

**TOWN OF MANCHESTER
PLANNING AND ZONING COMMISSION**

June 3, 2024
7:00 P.M.

Lincoln Center Hearing Room, 494 Main Street
Or virtually, via Zoom

AGENDA

This meeting will be held both in person and virtually, via Zoom. The meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting> by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to pzccomments@manchesterct.gov, or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.

BUSINESS:

1. **JULIANO'S POOLS** – Relocation of septic leaching field and construction of a new in-ground pool with patio and safety fence at 37 Pondview Drive.
 - Inland Wetlands Permit (IWP-0051-2023)

2. **TOWN OF MANCHESTER PUBLIC WORKS DEPT** – Parking lot improvements including pavement replacement, grading to drain, installation of new drainage swale within infiltration trench, replacement of wooden barrier rail, and ADA improvements at 864 Middle Turnpike West.
 - Inland Wetland Permit – Determination of Significance (IWP-0007-2024)

3. **TOWN OF MANCHESTER** – Potential acquisition of 1041 Main Street, 22 Maple Street, and 25 Eldridge Street.
 - Mandatory Referral (MR-0001-2024)

4. **TOWN OF MANCHESTER** – Potential disposition of 601 Lydall Street.
 - Mandatory Referral (MR-0003-2024)

5. **ADMINISTRATIVE REPORTS**
 - Upcoming Training Opportunities

6. **APPROVAL OF MINUTES**
 - [May 20, 2024](#) – Public Hearing/Business Meeting

7. **RECEIPT OF NEW APPLICATIONS**

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: David Laiuppa, Environmental Planner/Wetlands Agent

DATE: May 30, 2024

RE: Juliano's Pools – 37 Pondview Drive
Inland Wetlands Permit (IWP-0051-2023)

DL

Introduction

The applicant is requesting approval of a wetland permit for the relocation of a septic leaching field and construction of a new inground pool at 37 Pondview Drive. This project is in the upland review area of a wetland system to the east.

Project Description

Juliano's Pools, on behalf of the property owner at 37 Pondview Drive, proposes to relocate a portion of an existing septic leaching field in order to construct a new inground swimming pool at 37 Pondview Drive. In order to meet local Health Department requirements, the existing septic leaching field must be relocated so that a new pool may be constructed. The leaching field and pool are both proposed to be within the upland review area of a larger wetland system to the east of the project. The proposed impacts from this project will be approximately 5,000 square feet in the upland review area.

Inland Wetlands Permit

It is estimated that the project will disturb approximately 5,000 square feet (0.11 acres) within the 100' regulated upland review area. This disturbance will be permanent and is associated with the relocation of the leaching field and the construction of a new, inground pool.

Control measures will include the use of a construction entrance and the installation of silt fence along the eastern side of the project limits downgrade of the proposed construction.

The total proposed area of **direct disturbance within the upland review area is 0.11 acres.**

[NOTE: This number is provided by the applicant.]

Determination of Significance

At its meeting on May 20, 2024, the Commission determined that the proposed project **would not** have a significant impact on the adjacent wetlands.

Staff Review

Town staff has reviewed the plans and documents submitted with this application and the status of any comments will be reported at the June 3, 2024 meeting.

dl/kw

R:\Planning\PZC\2024\06 - June 03\Packet\IWP-0051-2023 (37 Pondview) - Memo.docx

Attach.

Town of Manchester, CT



Geographic Information Systems 37 PONDVIEW DRIVE

Legend

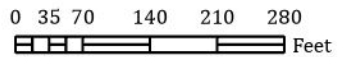
Zoning

RR - Rural Residence



DISCLAIMER:
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

NOTES:
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-built and/or field survey data. Aerial photography dated April 24, 1999.



1 inch = 200 ft

Date: 5/16/2024

Town of Glastonbury

N



April 8th, 2024

Town of Manchester Inland Wetlands Agency

Subject: Swimming Pool Installation at 37 Pondview Drive

To Whom It May Concern,

The information below pertains to the wetlands application for 37 Pondview Drive. The application has been filed by Juliano's Pools on behalf of the homeowner, Jose and Lynnette Fabian. The application is being filed per the request of the Town of Manchester to ensure wetlands compliance.

At A Glance

Homeowner: Jose Fabian

Address: 37 Pondview Drive

Phone: 860-989-9324

Project: Construction of a new 20x34 inground pool and 4' safety fence with self-closing and self-latching gate.

Location of Pool/Fence: See attached plot plan.

Materials: Suitable soil will be used for backfill; unsuitable soil will be hauled away.

Significant Event Q/A

- Will the proposed activity involve the deposit or removal of material in or near a regulated area?
20x34 inground pool and 4' safety fencing will be built within wetlands upland review area on established lawn. Silt fence and straw wattles (if req'd) will be installed prior to the start of work.
- Will the proposed activity change the natural channel or inhibit the natural dynamics of a watercourse system? **No**
- Will the proposed activity cause any decrease in the natural capacity of a wetlands or watercourse to: support desirable fisheries, wildlife, or other biological life; prevent flooding; supply water; assimilate waste; facilitate drainage; or provide recreation or open space? **No**
- Will the proposed activity cause turbidity, siltation or sedimentation in a wetlands or watercourse? **No**
- Will the proposed activity diminish the flow of a natural watercourse or the groundwater levels of the regulated area? **No**
- Will the proposed activity cause or have the potential of causing pollution of groundwater, a wetlands or watercourse? **No**
- Will the proposed activity create conditions that may adversely affect the health, welfare and safety of any individual or the community? **No**
- Will the proposed activity destroy a wetlands or watercourse? **No**
- Will the proposed activity have a major effect or substantial impact on the area for which this application has been filed or on another part of a wetlands or watercourse? **No**

Construction Approach

Throughout the construction process at 37 Pondview Drive, Juliano's Pools will use the utmost care to ensure there is zero impact to the nearby wetland area.

The following is an explanation of the various phases of the construction process, the safeguards that will be in place to protect the regulated area, and the type of equipment which will be used for the construction of the Inground swimming pool.

Phase 1 – Excavation

Prior to the start of any excavation, Juliano's Pools will meet all CT Guidelines for Erosion and Sediment Controls. Juliano's Pools will properly erect silt fence and place straw wattles as needed to stop any erosion into the wetland area/buffer. The silt fence will be carefully toed in and straw wattles will be staked into the ground with wooden plow stakes.

Excavation of the pool will be done by Juliano's Pools. We use no subcontractors for excavation, therefore we are able to better control the project and ensure all workers are aware of the nearby wetland buffers. A Gehl 802 excavator will be used during the excavation phase. Juliano's Pools has an in-house mechanic who meticulously goes through the machine, to ensure there are no oil leaks or leaking hydraulic hoses, on a regular basis. This excavator is also equipped with rubber tracks to help reduce the amount of grass that is torn up and eliminates damage to any paved road.

Excavated material may be temporarily stockpiled on site for backfill and final grading purposes. Excess material that is not needed will be hauled away by a tri axle dump truck.

Phase 2 – Wall Erection

During this phase of construction no equipment will be used. The only vehicle entering the property will be a concrete truck to pour the footing for the pool.

Phase 3 – Electrical Work

A mini excavator with a 1' wide bucket and rubber tracks will be used to dig the trench for the electrical conduit from the house to the equipment.

Phase 4 – Plumbing

No equipment will be used during this phase

Phase 5 – Vermiculite Pool Bottom

A small paddle mixer will be used to mix the vermiculite.

Phase 6 – Liner Installation

No equipment will be used during this phase

Phase 7 – Pool Backfill

To backfill the pool, we will use a Takeuchi skidsteer. This machine has rubber tracks on it to minimize impact on any areas where it travels.

Phase 8 – Pool Decking / Fence / Landscaping

After the pool is backfilled the concrete decking will be poured. For this, a concrete truck will once again access the property to pour the concrete. Once the concrete is completed, we will come back to final grade the yard. To do this grading we will bring in the Takeuchi skidsteer again. During this phase we will also be spreading topsoil. The silt fence and hay bales will stay in place until grass is established.

The fence will be installed once the grading is done so it can be set to the proper height.

Phase 9 – Pool Operation/Maintenance

Ongoing pool operation and maintenance will have no impact to the property or wetlands. We own water trucks and can haul away water in the fall when we pump approximately 6" of water out of the pool for winterization. This water can be repurposed and put into other new swimming pools.

In conclusion, Juliano's Pools will exercise a tremendous amount of care to ensure that there is no negative impact to the regulated area throughout the construction process. The biggest reason we can ensure this is that we unprecedentedly haul away ALL material leaving only a virgin ground hole. We have been installing inground pools for 20 years with many of them being within regulated wetlands area. Juliano's has successfully sought over 100 permits with similar or greater wetland intrusion in Hartford, Tolland, Windham, Middlesex, New Haven, and Litchfield counties in Connecticut. All such jobs were executed professionally and flawlessly.

If you have any questions, please feel free to Juliano's Pools at (860) 870-1085.

Sincerely,

A handwritten signature in black ink, appearing to read "Bryan Cormier". The signature is fluid and cursive, with the first name "Bryan" and last name "Cormier" clearly distinguishable.

Bryan Cormier, Project Manager



Ian Cole, LLC

Professional Registered Soil Scientist / Professional Wetland Scientist

PO BOX 619

Middletown, CT 06457

Itcole@gmail.com

860-514-5642

January 5, 2024

Mrs. Lynette Dumond
37 Pondview Drive
Manchester Connecticut 06040

RE: Wetland Delineation Report, 37 Pondview Drive, Manchester, Connecticut.

Dear Mrs. Dumond:

At your request, I completed a field delineation of the jurisdictional inland wetlands and watercourses boundaries on the above referenced 3.04 +/- acre residential parcel.

WETLAND DELINEATION METHODOLOGY

The wetland survey was completed in accordance with the standards of the Natural Resources Conservation Services (NRCS) National Cooperative Soil Survey and the definitions of inland wetlands and watercourses as found in the Connecticut General Statutes, Chapter 440, Sections 22a-36 through 22a-45 as amended. Wetlands, as defined by the Statute, are those soil types designated as poorly drained, very poorly drained, floodplain or alluvial in accordance with the NRCS National Cooperative Soil Survey. Such areas may also include disturbed areas that have been filled, graded, or excavated and which possess an aquic (saturated) soil moisture regime.

Watercourses means rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs, and all other bodies of water, natural or artificial, vernal, or intermittent, public, or private, which are contained within, flow through or border upon the Town of Manchester or any portion thereof not regulated pursuant to sections 22a-28 through 22a-35, inclusive, of the Connecticut General Statutes. Intermittent watercourses are defined permanent channel and bank and the occurrence of two or more of the following characteristics: (a) evidence of scour or deposits of recent alluvium or detritus, (b) the presence of standing or flowing water for duration longer than a particular storm incident, and (c) the presence of hydrophytic vegetation.

WETLAND SURVEY RESULTS

An on-site wetland survey was completed on January 3, 2024, to examine the upper 20" of the soil profile for the presence of hydric soil conditions and delineate all wetland and/or watercourse boundaries located on the property. The wetland survey was completed under blue sky conditions when the ground was free of frost and clear of snow. Those areas meeting the wetland criteria noted above were marked in the field with sequentially numbered pink and blue wetland flagging labeled, 1 through 34 (See wetland sketch). Please note the wetland sketch is for planning purposes and the graphic showing the wetland locations are subject to refinement once traditionally located by a Licensed Land Surveyor and formally adopted by the Town.

An existing residential dwelling and associated appurtenances are located in the northwestern developed corner of the 3.04-acre parcel. A seasonally flooded forested wetland corridor bisects the middle of the property. The on-site wetland is associated with a narrow (2-3' wide) watercourse that drains onto the property from the north and flows along the western wetland boundary line before discharging into a man-made pond that was excavated adjacent to Pondview Drive. The scrub-shrub edge of the wetland boundary in the vicinity of the planned site improvements is very well-defined, marked by the limits of clearing for the original development of the lot in 2000.

The dominate wetland vegetation includes but is not limited to: Red maple, willow, winterberry, highbush blueberry, Japanese barberry, silky dogwood, multiflora rose, spicebush, honeysuckle, alder.

Representative site photos are provided below.

SOIL SURVEY

The soils identified on-site are a refinement of the Natural Resources Conservation Service (NRCS) Websoil Soil Survey. The project site is characterized by "red" soils which are common in central Connecticut, including Manchester and formed from red parent material (typically Triassic sandstone) abundant in iron oxides. These red soils are resistant to the formation of redoximorphic features which are often used to identify wetland soils.

Wetland Soils

The wetland soil along the delineated wetland boundary is mapped and classified as belonging to the poorly drained Wilbraham and Menlo soil series. These dense silt loam hydric soils are found on gently sloping foothills and in the low-lying positions in drainageways.

Upland Soils

The upland soils on the higher elevations are mapped and classified as moderately well-drained Ludlow silt loams. Ludlow silt loams are associated with a high seasonal water-table, and slow permeability rates in the substratum.

A copy of the NRCS soil survey is attached for your reference.

If you have any questions or comments, please do not hesitate to contact me at itcole@gmail.com or (860) 514-5642

Sincerely,



Ian T. Cole
Professional Registered Soil Scientist
Professional Wetland Scientist #2006

Attachments
GIS LOCUS MAP
WETLAND SKETCH
NRCS SOIL MAP
SITE PHOTOS

Town of Manchester, CT



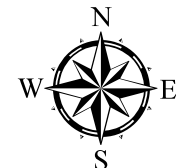
Town of Manchester, CT

DISCLAIMER: This map is compiled from other maps, deeds, dimensions and other sources of information. Not to be construed as accurate surveys and subject to final changes as a more accurate survey may disclose.

NOTES: Original planimetric and topographic data were compiled by stereophotogrammetric methods from photography dated April 1999 in accordance with ASPR accuracy standards for 1 inch = 40ft large scale Class 1 mapping. The updating of the GIS data is performed by the GIS/Maps & Records Unit on a continual basis utilizing the best and most appropriate sources available.

1 inch = 100 feet

Author:

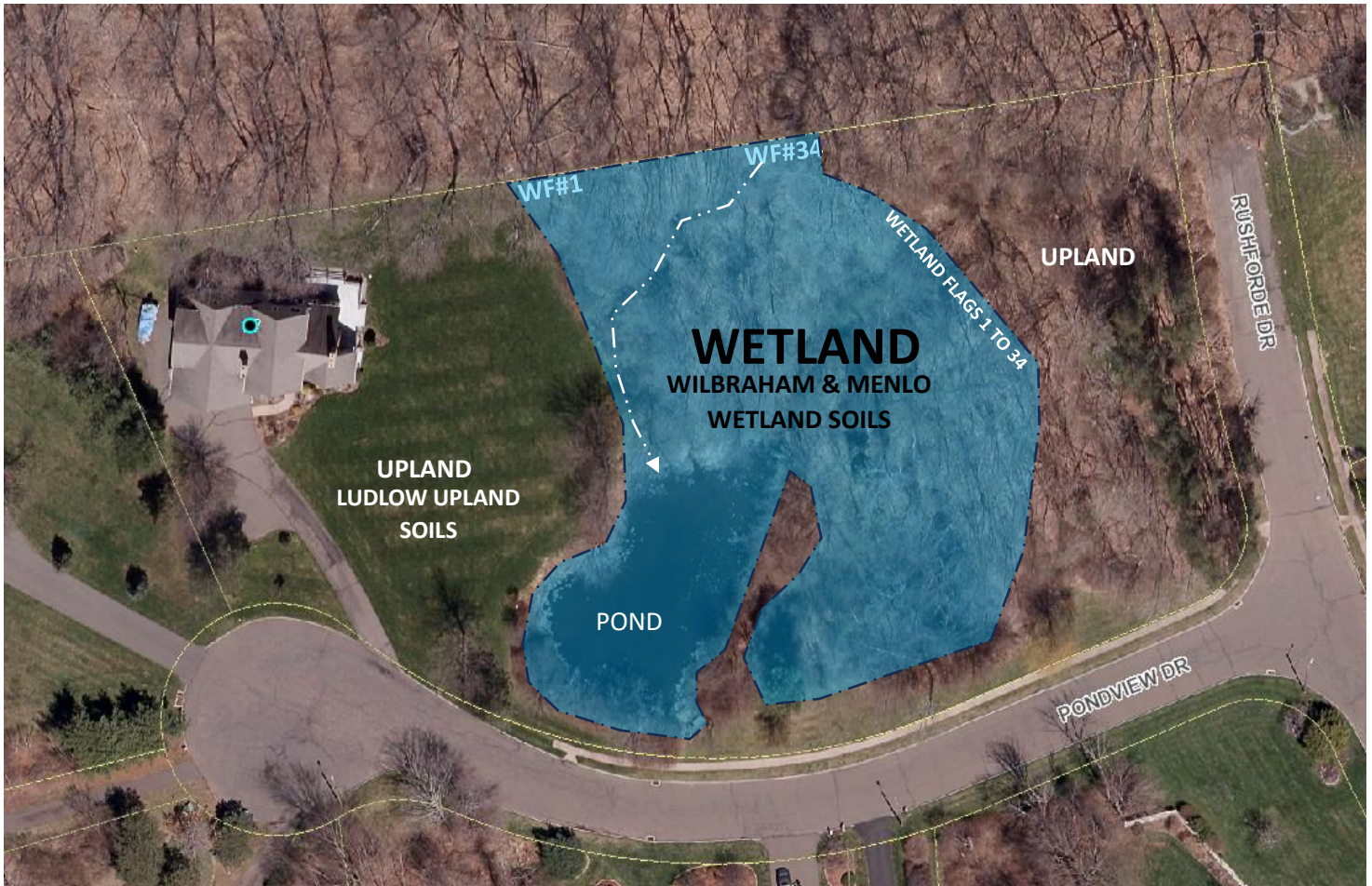


Date: 12/29/2023

WETLAND SKETCH

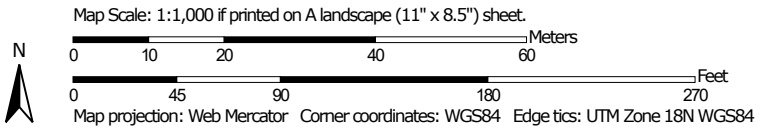
37 PONDVIEW DRIVE

MANCHESTER



Disclaimer: This map is for planning purposes only. Verification of its accuracy, currency and completeness is the responsibility of the reader's own independent research. All inland wetland and watercourse boundaries are subject to refinement once traditionally field located by a Licensed Land Surveyor and formally adopted by the Town. Ian Cole LLC shall not be held liable for any loss, damages or claims made in relation to anyone referring to this map.

