in a wetlands or watercourse? **No**
- Will the proposed activity diminish the flow of a natural watercourse or the groundwater levels of the regulated area? **No**
- Will the proposed activity cause or have the potential of causing pollution of groundwater, a wetlands or watercourse? **No**
- Will the proposed activity create conditions that may adversely affect the health, welfare and safety of any individual or the community? **No**
- Will the proposed activity destroy a wetlands or watercourse? **No**
- Will the proposed activity have a major effect or substantial impact on the area for which this application has been filed or on another part of a wetlands or watercourse? **No**

Construction Approach

Throughout the construction process at 37 Pondview Drive, Juliano's Pools will use the utmost care to ensure there is zero impact to the nearby wetland area.

The following is an explanation of the various phases of the construction process, the safeguards that will be in place to protect the regulated area, and the type of equipment which will be used for the construction of the Inground swimming pool.

Phase 1 – Excavation

Prior to the start of any excavation, Juliano's Pools will meet all CT Guidelines for Erosion and Sediment Controls. Juliano's Pools will properly erect silt fence and place straw wattles as needed to stop any erosion into the wetland area/buffer. The silt fence will be carefully toed in and straw wattles will be staked into the ground with wooden plow stakes.

Excavation of the pool will be done by Juliano's Pools. We use no subcontractors for excavation, therefore we are able to better control the project and ensure all workers are aware of the nearby wetland buffers. A Gehl 802 excavator will be used during the excavation phase. Juliano's Pools has an in-house mechanic who meticulously goes through the machine, to ensure there are no oil leaks or leaking hydraulic hoses, on a regular basis. This excavator is also equipped with rubber tracks to help reduce the amount of grass that is torn up and eliminates damage to any paved road.

Excavated material may be temporarily stockpiled on site for backfill and final grading purposes. Excess material that is not needed will be hauled away by a tri axle dump truck.

Phase 2 – Wall Erection

During this phase of construction no equipment will be used. The only vehicle entering the property will be a concrete truck to pour the footing for the pool.

Phase 3 – Electrical Work

A mini excavator with a 1' wide bucket and rubber tracks will be used to dig the trench for the electrical conduit from the house to the equipment.

Phase 4 – Plumbing

No equipment will be used during this phase

Phase 5 – Vermiculite Pool Bottom

A small paddle mixer will be used to mix the vermiculite.

Phase 6 – Liner Installation

No equipment will be used during this phase

Phase 7 – Pool Backfill

To backfill the pool, we will use a Takeuchi skidsteer. This machine has rubber tracks on it to minimize impact on any areas where it travels.

Phase 8 – Pool Decking / Fence / Landscaping

After the pool is backfilled the concrete decking will be poured. For this, a concrete truck will once again access the property to pour the concrete. Once the concrete is completed, we will come back to final grade the yard. To do this grading we will bring in the Takeuchi skidsteer again. During this phase we will also be spreading topsoil. The silt fence and hay bales will stay in place until grass is established.

The fence will be installed once the grading is done so it can be set to the proper height.

Phase 9 – Pool Operation/Maintenance

Ongoing pool operation and maintenance will have no impact to the property or wetlands. We own water trucks and can haul away water in the fall when we pump approximately 6" of water out of the pool for winterization. This water can be repurposed and put into other new swimming pools.

In conclusion, Juliano's Pools will exercise a tremendous amount of care to ensure that there is no negative impact to the regulated area throughout the construction process. The biggest reason we can ensure this is that we unprecedentedly haul away ALL material leaving only a virgin ground hole. We have been installing inground pools for 20 years with many of them being within regulated wetlands area. Juliano's has successfully sought over 100 permits with similar or greater wetland intrusion in Hartford, Tolland, Windham, Middlesex, New Haven, and Litchfield counties in Connecticut. All such jobs were executed professionally and flawlessly.

If you have any questions, please feel free to Juliano's Pools at (860) 870-1085.

Sincerely,

A handwritten signature in black ink, appearing to read "Bryan Cormier". The signature is fluid and cursive, with the first name "Bryan" and last name "Cormier" clearly distinguishable.

Bryan Cormier, Project Manager



Ian Cole, LLC

Professional Registered Soil Scientist / Professional Wetland Scientist

PO BOX 619

Middletown, CT 06457

[*Itcole@gmail.com*](mailto:Itcole@gmail.com)

860-514-5642

January 5, 2024

Mrs. Lynette Dumond
37 Pondview Drive
Manchester Connecticut 06040

RE: Wetland Delineation Report, 37 Pondview Drive, Manchester, Connecticut.

Dear Mrs. Dumond:

At your request, I completed a field delineation of the jurisdictional inland wetlands and watercourses boundaries on the above referenced 3.04 +/- acre residential parcel.

WETLAND DELINEATION METHODOLOGY

The wetland survey was completed in accordance with the standards of the Natural Resources Conservation Services (NRCS) National Cooperative Soil Survey and the definitions of inland wetlands and watercourses as found in the Connecticut General Statutes, Chapter 440, Sections 22a-36 through 22a-45 as amended. Wetlands, as defined by the Statute, are those soil types designated as poorly drained, very poorly drained, floodplain or alluvial in accordance with the NRCS National Cooperative Soil Survey. Such areas may also include disturbed areas that have been filled, graded, or excavated and which possess an aquic (saturated) soil moisture regime.

Watercourses means rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs, and all other bodies of water, natural or artificial, vernal, or intermittent, public, or private, which are contained within, flow through or border upon the Town of Manchester or any portion thereof not regulated pursuant to sections 22a-28 through 22a-35, inclusive, of the Connecticut General Statutes. Intermittent watercourses are defined permanent channel and bank and the occurrence of two or more of the following characteristics: (a) evidence of scour or deposits of recent alluvium or detritus, (b) the presence of standing or flowing water for duration longer than a particular storm incident, and (c) the presence of hydrophytic vegetation.

WETLAND SURVEY RESULTS

An on-site wetland survey was completed on January 3, 2024, to examine the upper 20" of the soil profile for the presence of hydric soil conditions and delineate all wetland and/or watercourse boundaries located on the property. The wetland survey was completed under blue sky conditions when the ground was free of frost and clear of snow. Those areas meeting the wetland criteria noted above were marked in the field with sequentially numbered pink and blue wetland flagging labeled, 1 through 34 (See wetland sketch). Please note the wetland sketch is for planning purposes and the graphic showing the wetland locations are subject to refinement once traditionally located by a Licensed Land Surveyor and formally adopted by the Town.

An existing residential dwelling and associated appurtenances are located in the northwestern developed corner of the 3.04-acre parcel. A seasonally flooded forested wetland corridor bisects the middle of the property. The on-site wetland is associated with a narrow (2-3' wide) watercourse that drains onto the property from the north and flows along the western wetland boundary line before discharging into a man-made pond that was excavated adjacent to Pondview Drive. The scrub-shrub edge of the wetland boundary in the vicinity of the planned site improvements is very well-defined, marked by the limits of clearing for the original development of the lot in 2000.

The dominate wetland vegetation includes but is not limited to: Red maple, willow, winterberry, highbush blueberry, Japanese barberry, silky dogwood, multiflora rose, spicebush, honeysuckle, alder.

Representative site photos are provided below.

SOIL SURVEY

The soils identified on-site are a refinement of the Natural Resources Conservation Service (NRCS) Websoil Soil Survey. The project site is characterized by "red" soils which are common in central Connecticut, including Manchester and formed from red parent material (typically Triassic sandstone) abundant in iron oxides. These red soils are resistant to the formation of redoximorphic features which are often used to identify wetland soils.

Wetland Soils

The wetland soil along the delineated wetland boundary is mapped and classified as belonging to the poorly drained Wilbraham and Menlo soil series. These dense silt loam hydric soils are found on gently sloping foothills and in the low-lying positions in drainageways.

Upland Soils

The upland soils on the higher elevations are mapped and classified as moderately well-drained Ludlow silt loams. Ludlow silt loams are associated with a high seasonal water-table, and slow permeability rates in the substratum.

A copy of the NRCS soil survey is attached for your reference.

If you have any questions or comments, please do not hesitate to contact me at itcole@gmail.com or (860) 514-5642

Sincerely,

A handwritten signature in blue ink, appearing to read "Ian T. Cole".

