

**TOWN OF MANCHESTER  
PLANNING AND ZONING COMMISSION**

July 1, 2024  
7:00 P.M.

Lincoln Center Hearing Room, 494 Main Street  
Or virtually, via Zoom

**AGENDA**

This meeting will be held both in person and virtually, via Zoom. The meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting> by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to [pzccomments@manchesterct.gov](mailto:pzccomments@manchesterct.gov), or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.

**BUSINESS:**

1. **LUZERN ASSOCIATES LLC** – Construction of a 144,074 sq. ft. distribution center/warehouse at 71 and 81 Commerce Road.
  - Inland Wetland Permit – Determination of Significance (IWP-0008-2024)
2. **STEVEN BLANCHARD** – Pre-application discussion for possible regulation amendment to allow new construction of duplexes in RA zone.
  - Pre-Application Review (PAR-0004-2024)
3. **ADMINISTRATIVE REPORTS**
  - Administrative Approvals:
    - **Mark Peterson – Lot Line Revision (LLR-0002-2024)** – 483 Birch Mountain Rd. & 107 Blue Ridge Dr.
  - Upcoming Training Opportunities
  - POCD Implementation Matrix updated
  - Direction from Commission – timing of regulation amendment (HB-5474)
  - 260 Tolland Turnpike – Inland wetlands violation update
4. **APPROVAL OF MINUTES**
  - **June 17, 2024** – Public Hearing/Business Meeting
5. **RECEIPT OF NEW APPLICATIONS**

**TOWN OF MANCHESTER  
AQUIFER PROTECTION AGENCY**

July 1, 2024  
Immediately Following Planning and Zoning  
Commission Meeting

Lincoln Center Hearing Room, 494 Main Street  
Or virtually, via Zoom

**AGENDA**

This meeting will be held both in person and virtually, via Zoom. The meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting> by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to [pzccomments@manchesterct.gov](mailto:pzccomments@manchesterct.gov), or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.

*NEW BUSINESS:*

1. **[AQUIFER PROTECTION AGENCY REGISTRATION RENEWAL REPORT](#)**
2. **APPROVAL OF MINUTES**
  - [June 17, 2024](#)

**TOWN OF MANCHESTER  
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

**TO:** Planning & Zoning Commission/Inland Wetlands Agency

**FROM:** David Laiuppa, Environmental Planner/Wetlands Agent DL

**DATE:** June 26, 2024

**RE:** Luzern Associates, LLC – 71 & 81 Commerce Road  
Inland Wetlands Permit Determination of Significance (IWP-0008-2024)

***Introduction***

The applicant is requesting approval of a wetland permit for the construction of a warehouse, trailer storage, parking, utility connections, and water quality basins on vacant parcels at 71 and 81 Commerce Drive. This proposed project has direct impacts to multiple wetlands and upland review areas.

***Project Description***

The proposed project consists of a 144,074 SF warehouse distribution building with 28 loading docks, 2 drive in doors, 15 trailer storage spaces and parking for 127 automobiles located on the combined properties of 71 and 81 Commerce Road with a total acreage of 19.98. The plan is to regrade the site, including the wetland areas in the building pad, and create new wetlands as designated in the plans. The storm water system will incorporate three (3) water quality basins to treat storm water before draining into the existing storm water retention basin or drainage easement.

***Inland Wetlands Permit***

Any wetland, regardless of size, connectivity, genesis, or functionality, is a regulated resource and should be viewed and treated as such. It is estimated that the project will directly disturb approximately 33,620 square feet (0.77 acres) of wetlands and will directly disturb approximately 365,032 square feet (8.36 acres) within the 100' regulated upland review area. This disturbance will be permanent and is associated with the regrading of the land, direct filling of the wetlands, clear-cutting the forested portion of one wetland, and the construction of a warehouse, trailer storage, parking, utility connections, and water quality basins.

Control measures will include the use of a construction entrance at Commerce Road and the installation of silt fence around the perimeter of the project limits.

The total proposed area of **direct disturbance within the wetland area is 0.77 acres, and the direct disturbance within the upland review area is 8.36 acres.** [NOTE: These numbers are provided by the applicant.]