Soil Map—State of Connecticut, Western Part



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut, Western Part

Survey Area Data: Version 1, Sep 15, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Oct 6, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
6	Wilbraham and Menlo soils, 0 to 8 percent slopes, extremely stony	2.8	85.2%
40B	Ludlow silt loam, 3 to 8 percent slopes	0.5	14.8%
Totals for Area of Interest		3.3	100.0%

State of Connecticut, Western Part

5—Wilbraham silt loam, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 2wh26

Elevation: 0 to 770 feet

Mean annual precipitation: 36 to 53 inches

Mean annual air temperature: 41 to 54 degrees F

Frost-free period: 140 to 220 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Wilbraham and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wilbraham

Setting

Landform: Depressions, drainageways, hills, drumlins, ground moraines

Landform position (two-dimensional): Toeslope, footslope

Landform position (three-dimensional): Head slope, base slope

Down-slope shape: Concave

Across-slope shape: Concave

Parent material: Red coarse-loamy lodgment till derived from basalt and/or sandstone and shale

Typical profile

Ap - 0 to 8 inches: silt loam

Bw1 - 8 to 19 inches: silt loam

Bw2 - 19 to 25 inches: silt loam

Cd - 25 to 61 inches: gravelly loam

Properties and qualities

Slope: 0 to 3 percent

Depth to restrictive feature: 16 to 35 inches to densic material

Drainage class: Poorly drained

Runoff class: Low

Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately low (0.00 to 0.14 in/hr)

Depth to water table: About 0 to 10 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 5.5 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4w

Hydrologic Soil Group: C/D

Ecological site: F144AY009CT - Wet Till Depressions
Hydric soil rating: Yes

Minor Components

Ludlow

Percent of map unit: 10 percent
Landform: Drumlins, hills
Landform position (two-dimensional): Summit, footslope
Landform position (three-dimensional): Base slope, crest
Down-slope shape: Concave
Across-slope shape: Linear
Hydric soil rating: No

Menlo

Percent of map unit: 5 percent
Landform: Depressions, drainageways
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Data Source Information

Soil Survey Area: State of Connecticut, Western Part
Survey Area Data: Version 1, Sep 15, 2023

State of Connecticut, Western Part

40B—Ludlow silt loam, 3 to 8 percent slopes

Map Unit Setting

National map unit symbol: 9Inj

Elevation: 0 to 1,200 feet

Mean annual precipitation: 43 to 54 inches

Mean annual air temperature: 45 to 55 degrees F

Frost-free period: 140 to 185 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Ludlow and similar soils: 80 percent

Minor components: 20 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Ludlow

Setting

Landform: Drumlins, hills

Down-slope shape: Concave

Across-slope shape: Linear

Parent material: Coarse-loamy lodgment till derived from basalt and/or sandstone and shale

Typical profile

Ap - 0 to 8 inches: silt loam

Bw1 - 8 to 20 inches: silt loam

Bw2 - 20 to 26 inches: silt loam

Cd - 26 to 65 inches: gravelly loam

Properties and qualities

Slope: 3 to 8 percent

Depth to restrictive feature: 20 to 40 inches to densic material

Drainage class: Moderately well drained

Runoff class: Medium

Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately high (0.00 to 0.20 in/hr)

Depth to water table: About 18 to 30 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 4.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: C/D

Ecological site: F145XY014CT - Moist Dense Till Uplands

Hydric soil rating: No

Minor Components

Wethersfield

Percent of map unit: 5 percent
Landform: Drumlins, hills
Down-slope shape: Linear
Across-slope shape: Convex
Hydric soil rating: No

Wilbraham

Percent of map unit: 5 percent
Landform: Depressions, drainageways
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Watchaug

Percent of map unit: 3 percent
Landform: Hills, till plains
Down-slope shape: Linear
Across-slope shape: Concave
Hydric soil rating: No

Cheshire

Percent of map unit: 3 percent
Landform: Hills, till plains
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Menlo

Percent of map unit: 2 percent
Landform: Depressions, drainageways
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Yalesville

Percent of map unit: 1 percent
Landform: Hills, ridges
Down-slope shape: Convex
Across-slope shape: Linear
Hydric soil rating: No

Unnamed, stony surface

Percent of map unit: 1 percent
Hydric soil rating: No

Data Source Information

Soil Survey Area: State of Connecticut, Western Part
Survey Area Data: Version 1, Sep 15, 2023

WETLAND SURVEY PHOTOS

JANUARY 3, 2024

37 PONDVIEW DRIVE

MANCHESTER

CONNECTICUT



Photo 1: WETLAND/POND



Photo 2: WETLAND / POND edge , typical conditions of the wetland at edge of maintained lawn.

Wetland Delineations

Wetland Evaluations

Soil Evaluations



Photo 3: Typical conditions of wetland boundary proximal to proposed pool.

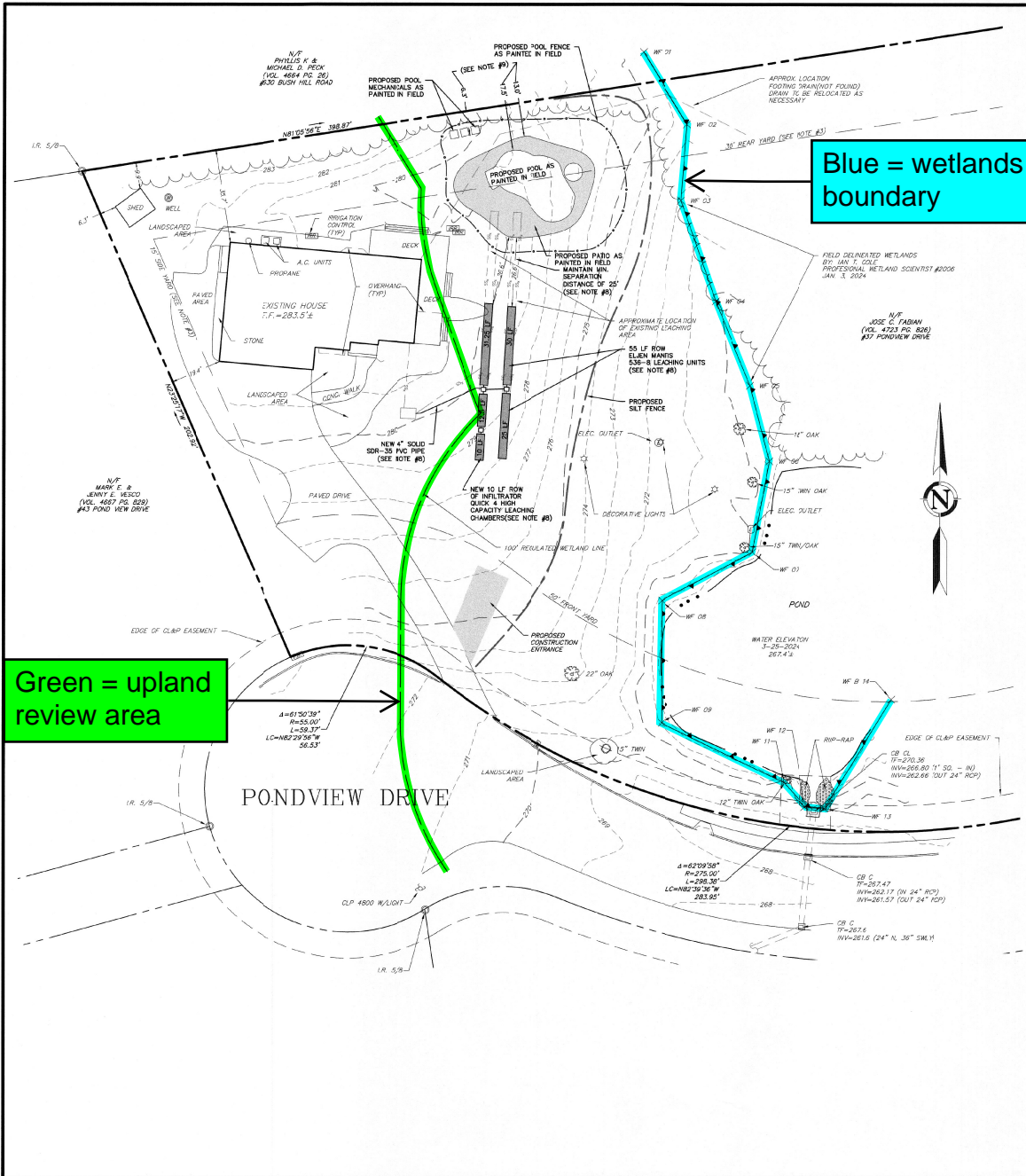


Photo 4: Example of the upland review area between the existing house and the wetland boundary.

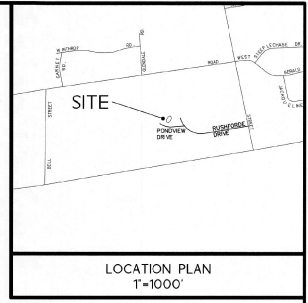
Wetland Delineations

Wetland Evaluations

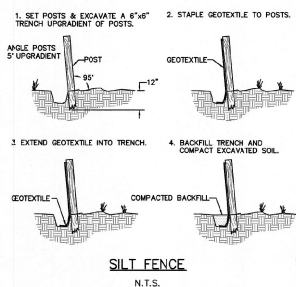
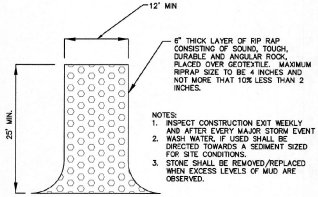
Soil Evaluations



LEGEND	
EXISTING	DESCRIPTION
---	COMMUNICATION
---	OVERHEAD COMM LINES (CABLE, TEL, ETC.)
---	APPROX. UNDERGROUND COMMUNICATION LINES
---	DOMESTIC WATER
---	APPROX. WATER MAIN
---	APPROX. WATER SERVICE
---	WATER VALVE
---	FIRE HYDRANT
---	LIGHTING
---	POLE MOUNTED LIGHT
---	NATURAL GAS
---	GAS VALVE
---	APPROX. GAS MAIN
---	APPROX. GAS SERVICE LINE
---	POWER
---	ELECTRICAL LINES, OVERHEAD
---	APPROX. ELECTRICAL LINES, UNDERGROUND
---	UTILITY POLE
---	UTILITY POLE WITH LIGHT
---	UTILITY POLE WITH TRANSFORMER
---	PROPERTY
---	PROPERTY LINE
---	EASEMENT LINE
---	IRON PIPE
---	IRON ROD
---	MONUMENT
---	ROADS
---	GUARD RAIL
---	SIGN
---	TREE
---	TREE LINE
---	SANITARY SEWER
---	APPROX. SANITARY SEWER MAIN
---	APPROX. SANITARY SEWER LINE
---	SANITARY SEWER MANHOLE
---	STORM SEWER
---	APPROX. STORM DRAIN PIPE
---	STORM DRAIN MANHOLE
---	CURB INLET
---	CATCH BASIN
---	TOPOGRAPHY
---	CONTOUR
---	SPOT ELEVATION
---	WETLANDS
---	WETLANDS LINE



- NOTES:**
- PROPERTY IS IN THE RR ZONE.
 - PARCELS CONTAIN 178.208 SQUARE FEET OF 3.04 ACRES.
 - SIDE AND REAR YARD SETBACK LINES ARE LOCATED AS DEPICTED ON THE APPROVED PONDVIEW ESTATES SUBDIVISION PLANS.
 - HORIZONTAL DATUM IS BASED ON NAD83 VERTICAL DATUM IS BASED ON NAVD83.
 - PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON "2004 FLOOD INSURANCE RATE MAP NUMBER 0603003107" TOWN OF MANCHESTER, CONNECTICUT. HARTFORD COUNTY FLOOD MAP SET OF 6765 COMMUNITY NUMBER 0603030303 DATED SEPTEMBER 26, 2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPS SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES FROM DATA, TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITIES MARKING AT LEAST TWO WEEKS PRIOR TO START OF CONSTRUCTION. 1-800-383-4455 OR WWW.CBIO.COM.
 - SEPTIC SYSTEM SHOWN IS BASED ON A PLAN PROVIDED BY SEWERS WASTE WATER DISTRICT, 1/22/24, REVISED 5/13/24, PAGE 1 OF 2 AND 2 OF 2. VERIFY THE MODIFICATIONS AND MOVING OF THE EXISTING SEPTIC SYSTEM ON SITE.
 - FOR DIAL, ON MARCH 3, 2024 FROM JAMES DAVIS, CEO, REGARDING THE MANCHESTER ZONING REGULATIONS ARTICLE 4, SECTION 103.04, THE SEPARATION DISTANCE BETWEEN AN ACCESSORY USE AND THE PROPERTY LINE IS A MINIMUM 3'.



MAP REFERENCES:

1. PONDVIEW ESTATES FOR JAMES BEAULIEU DEVELOPMENT CO., INC. KENNEY ST. MANCHESTER, CT. SCALE: 1" = 40' DATE: 6-15-87. SHEET NO. 4 & 3 OF 13 PREPARED BY FUSS & O'NEIL, INC.
2. MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT & POWER COMPANY ACROSS THE PROPERTY OF PONDVIEW ESTATES, KENNEY STREET MANCHESTER, CT. DATE: 11-4-87. SCALE: 1"=40' SHEET NO. 2 OF 2 PREPARED BY FUSS & O'NEIL, INC.

SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-308a-1 THRU 20-308a-20 AND THE STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2018.

- THIS IS AN APPROXIMATE LOCATION SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS AN INDEPENDENT RESURVEY BASED ON REFERENCED MAPS.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS, VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS, TOPOGRAPHICAL ACCURACY MEETS CLASS V-2 STANDARDS.

BY MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

STATE OF CONNECTICUT
No. 12786
JULY 20, 2024
JAMES BEAULIEU DEVELOPMENT CO., INC.

REVISIONS

NO.	DATE	BY	REVISION
1	11-21-24	WAL	REVISED TITLE BLOCK AND EDITION

IMPROVEMENT LOCATION SURVEY-EXISTING
SCALE: 3" = 30'
SHEET V-1

design professionals

Joseph F. Fabian & Lyette Demond
Professional Engineers
Manchester, Connecticut

(WESTERLY PORTION)
LOT 11
PONDVIEW ESTATES
37 PONDVIEW ESTATES
MANCHESTER, CONNECTICUT

DATE: 11-21-24
BY: WAL
REVISIONS: REVISED TITLE BLOCK AND EDITION

IMPROVEMENT LOCATION SURVEY-EXISTING
SCALE: 3" = 30'
SHEET V-1

**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning & Zoning Commission

FROM: David Laiuppa, Environmental Planner/Wetlands Agent DL

DATE: May 30, 2024

RE: Town of Manchester Public Works Dept. – Laurel Marsh Parking Lot
Inland Wetlands Permit Determination of Significance (IWP-0007-2024)

Introduction

The applicant is requesting approval of a wetland permit for the replacement of the existing Laurel Marsh Park parking lot, located at 864 Middle Tpke W, and for minor improvements to drainage and accessibility. Portions of this project are in the upland review area of wetlands associated with the Hockanum River.

Project Description

The Town of Manchester Department of Public Works (DPW) proposes to replace the existing Laurel Marsh Park parking lot, located at 864 Middle Tpke W, and will also include minor improvements to drainage and accessibility. 864 Middle Tpke W is a 190-acre Town-owned parcel that is bordered by Middle Tpke W (U.S. Routes 6 & 44) to the north, Love Lane to the east, Olcott Street to the south, and the Hockanum River to the west. There is an existing, small parking lot along the Middle Tpke W frontage that provides public recreational access to hiking trails and the Hockanum River within. The site is zoned Rural Residential in the area of the parking lot. The project site falls within a portion of the regulated floodway (and floodplain) for the Hockanum River. A May 30, 2024 Natural Diversity Database (NDDDB) review found Wood Turtles (*Glyptemys insculpta*) present in the area and “best management practices” information has been provided by the Department of Energy and Environmental Protection (DEEP).

The proposed project includes the following:

- Remove existing asphalt parking lot, perform very-fine grading to drain and eliminate ponding of storm water, and install new entrance and parking surface within the existing limits.
- Replace timber barrier fence in kind.
- Installation of grass swale with infiltration trench to collect sheet flow from parking area.
- ADA accessibility improvements including concrete ADA sidewalk ‘ramps’ with detectible tiles at trail crossing and direct access to trail from ADA parking space.
- Minor brush and limited small tree removal to accommodate proposed work and to reduce vegetation encroachment and reestablish trail within the immediate area (previously disturbed area).

Inland Wetlands Permit

It is estimated that the project will disturb approximately 0.38 acres. No work is proposed within the wetlands. Approximately 0.052 acres of disturbance is proposed within the 100' regulated upland review area.

Control measures will include installation of silt fence along the vegetated portions of the parking lot outside the fine-grading/work limits. The silt fence also provides protection as a barrier to minimize possible wood turtle intrusion into the work area (as recommended by DEEP). Additional silt fence may be provided as directed by the engineer based on field conditions. All sedimentation and erosion control devices will be installed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control prior to the start of construction and maintained or replaced by the contractor.

The total proposed area of **direct disturbance within the upland review area is 0.052 acres (2,265 square feet)**. [NOTE: This number is provided by the applicant.]

Determination of Significance

The Inland Wetlands Agency is required to make a determination of the significance of the impact of the proposed activities on the wetlands, watercourses, and/or water bodies. In making its determination, the Agency should be guided by the definition of "Significant Impact Activity" as found in the Inland Wetlands and Watercourses Regulations, which means any activity including, but not limited to, the following activities which may have a major effect or significant impact:

- a. Any activity involving a deposition or removal of material which will or may have a substantial effect on the wetland or watercourse or on wetlands or watercourses outside the area for which the activity is proposed; or
- b. Any activity which substantially changes the natural channel or may inhibit the natural dynamics of a watercourse system; or
- c. Any activity which substantially diminishes the natural capacity of an inland wetland or watercourse to support aquatic, plant or animal life, prevent flooding, supply water, assimilate waste, facilitate drainage, provide recreation or open space or perform other functions; or
- d. Any activity which is likely to cause or has the potential to cause substantial turbidity, siltation or sedimentation in a wetland or watercourse; or
- e. Any activity which causes a substantial diminution of flow of a natural watercourse or groundwater levels of the wetland or watercourse; or

- f. Any activity which is likely to cause or has the potential to cause pollution of a wetland or watercourse; or
- g. Any activity which damages or destroys unique wetland or watercourse areas or such areas having demonstrable scientific or educational value.

If the Agency finds the proposed activity may have a significant impact on the wetlands, a public hearing is required. A public hearing shall also be held if either 1) a petition signed by at least twenty-five persons who are eighteen years of age or older and who reside in the municipality is filed no later than fourteen days after the receipt of such application, or 2) the Agency finds that a public hearing regarding such application would be in the public interest. Should the Agency find that none of the above circumstances applies to the application, then no public hearing is required.

Staff Review

Town staff is still reviewing the materials submitted with this application. Any outstanding comments will be provided to the Agency during the final decision meeting.

dl/kw

R:\Planning\PZC\2024\06 - June 03\Packet\IWP-0007-2024 (Laurel Marsh) - Memo.docx









Attach.

Town of Manchester, CT



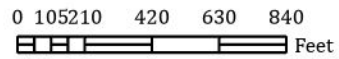
Geographic Information Systems 864 MIDDLE TURNPIKE WEST

Legend

-  Overlay Zone
- Zoning
-  B2 - Business II
-  GB - General Business
-  IND - Industrial
-  PRD - Planned Residence Development
-  RA - Residence A
-  RB - Residence B
-  RR - Rural Residence
-  Residence AA (Cluster Regulations Apply)

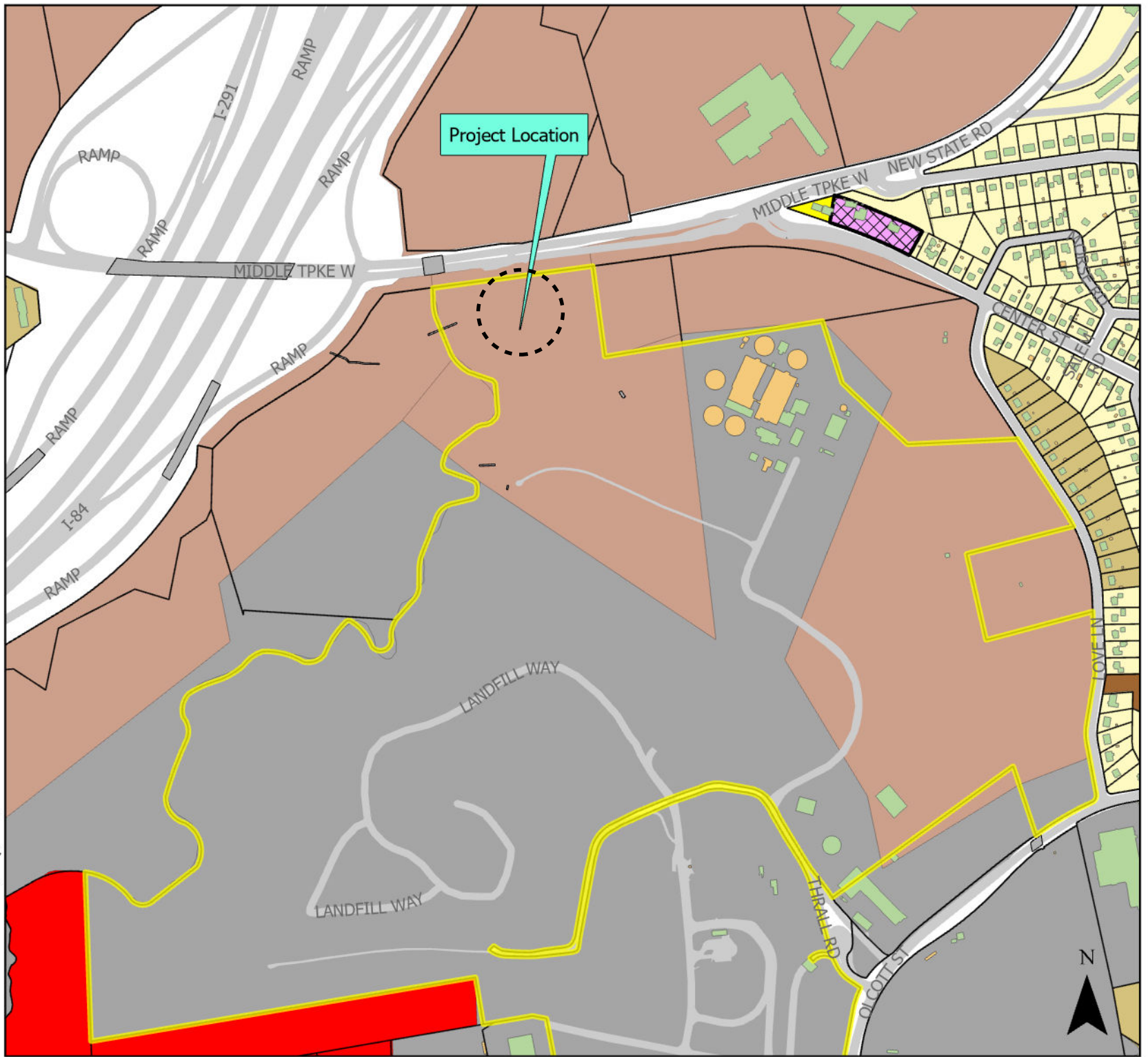
DISCLAIMER:
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

NOTES:
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.