Ian T. Cole
Professional Registered Soil Scientist
Professional Wetland Scientist #2006

Attachments
GIS LOCUS MAP
WETLAND SKETCH
NRCS SOIL MAP
SITE PHOTOS

Town of Manchester, CT



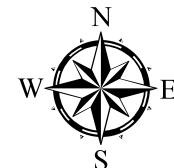
Town of Manchester, CT

DISCLAIMER: This map is compiled from other maps, deeds, dimensions and other sources of information. Not to be construed as accurate surveys and subject to final changes as a more accurate survey may disclose.

NOTES: Original planimetric and topographic data were compiled by stereophotogrammetric methods from photography dated April 1999 in accordance with ASPR accuracy standards for 1 inch = 40ft large scale Class 1 mapping. The updating of the GIS data is performed by the GIS/Maps & Records Unit on a continual basis utilizing the best and most appropriate sources available.

1 inch = 100 feet

Author:



Date: 12/29/2023

WETLAND SKETCH

37 PONDVIEW DRIVE

MANCHESTER

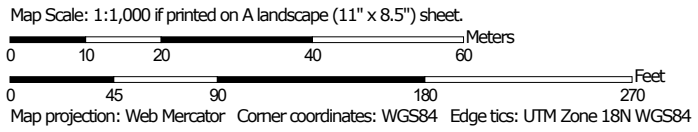


Disclaimer: This map is for planning purposes only. Verification of its accuracy, currency and completeness is the responsibility of the reader's own independent research. All inland wetland and watercourse boundaries are subject to refinement once traditionally field located by a Licensed Land Surveyor and formally adopted by the Town. Ian Cole LLC shall not be held liable for any loss, damages or claims made in relation to anyone referring to this map.

Soil Map—State of Connecticut, Western Part




Soil Map may not be valid at this scale.




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut, Western Part

Survey Area Data: Version 1, Sep 15, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Oct 6, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
6	Wilbraham and Menlo soils, 0 to 8 percent slopes, extremely stony	2.8	85.2%
40B	Ludlow silt loam, 3 to 8 percent slopes	0.5	14.8%
Totals for Area of Interest		3.3	100.0%

State of Connecticut, Western Part

5—Wilbraham silt loam, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 2wh26

Elevation: 0 to 770 feet

Mean annual precipitation: 36 to 53 inches

Mean annual air temperature: 41 to 54 degrees F

Frost-free period: 140 to 220 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Wilbraham and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wilbraham

Setting

Landform: Depressions, drainageways, hills, drumlins, ground moraines

Landform position (two-dimensional): Toeslope, footslope

Landform position (three-dimensional): Head slope, base slope

Down-slope shape: Concave

Across-slope shape: Concave

Parent material: Red coarse-loamy lodgment till derived from basalt and/or sandstone and shale

Typical profile

Ap - 0 to 8 inches: silt loam

Bw1 - 8 to 19 inches: silt loam

Bw2 - 19 to 25 inches: silt loam

Cd - 25 to 61 inches: gravelly loam

Properties and qualities

Slope: 0 to 3 percent

Depth to restrictive feature: 16 to 35 inches to densic material

Drainage class: Poorly drained

Runoff class: Low

Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately low (0.00 to 0.14 in/hr)

Depth to water table: About 0 to 10 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 5.5 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4w

Hydrologic Soil Group: C/D

Ecological site: F144AY009CT - Wet Till Depressions
Hydric soil rating: Yes

Minor Components

Ludlow

Percent of map unit: 10 percent
Landform: Drumlins, hills
Landform position (two-dimensional): Summit, footslope
Landform position (three-dimensional): Base slope, crest
Down-slope shape: Concave
Across-slope shape: Linear
Hydric soil rating: No

Menlo

Percent of map unit: 5 percent
Landform: Depressions, drainageways
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Data Source Information

Soil Survey Area: State of Connecticut, Western Part
Survey Area Data: Version 1, Sep 15, 2023

State of Connecticut, Western Part

40B—Ludlow silt loam, 3 to 8 percent slopes

Map Unit Setting

National map unit symbol: 9Inj

Elevation: 0 to 1,200 feet

Mean annual precipitation: 43 to 54 inches

Mean annual air temperature: 45 to 55 degrees F

Frost-free period: 140 to 185 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Ludlow and similar soils: 80 percent

Minor components: 20 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Ludlow

Setting

Landform: Drumlins, hills

Down-slope shape: Concave

Across-slope shape: Linear

Parent material: Coarse-loamy lodgment till derived from basalt and/or sandstone and shale

Typical profile

Ap - 0 to 8 inches: silt loam

Bw1 - 8 to 20 inches: silt loam

Bw2 - 20 to 26 inches: silt loam

Cd - 26 to 65 inches: gravelly loam

Properties and qualities

Slope: 3 to 8 percent

Depth to restrictive feature: 20 to 40 inches to densic material

Drainage class: Moderately well drained

Runoff class: Medium

Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately high (0.00 to 0.20 in/hr)

Depth to water table: About 18 to 30 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 4.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: C/D

Ecological site: F145XY014CT - Moist Dense Till Uplands

Hydric soil rating: No

Minor Components

Wethersfield

Percent of map unit: 5 percent
Landform: Drumlins, hills
Down-slope shape: Linear
Across-slope shape: Convex
Hydric soil rating: No

Wilbraham

Percent of map unit: 5 percent
Landform: Depressions, drainageways
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Watchaug

Percent of map unit: 3 percent
Landform: Hills, till plains
Down-slope shape: Linear
Across-slope shape: Concave
Hydric soil rating: No

Cheshire

Percent of map unit: 3 percent
Landform: Hills, till plains
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Menlo

Percent of map unit: 2 percent
Landform: Depressions, drainageways
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Yalesville

Percent of map unit: 1 percent
Landform: Hills, ridges
Down-slope shape: Convex
Across-slope shape: Linear
Hydric soil rating: No

Unnamed, stony surface

Percent of map unit: 1 percent
Hydric soil rating: No

Data Source Information

Soil Survey Area: State of Connecticut, Western Part
Survey Area Data: Version 1, Sep 15, 2023

WETLAND SURVEY PHOTOS

JANUARY 3, 2024

37 PONDVIEW DRIVE

MANCHESTER

CONNECTICUT



Photo 1: WETLAND/POND



Photo 2: WETLAND / POND edge , typical conditions of the wetland at edge of maintained lawn.

Wetland Delineations

Wetland Evaluations

Soil Evaluations



Photo 3: Typical conditions of wetland boundary proximal to proposed pool.



Photo 4: Example of the upland review area between the existing house and the wetland boundary.


Wetland Delineations

Wetland Evaluations

Soil Evaluations

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: Megan Pilla, Principal Development Planner 

DATE: May 16, 2024

RE: Billy Narvaez & Rachel Yirigian
Pre-application Review (PAR-0003-2024)

Introduction

The applicant is seeking initial feedback on a possible zoning regulation amendment proposal to allow construction of a new 4-family residence in a Residence B (RB) zone. The applicant has provided the attached example architectural plans to describe the type of housing they would be considering.

As always, any discussion held during a pre-application review is non-binding for both the Commission and the applicant.

mp

R:\Planning\PZC\2024\05 - May 20\Packet\PAR-0003-2024 - Memo.docx

Attach.

Pre-Application Review

Address: 47 McCabe Street, Manchester, CT 06042

Anticipated Type of Application: Special Exception / Modification; Zoning Regulation Amendment

Dear Town of Manchester,

I, Billy, and Rachel, are interested in building a home on 47 McCabe Street, Manchester, CT 06042. However, the current zoning regulations indicate that we are not currently permitted to do that.

If we understand this concept correctly, in the zone the property is in (Residence B), the regulations currently allow conversion of a single-family home to a 3 or 4-family home by special exception, but they do not allow construction of a new 3 or 4-family home. Therefore, we are interested in pursuing a "Zone Regulation Amendment."

Based on conversations with the town office members, we should be working with an engineer and a lawyer to formally complete this process. At this time, we are, and we are happy to continue to do so with some preliminary endorsement from your team.

Within this four-family request, I would be interested in knowing more about what a 4-family property could potentially look like but in three different ways:

1) Two duplexes side by side (So it is a 4-family home but it is designed in a different way) with a "1 hour fire barrier" in between; no sprinkler system.