### *Determination of Significance*

The Inland Wetlands Agency is required to make a determination of the significance of the impact of the proposed activities on the wetlands, watercourses, and/or water bodies. In making its determination, the Agency should be guided by the definition of "Significant Impact Activity" as found in the Inland Wetlands and Watercourses Regulations, which means any activity including, but not limited to, the following activities which may have a major effect or significant impact:

- a. Any activity involving a deposition or removal of material which will or may have a substantial effect on the wetland or watercourse or on wetlands or watercourses outside the area for which the activity is proposed; or
- b. Any activity which substantially changes the natural channel or may inhibit the natural dynamics of a watercourse system; or
- c. Any activity which substantially diminishes the natural capacity of an inland wetland or watercourse to support aquatic, plant or animal life, prevent flooding, supply water, assimilate waste, facilitate drainage, provide recreation or open space or perform other functions; or
- d. Any activity which is likely to cause or has the potential to cause substantial turbidity, siltation or sedimentation in a wetland or watercourse; or
- e. Any activity which causes a substantial diminution of flow of a natural watercourse or groundwater levels of the wetland or watercourse; or
- f. Any activity which is likely to cause or has the potential to cause pollution of a wetland or watercourse; or
- g. Any activity which damages or destroys unique wetland or watercourse areas or such areas having demonstrable scientific or educational value.

If the Agency finds the proposed activity may have a significant impact on the wetlands, a public hearing is required. A public hearing shall also be held if either 1) a petition signed by at least twenty-five persons who are eighteen years of age or older and who reside in the municipality is filed no later than fourteen days after the receipt of such application, or 2) the Agency finds that a public hearing regarding such application would be in the public interest. Should the Agency find that none of the above circumstances applies to the application, then no public hearing is required.

***Staff Review***

Town staff is still reviewing the materials submitted with this application. Any outstanding comments will be provided to the Agency during the final decision meeting.

dl/kw

R:\Planning\PZC\2024\07 - July 01\Packet\IWP-0008-2024 (71-81 Commerce) - Memo.docx

**Attach.**

# Town of Manchester, CT



Geographic Information  
Systems

## 71 & 81 COMMERCE ROAD

### Legend

Zoning

- IND - Industrial
- PRD - Planned Residence  
Development
- RR - Rural Residence

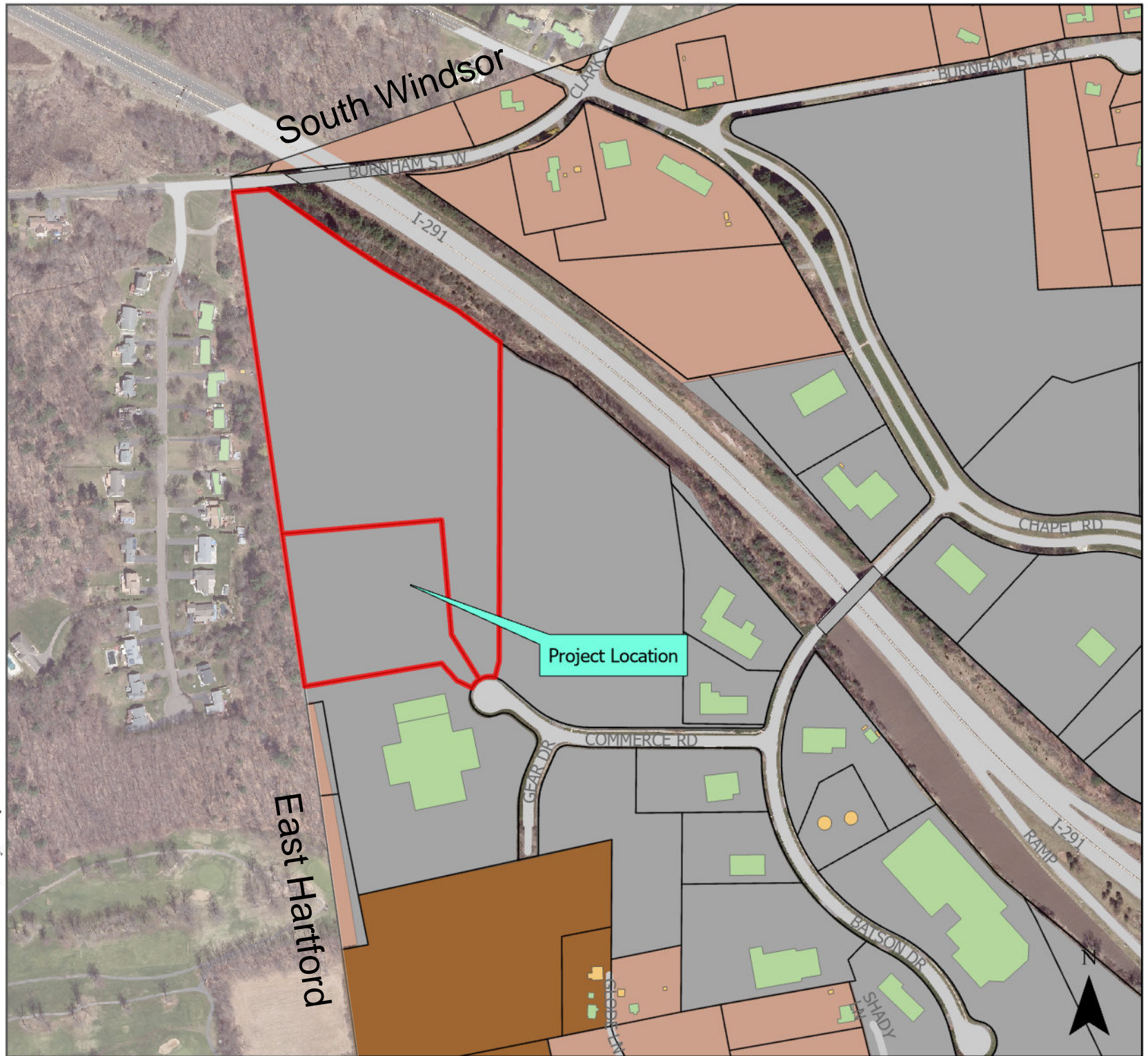
**DISCLAIMER:**  
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