1 inch = 600 ft

Date: 5/30/2024



PROJECT NARRATIVE
FOR
**LAUREL MARSH PARK
PARKING LOT IMPROVEMENTS**

May 30, 2024

by

John E. DiBiasi, P.E.,
Assistant Town Engineer



Town of Manchester
Department of Public Works
Engineering Division

INLAND WETLANDS AND EROSION & SEDIMENTATION CONTROL PERMIT: APPLICATION SUPPLEMENT

PROPOSED PROJECT INFORMATION:

The Town of Manchester Department of Public Works (DPW) proposes to replace the existing Laurel Marsh Park Parking Lot, located at 864 Middle Tpke W, and will also include minor improvements to improve drainage and accessibility.

EXISTING CONDITIONS:

864 Middle Tpke W is a 190 acre Town owned parcel that is bordered by Middle Tpke W (U.S. Routes 6 & 44) to the north, Love Lane to the east, Olcott Street to the south, and the Hockanum River to the west. There is an existing, small parking lot along the Middle Tpke W frontage that provides public recreational access to hiking trails and the Hockanum River within. The site is also zoned rural residential in the area of the parking lot. A May 30, 2024 Natural Diversity Database (NDDb) review found Wood Turtles (*Glyptemys insculpta*) present in the area and a best management practices information has been provided by the Department of Energy and Environmental Protection.

SCOPE OF WORK:

The project primarily includes the following work:

- Remove existing asphalt parking lot, perform very-fine grading to drain and eliminate ponding of storm water, and install new entrance and parking surface within the existing limits.
- Replace timber barrier fence in kind.
- Installation of grass swale with infiltration trench to collect sheet flow from parking area.
- ADA accessibility improvements including concrete ADA sidewalk 'ramps' with detectible tiles at trail crossing and direct access to trail from ADA parking space.
- Minor bush and limited small tree removal to accommodate proposed work and to reduce vegetation encroachment and reestablish trail within the immediate area (previously disturbed area).

TRAFFIC STATEMENT:

The project is not expected to have a significant impact on traffic.

UTILITY STATEMENT:

There is no proposed water nor sanitary sewer work under the project. A proposed utility pole is to be installed to accommodate a security camera/lighting with power provided overhead.

PLANS:

The following plan is included as part of the submission:

1. Laurel Marsh Park – Parking Lot Improvements – Middle Turnpike West (U.S. Routes 6 & 44) – Inland Wetlands, Erosion & Sedimentation Control and Flood Plain Permit Plan, dated March 2024, prepared by Town of Manchester Public Works Department Engineering Division

EROSION & SEDIMENTATION CONTROL:

Control measures will include installation of silt fence along the vegetated portions of the parking lot outside the fine-grading/work limits. The silt fence also provides protection as a barrier to minimize possible wood turtle intrusion into the work area. Additional silt fence may be provided as directed by the Engineer based on field conditions. All sedimentation and erosion control devices will be installed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control prior to the start of construction and maintained or replaced by the Contractor.

DISTRUBANCES:

The overall total site disturbance is approximately 0.38 acres. Approximately 0.052 acres of the overall disturbance is located within the 100' upland review area. No work is proposed within the wetlands.

Short term (construction) impacts are necessary to perform the proposed work outlined herein. Such temporary impacts include disturbance related to the installation of erosion and sedimentation control measures, removal of the existing parking area, fine-grading to eliminate ponding of stormwater, replacement of timber rail, vegetation removal, trench excavation and grading to provide the infiltration swale, and similar appurtenance work. Installation of erosion and sedimentation control measures such as silt fencing have been incorporated into the plan as shown and all disturbed areas will be sufficiently restored and stabilized. We anticipate no long term environmental impact as a result of this project.

STORMWATER MANAGEMENT:

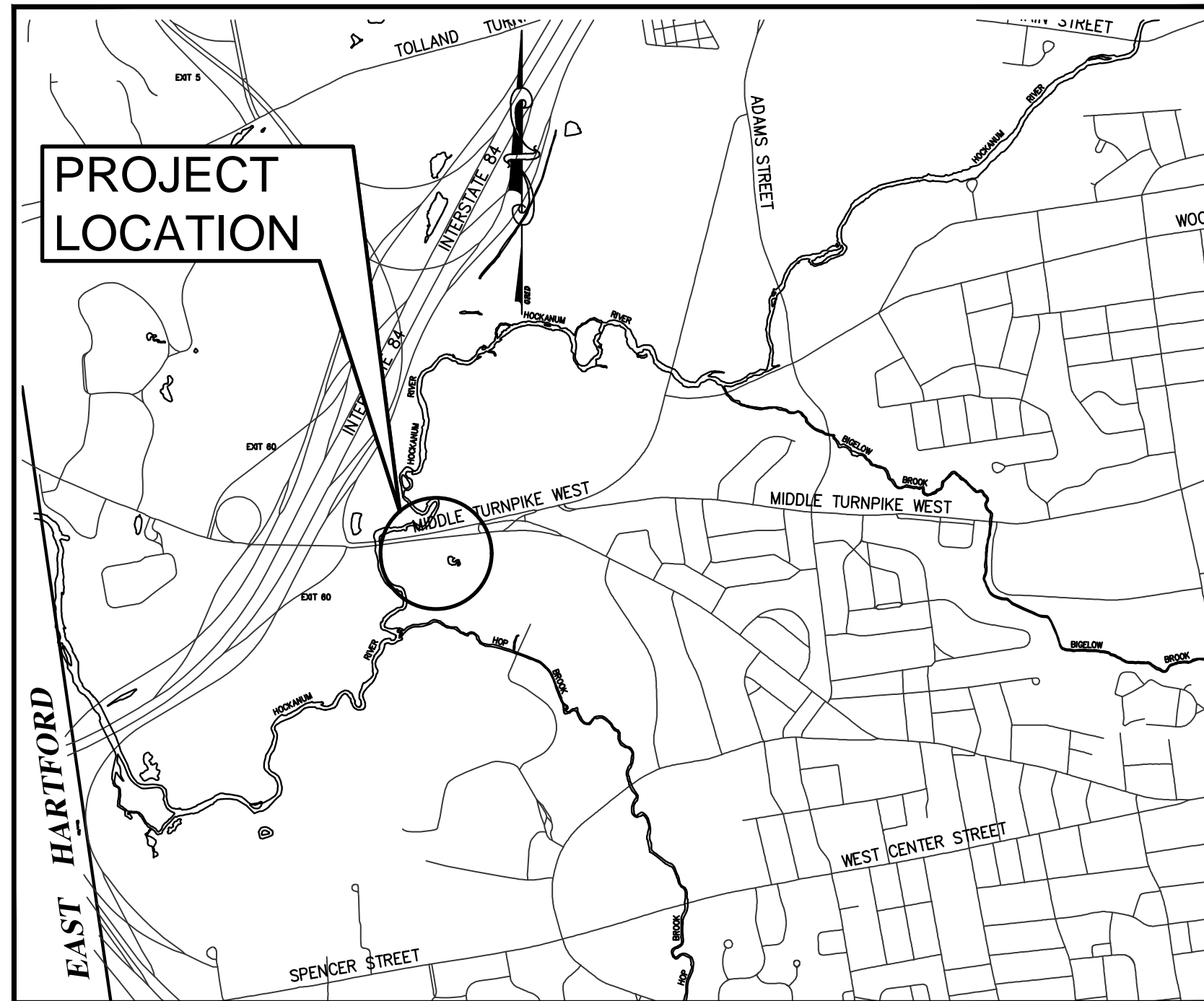
The proposed project will have no impact to existing stormwater drainage patterns. However, the project will improve sheet flow across the entrance and parking area which will improve the long-term condition of the pavement. Sheet flow will be directed towards a grass swale with infiltration trench to accept storm water runoff and to capture pollutants. Appropriate plantings will be selected for incorporation to create a grain garden in accordance with the Town of Manchester's Sustainable Design and Low Impact Development Guidelines.

FLOOD PLAIN ZONE:

The subject site, as shown on the referenced plan, falls within the Floodway Boundary and Flood Plain Zone. The overall net earthwork will result in approximately 4 cubic yards (CY) of cut (removal of material). Therefore the project will not have a negative impact on the storage capacity of the flood plain (net increase in storage capacity) and will not result in an increase in flood levels during the occurrence of the base flood discharge.

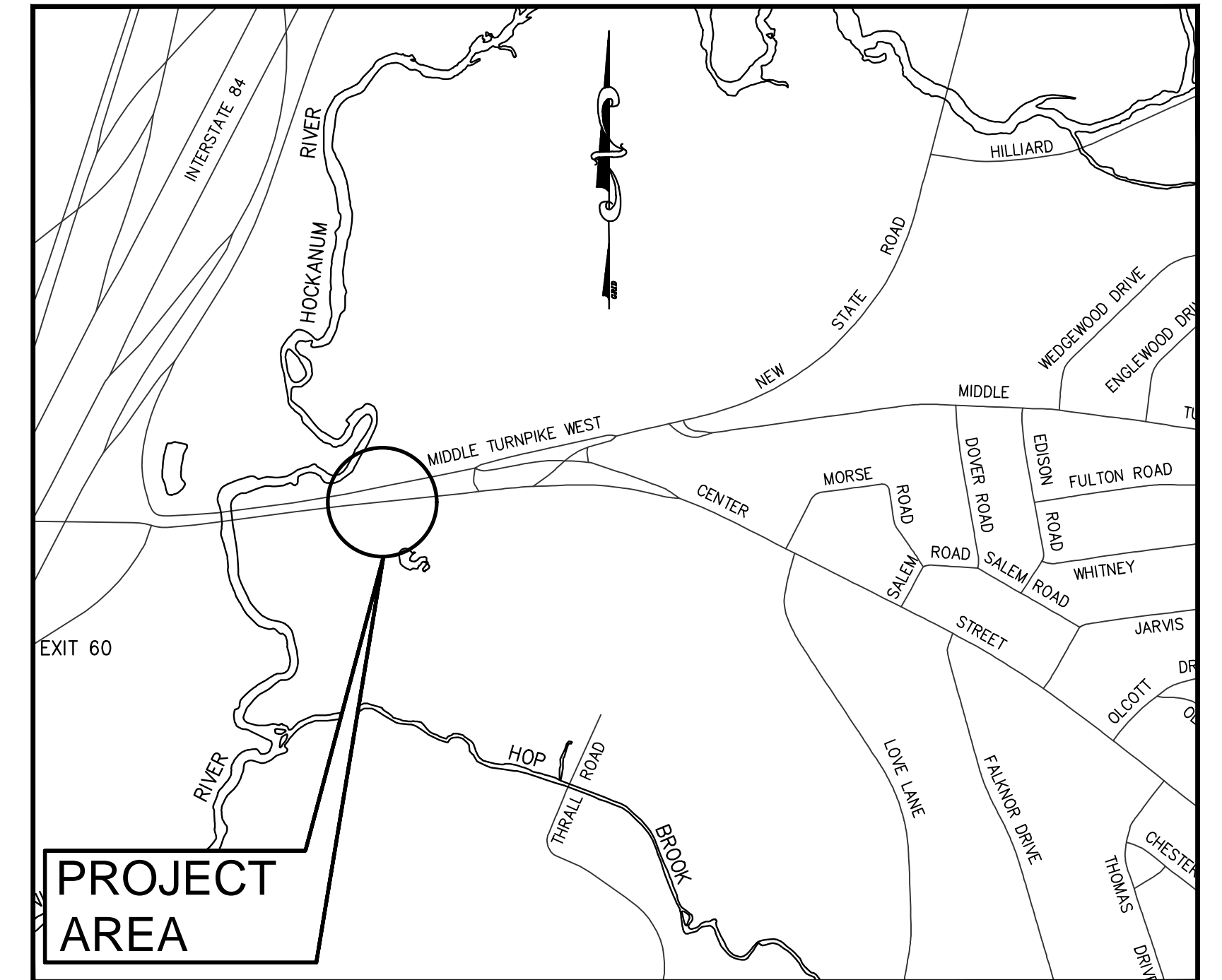
PROJECT SCHEDULE:

The project is anticipated to commence this summer and take approximately three weeks to complete.



LOCATION MAP
1" = 1500'

TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION



SITE MAP
1" = 600'

LAUREL MARSH PARK PARKING LOT IMPROVEMENTS MIDDLE TURNPIKE WEST (U.S. ROUTES 6 & 44) INLAND WETLANDS, EROSION AND SEDIMENTATION CONTROL AND FLOOD PLAIN PERMIT PLANS

DESIGN STANDARD : TOWN OF MANCHESTER PUBLIC IMPROVEMENT STANDARDS, EFFECTIVE DATE OCTOBER 31, 2020, AS AMENDED

DATUMS : HORIZONTAL DATUM: TOWN OF MANCHESTER CONTROL NETWORK (NAD83 AS ESTABLISHED IN 1998)

VERTICAL DATUM: TOWN OF MANCHESTER CONTROL NETWORK (NAVD88 USING GEOID 96)

STANDARD SPECIFICATIONS : SEE CONTRACT DOCUMENTS

DESIGN SCALES : PLAN: 1" = 20'
OTHER SCALES AS NOTED

MARCH 2024

LIST OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	SITE PLAN - PARKING LOT IMPROVEMENTS LAUREL MARSH PARK
4-6	CONSTRUCTION DETAILS

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.

DATE: _____
SIGNED: _____

DESIGNED BY:
TOWN OF MANCHESTER
ENGINEERING DIVISION

RAYMOND MYETTE, JR.
DESIGN ENGINEER
P.E.NO. 17657

APPROVED BY:

JOHN E. DIBIASI
ASSISTANT TOWN ENGINEER



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

-	RETAINING WALL	☆	LIGHT POLE	
-	GUIDE RAIL	⊗	DECIDUOUS TREE	
○	STONE WALL	⊗	SHADY HEMLOCK	
□	STOCKADE FENCE	⊗	DRAINAGE MANHOLE	
⊗	WIRE FENCE	⊗	CATCH BASIN	
⊗	CHAIN LINK FENCE	⊗	VALVE END	
-	PROPERTY LINE	⊗	HYDRANT	
⊗	RAILROAD TRACKS	⊗	CURB STOP	
⊗	SILT FENCE	⊗	WATER VALVE	
⊗	CONCRETE MONUMENT	⊗	BUTTERFLY VALVE	
⊗	GRANITE MONUMENT	⊗	BLOW OFF	
⊗	IRON PIPE	⊗	BIOW OFF	
⊗	IRON ROD	⊗	⊗	DOUBLE POST SIGN
⊗	CONTROL POINT	⊗	⊗	MAIL BOX
⊗	DRILL HOLE	⊗	⊗	BOLLARD
⊗	UTILITY POLE	⊗	⊗	CONTROLLER CABINET
⊗	UTILITY POLE WITH LIGHT	⊗	⊗	GAS GATE
⊗	TRAFFIC SIGNAL POLE	⊗	⊗	TELEPHONE BOX
⊗	ELECTRIC BOX	⊗	⊗	CATV TUBE
⊗	WETLAND FLAG			

PROJECT NUMBER
2022086

FILENAME
2022086Plan-Parking Layout.dwg

NO.	DATE	FILE
-	3/22/24	FOR P&Z APPROVAL

DESIGNED & DRAWN BY: REM
CHECKED BY: JED
RELEASED BY: JL

DRAWING SCALE
HORIZONTAL: 1" = 20' VERTICAL: ---
OR AS NOTED

20 10 0 20

GRAPHIC SCALE

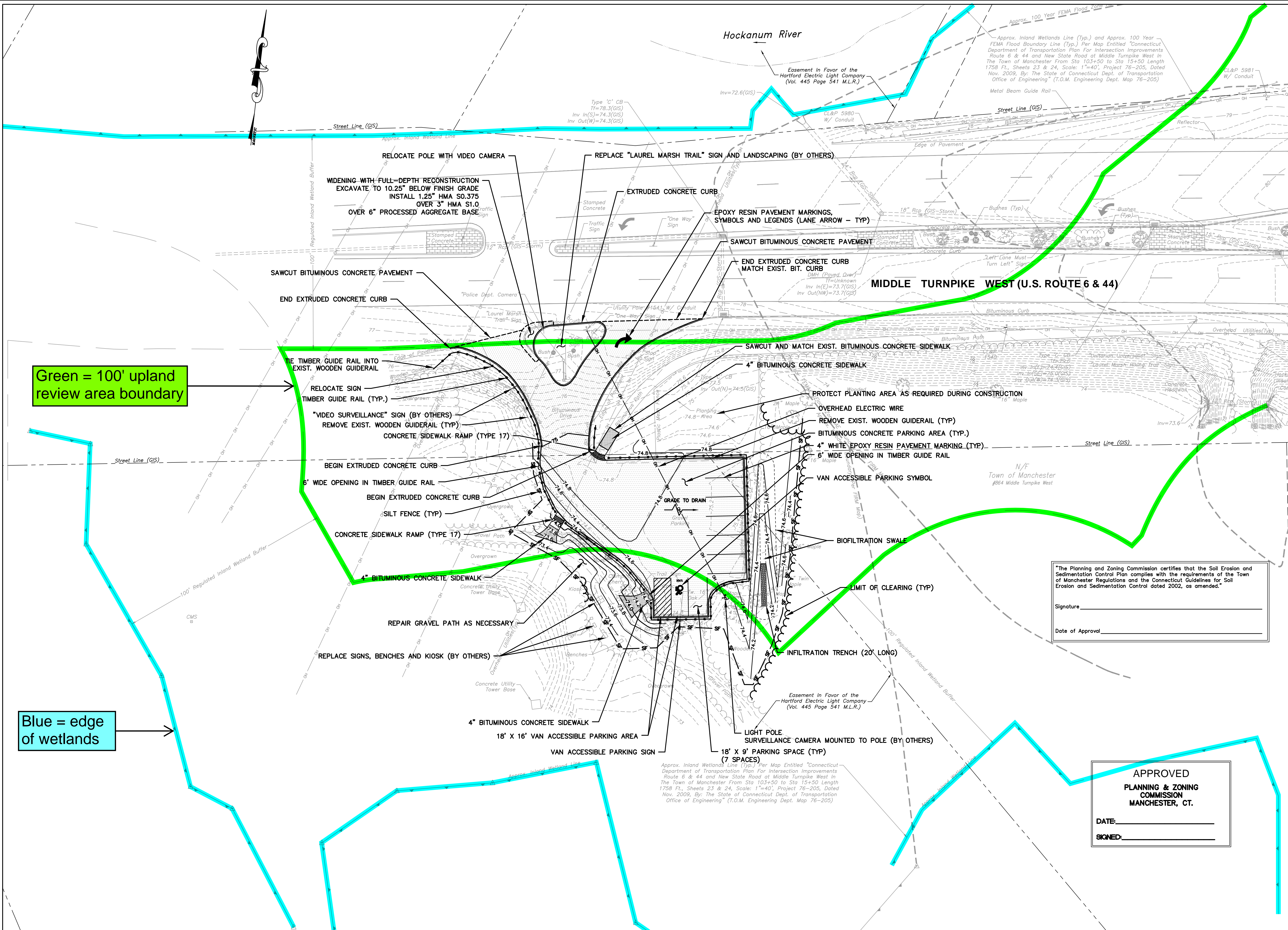
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
847 & 864 MIDDLE TURNPIKE WEST
MANCHESTER, CT