Link of a duplex: <https://simplexhomes.com/portfolio-items/saginaw/>

See next page for the example images from these links

2) Four family Home (under one roof) with a sprinkler system

Link: <https://simplexhomes.com/portfolio-items/hollister/>

3) Four townhomes side by side (in a row).

Link: <https://simplexhomes.com/portfolio-items/woodlawn-i/>

Billy Narvaez

Rachel Yirigian

Link 1

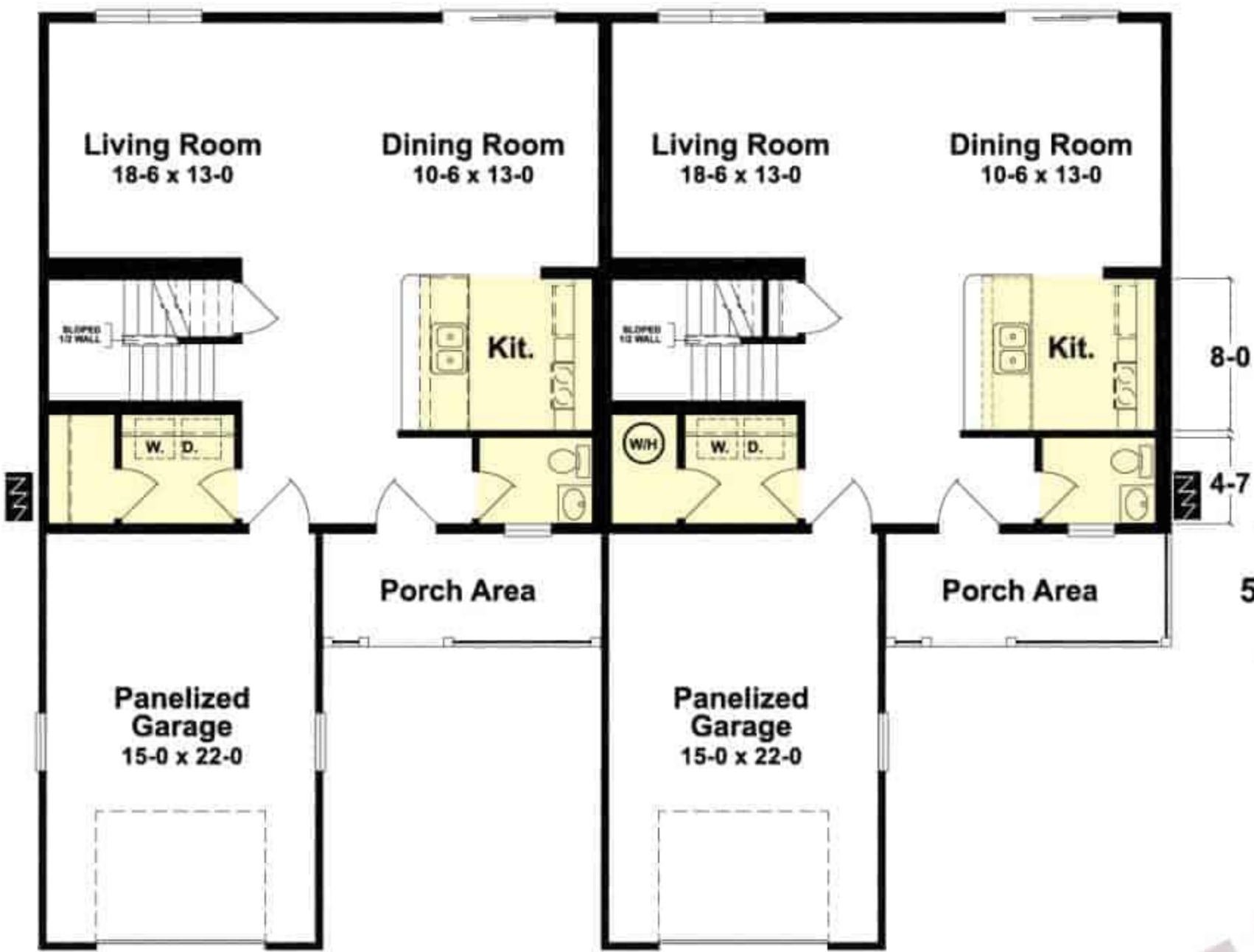




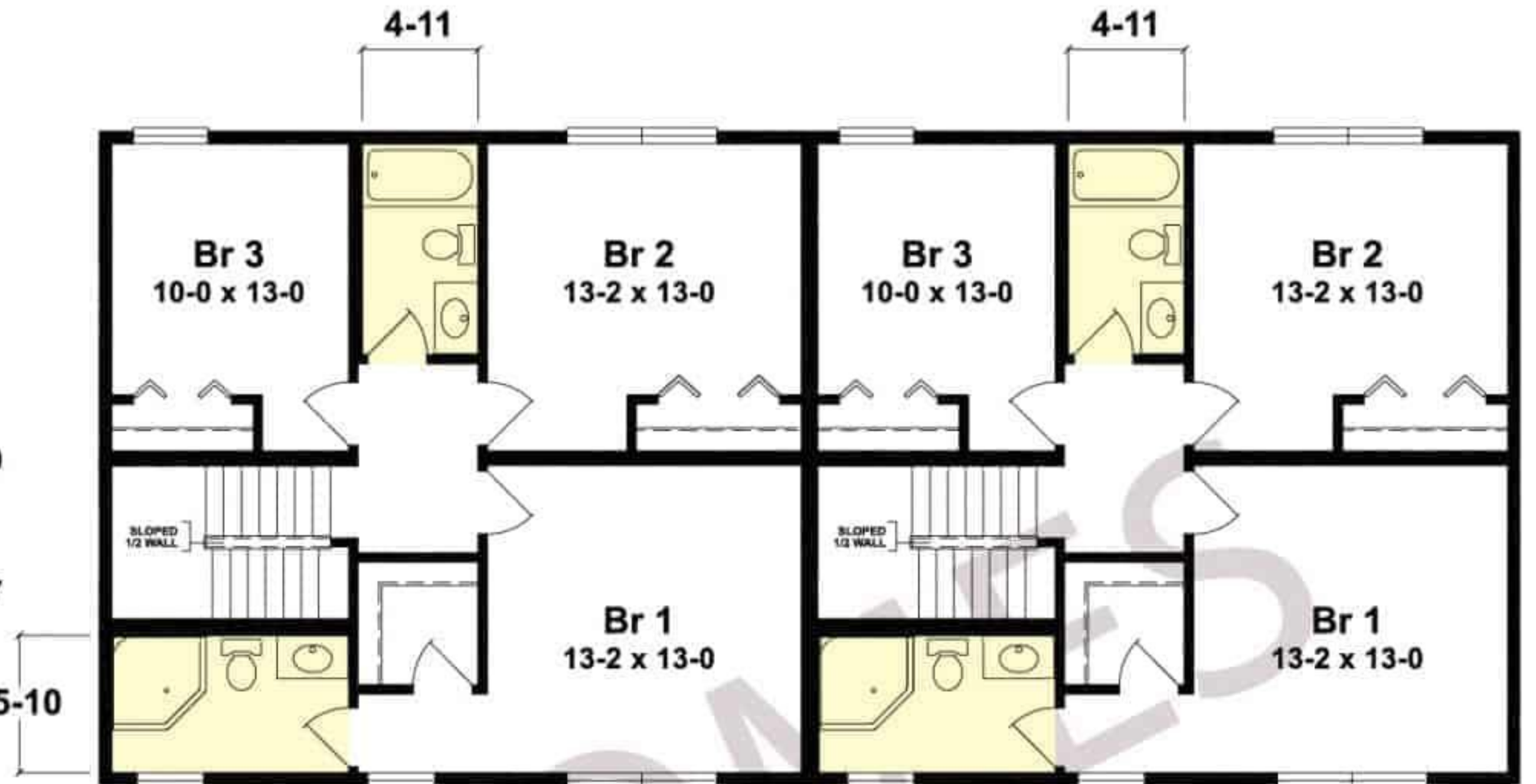
[Link 1](#)