**NOTES:**  
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.

0 70 140 280 420 560  
Feet

1 inch = 400 ft

Date: 6/25/2024



# **TRACCONSULTING**

Construction-Development Consultants  
40 Rita Drive, New Fairfield, CT 06812

May 30, 2024

Planning and Economic Development  
Lincoln Center  
494 Main Street  
Manchester, CT 06045

Re: Project Narrative  
71 & 81 Commerce Road  
Manchester, CT

The proposed project consist of a 144,074 SF warehouse distribution building with 28 loading docks, 2 drive in doors, 15 trailer storage spaces and parking for 127 automobiles located on the combined properties of 71 and 81 Commerce Road with a total acreage of 19.980.

The properties are zoned "I" Industrial and part of an industrial subdivision approved by the PZC in 2000. Accessed to the site is off of Commerce Road and bounded by industrial zoned properties to the east and south, residential zoned properties to the west in East Hartford and interstate 291 to the north.

Although the planned uses; warehouse, light industrial and manufacturing are as of right, the project requires a Special Use Exception per Article II section 16.15.02 since it exceeds 4-acres, 60 parking spaces and more than 7 loading docks.

## Special Exception Criteria

Review of the special exception use by the Planning and Zoning Commission shall be based on the criteria defined in Article IV Section 20.01 of the zoning regulations.

- (a) Suitable Location for Use. The project use is suitable for the location since the property is part of an approved industrial subdivision which contemplated the use proposed. Furthermore the use is in accordance with the Plan of Conservation and Development which designates this area as a the special industrial zone (SP-IND) suitable for truck circulation, large building footprints and uses including warehouse and manufacturing.
- (b) Suitable Structures for Use. The proposed structure is suitable for this site and the subdivision in that its location and size is consistent with the location and size of buildings shown on the concept plans contained in the subdivision approvals. Of the 5-lots contained in this subdivision only one lot has been developed. Development of these two lots will promote the development of the remaining two lots which is consistent with the plan of Conservation and Development. The properties abut residential properties to the west in East

Hartford. This was also contemplated when the subdivision was approved with the requirement that the building is set back from the residences 150'. The planned development complies with this along with preserving trees and vegetation as a buffer.

- (c) Neighborhood Compatibility. As discussed in (a) and (b) this project is in an industrial zone. The design complies with the zoning regulations. We have designed the project in consideration of the residential properties by placing the loading docks on the east side away from the residences, setting back the building 150' plus and have maintained and enhanced the natural buffers.
- (d) Adequate Parking and Access. The development contains parking for 127 automobiles including required accessible spaces and EV charging spaces. According to the Parking Generation Manual by the Institute of Transportation Engineers, this project as a warehouse use would require 56 parking spaces. Access to the site is via Commerce Road with a single in and out driveway with stop sign.
- (e) Adequate Streets for Use. The site is access via Chapel Road to Batson Drive to Commerce Road. According to the traffic report prepared by F.A.Hesketh Associates the traffic generated by the proposed development can readily be accommodated by the existing roadway network without a significant impact to existing traffic operations.
- (f) Adequate Emergency Access. The site is laid out with a roadway circulating the building that provides access to all parts of the building by emergency vehicles and fire trucks. Fire hydrants are located at required intervals for firefighting.
- (g) Adequate Public Utilities. As part of the construction of Commerce Road utilities to accommodate the property including water, sewer, gas and electric were installed. Also as part of the subdivision a storm water system was installed connected to the retention basin located on both 71 and 51 Commerce Road.
- (h) Environmental Protection and Conservation. The existing site was cleared and leveled and generally made ready for development consistent with the approved subdivision plans back in 2001. Over the years the site was left vacate and in low spots wetland areas developed in the areas slated for development. The plan for the site is to regrade the site including the wetland areas in the building pad and create new wetlands as designated in the plans. See wetlands application and report. Because the site was cleared and leveled there are no specimen trees with in the development to save. The storm water system will incorporate three (3) water quality basins to treat storm water before draining into the existing storm water retention basin or drainage easement. The proposed project implements sustainable initiatives; the roof is designed to accept solar, electric vehicle charging stations are provided and the building is designed in accordance with the latest energy efficiency standards.
- (i) Consistent with Purposes. The project complies with the zoning regulations and the Plan for of Conservation and Development, will provide greater control over storm water, will establish additional permanent wetland areas to promote wild life and provides for economic growth.
- (j) Integration of Use. Does not apply