PROJECT TITLE
LAUREL MARSH PARK
PARKING LOT IMPROVEMENTS

SHEET TITLE
SITE PLAN

SHEET NUMBER
3 of 6



Green = 100' upland review area boundary

Blue = edge of wetlands

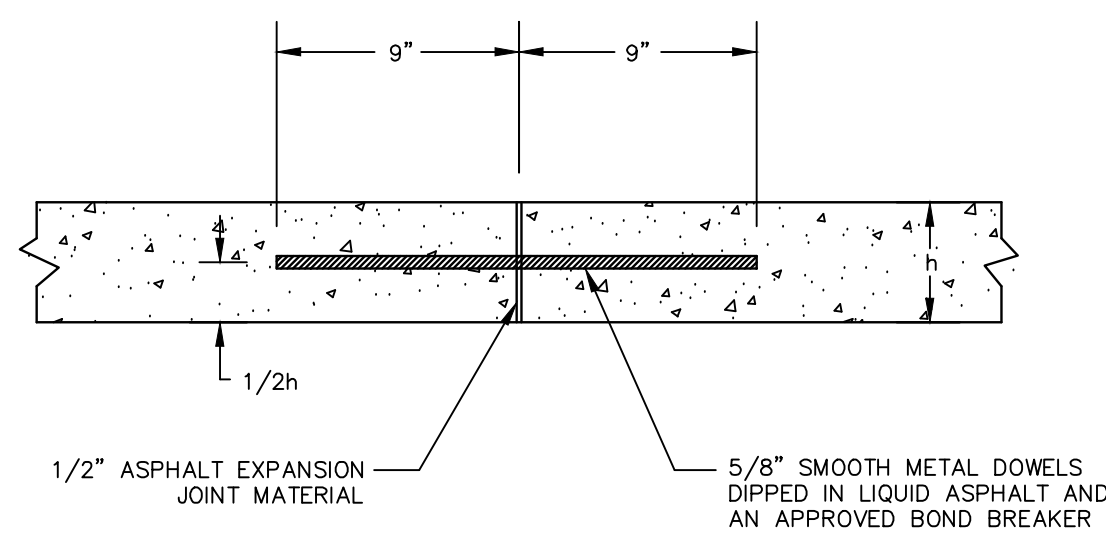
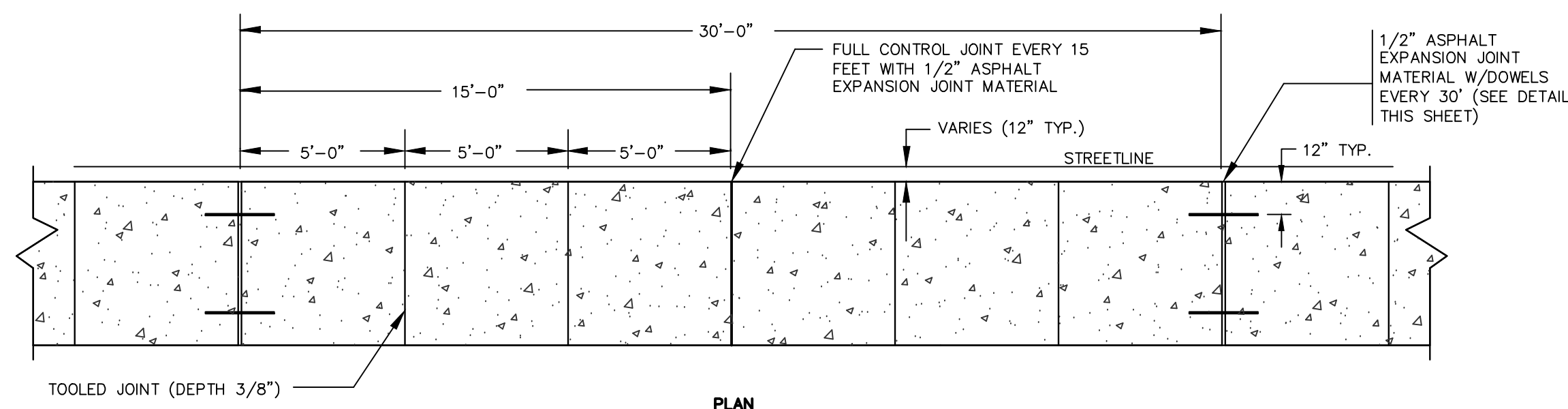
"The Planning and Zoning Commission certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of the Town of Manchester Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 2002, as amended."

Signature _____
Date of Approval _____

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.

DATE: _____
SIGNED: _____

R:\Project\Public Works\2022086 - Laurel Marsh Park Improvements\Drawings\2022086Plan-ParkingLayout.dwg, 3/22/2024, 2:28:42 PM, rremite

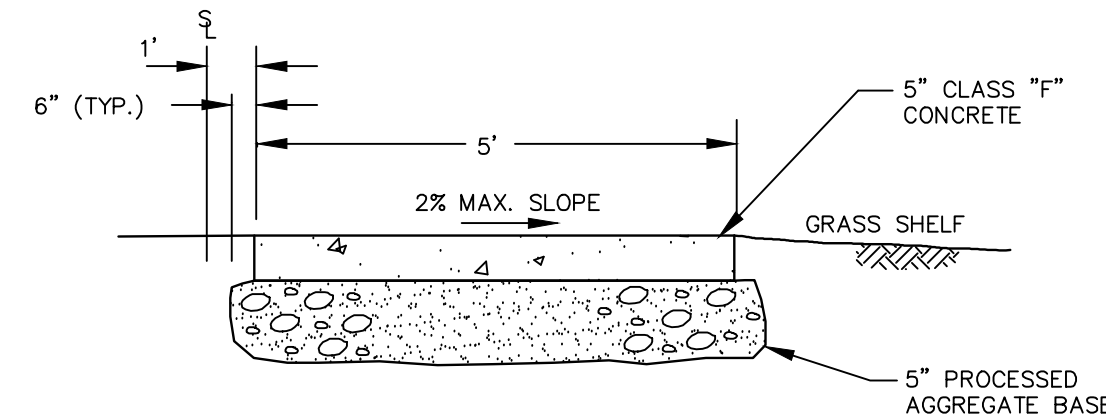


EXPANSION JOINT - DETAIL

5" CONCRETE SIDEWALK

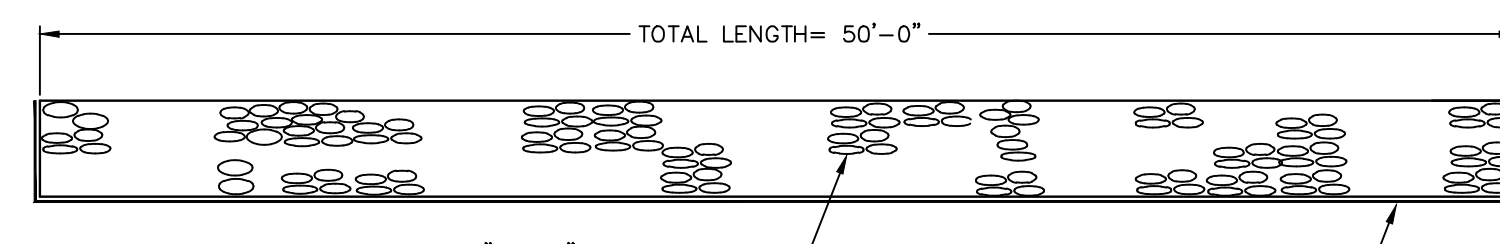
NOT TO SCALE

PLAN

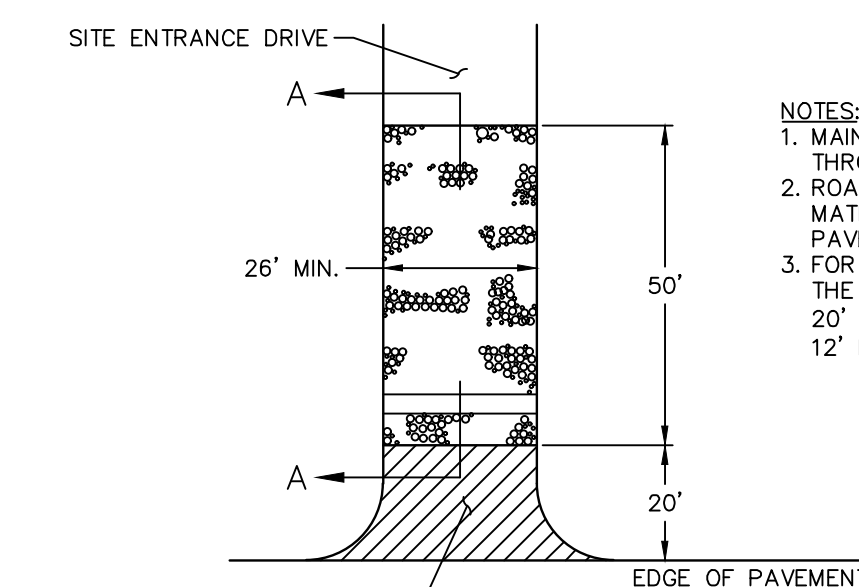


SECTION

- NOTES:
1. A MINIMUM 36" CLEAR WIDTH SHALL BE MAINTAINED BETWEEN THE EDGES OF THE SIDEWALK AND ANY OBSTRUCTIONS WITHIN THE SIDEWALK LIMITS.
 2. AT THE END OF THE DAILY POUR OF CONCRETE, METAL DOWELS ARE TO BE INSERTED IN THE LAST SLAB FOR THE EXTENSION OF THE SIDEWALK.
 3. INSTALL APPROVED BOND BREAKER BETWEEN GRANITE CURB AND SIDEWALK.



SECTION A-A

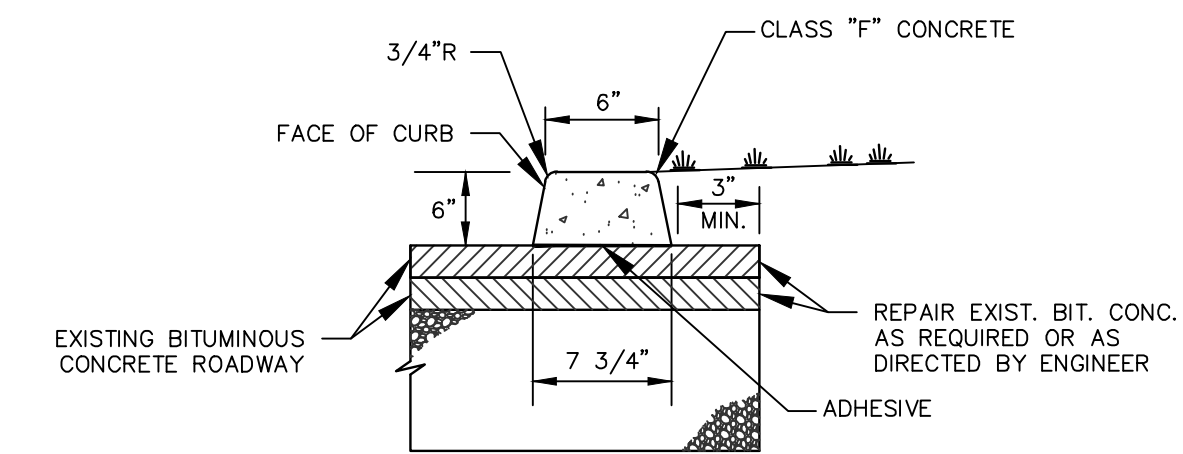


PLAN

CONSTRUCTION ENTRANCE

NOT TO SCALE

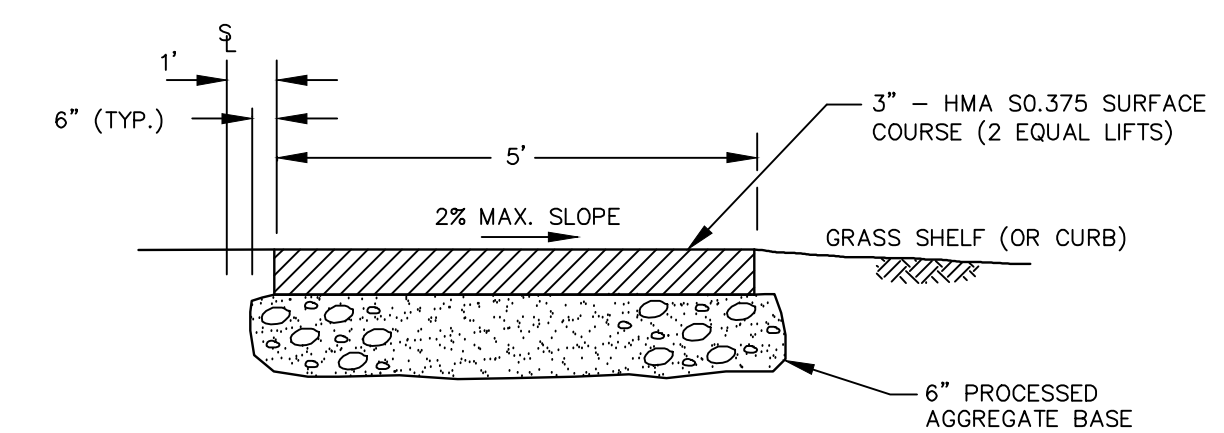
- NOTES:
1. MAINTAIN PAVEMENT AT APRON IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 2. ROADWAY SHALL BE SWEEPED DAILY TO REMOVE ANY MATERIAL THAT MAY BE TRACKED ONTO THE PAVEMENT.
 3. FOR INDIVIDUAL RESIDENTIAL LOTS, THE LENGTH OF THE CONSTRUCTION ENTRANCE MAY BE REDUCED TO 20' MINIMUM AND THE WIDTH MAY BE REDUCED TO 12' MINIMUM.



EXTRUDED CONCRETE CURB

(EXISTING PAVEMENT)

NOT TO SCALE

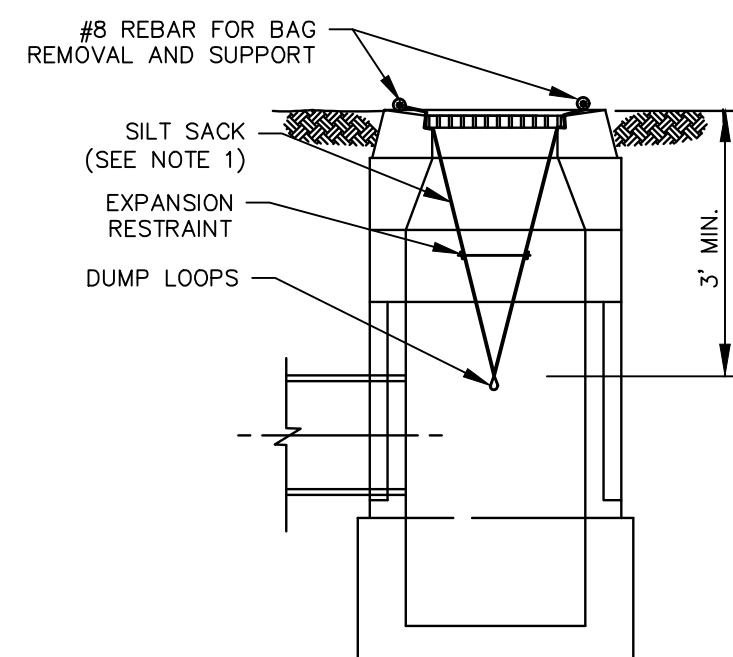


SECTION

- NOTES:
1. SAWCUT AND JOINT SEAL WHEREVER NEW BITUMINOUS CONCRETE ABUTS EXISTING.
 2. IF ABUTTING EXISTING SIDEWALK, MATCH EXISTING WIDTH UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 3. A MINIMUM 36" CLEAR WIDTH SHALL BE MAINTAINED BETWEEN THE EDGES OF THE SIDEWALK AND ANY OBSTRUCTIONS WITHIN THE SIDEWALK LIMITS.

BITUMINOUS CONCRETE SIDEWALK

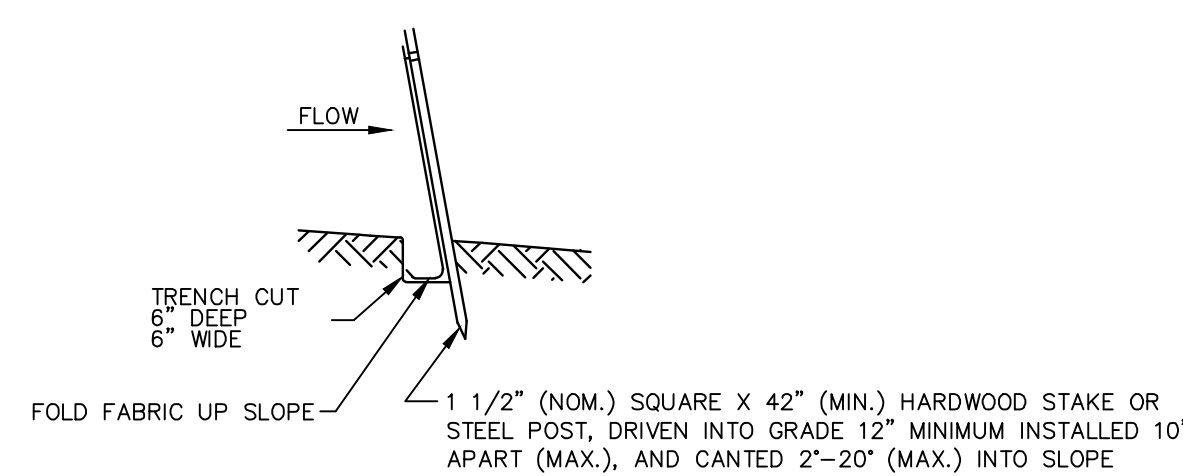
NOT TO SCALE



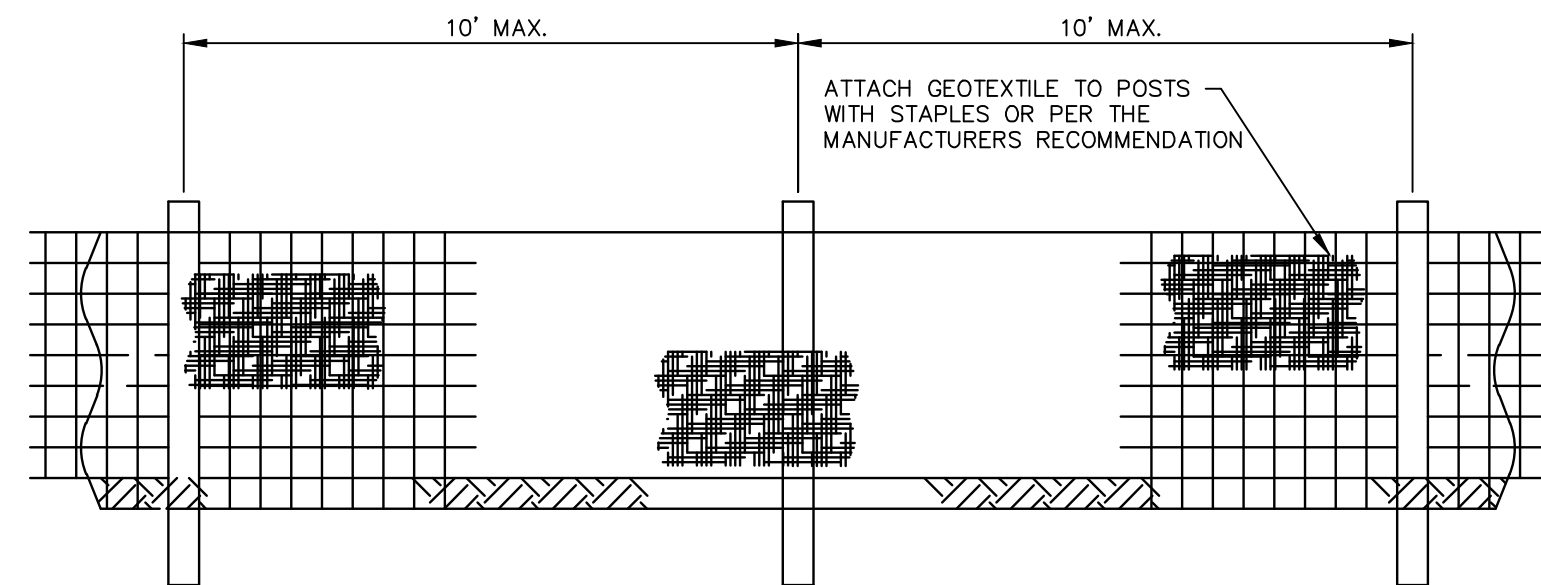
- NOTES:
1. SILT SACKS SHALL BE HI-FLOW SILTSACK® "TYPE A" FOR TYPE "C-L" CB TOPS AND "TYPE B" WITH CURB DEFLECTORS FOR TYPE "C" CB TOPS OR OTHER STRUCTURES WITH CURB INLETS AS MANUFACTURED BY ACF ENVIRONMENTAL, INC OR APPROVED EQUAL.
 2. SILT SACKS SHALL BE PROVIDED WITH INTERNAL OVERFLOWS.
 3. SILT SACKS SHALL BE EMPTIED WHEN THEY HAVE COLLECTED 6" TO 12" OF SEDIMENT. INSPECT EVERY 1 TO 2 WEEKS AND AFTER EVERY MAJOR RAINFALL EVENT.