The Saginaw

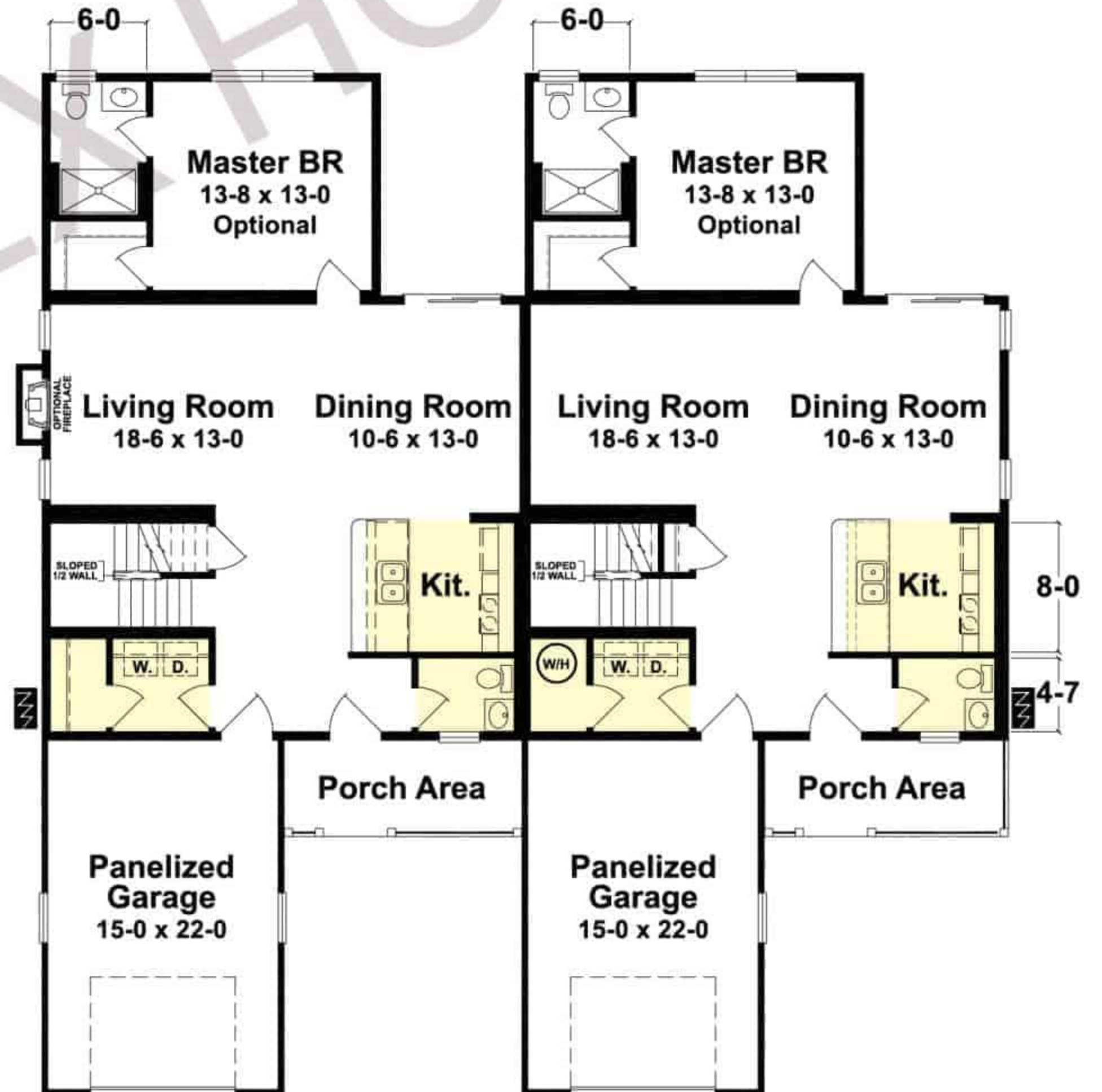
First Floor



Second Floor



Optional First Floor



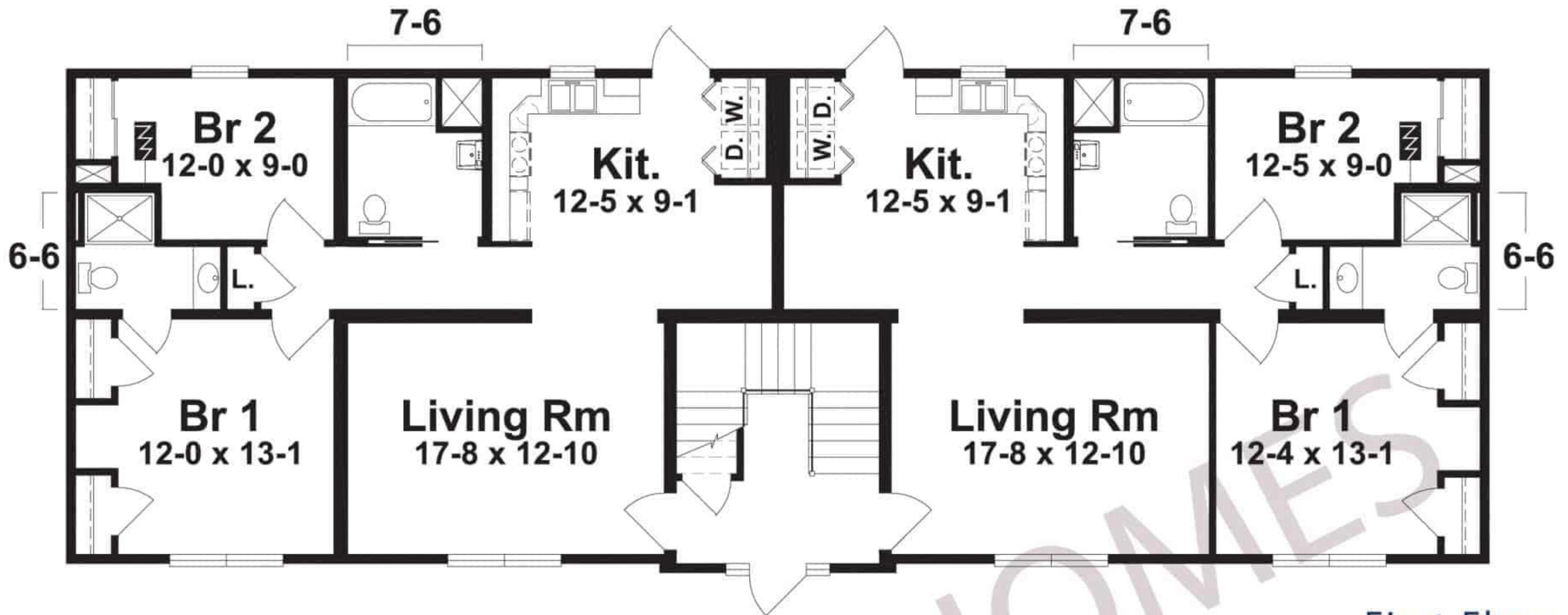
Link 2



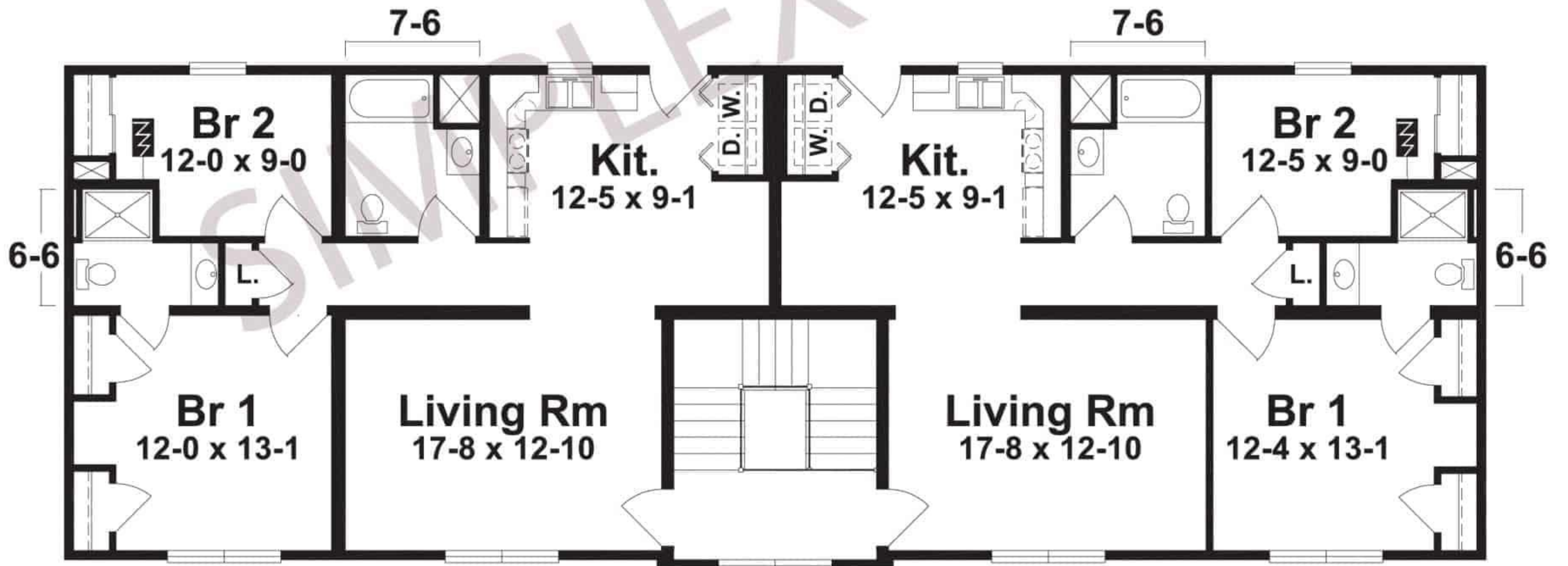


[Link 2](#)

The Hollister



First Floor



Second Floor

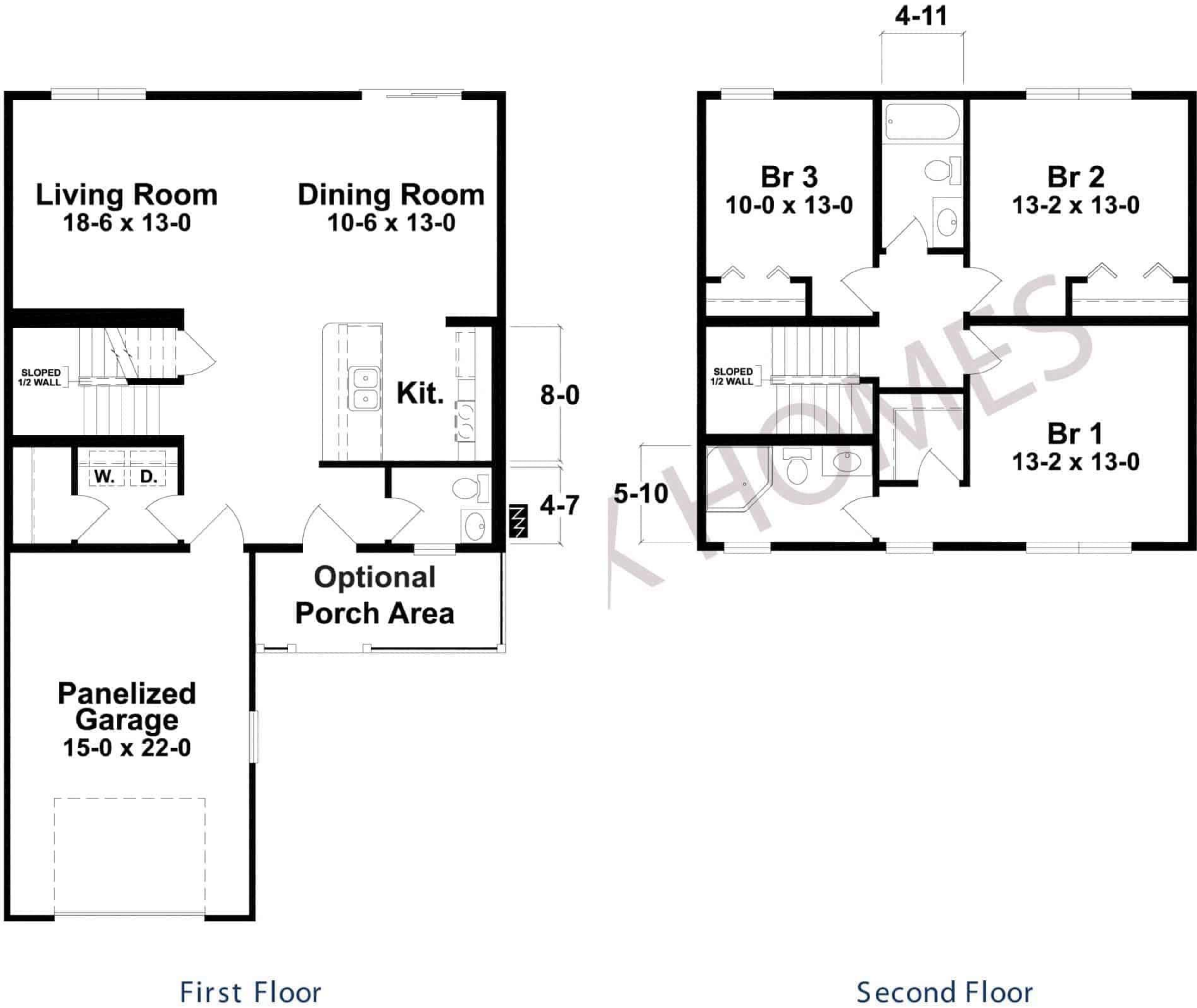
Link 3





[Link 3](#)

The Woodlawn I



DRAFT

MINUTES OF PUBLIC HEARING HELD BY THE PLANNING AND ZONING COMMISSION MAY 6, 2024

ROLL CALL:

MEMBERS PRESENT:

In Person: Eric Prause, Chairman
Patrick Kennedy, Vice Chairman (*Recused for REG-0002-2024*)
Michael Stebe, Secretary
Chris Schoeneberger
Daniela Luna
Michael Farina

Electronically: Teresa Ike

ALTERNATE MEMBER SITTING FOR SIDEWALK PLAN AND REG-0002-2024 ONLY:

In Person: Zachary Schurin

ALTERNATE MEMBER SITTING FOR REG-0002-2024 ONLY:

In Person: Bonnie Potocki

ALTERNATES PRESENT:

Electronically: Maliha Ahsan

ALSO PRESENT:

In Person: Megan Pilla, Principal Development Planner
Gary Anderson, Director of Planning & Economic Development
David Laiuppa, Environmental Planner/Wetlands Agent

Electronically: Katie Williford, Administrative Secretary

The Chairman opened the Public Hearing at 7:04 p.m. The Secretary read the legal notice for the application when the call was made.

SIDEWALK AND CURB PLAN 2024-2029 (Continued from April 15, 2024) – Proposed amendments to the Town Sidewalk and Curb Plan.

Ms. Pilla stated that, at the last meeting, there was a request to add language to the sidewalk plan stating that the text of the plan takes precedence over the map. After looking into it, Ms. Pilla realized that the original intent of the plan was the opposite. She displayed an excerpt from the current plan: “Regardless of the general policy and standards recommended in this Plan and contained in Table One above, the location of sidewalks on existing streets shall be based on the Sidewalk Location Map which is a part of this Plan.”

Ms. Pilla stated that the text of the plan and the requirements of Table One are meant to be guiding standards, but it would not be practical to apply them town-wide as blanket policies because there will be situations in which they are not practical. It might result in requiring

people to pay fees in lieu of sidewalk installation in locations where sidewalks realistically won't be installed, which is an unfair burden. She recommended not changing this language in the plan.

Regarding suggested additions to the map discussed at the previous meeting, Ms. Pilla said that Planning and Public Works staff went through the list of suggestions and added those that they felt were feasible as a note on the plan. The other suggestions were felt to be infeasible due to insufficient room in the right-of-way, rock outcroppings, or utility poles.

Ms. Pilla noted one correction: Adding the east side of Autumn Street is actually not feasible and was included on the list in error. She suggested a modification to remove that item from the list.

Mr. Farina expressed concern over the way in which staff handled requests made during the previous meeting, and asked how Ms. Pilla determined the original intent of the sidewalk plan.

Mr. Prause responded that the Commission is generally asking staff to check on their ideas and see if they're feasible, so this is not outside of the standard process. Regarding the question about the plan's original intent, he said there is a paragraph in the plan that talks about the Sidewalk Location Map being the final arbiter of what is proposed and what isn't.