SILT SACK

NOT TO SCALE



SECTION

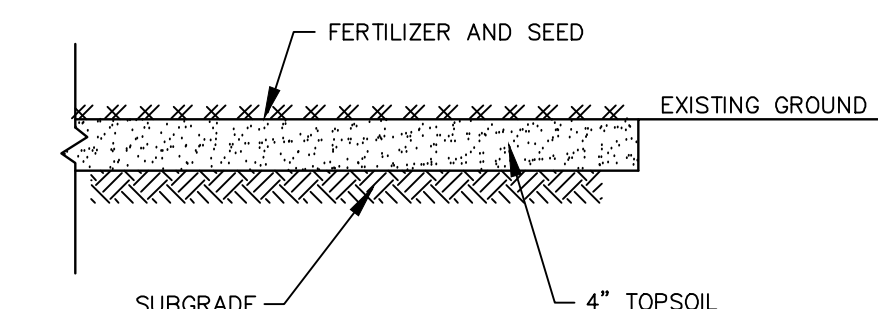


ELEVATION

SILT FENCE

NOT TO SCALE

- NOTES:
1. SEDIMENT CONTROL FABRIC TO BE A GEOTEXTILE MATERIAL TREATED TO RESIST DEGRADATION FROM EXPOSURE TO SUNLIGHT.
 2. FOR EACH SPECIFIC USE, ONLY GEOTEXTILES ON THE CONNECTICUT DEPARTMENT OF TRANSPORTATION APPROVED LIST ARE TO BE USED.
 3. AFTER FOLDING FABRIC EDGE, BACKFILL TRENCH WITH ORIGINAL SOIL AND BUTTRESS THE SPLAY WITH MULCH OR LEAF LITTER.



- NOTES:
1. REFER TO CONTRACT SPECIFICATIONS FOR SEED MIXTURES.
 2. PERMANENT GRASS SEED MIXES SHALL BE APPLIED FROM APRIL 1 THROUGH JUNE 15 OR AUGUST 15 THROUGH OCTOBER 1.
 3. PERENNIAL RYEGRASS SHALL BE APPLIED AS TEMPORARY GRASS SEED FROM MARCH 15 THROUGH JULY 1 OR AUGUST 1 THROUGH OCTOBER 15.

RESTORATION OF LAWN AREAS

NOT TO SCALE

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

--- WETLAND BOUNDARY	☆ LIGHT POLE
--- RETAINING WALL	⊗ CONIFEROUS TREE
--- CLIDE RAIL	⊗ DECIDUOUS TREE
--- STONE WALL	⊗ SANITARY MANHOLE
--- STOCKADE FENCE	⊗ DRAINAGE MANHOLE
--- WIRE FENCE	⊗ CATCH BASIN
--- CHAIN LINK FENCE	⊗ CURB END
--- PROPERTY LINE	⊗ HYDRANT
--- RAILROAD TRACKS	⊗ CURB STOP
--- SILT FENCE	⊗ WATER VALVE
⊗ CONCRETE MONUMENT	⊗ BUTTERFLY VALVE
⊗ GRANITE MONUMENT	⊗ BLOW OFF
⊗ IRON PIPE	⊗ SIGN
⊗ IRON ROD	⊗ DOUBLE POST SIGN
⊗ CONTROL POINT	⊗ MAIL BOX
⊗ DRILL HOLE	⊗ BOLLARD
⊗ UTILITY POLE	⊗ CONTROLLER CABINET
⊗ UTILITY POLE WITH LIGHT	⊗ GAS GATE
⊗ TRAFFIC SIGNAL POLE	⊗ TELEPHONE BOX
⊗ ELECTRIC BOX	⊗ WETLAND FLAG
⊗ CATV TUBE	

PROJECT NUMBER
2022086

FILENAME
2022086Notes&Details.dwg

NO.	DATE	FILE
-	3/22/24	FOR P&Z APPROVAL

DESIGNED & DRAWN BY: REM
CHECKED BY: JED
RELEASED BY: JL

DRAWING SCALE: NONE

DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
847 & 864 MIDDLE TURNPIKE WEST
MANCHESTER, CT

PROJECT TITLE
LAUREL MARSH PARK
PARKING LOT IMPROVEMENTS

SHEET TITLE
DETAILS

SHEET NUMBER
4 of 6

R:\Project\Public Works\2022086 - Laurel Marsh Park Upgrade\Drawings\2022086Notes&Details.dwg, 3/21/2024 2:20:46 PM, rmyer



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

—	WELLS BOUNDARY	☆	LIGHT POLE
—	RETAINING WALL	⊗	CONIFEROUS TREE
—	GUIDE RAIL	⊙	DECIDUOUS TREE
—	STONE WALL	⊕	SANITARY MANHOLE
—	STOCKADE FENCE	⊖	DRAINAGE MANHOLE
—	WIRE FENCE	⊗	CATCH BASIN
—	CHAIN LINK FENCE	⊕	VALVE END
—	PROPERTY FENCE	⊖	HYDRANT
—	RAILROAD TRACKS	⊗	CURB STOP
—	SILT FENCE	⊕	WATER VALVE
—	CONCRETE MONUMENT	⊖	BUTTERFLY VALVE
—	GRANITE MONUMENT	⊗	BLOW OFF
—	IRON PIPE	⊕	SIGN
—	IRON ROD	⊖	DOUBLE POST SIGN
—	CONTROL POINT	⊗	MAIL BOX
—	DRILL HOLE	⊕	BOLLARD
—	UTILITY POLE	⊖	CONTROLLER CABINET
—	UTILITY POLE WITH LIGHT	⊗	GAS GATE
—	TRAFFIC SPAN POLE	⊕	ELECTRIC BOX
—	ELECTRIC BOX	⊖	TELEPHONE BOX
—	WETLAND FLAG	⊗	CATV TUBE

PROJECT NUMBER
2022086

FILENAME
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NO.	DATE	FILE
—	3/22/24	FOR P&Z APPROVAL

DESIGNED & DRAWN BY: REM
CHECKED BY: JED
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DRAWING SCALE: NONE

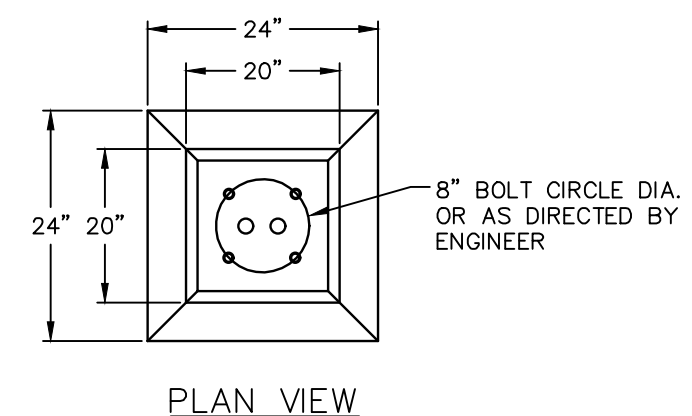
DATUM
HORIZONTAL: NAD83 VERTICAL: NAVD88

PROJECT LOCATION
**847 & 864 MIDDLE TURNPIKE WEST
MANCHESTER, CT**

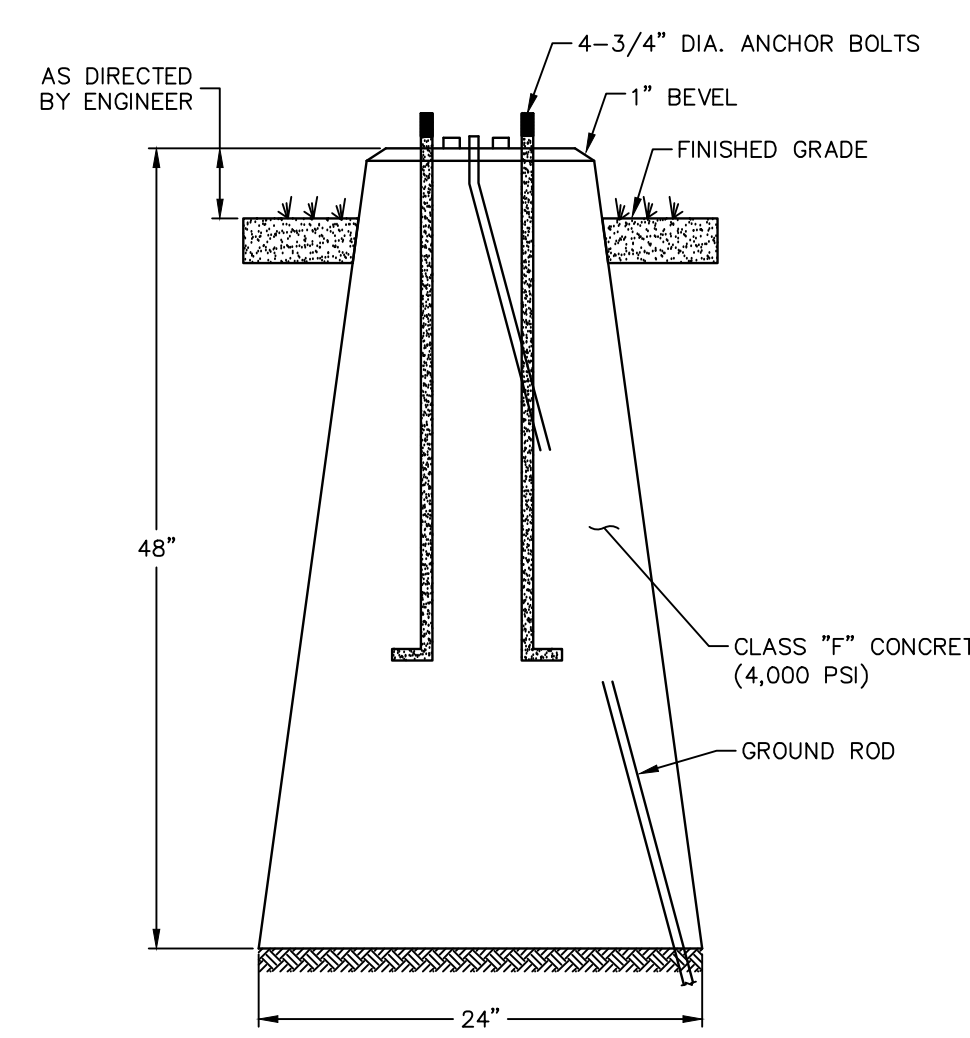
PROJECT TITLE
**LAUREL MARSH PARK
PARKING LOT IMPROVEMENTS**

SHEET TITLE
DETAILS

SHEET NUMBER
5 of 6

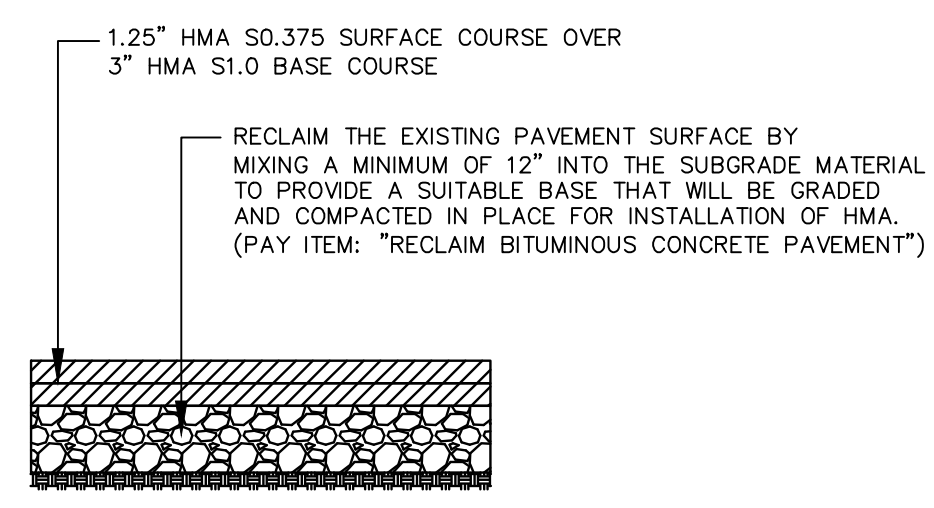


PLAN VIEW



ELEVATION VIEW

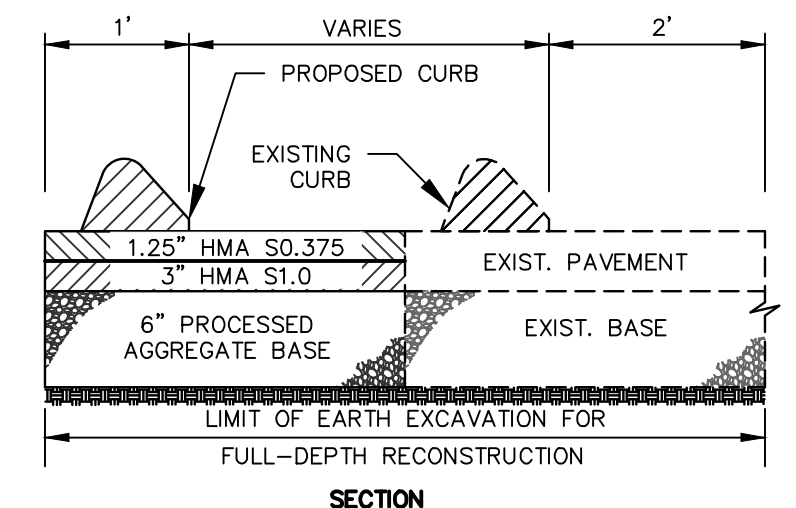
PARKING LOT LIGHT FOUNDATION
NOT TO SCALE



RECLAIM THE EXISTING PAVEMENT SURFACE BY MIXING A MINIMUM OF 12" INTO THE SUBGRADE MATERIAL TO PROVIDE A SUITABLE BASE THAT WILL BE GRADED AND COMPACTED IN PLACE FOR INSTALLATION OF HMA. (PAY ITEM: "RECLAIM BITUMINOUS CONCRETE PAVEMENT")

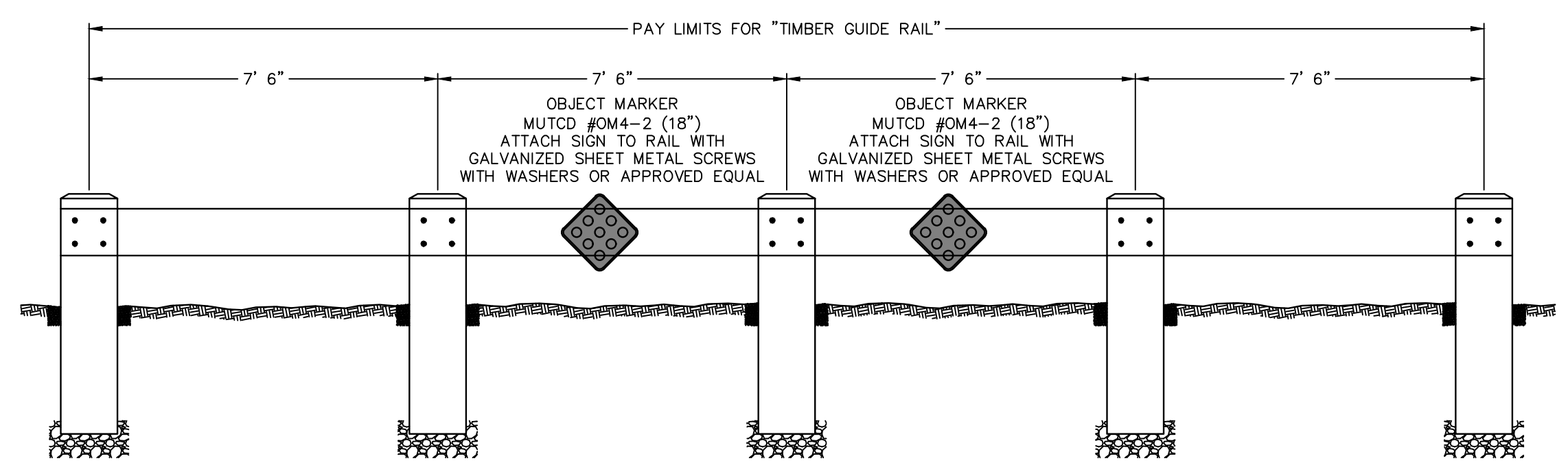
NOTES:
1. SAWCUT AND JOINT SEAL WHEREVER NEW BITUMINOUS CONCRETE ABUTS EXISTING.

BITUMINOUS CONCRETE PARKING LOT
NOT TO SCALE



NOTE:
1. REFER TO PLAN FOR LOCATIONS OF FULL DEPTH RECONSTRUCTION.

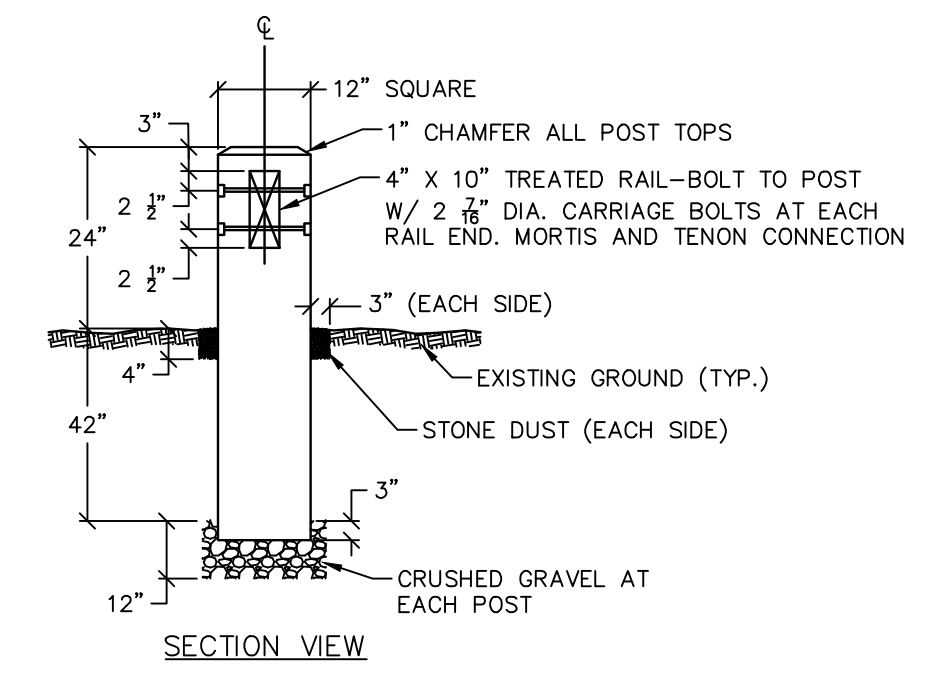
FULL-DEPTH RECONSTRUCTION
NOT TO SCALE



ELEVATION VIEW

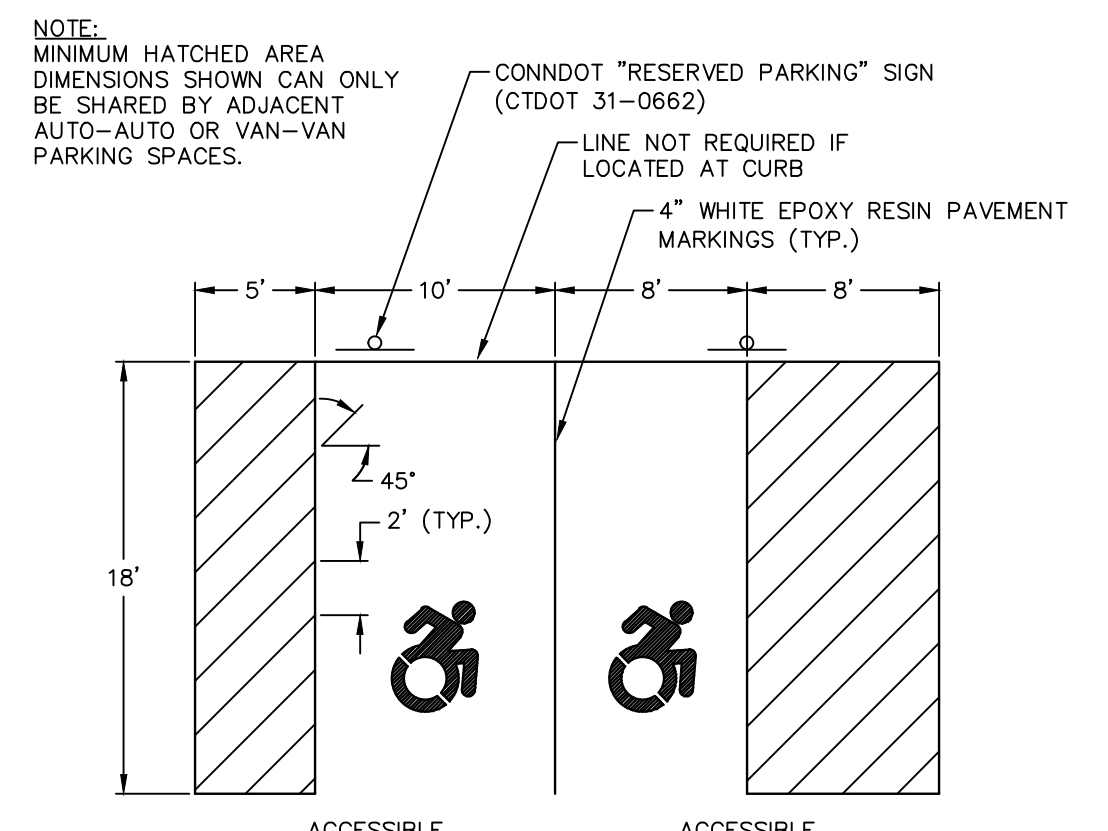
NOTES:
1. ALL WOOD TO BE ROUGH SAWN SOUTHERN YELLOW PINE, AWPB GRADE STAMPED LP-22, KILN DRIED AND PRESSURE TREATED W/ PRESERVATIVE.
2. OBJECT MARKERS INCLUDED IN "TIMBER RAIL" UNIT PRICE.

TIMBER RAIL
NOT TO SCALE

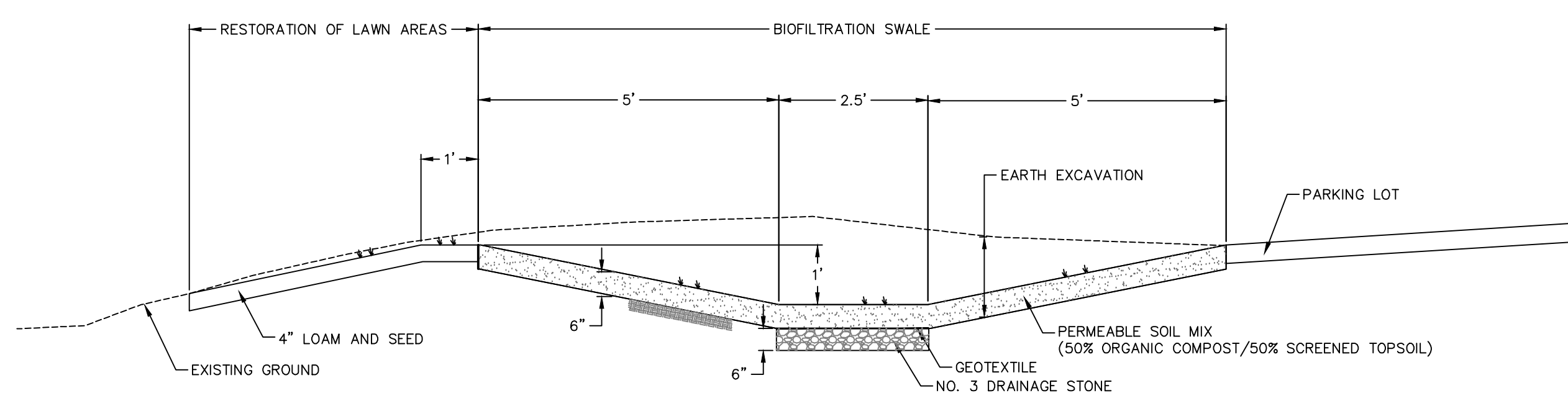


SECTION VIEW

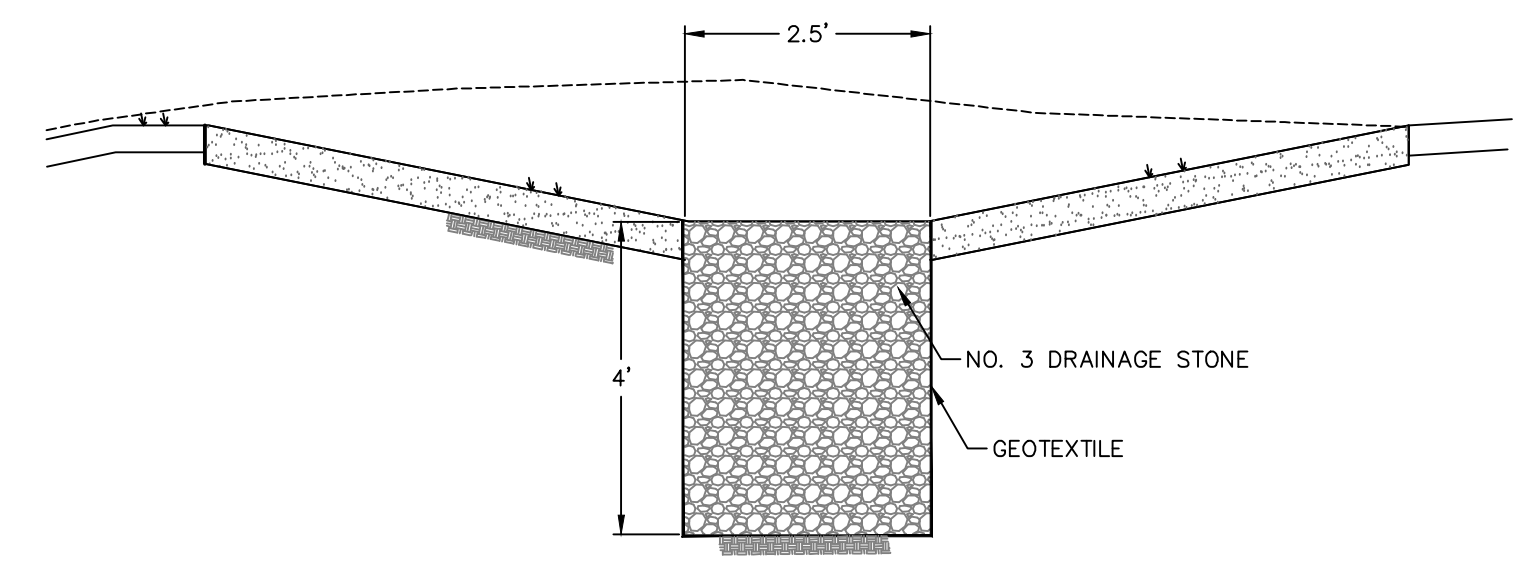
APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



ACCESSIBLE PARKING SPACES
NOT TO SCALE



BIOFILTRATION SWALE
NOT TO SCALE

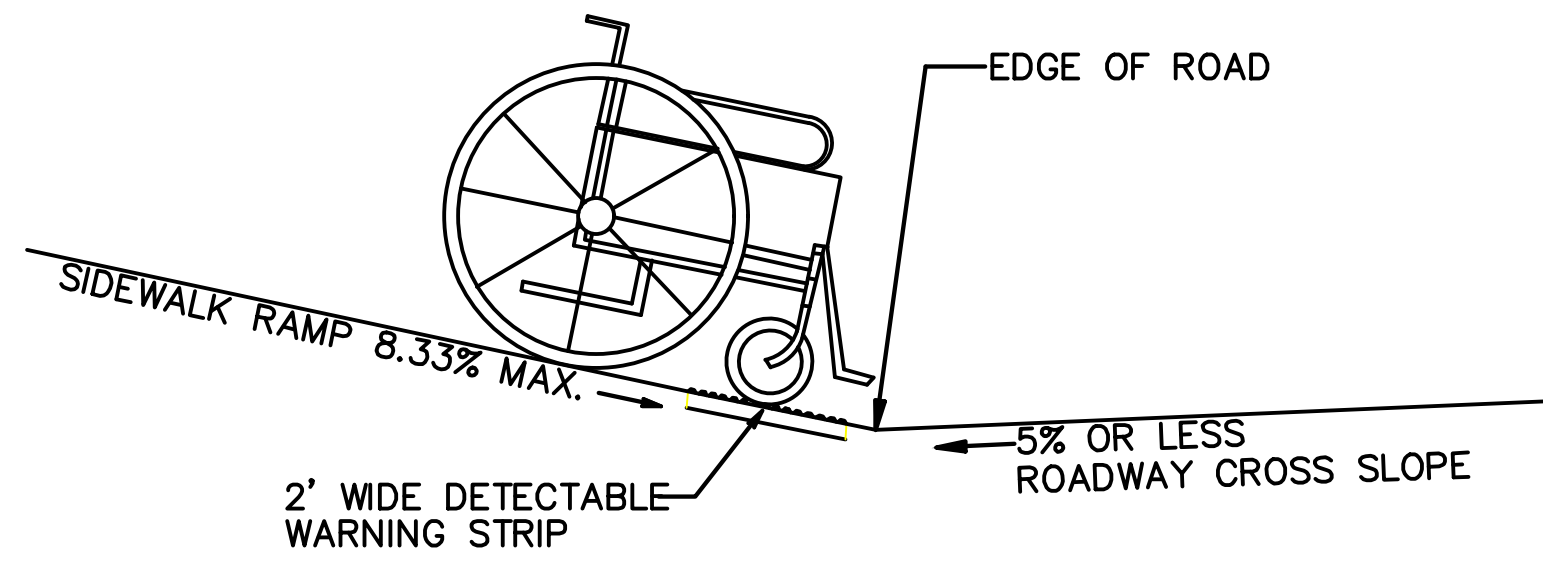


INFILTRATION TRENCH
NOT TO SCALE

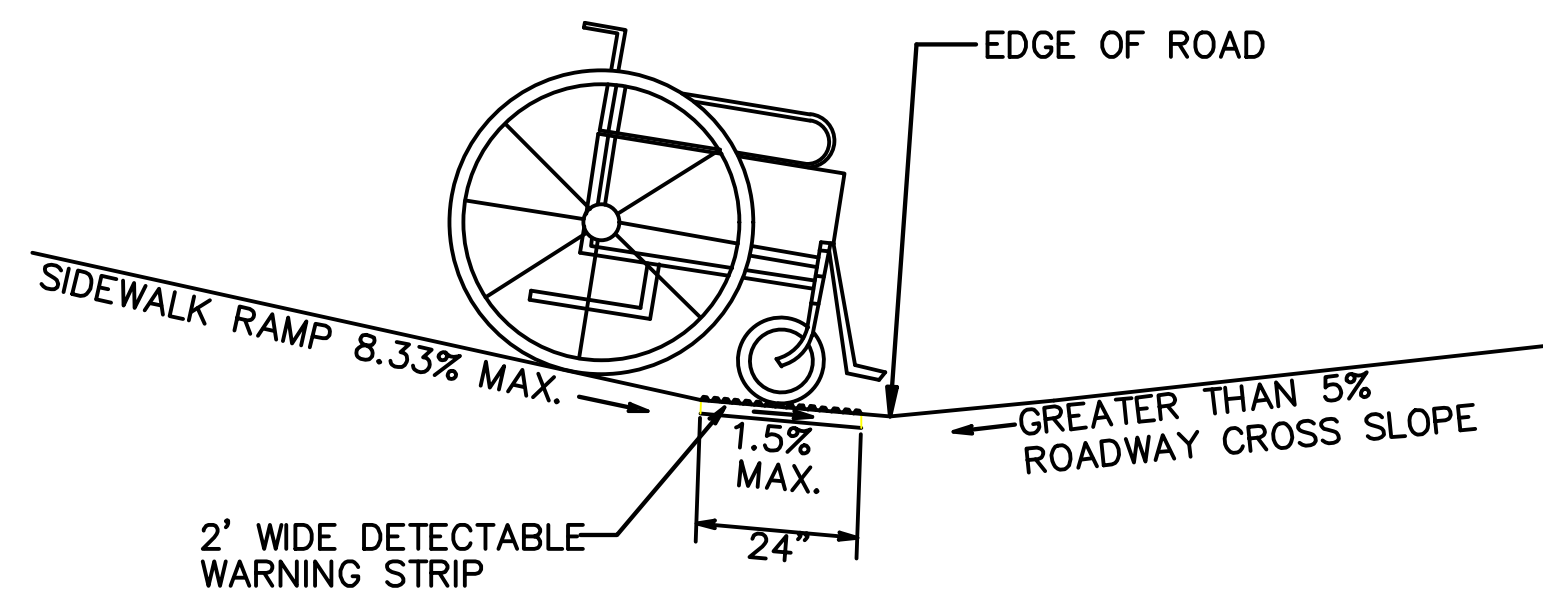
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GENERAL NOTES:

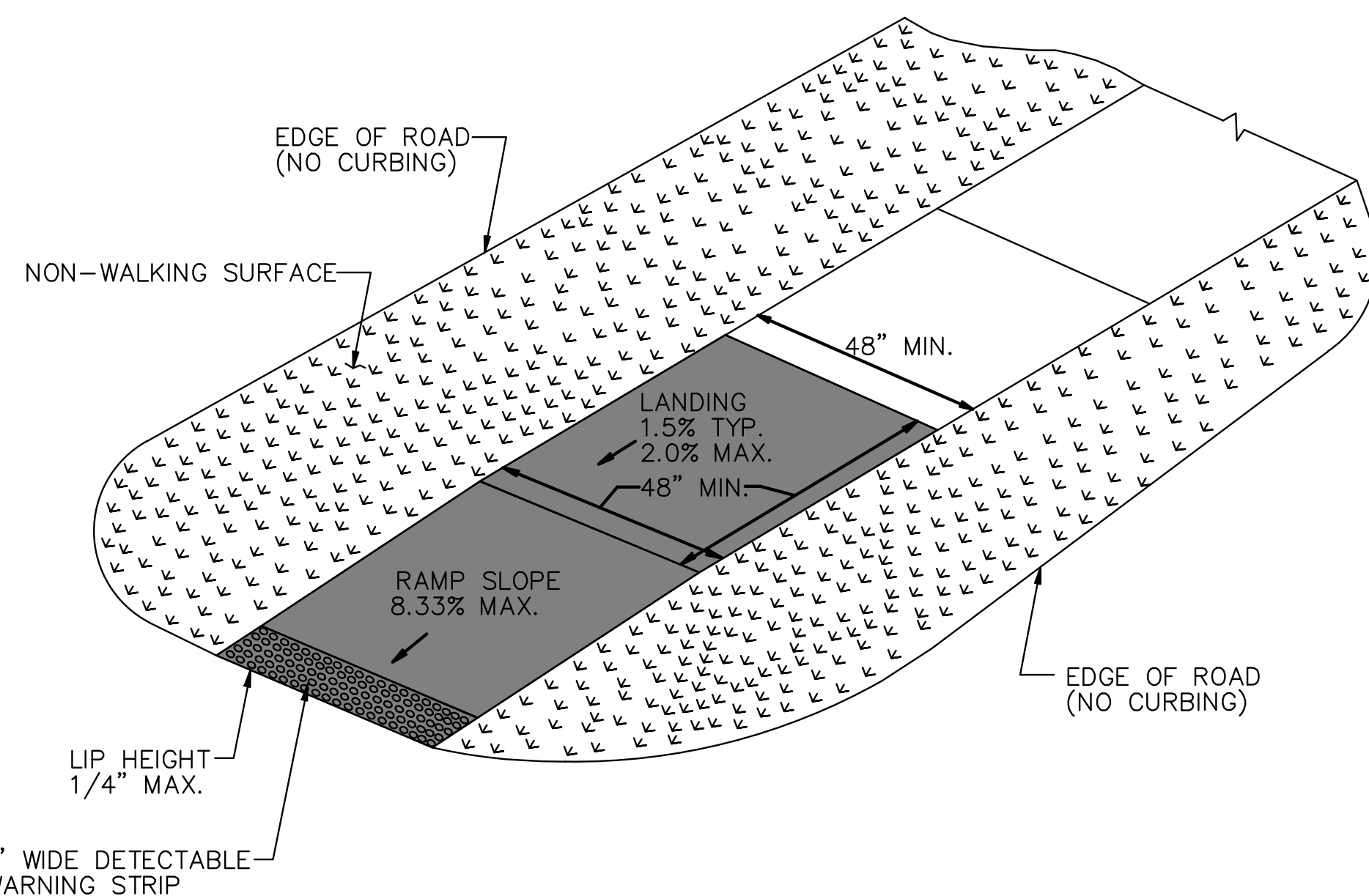
1. SIDEWALK RAMPS SHALL HAVE A COARSE BROOM FINISH TRAVERSE TO THE SLOPE OF THE RAMP.
2. VERTICAL SURFACE DISCONTINUITIES AT JOINTS SHALL NOT EXCEED 1/4 INCH.
3. REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION OR CONTRACTION JOINT.
4. THE RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.33 PERCENT MAXIMUM BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET.



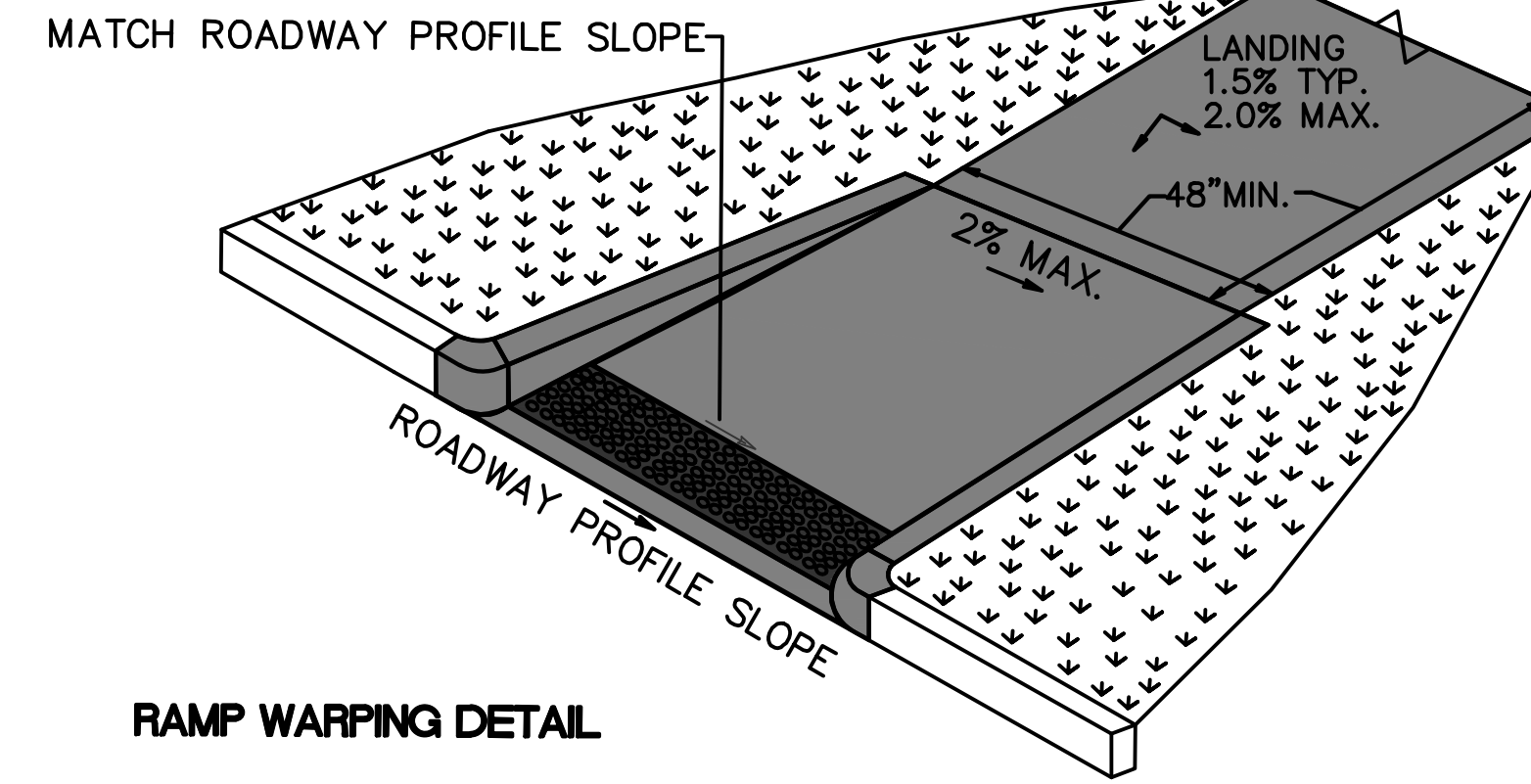
SIDEWALK RAMP GRADE AT ROADWAY CROSS SLOPE OF 5% OR LESS



SIDEWALK RAMP GRADE AT ROADWAY CROSS SLOPE OF GREATER THAN 5%

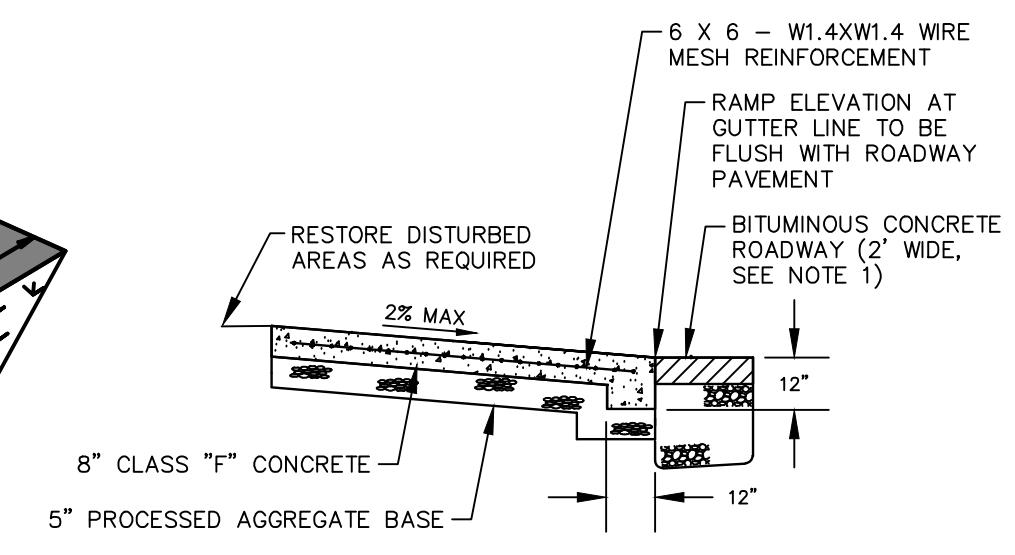


CTDOT TYPE 17 - CONCRETE SINGLE DIRECTION NO-CURB WITH NON-WALKING SURFACE SIDEWALK RAMP (WITH NON-WALKING SURFACE) NOT TO SCALE