Mr. Kennedy commented that the Commission hasn't decided anything until they close the hearing and vote.

Mr. Stebe commented that error inherently exists in the map, and there are so many caveats written into the text that he didn't think the text would force someone to pay a fee in lieu of putting in a sidewalk where there is a rock outcropping. He said that the fact that there is something in the language that says to use the map does not negate the Commission's request to substitute language to say the text is the driver. If, in the process, staff finds a roadblock, the request can be fulfilled while offering options for the Commission to make decisions.

Mr. Stebe asked what account fees in lieu of sidewalk installation go into.

In response to a question from Ms. Potocki, Ms. Pilla stated that the Board of Directors had no comment on the draft plan that was sent to them. The recommendations Ms. Pilla made are based on discussions with Public Works.

Mr. Farina commented on three changes that were discussed at the previous meeting:

1. The text taking precedence over the map.
2. Adding streets.
3. Adding language to the Critical Path Extensions section.

Regarding the proposed street additions that were not included, Mr. Farina said it is not staff's place to do cost benefit analysis, and staff should have done what the Commission asked and raised potential issues at this meeting for them to reconsider.

Ms. Pilla responded to the comments and questions from Commission members:

- Regarding the original intent of the plan, she said that the statement has been in the plan since it was written.

- Regarding errors on the map, she explained that some of the gaps on the map are not errors, but actually represent driveway aprons.
- Regarding the previous meeting, Ms. Pilla stated that she does not interpret lack of comment to mean unanimous consent. During her time working for the Town, when something is suggested, staff look into it and report back to the Commission with staff's recommendations. She reiterated that it is ultimately the Commission's decision.
- Regarding cost benefit analysis, Ms. Pilla clarified that it was not strictly referring to monetary costs, but rather to all pros and cons.
- Regarding school walk distances, Ms. Pilla stated that staff did not include it because Public Works staff agreed that the sentence Mr. Farina proposed (based on school walk distance and not radius) is not practical to be used by Public Works.
- Regarding proposed street additions that were not included, Ms. Pilla clarified that having room on the side of the street does not equal having right-of-way. Right-of-way relates to the property lines.
- Regarding fees paid in lieu of sidewalk installation, Ms. Pilla stated that they go into an account that is used only for sidewalk installations.

Chairman Prause asked if any member of the public wished to provide testimony about the sidewalk plan. No member of the public came forward.

Mr. Kennedy moved to close the public hearing on this item. Mr. Schoeneberger seconded the motion and all members voted in favor.

A discussion was held about the scheduled workshop on POCD implementation, and it was decided that it would be postponed until the May 20th meeting due to the anticipated length of the regular meeting.

HARTFORD HEALTHCARE CORPORATION – Applicant requests to amend the Manchester Zoning Regulations to add a subsection to Article IV, Section 13 to permit a limited exception to the maximum signage limitation for medical services. – Zoning Regulation Amendment (REG-0002-2024)

Mr. Kennedy recused himself for this application and Mr. Schurin was seated in his place.

Attorney Matt Ranelli of Shipman & Goodwin presented the application. Martha Santilli of Hartford Healthcare was also present. Attorney Ranelli stated that a pre-application review discussion took place in February and a sign variance had previously been denied by the Zoning Board of Appeals.

Attorney Ranelli said that the size of a wall sign is dictated by factors including the linear feet of the building face and the distance of the building from the street, and the applicant is limited to a very small sign on the front of the building at 376 Tolland Turnpike. He stated that the regulations allow gas stations and motels abutting limited access highways to have signs up to 200 sq. ft. and the applicant is requesting a similar exception for medical clinic and office uses.

Attorney Ranelli explained that the Hartford Healthcare building has a road between it and the highway, so their proposed text includes the language, “adjoining or abutting across the street a restricted access highway.”

Attorney Ranelli explained the reasons behind the elements of the proposed text:

- Facing the limited access highway: This was included because the applicant recognizes that there should not be a large sign with a small setback if there is a neighbor across street.
- Limited to the General Business zone and limited to abutting across the street: These were included so no one would suffer for the sign, so the public could see the sign, and so the exception will be narrow.

Attorney Ranelli said the proposal is consistent with the Plan of Conservation and Development (POCD), which recognizes that healthcare is an important industry in Manchester that is likely to continue to grow. One of the POCD's goals is to retain existing industry clusters, including healthcare.

Attorney Ranelli addressed the comments from Town staff as follows:

- The amendment would benefit three parcels.
- The applicant did not disagree with staff's suggestion to locate the amendment in Art. IV, Sec. 13.07.01.
- Regarding the phrasing of the proposed text: The terms "abutting" and "adjoining" are both used in the regulations, but the applicant would be happy to remove "adjoining," if desired. There is not a clearer phrase to use than "across the street." "Restricted access highway" is an existing phrase used in the regulations.

Ms. Pilla confirmed that staff recommended that the language be added to the end of Art. IV, Sec. 13.07.01, if approved. She stated that the Engineering Department commented that the ratio of the height of letters to the distance from the sign to the observer can affect a sign's legibility. The Commission might want to consider, if a sign is large enough to be seen from I-84, whether that will affect its legibility from Tolland Turnpike.

Attorney Ranelli noted that the sign at 376 Tolland Turnpike is viewed from an angle, not head on.

In response to questions from Mr. Stebe, Attorney Ranelli displayed an elevation showing the sign at the desired size and reiterated that the existing sign is smaller.

Mr. Stebe asked if there is anything in the proposed text that would prohibit another business at another location that fits the requirements from putting up something like a billboard. Mr. Ranelli suggested that the text could be changed to include wording such as "medical services offered at the location" to close that potential loophole, or the overall wall sign definition could be updated.

Mr. Stebe noted a future edit that will be needed at Art. IV, Sec. 13.05.07. That section refers to Art. IV, Sec. 24.02 for information relating to billboard signs, but Sec. 24.02 is now about electric vehicle charging stations.

Ms. Pilla clarified that the sign section of the regulations has its own definitions, which are broken up into categories. A sign can be both a wall sign and a business sign. It can be a certain definition based on construction and, simultaneously, a certain definition based on function.

In response to a question from Mr. Schoeneberger, Attorney Ranelli said that the sign says

Hartford Healthcare, and the applicant wants both more visibility and for people to be able to find the building from the highway.

In response to questions from Ms. Potocki, Attorney Ranelli said that Hartford Healthcare leases the entire building and permission for the sign is within their lease.

Ms. Pilla reported that the Capitol Region Council of Governments (CRCOG) had no comments on the proposed amendment.

Mr. Farina moved to close the public hearing on this application. Mr. Schoeneberger seconded the motion and all members voted in favor.

The Chairman closed the Public Hearing portion of the meeting at 8:10 p.m.

**NOTICE: A DIGITAL RECORDING OF THIS PUBLIC HEARING CAN
BE HEARD IN THE PLANNING DEPARTMENT.**

DRAFT

**MINUTES OF BUSINESS MEETING
HELD BY THE PLANNING AND ZONING COMMISSION
MAY 6, 2024**

ROLL CALL:

MEMBERS PRESENT:

In Person: Eric Prause, Chairman
Patrick Kennedy, Vice Chairman (*Recused for REG-0002-2024*)
Michael Stebe, Secretary
Chris Schoeneberger
Daniela Luna
Michael Farina
Electronically: Teresa Ike

ALTERNATE MEMBER SITTING FOR SIDEWALK PLAN AND REG-0002-2024 ONLY:

In Person: Zachary Schurin

ALTERNATE MEMBER SITTING FOR REG-0002-2024 ONLY:

In Person: Bonnie Potocki

ALTERNATES PRESENT:

Electronically: Maliha Ahsan

ALSO PRESENT:

In Person: Megan Pilla, Principal Development Planner
Gary Anderson, Director of Planning & Economic Development
David Laiuppa, Environmental Planner/Wetlands Agent
Electronically: Katie Williford, Administrative Secretary
Time Convened: 8:10 p.m.

BUSINESS:

SIDEWALK AND CURB PLAN 2024-2029 – Proposed amendments to the Town Sidewalk and Curb Plan.