RAMP WARPING DETAIL

1. TRANSITION SIDEWALK RAMP TO MATCH ROADWAY PROFILE AS GRADUALLY AS POSSIBLE. DO NOT EXCEED 3% PER FOOT CROSS SLOPE RATE OF CHANGE WHEN TRANSITIONING TO ROADWAY PROFILE.
2. COMPLETE TRANSITION TO ROADWAY PROFILE BEHIND DETECTABLE WARNING SURFACE.

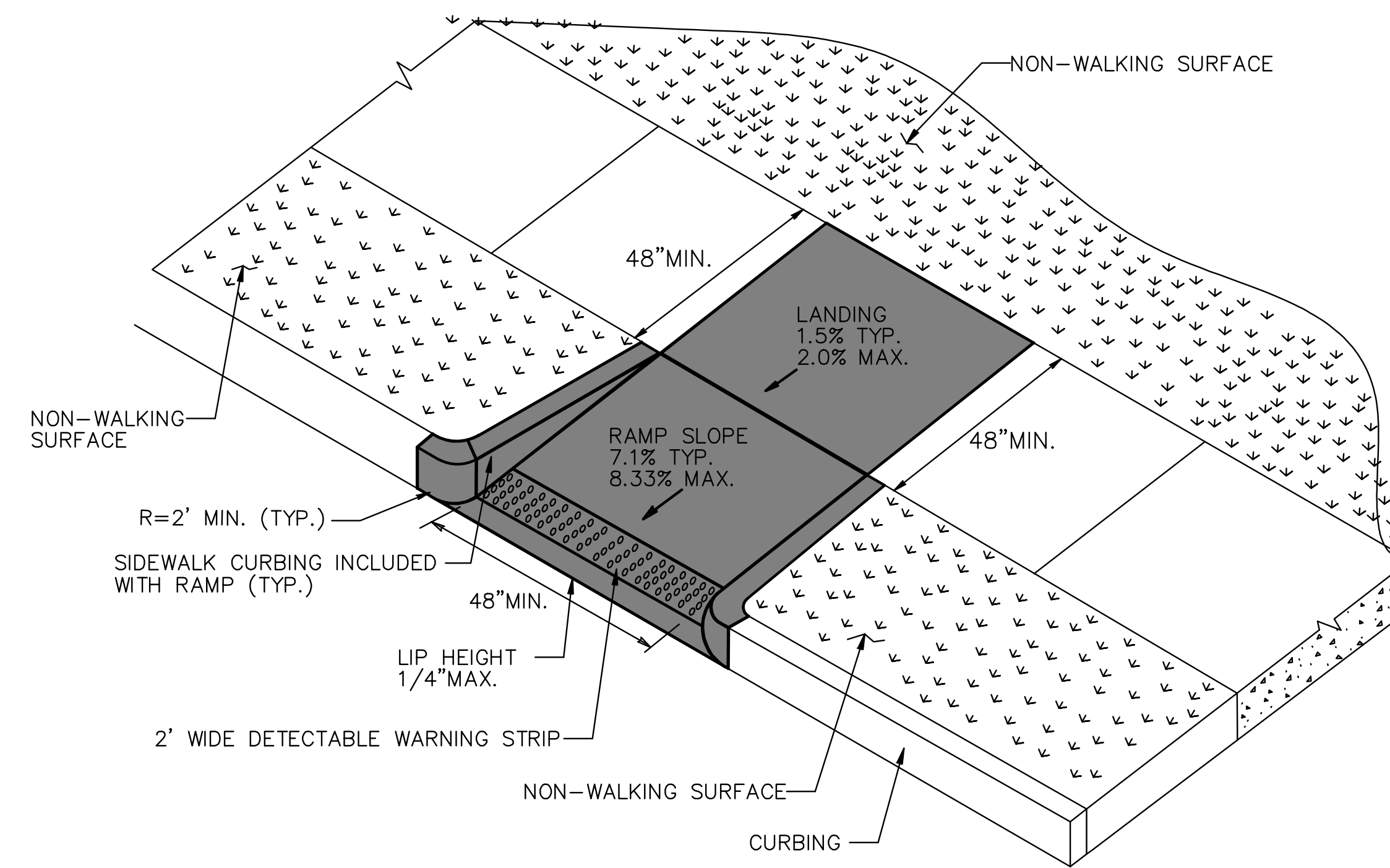


TYPICAL SECTION OF SIDEWALK LANDING AREA AT C

NOTES:

1. PAVEMENT COURSES AND PROCESSED AGGREGATE BASE THICKNESS SHALL MATCH EXISTING OR BE INSTALLED AS DIRECTED BY THE TOWN. PROCESSED AGGREGATE BASE THICKNESS SHALL BE 12" MINIMUM.
2. REFER TO CONCRETE SIDEWALK RAMP NOTES FOR ADDITIONAL INFORMATION.
3. IN GENERAL, GRANITE CURB TRANSITIONS ARE TO BE INSTALLED WHEN RAMP IS ADJACENT TO GRANITE CURB AND CONCRETE CURB TRANSITIONS ARE TO BE INSTALLED WHEN RAMP IS ADJACENT TO BITUMINOUS CONCRETE LIP CURB OR CONCRETE CURB. A MINIMUM LENGTH OF 3' SHALL BE USED FOR CURB TRANSITIONS.
4. IF GRANITE CURB TRANSITIONS ARE INSTALLED, THE CONCRETE RAMP LANDING MAY BE POURED TO THE REQUIRED RADIUS AS DIRECTED BY THE ENGINEER.
5. LANDING AREAS SHALL NOT EXCEED 2% CROSS-SLOPE AS MEASURED IN ANY DIRECTION.

SIDEWALK RAMP NOTES (CTDOT GUIDE SHEETS/TOWN OF MANCHESTER) 2020 P.I.S.



CTDOT TYPE 13 - CONCRETE SIDEWALK RAMP (PERPENDICULAR RAMP WITH NON-WALKING SURFACE) NOT TO SCALE

APPROVED
PLANNING & ZONING
COMMISSION
MANCHESTER, CT.
DATE: _____
SIGNED: _____



TOWN OF MANCHESTER
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
494 MAIN STREET - P.O. BOX 191
MANCHESTER, CT 06045-0191

LEGEND

—	WETLAND BOUNDARY	☆	LIGHT POLE
—	RETAINING WALL	⊗	CONIFEROUS TREE
—	CLIDE RAIL	⊙	DECIDUOUS TREE
—	STONE WALL	⊕	SHAWNY HAWK
—	STOCKADE FENCE	⊗	DRAINAGE MANHOLE
—	WIRE FENCE	⊕	CATCH BASIN
—	CHAIN LINK FENCE	⊗	VALVE END
—	PROPERTY LINE	⊕	HYDRANT
—	RAILROAD TRACKS	⊗	CURB STOP
—	SILT FENCE	⊕	WATER VALVE
—	CONCRETE MONUMENT	⊗	BUTTERFLY VALVE
—	GRANITE MONUMENT	⊕	BLOW OFF
—	IRON PIPE	⊗	SIEN
—	IRON ROD	⊕	DOUBLE POST SIGN
—	CONTROL POINT	⊗	MAIL BOX
—	DRILL HOLE	⊕	BOLLARD
—	UTILITY POLE	⊗	CONTROLLER CABINET
—	UTILITY POLE WITH LIGHT	⊕	UTILITY POLE WITH LIGHT
—	TRAFFIC SIGNAL POLE	⊗	GAS GATE
—	ELECTRIC BOX	⊕	TELEPHONE BOX
—	WETLAND FLAG	⊗	CATV TUBE

PROJECT NUMBER		
2022086		
FILENAME		
2022086Notes&Details.dwg		
NO.	DATE	FILE
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RELEASED BY: JL

DRAWING SCALE: NONE

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PARKING LOT IMPROVEMENTS

SHEET TITLE
DETAILS

SHEET NUMBER
6 of 6

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**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning and Zoning Commission

FROM: Gary Anderson, Director of Planning and Economic Development

SAA

DATE: May 30, 2024

RE: 8-24 Mandatory Referral (MR-0001-2024)

Potential acquisition of 1041 Main Street, 22 Maple Street and 25 Eldridge Street and disposition of 601 Lydall Street

Introduction

The Town is working toward the purchase of three properties for the purpose of constructing a new, +/- 70,000 sf library in Downtown Manchester. As required by state statute, the Planning and Zoning Commission must make a report to the Board of Directors prior to the Town finalizing any sale.

Description of the Properties

1041 Main Street (0.93 acres) currently houses a single story, 12,736 sf Webster Bank branch and an associated parking lot and drive-through ATM/teller. 22 Maple Street is a 0.36 acre vacant lot behind the bank branch. The Town currently owns a narrow right-of-way between the two, providing access to sanitary sewer infrastructure. 25 Eldridge Street is a vacant, 0.16 acre lot directly to the south of the 22 Maple Street parcel. Together, these parcels total 1.45 acres. The new, consolidated property will include approximately 204 ft of frontage on Main Street, 320 ft on Maple Street, and 50 ft on Eldridge Street.

History and Purpose of Purchase

Together, these parcels will allow the Town to construct a three-story, modern library building and associated parking and egress. The Town has pursued the purchase of these properties for several years as the plans for the new Downtown library have progressed. After the 21st Century Library Committee delivered its final report, the Board of Directors selected this as the preferred location in 2022 and a Town referendum approving funding for the project at the location was approved in November of that year. Since that time, a Library Building Committee has been working on the site and building project details.

Importantly, Webster Bank has been the Town's cooperative partner in pursuing this location for the library. The bank has expressed support for the project and has been open to selling the building, as long as they are able to maintain a branch presence in the vicinity. Town staff worked with Webster to find a new location in the downtown area and the company recently

settled on purchasing 1007/1011 Main Street, a building that previously served as a bank branch and headquarters before being purchased by a local church in 2002. The bank has scheduled a closing on that property this summer, which will allow the Town to purchase its current property and remove the existing building.

Consistency with the Town Plan of Conservation and Development

The Manchester NEXT plan anticipates the construction of a new Downtown library at this location and makes connections between the need for a new, 21st century library, and the community's desire to make Downtown as inviting and vibrant as possible.

Library Recommendation 1 (p 126)

Expand library programming and services. Along with an anticipated physical expansion of the library, community resources and programs provided at Mary Cheney Library should be extended (both in scope and variety) to meet the needs of residents. Technology and mobile resources (e.g., book mobiles, book fair events at public schools, preschool programs, etc.) could expand the scope of the library to serve the needs of the community.

Downtown District Recommendation 4 (p 58)

Invest in connections to adjacent neighborhoods. Downtown should be the center of social interaction for Manchester residents...

Downtown District Recommendation 9 (p 58)

Support existing initiatives and identify new ones that encourage teens, college students, and young adults to spend more time Downtown.

Center Infill Growth (G-5) Description (p 177)

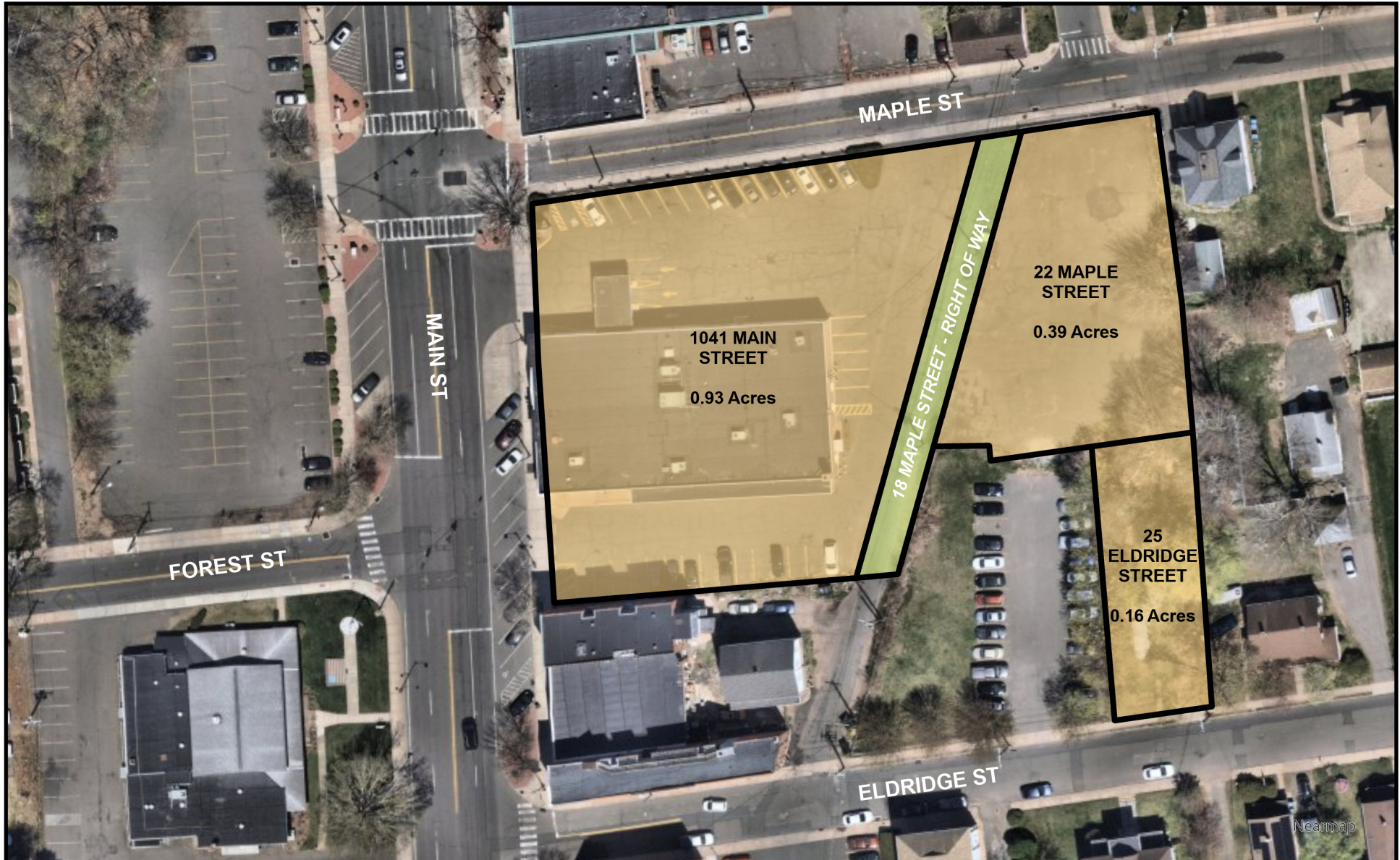
Additional growth and development in these areas is desirable due to the presence of existing infrastructure. These areas represent the greatest opportunity for complete mixed-use, walkable centers, and an abundance of unique character...

Discussion

The Commission is required by the Connecticut General Statutes to make a report on the potential purchase of these properties. The Town has publicly expressed interest in purchasing these parcels over the past two years, as a result of prior library studies, action by the Board of Directors and a successful referendum vote. The new library in this strategic location will provide for the construction of a modern, 21st century library, one of several significant projects coming to Downtown in the coming years. More information will be presented at the Commission's June 3, 2024 regular meeting.



Library Acquisition Parcels: 1041 Main St, 22 Maple St, 25 Eldridge St



**TOWN OF MANCHESTER
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

TO: Planning and Zoning Commission

FROM: Gary Anderson, Director of Planning and Economic Development

SAA

DATE: May 30, 2024

RE: 8-24 Mandatory Referral (MR-0003-2024)
Potential Disposition of 601 Lydall Street

Introduction

As part of the potential acquisition of 25 Eldridge Street, one of the properties required for construction of the library project, the Town has agreed in principle to transfer 601 Lydall Street.

Description of the Property

601 Lydall Street is a vacant, 3.12 acre property managed by the Water & Sewer Division. In the enclosed memo to the Town Attorney's office, Water & Sewer Administrator Patrick Kearney notes that "other than the value of the land itself (the parcel) does not have any value to the Water Department. The land can therefore be disposed of."

The property includes a brook running down the center of the property and significant wetlands on the west and south along the street frontage. The presence of these natural resources likely inhibits significant development of the property, and ensures the parcel remains largely undeveloped, as contemplated in the Manchester NEXT plan. Any development and/or use of the site would likely be agricultural in nature and take place directly adjacent to the farm on the western side of the property.

History and Purpose of Disposition

The owner of 25 Eldridge Street also owns property at 555 Lydall Street, an active farm adjacent to 601 Lydall Street. In lieu of payment for the Eldridge Street land, the owner requested compensation through the transfer of 601 Lydall Street. The appraised values of the properties are nearly identical, with 25 Eldridge Street being privately appraised at \$45,000 and 601 Lydall at \$40,000, reflecting its limited development potential.

Consistency with the Town Plan of Conservation and Development

Manchester NEXT shows this area near the Vernon town border as primarily a mix of Preserved Conservation (C-1) and Reserved Conservation (C-2) - see below. Land in wilderness condition,

larger single family homes, agricultural uses and open spaces are all contemplated in this area, which is currently zoned Rural Residence.

C-1 Preserved Conservation

Assigned to open space areas that are in a wilderness condition, including lands unsuitable for development due to topography, hydrology, or resource protection and therefore permanently protected. These areas are characterized by large areas of woodland, grassland, water bodies, and wetlands protected for conservation, public water supply, and/or recreation and trails.

C-2 Reserved Conservation

These areas are open or cultivated land with minimal physical development. These include agricultural lands, wooded areas, and meadows. Lands in this Sector that have environmental, cultural, or ecological value should be considered for protection, and could eventually move into C-1. Some single-family, large-lot homes are present with either wooded or landscaped lots. Agricultural buildings and outbuildings such as barns and farm stands are common, as are prime agricultural soils. Open spaces, such as parks, cemeteries, and playgrounds, are included.

Manchester NEXT p. 176

The plan also discusses the importance of local farming in the Land Use and Community Character Section:

Urban Farming (p 169)

The Town should streamline zoning to protect and encourage local and urban farming.

Discussion

The Commission is required by the Connecticut General Statutes to make a report on the potential disposition of any Town property. The transfer of 601 Lydall Street allows the Town to acquire a key parcel for the library project in exchange for excess Water Department land. Importantly, existing watercourse and wetland resources on the property will ensure the property is not heavily developed, but rather preserved and/or utilized for local agriculture, both goals discussed in the Manchester NEXT plan. More information will be provided at the Commission's June 3, 2024 regular meeting.



Proposed Parcel Disposition: 601 Lydall St



300 Feet



601 LYDALL STREET
3.12 Acres

LYDALL ST

CLIFFSIDE DR

LYDALL 1
RESERVOIR

LYDALL 2
RESERVOIR

Nearmap

Town of Manchester
Water and Sewer Department
Interoffice Memorandum

Received

MAY 23 2024

Town Attorney's Office

DATE: May 22, 2024

TO: Tim O'Neil, Administrative Staff Attorney

FROM: Patrick J. Kearney, Administrator

RE: 601 Lydall Street, Manchester

The property at 601 Lydall Street, Manchester is not on the watershed of any drinking water reservoir or next to any well, therefore it does not provide any protection to any sources of water used by the Department. Other than the value of the land itself it does not have any value to the Water Department. The land can therefore be disposed of.

Please let me know if you have any questions. Thank you.

DRAFT

**TOWN OF MANCHESTER
MINUTES OF PUBLIC HEARING
HELD BY THE PLANNING AND ZONING COMMISSION/INLAND WETLANDS AND
WATERCOURSES AGENCY
MAY 20, 2024**

MEMBERS PRESENT:

In Person: Eric Prause, Chairman
Patrick Kennedy, Vice Chairman
Michael Stebe, Secretary
Teresa Ike
Chris Schoeneberger
Daniela Luna
Michael Farina

**ALTERNATE MEMBERS SITTING:
FOR IWP-0051-2023 ONLY:**

In Person: Maliha Ahsan

ABSENT:

Zachary Schurin

ALSO PRESENT:

In Person: Gary Anderson, Director of Planning and Economic
Development
Megan Pilla, Principal Development Planner
Electronically: David Laiuppa, Environmental Planner/Wetlands
Agent
Nancy Martel, Recording Secretary

The Chairman opened the Public Hearing at 7:00 P.M. The secretary read the legal notice when the call was made.

VESSEL TECHNOLOGIES – Amendment to Article II, Section 7.03 to allow a higher density of dwelling units in the Planned Residential Development (PRD) zone by special exception, if the total number of bedrooms does not exceed 20 per acre. – Zoning Regulation Amendment (REG-0003-2024)

Attorney Dorian Famiglietti, Land Use Attorney, Kahan, Kerensky & Capossela, introduced herself as representing the applicant.

Noting that the application does not pertain to a specific project but just a regulation amendment, Attorney Famiglietti said she understood the Commission is aware of her clients' plans. This particular regulation is necessary in order for her client to achieve their goal. She explained that stating they are trying to increase density is accurate and explained her rationale with the regulation amendment that they may not be increasing the overall density of the parcel.

The PRD zone regulations currently allow a density based on the number of units per acre. Attorney Famiglietti noted that they are proposing another way to evaluate density, which would be based on bedrooms per acre. The rationale of the proposal was detailed by Attorney Famiglietti. She provided the findings of her evaluation of other towns. She noted that, within the body of Section 7.02.03(c), which sets forth the 10 units per acre, the proposal could state “or 20 bedrooms per acre” as of right. There could be much more density under the current regulations. She acknowledged that, if there was a change in the regulations, there must be consistency with the Plan of Conservation and Development (POCD).

Attorney Famiglietti observed that providing an expanded housing opportunity and different types of housing is important. To achieve that is being mindful with the regulations and allowing flexibility.

Mr. Prause observed that, with regulation amendment changes, the Commission reviews the POCD for guidance. He asked whether that was reviewed.

Attorney Famiglietti reported that she did look at the POCD and a lot of the key goals of the plan are to expand housing opportunities. She stated that having flexibility in the regulations to meet the housing options is very important. The Housing Stock Recommendations, #6, specifically states that there should be periodic evaluation of the standards for residential design and amendments of the standards to meet the needs and desires of the town.

After a question from Ms. Luna, Mr. Josh Levy, Vessel Technologies, explained that the units will all be market rate. However, they are open to the idea of units restricted for workforce housing. All of the units are geared towards attainable housing. The monthly rent would be in the \$1,650 - \$1,700 range.

Mr. Stebe observed that this amendment request is not supposedly tied to a specific application. In addition, the Town has solicited RFPs for a holistic review of the regulations. He speculated whether that would be something that would work for this process.

Attorney Famiglietti commented that timing is an issue and, since there is a recent RFP for a consultant to look at a regulation rewrite, it could be many months before it is ready. That would be a problem for her client, who is under contract. For the purpose of this specific project, the applicant did not see the need for a wholesale rewrite. Attorney Famiglietti stated that she would like to see the regulation amendment move forward so the project can move forward. In order to make the project viable, the regulation change is necessary.

After a question from Mr. Farina, Attorney Famiglietti reiterated the regulations in other towns in Connecticut.

Mr. Schoeneberger questioned the original rationale for establishing 10 units per acre. Mr. Anderson stated that, as that is ancient history, the idea was to prescribe the number of households in a certain area. He reiterated that the Commission should look at the POCD to determine whether this would accomplish those recommendations or not.

Mr. Schoeneberger noted that, if this was approved, this would be a special exception requiring the Commission’s review. Ms. Pilla responded that it would be only if the proposal was seeking more than 10 units per acre.

Ms. Luna asked about the criteria when special exceptions come to the Commission. Ms. Pilla explained that the Commission needs to consider the special exception criteria of Art. IV, Sec. 20 as well as other criteria of the zone.

Mr. Anderson reported that a PRD is a zone change along with a development plan. The review would be whether or not a zone change makes sense (looking at the POCD) and whether the Commission felt it was correct to award a special exception.

Ms. Pilla interjected that, special exception or not, a PRD development plan is always reviewed by the Commission.

Mr. Prause noted that the two most recent large scale apartment complexes only offer single and two-bedroom apartment options. In older apartment complexes, there are three-bedroom options. He asked how the applicant came from the 10 units per acre to the 20 bedrooms per acre.

Attorney Famiglietti reported that they came to the 20 bedrooms per acre because they assumed that, in many multi-family developments, it averages out to be one, two and a handful of three or more bedrooms. If 10 units are allowed per acre, two bedrooms per unit is reasonable, which would get to the 20 bedrooms per acre.

Mr. Prause observed that it is interesting that it shows the special exception path. That brings up the special exception criteria, which will prevent the applicant from doing the increased density. The only way it can be turned down is:

- It does not comply structurally in the spirit of the area.
- This needs to be invoked in areas with good transit-oriented development.

Mr. Prause felt the applicant is promoting these as walkable areas or areas where there will be no negative impact in size, scale, or design.

Attorney Famiglietti commented that, when meeting with staff, there was discussion about this site, which has transit within a half mile and is fairly proximate to open space and other services in town. She commented that it would be easier for the Commission to determine it is as of right. The applicant felt that, as it is a change to the protocol, the Commission would like to look at it as more individualized.

Mr. Farina noted that there is a housing crisis in Connecticut and questioned whether this is what is needed and not just what they think they can get by.

Attorney Famiglietti felt that the 20 per acre works for them.

Mr. Levy felt that the differential between units and bedrooms does not change the set asides and other criteria of the underlying zone if the Commission is comfortable with the building footprint and if the Commission wants to allow more bedrooms which promote greater opportunity for housing. After a question from Mr. Farina, Mr. Levy stated that more units per acre helps specifically in an in-fill situation, such as a downtown zone, and could be very helpful in making smaller sites in a downtown area viable.

Ms. Pilla stated that it is difficult to nail down an ideal number per acre that would apply to all locations, noting that there is not a one size fits all number.

Mr. Anderson felt that most of the numbers are arbitrary, so it is based on what we have already as well as other towns.

Mr. Schoeneberger speculated on why the Commission would not try to nail the number down based on market analysis.

Attorney Famiglietti responded that this proposal works quite well for the applicant. She remarked that there are various things that need to be taken into consideration. Attorney Famiglietti stated that they came up with the average of two bedrooms based on current unit density. She noted that this proposal would allow different housing options to go forward.

Mr. Kennedy stated that this proposal in this public hearing was for 20 bedrooms per acre.

Mr. Stebe noted that, for the PRD, this application comes in as of right with the number of units. This special exception turns 10 two-bedroom units into 20 single-bedrooms, which only changes the equation on parking. He added that public transit is not robust in the state in general. What is proposed makes sense and should stay in special exception for the time being.

Ms. Pilla reported no staff comments on the application. It was referred to CRCOG and there were no comments.

Ms. Nancy O'Malley, 244 Union Street, introduced herself. Ms. O'Malley expressed serious concerns about allowing higher density of dwelling units in the PRD zone. Ms. O'Malley gave her personal insight on the traffic on Union Street. She felt that Vessel Technologies' proposal to double the zoning density strikes a blow to the quality of life and the character of the town, on which she elaborated.

Mr. Prause reminded the Commission and public that this public hearing is not specifically in reference to any particular upcoming application. This is about a proposed regulation amendment that would impact all upcoming and potential planned residential developments.

Ms. Hannah Sutherland, 508 Tolland Turnpike, introduced herself. Ms. Sutherland stated that she has not heard any reason why the current regulation should be changed. She stated that she does not see a positive reason why this project would benefit the Town or neighborhood and detailed her concerns.

Ms. Elsie Stempinski, 250 Union Street, introduced herself. Ms. Stempinski expressed her opposition to the proposal. Manchester is not alone in the fight to accommodate housing needs. She was concerned about a developer from New York City requesting a zoning regulation amendment. Ms. Stempinski stated that comments on the different Manchester Facebook pages show that many residents are not in favor of this change. Manchester is one of the few Connecticut towns in compliance with Connecticut General Statute 8-30g. There are other developments that help accommodate the need for housing.

Attorney Famiglietti expressed that many of the comments during the public hearing are things that will be addressed during the zone change application if the regulation amendment goes forward.

After a question from Mr. Prause, Ms. Pilla stated that this new section does not replace the 10 unit per acre requirement but is in addition to it. The 10 unit per acre requirement would still be an as of right requirement, but by special exception it could be more than 10 units per acre as long as it did not exceed 20 bedrooms per acre.

MOTION: Mr. Kennedy moved to close the Public Hearing. Mr. Farina seconded the motion and all members voted in favor.

The Public Hearing was closed at 8:20 P.M.

I certify these minutes were adopted on the following date:

Date

Eric Prause, Chairman

NOTICE: A DIGITAL RECORDING OF THIS PUBLIC HEARING CAN BE HEARD IN THE PLANNING DEPARTMENT.

DRAFT

**TOWN OF MANCHESTER
MINUTES OF BUSINESS MEETING
HELD BY THE PLANNING AND ZONING COMMISSION/INLAND
WETLANDS AND WATERCOURSES AGENCY
MAY 20, 2024**

MEMBERS PRESENT:

In Person: Eric Prause, Chairman
Patrick Kennedy, Vice Chairman
Michael Stebe, Secretary
Teresa Ike
Chris Schoeneberger
Daniela Luna
Michael Farina

**ALTERNATE MEMBERS SITTING:
FOR IWP-0051-2023 ONLY:**

In Person: Maliha Ahsan

ABSENT:

Zachary Schurin

ALSO PRESENT:

In Person: Gary Anderson, Director of Planning and Economic
Development
Megan Pilla, Principal Development Planner
Electronically: David Laiuppa, Environmental Planner/Wetlands
Agent
Nancy Martel, Recording Secretary

The Chairman opened the Business Meeting at 8:20 P.M.

VESSEL TECHNOLOGIES – Amendment to Article II, Section 7.03 to allow a higher density of dwelling units in the Planned Residential Development (PRD) zone by special exception, if the total number of bedrooms does not exceed 20 per acre. – Zoning Regulation Amendment (REG-0003-2024)

Mr. Stebe remarked that, by right, a PRD can have 10 two-bedroom units within that specific acreage. The amendment, which requires an additional layer of review by the Commission, looks at 20 bedrooms, which is the same number as is allowed by right. His opinion is that it needs to remain as a special exception. The Commission, for a PRD application on special exception, must concentrate on where the development is proposed in relation to transit or access to main roads. This application does not change the number of bedrooms or change the number of residents. He added that, when looking at the regulations as a whole, there are other things that need to be addressed.

Mr. Kennedy noted his prior voting record, pointing out prior decisions. He was not in favor of amending the regulations to increase density.

Mr. Prause appreciated that this zoning regulation amendment is coming before the Commission as a special exception and not an as of right proposal. In his opinion, the Commission will review special exception criteria when invoking the additional density. He was concerned about the special exception criteria, specifically when talking about neighborhood compatibility and traffic. There is affordable housing in Connecticut and, as a municipality, Manchester must keep pushing though, as it already has, the 8-30g threshold request from the State. This does meet Manchester's POCD goals specifically related to housing attainability.

Zoning Regulation Amendment (REG-0003-2024)

MOTION: Mr. Stebe moved to approve the zoning regulation amendment to Article II, Section 7.03 to allow a higher density of dwelling units in the Planned Residential Development zone by special exception, if the total number of bedrooms does not exceed 20 per acre. Mr. Farina seconded the motion. Mr. Farina, Mr. Stebe, and Mr. Prause voted in favor of the motion. Ms. Luna, Mr. Kennedy, Ms. Ike, and Mr. Schoeneberger voted against the motion. The motion failed three to four and the application was denied.

TRIVIK BUILDERS, LLC – Modification to site plans at 27 Lillian Drive. – PRD Detailed Site Plan Modification (PRD-0001-2024)

Mr. Wes Wentworth, Wentworth Civil Engineers, introduced himself. He noted that, at the last meeting, Town staff had not yet reviewed the revisions they had made. A profile was requested for the sidewalk for Building F. Staff has reviewed everything and only minor adjustments are needed and proposed as conditions of approval.

Mr. Wentworth displayed the profile showing Building F, the east face of the building. He described the differential between the neighboring buildings and explained how it was remedied.

Ms. Pilla reported that staff has reviewed the modifications, which have alleviated the major concerns with the original proposal. The brick walls are no longer in the middle of the sidewalks, the two steps that are required are not within the primary circulation, and no steps are now required for Buildings C and E. The light poles are no longer within the sidewalks and the grass strip is reintroduced between the parking and the sidewalks in combination with wheel stops. The current plans also show consistent 24-foot-wide drive aisles and a couple of curb radii were altered. There are a handful of comments that remain, which can be modifications to an approval.

A new staff comment for which a modification is recommended, stated Ms. Pilla, is that it was confirmed that the tree clearing at the southeast side of the site was further than originally approved. Because of its location, staff suggests a modification to the approval to have the applicant do additional tree planting in place of the trees that were removed.

After a question from Mr. Prause, Mr. Wentworth stated that they have no issues with the modifications. He explained that the tree clearing issue was just to the east of the detention basin getting further from the wetlands and he felt it is reasonable.

Ms. Ike asked about the agreement with the USPS and, if that were to change, who would bear the cost of the ADA ramps.

Mr. Wentworth explained that this is a private development with a private infrastructure, so it would fall to the owner.

Mr. Stebe asked Town staff whether the Town would know that the agreement is no longer in place, and how it would be enforced.

Ms. Pilla conceded that the Town would not know if the agreement was changed.

Mr. Kennedy noted that this is required by ADA and in itself is enforcement. Ms. Pilla replied that, if the USPS stopped delivering directly to the ADA units, then the mailboxes need to be ADA accessible.

PRD Detailed Site Plan Modification (PRD-0001-2024)

MOTION: Mr. Kennedy moved to approve the PRD Detailed Site Development Plan modification for 27 Lillian Drive with the modifications as specified in staff memoranda from:

1. Megan Pilla, Principal Development Planner, dated May 20, 2024.

The reason for the approval is that the proposed development meets the requirements for multi-family housing in the Planned Residential Development zone as outlined in Art. II, Sec. 7.

JULIANO’S POOLS – Relocation of septic leaching field and construction of a new in-ground pool with patio and safety fence at 37 Pondview Drive. – Inland Wetlands Permit – Determination of Significance (IWP-0051-2023)

Ms. Danielle Levasseur, representing Juliano’s Pools, introduced herself. The proposal is for a 20 x 34 in-ground pool as well as a slight shift to the current leach field so the pool will meet all the setback requirements. They are also proposing a 4 ft. self-closing, self-latching safety fence within the 100 ft. upland review area.

Mr. Laiuppa noted that the Health Department reviewed the original application and found that the leach field would conflict with the location of the pool. All the activity is within the upland review area and would require some ground-disturbing activity, which the application reported would be 5,000 sq. ft. He reported the items for the determination of significance and highlighted those relevant to this activity.

Mr. Kennedy asked whether the leach field is being moved into, out of, or within the upland review area. According to Ms. Levasseur, it is being shifted slightly from 23 ft. to 26.6 ft. The proximity to the wetlands has not changed.

Ms. Pilla reported that the application is still in review and will be completed before the next meeting.

Mr. Stebe asked about the slope of the lawn. Mr. Laiuppa stated that it appears to be approximately 8 ft. from the leach field to the pond, approximately 278 ft. at the height to approximately 270 at the lower elevation by the pond. Ms. Pilla reported that the distance is approximately 90 ft.

Mr. Farina and Ms. Levasseur had a conversation about the distance from the wetlands boundary.

Mr. Jeff Polhemus, Skips Wastewater Service, introduced himself, noting that they were hired to design and install the modification of the septic system. He detailed the plan for the modification.

Inland Wetlands Permit – Determination of Significance (IWP-0051-2023)

MOTION: Mr. Stebe moved to find the proposed activity at the above-referenced location as shown on the inland wetlands permit application IWP-0051-2023 will not have a significant impact on the wetlands and therefore will not require a public hearing. Mr. Farina seconded the motion and all members voted in favor, with Ms. Ahsan sitting in place of Mr. Prause, who recused himself.

APPOINTMENT OF ALTERNATE MEMBER TO CAPITOL REGION PLANNING COMMISSION

Ms. Pilla reported that the Capitol Region Planning Commission is a planning commission for the entire Capitol Region Council of Governments (CRCOG) region. Each municipality has representatives to the Commission. Mr. Stebe is this Commission's representative. As Ms. Potocki has left the Commission, an alternate must be appointed.

Mr. Stebe described the workload for the meetings, which are held on Zoom, and gave a brief overview of the responsibilities.

MOTION: Mr. Kennedy nominated Ms. Luna as the alternate member to the Capitol Region Planning Commission. Mr. Schoeneberger seconded the motion and all members voted in favor.

ADMINISTRATIVE REPORTS

- There are no upcoming training opportunities.
- Comprehensive zoning consultants FHI were selected and are in the process of getting a contract signed. It will be an approximately 20-month process, broken into two phases, which were detailed.

- Update on the evidentiary hearing regarding 250 Carter Street.

Mr. Farina noted his concerns about the length of time before meeting with the full commission. He assumed that, in Phase 2, the substantive focus is where priorities would be incorporated into zoning regulations.

Ms. Pilla stated that the Commission members are highly encouraged to attend the community engagement sessions. A conversation between Mr. Farina, Ms. Pilla, and Mr. Anderson was held regarding the Commission meeting earlier in the process.

Mr. Prause concluded that Phase 1 is to modernize the zoning regulations. Phase 2 is the implementation of the POCD. The Commission will be working with Ms. Petersen to begin the second phase.

Ms. Pilla provided a summary of the evidentiary hearing for 250 Carter Street, noting the transcripts have been posted to the Siting Council's website.

APPROVAL OF MINUTES

May 6, 2024 – Public Hearing/Business Meeting

MOTION: Mr. Kennedy moved to approve the minutes as written. Mr. Farina seconded the motion and all members voted in favor.

RECEIPT OF NEW APPLICATIONS

There were no new applications.

MOTION: Mr. Kennedy moved to close the Business Meeting. Ms. Ike seconded the motion and all members voted in favor.

The Business Meeting was closed at 9:15 P.M.

I certify these minutes were adopted on the following date:

Date

Eric Prause, Chairman

NOTICE: A DIGITAL RECORDING OF THIS BUSINESS MEETING CAN BE HEARD IN THE PLANNING DEPARTMENT.