MOTION: Mr. Kennedy moved to approve the 5-year update to the Sidewalk & Curb Plan as presented at the May 6, 2024 Planning & Zoning Commission meeting, with the modification that the reference to the addition of the east side of Autumn Street to the map be eliminated. Mr. Schoeneberger seconded the motion.

MOTION: Mr. Farina moved to amend the motion to make changes to the bullet points under Critical Path Extensions as follows:
1. Replace “has identified” with “identifies”

2. Add the paragraph, “The desire to see a Schoolwalk Safety plan implemented that prioritizes planning for sidewalk extensions and sidewalk gap filling on arterial and collector roads within a 1-mile schoolwalk distance to all public elementary schools, a 1.5 mile schoolwalk distance to Illing Middle School, and a 2-mile schoolwalk distance to Manchester High School.”
3. In the existing first bullet point, strike “schools” and “the school location.”

Mr. Stebe seconded the motion to amend the motion.

Mr. Farina emphasized that the switch from radius to school walk distance is only for arterial and collector roads and said Town staff’s proposed language would require adding many more sidewalks to the plan. He stated that drawing out routes along arterial and collector roads would be feasible and suggested that the Board of Education probably already has that information.

Mr. Kennedy said that Mr. Farina’s proposal is unworkable for the reasons that Ms. Pilla related from Public Works. Complicating the sidewalk plan by trying to do schoolwalk distances would divert resources unproductively, he said.

In response to questions from Mr. Prause, Ms. Pilla said that including a one mile radius around all schools, bus stops, and parks covers almost the entire town as a priority area, except for the southeast and southwest corners. All arterial and collector roads are included as priorities in the plan as written.

Mr. Prause, Mr. Stebe, Ms. Luna, Mr. Farina, and Ms. Ike voted in favor of the motion to amend the motion. Mr. Kennedy and Mr. Schoeneberger voted against the motion. The motion to amend the motion passed five to two.

MOTION: Mr. Farina moved to amend the motion to add the streets that were passed out by Mr. Farina to the map. Mr. Stebe seconded the motion.

After some discussion, Mr. Farina decided to make motions for each street one by one.

Mr. Kennedy said he did not think adding streets to the plan without having any expert basis for doing it was an appropriate way to proceed and he would not vote for adding streets to the plan.

Ms. Luna asked if there are right-of-way issues for any of the streets Mr. Farina proposed adding.

Ms. Pilla provided information on each of the streets:

- Parker Street has limited right-of-way.
- Porter Street is included.
- Charter Oak Street has limited right-of-way and utility poles.
- Middle Turnpike East is included.
- Tolland Turnpike has limited right-of-way. The Chatsworth Court development is under construction and the approved plans were designed to include a pedestrian crossing with the assumption that the north side sidewalk would be used because there is limited right-of-way on the south side.
- Spring Street has limited right-of-way.

Mr. Farina withdrew the motion but requested documentation of the rights-of-way at a future date.

Ms. Luna asked for clarification of what exactly staff meant by “limited right of way.” Mr. Anderson responded that, in this case, a lot of these streets are long streets and there is limited right of way along a good portion of the street, meaning that additional property would have to be taken in order to have a sidewalk all the way down the street. It’s a combination of the length of the street; the amount of space that would need to be taken, which the owners would need to be compensated for; and how disruptive to the community it would be.

In response to questions from Mr. Stebe, Ms. Pilla confirmed that the edits indicated with bubbles on the draft map will be translated into lines on the map after approval. That is not done in advance because it is based on GIS data, which is not updated until the plan is approved. The plan gets updated every 5 years by this commission unless Public Works proposes an update to correct an error.

All members voted in favor of the amended motion, with Mr. Schurin voting in place of Mr. Schoeneberger.

The Town of Manchester Sidewalk and Curb Plan update will be effective on May 28, 2024.

HARTFORD HEALTHCARE CORPORATION – Applicant requests to amend the Manchester Zoning Regulations to add a subsection to Article IV, Section 13 to permit a limited exception to the maximum signage limitation for medical services. – Zoning Regulation Amendment (REG-0002-2024)

Mr. Kennedy recused himself.

Zoning Regulation Amendment (REG-0002-2024)

MOTION: Mr. Stebe moved to approve the zoning regulation amendment to add language to Article IV, Section 13 to permit a limited exception to the maximum signage limitation for medical services, with the modification that the proposed language be added to the end of Art. IV, Sec. 13.07.01 instead of creating a new Sec. 13.10.06.04.

Mr. Farina seconded the motion and all members voted in favor, with Ms. Potocki voting in place of Mr. Schoeneberger.

The reason for the approval is that the proposed amendment is consistent with the following recommendations of the Plan of Conservation and Development:

- As stated in the applicant’s submitted narrative.
- “*Distribution, Healthcare, & Industry*” recommendation #2: Continue to retain existing industry clusters in distribution, healthcare, manufacturing, logistics, etc.

The zoning regulation amendment will be effective on May 28, 2024.

TRIVIK BUILDERS, LLC – Modification to site plans at 27 Lillian Drive. – PRD Detailed Site Plan Modification (PRD-0001-2024)

Mr. Wes Wentworth, professional engineer and soil scientist with Wentworth Civil Engineers, Lebanon, CT, presented the application. Hari Kuppuraj, managing member of Trivik Builders, was also present.

Mr. Wentworth provided background on the project, which was approved in 2021 for a 37-unit residential development. Construction has been underway for the past few years and some field changes were made during construction.

Mr. Wentworth detailed the major modifications:

- The 2-ft. grass strip between the sidewalk and parking in front of the buildings was removed.
- Instead of having a full 6-in. curb, the pavement is flush with the sidewalk.
- Because of the removal of the grass strip, light poles were installed in the sidewalk. The sidewalk around the lights was widened to allow for passable space around the lights.
- Buildings C, F, and E are split-level buildings. Sidewalks are supposed to continue in front of those but, instead, they put a retaining wall that prevents passing through on those concrete walks.

Mr. Wentworth stated that Town staff did not approve of those changes. He said that they could include the grass strip and still accommodate the minimum 24 ft. lane width and 18 ft. deep parking spaces. However, they could not have a curb there because it would be 6 in. higher than the sidewalk and would cause flooding during rainstorms. They are proposing wheel stops for safety in those areas.

Mr. Wentworth stated that they eliminated the retaining walls from the plan and proposed some steps. Staff did not approve of that change either and, following a conversation with Ms. Pilla, they have proposed regrading in those areas so the sidewalk can go straight through. The only change based on the approved plan would be, on Building F, the unit to the south would require two steps from the sidewalk to get to the front door.

Other changes include that Building B will now have 2 ADA units, and two parking spaces onsite have been relocated with no net change in the number of parking spaces.

Mr. Wentworth summarized how the plans have ended up after staff review:

- The grass strips are still in front of the parking spaces, but wheel stops are proposed instead of curbs.
- In the rears of all of the buildings, there are concrete pads. The grading had to be changed to allow for those.
- There are 2 ADA units in Building B.
- Building F has two steps down into one lower unit only.
- Parking spaces from elsewhere on site were relocated to in front of the ADA units.
- A community mailbox was added in the island in the parking area.

In response to a question from Mr. Prause, Ms. Pilla stated that the plan being presented was

provided today. It addresses most, if not all, of staff's concerns; however, since it just arrived today, other departments have not viewed it yet. She recommended that the Commission not make a decision until other departments have a chance to review the plans.

In response to a question from Mr. Prause, Mr. Wentworth said the walls are not still blocking the sidewalk. The grading has been changed. It will be an elevated sidewalk with a landing and then another elevated sidewalk, and that is over a distance of about 30 ft. There will be a few retaining walls just to prevent erosion. It will be possible to walk through with no steps.

Mr. Prause asked Mr. Wentworth to walk the Commission through some updated elevation views at the next meeting.

Regarding the sidewalks and the ADA units in Building B, Mr. Stebe asked if the slopes are within ADA slope compliance. Mr. Wentworth confirmed that they are. Regarding access between the building and mailbox, Mr. Wentworth said that Mr. Kuppuraj contacted USPS, and they will deliver directly to those two units.

Mr. Stebe asked about the reason for the extension of the storm drains behind Buildings B and C. Mr. Wentworth said the contractor made a decision in the field and it was a conservative measure; yard drains are good to add sometimes to reduce the chance of ponding or erosion.

In preparation for the next meeting, Mr. Stebe requested that, in the meeting packet, staff help the Commission understand the narrative and the changes that are being made.

Mr. Wentworth said that he submitted revised plan sheets today but would revise the whole plan set so it is one clean set.

Mr. Farina asked if there are any modifications that staff did not object to that the Commission could act on tonight. Mr. Wentworth replied that they still would not be able to get COs for the buildings, which is the goal.

The application will be discussed again at the May 20, 2024 meeting.

BOTTICELLO PROPERTIES LLC – Show Cause Hearing – Cease and Desist Order for violations to the Inland Wetlands and Watercourses Regulations at 69 Woodside Street

Mr. Laiuppa said that there have been previous violations on the property for the same issue, agricultural discharge into a regulated area. The property owner or their representative has been working toward compliance, but the measures taken were not successful. The Cease and Desist Order has been issued because the last Notice of Violation, issued in December, was not complied with. It required plans, which were submitted and agreed upon. It was also discussed, at that time, that there would be no activity on the west side of the pasture land without permission from the Town, because it is Town-owned property.

Mr. Laiuppa stated that activity was done on the west side of the pasture, on Town property, and the submitted plans had not been followed. Prior to visiting the site, Mr. Laiuppa was told by the representative for the owner that they had a different idea than what was on their plan, and he let them know that it had to be presented in writing before they took any actions. They took those actions without approval.

Mr. Laiuppa presented the observed flow patterns leaving the pasture. There is a compost area to the east of the pasture. A swale in the pasture collects runoff from the pasture and compost area. As soon as it leaves the pasture, it enters an intermittent watercourse, which is a regulated resource. Beyond that, there is a wetland area. Anything discharging that isn't clean water is a violation of the regulations, Mr. Laiuppa said.

Mr. Laiuppa stated that there is a newly cut swale that intercepts the runoff from the swale in the pasture and sends it to the north. While it does stop the illicit discharge into the watercourse and wetland, it violates the agreement that no activity would be done on the west side. It also intercepts water that would have been feeding into the wetland and watercourse. The goal is for the water to flow, but to be clean, he said. The original plan incorporated changes to act as a filter: Widening the swale, filtration, and vegetation to uptake excess nutrients. Because the plans weren't followed, this was a violation and the Cease and Desist Order was issued.

Mr. Laiuppa presented the text of the Cease and Desist Order, which included a requirement that either the previously agreed upon plans be implemented by May 17th, or a new set of plans be submitted by May 10th.

Mr. Laiuppa presented photos of the property:

- In August 2023, flow was coming out of the pasture and onto Town property. He noted an area, on Town property, that had been vegetated but was mowed by the property owner.
- In April 2024, there was a berm that included soil and wood chips that cut off flow to the stream. The newly constructed swale takes the flow to the north. There is a concrete pipe as a physical crossing to get from one side of the swale to the other. All of this activity is on Town property.

Attorney Kevin O'Brien, O'Brien Law, West Center Street, represented Botticello Properties LLC. Anthony Botticello, a member of the LLC, and Ethan Dougan, the one who met with Town staff, were also present.

Attorney O'Brien explained that the applicant had always believed that the property line was the wood line.

Attorney O'Brien stated that he and Mr. Dougan met with Town staff in winter and said they would fix the issue in spring. Mr. Dougan does not work on the farm, so another person did the work. That person, understanding that the Town wanted to stop the pollution of the watercourse, built that trench and put up that berm.

Attorney O'Brien asked for more time to work this out with Town staff. Assuming it is Town property, they would have to fill in the trench and perhaps go back to the plan agreed to last January. He explained that they thought the biggest problem was the pollution, and they will do what is necessary. He was unsure if the required timeframes are practical; another week or two would be helpful.

Mr. Laiuppa said the Commission could be flexible on the timeline, but he would not want to add too much time. To implement the previously agreed upon plan, Botticello Properties would have 11 days. To submit a new plan, they would have 4 days. It seems there needs to be more education about the intent and what may be required to keep the system healthy, Mr. Laiuppa

said, so if they want to propose new plans, it may take longer than 4 days.

Mr. Kennedy asked if an extension of the deadlines to May 24th and 31st would work. Attorney O'Brien believed it would work for the farmers.

Mr. Stebe noted that this has been under discussion since well before December. He suggested that May 17th was a reasonable deadline for both parties to agree on a final plan. Attorney O'Brien and Mr. Laiuppa agreed that timeline would work.

Mr. Laiuppa pointed out that today is not the day these dates were presented; the Order was issued on April 29th. The correction of the activities (the swale) will require coordination with Public Works. There will also be discussion outside of the realm of wetlands violations by the Public Works Director, so there will be other things happening in parallel.

Mr. Farina said he was amenable to the modification. He referred to a mention of water going onto the property from the road due to the lack of a curb, and asked staff if there is anything that needs to be adjusted on the Town's end.

Mr. Laiuppa said he spoke to the Director of Public Works about that. If there is proof that it is occurring, it can be addressed. Public Works is not aware of that happening, so the property owner would need to document that.

In response to a question from Mr. Schoeneberger, Mr. Laiuppa said, with regard to the swale, it is a Cease and Correct Order. It won't be just filling in the swale; the tree warden has to weigh in as to whether there was damage from roots being cut when creating the swale.

Mr. Schoeneberger encouraged the Commission to give the farmers time to address the situation.

Regarding the discussion of discharge to neighboring properties in East Hartford, Mr. Laiuppa emphasized that the purview of this commission is the protection of regulated resources in Manchester.

Mr. Prause commented that the wetlands regulations already allow a lot of latitude for agriculture to do what it needs to do, but at this point it has become damaging to the wetlands. He asserted that the Commission supports farming and agriculture.

Show Cause Hearing

MOTION: Mr. Kennedy moved to uphold the Cease & Desist Order issued by David Laiuppa, Inland Wetlands Agent, on April 29, 2024, with the modifications:

1. That the deadline for implementation of the previously agreed upon plan be extended to May 31, 2024, and
2. That the deadline for submission of a new plan be extended to May 24, 2024.

Mr. Schoeneberger seconded the motion and all members voted in favor.

ADMINISTRATIVE REPORTS:

Upcoming Training Opportunities

Ms. Pilla stated that the CLEAR Land Use Academy will hold a training session about fair and affordable housing policies on May 17th.

IWP-0036-2023 (177 & 181 Wyneding Hill Road) – Appeal update

Ms. Pilla informed the Commission that the judge overseeing this appeal is pushing for mediation, so Assistant Town Attorney John Sullivan will join the next meeting for a brief executive session to explain what that means and to ask the Commission’s opinion. Executive sessions are generally not recommended for planning and zoning commissions, but this is a rare case that involves litigation.

Mr. Anderson commented that Planning staff and the Commission have traditionally had a close working relationship, and they are working toward the same goals. He stressed that there was no intentional usurping of the Commission’s authority. Staff did what they felt was right and what the Commission wanted. In the future, staff will work to ensure it is clear what the Commission is directing them to do.

Mr. Prause asked if there was any update on the Connecticut Siting Council petition for 250 Carter Street. Ms. Pilla said the evidentiary session began on May 2nd and was continued to May 21st. The Siting Council did extend their deadline to make a final decision to September or October.

Ms. Potocki informed the Commission that she had submitted her letter of resignation from the Commission, and there will be a replacement at the May 20th meeting. The commissioners expressed their appreciation for Ms. Potocki’s contributions.

Mr. Prause raised the possibility of scheduling a third meeting in May. After a discussion, the Commission decided not to hold a third meeting, but to schedule the POCD workshop and executive session for May 20th and the Rules of Procedure workshop for June 3rd.

APPROVAL OF MINUTES:

April 15, 2024 – Public Hearing/Business Meeting

MOTION: Mr. Farina moved to approve the minutes as written. Mr. Kennedy seconded the motion and all members voted in favor.

RECEIPT OF NEW APPLICATIONS:

There were no new applications.

The Chairman closed the business meeting at 9:56 p.m.

I certify these minutes were adopted on the following date:

Date

Eric Prause, Chairman

NOTICE: A DIGITAL RECORDING OF THIS BUSINESS MEETING CAN BE HEARD IN THE PLANNING DEPARTMENT.