- Soil & Wetland Studies
- Ecology • Application Reviews
- Listed Species Surveys • GPS
- Environmental Planning & Management
- Ecological Restoration & Habitat Mitigation
- Expert Testimony • Permitting

June 7, 2024

VIA E-MAIL

Town of Manchester  
Inland Wetlands & Watercourses Agency  
41 Center Street  
Manchester, CT 06045

**ATTN:** Mr. Eric Prause, Chairman

**RE:** **WETLANDS ASSESSMENT - *Summary of Findings***  
**Proposed Distribution Warehouse**  
71 & 81 Commerce Road, Manchester, CT  
*REMA Job #24-2666-MAN44*

Dear Chairman Prause and Agency Members:

At the request of the applicant, LFF Commerce JV, LLC, REMA ECOLOGICAL SERVICES, LLC (REMA), has prepared this *Wetlands Assessment: Summary of Findings* to be submitted as part of an application before the Town of Manchester's Inland Wetlands and Watercourses Agency, to conduct regulated activities at the above-referenced property. This is pursuant to the provisions of the Inland Wetlands and Watercourses Act, Connecticut General Statutes Section 22a-28 through 22a-45d, inclusive, and the Inland Wetlands and Watercourses Regulations of the Town of Manchester (adopted November 14<sup>th</sup>, 1975, and effective January 3<sup>rd</sup>, 2014).

The primary objective of this report is to provide the Agency with brief descriptions and characterizations of the regulated wetlands and watercourses associated with the subject site, an assessment of their ability to provide various functions and values, and to analyze potential short-term and long-term impacts to these resources. Moreover, mitigation strategies that offset the impacts will be presented and discussed, which include compensatory wetland mitigation.



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## **1.0 Introduction & Overview**

The subject site (or “property”) is located at the end of Commerce Road, in Manchester, CT (see Figures 1 and 2 attached), to the north of an existing industrial building (i.e., AGA-PGT Plastics Gearing Tech), to the east of the East Hartford – Manchester municipal boundary, and to the southwest of the Interstate 291 transportation corridor. The site is situated at the northwest corner of the Town of Manchester. An electric power right-of-way (i.e., Eversource) traverses the northern portion of the site, and a portion of a constructed detention basin occurs within its eastern extent.

The applicant is proposing to construct a 144,000 square foot distribution warehouse with associated parking, truck loading, trailer parking, stormwater management facilities, and other infrastructure improvements. The subject site, which encompasses approximately 19.98 acres, includes a relatively recently disturbed, nearly level area which was graded and prepared for an approved two building industrial development, which was subsequently not constructed. The earthwork took place sometime between 2001 and 2003 (see Figures 3 and 4, attached). This level area is currently a mosaic of scrub shrub and meadow, including both uplands and wetlands, to be further described below. The site also includes a wooded strip along a steep slope located along the western property boundary, as well as young woods, and scrub shrub and vine tangles.

Plant species composition reflects the site’s fine to very fine textured sandy soil, and its history of past activities, as shown in reviewed on-line archival aerial photography (i.e., CTECO, UConn Magic, CT State Library) for the following flight years: 1934, 1951, 1965, 1970, 1986, 1990, 1995, and 2004 (see Figures 3 and 4, for example).

For this report, REMA reviewed plans prepared by Alford Associates, Inc., of Windsor, Connecticut. The set of plans (16 sheets) are entitled “*Site Plan, Prepared for LFF Commerce JV, LLC, 71 Commerce Road and 81 Commerce Road, Manchester, Connecticut,*” dated May 6, 2024.

This report is a *Summary of Findings* that provides a brief “*description of the ecological communities and functions of the wetlands or watercourses involved with the application and the effects of the proposed regulated activities on these communities and wetland functions,*” as required by Section 4.4(b) of the Town of Manchester Inland Wetland and Watercourses Regulations.



Wetlands were delineated and characterized by REMA, beginning on 10-27, and 11-30-2023. Additional site investigation to delineate wetland resources and compile baseline data was conducted on 2-12, 3-18, and 5-22-2024. Wetland boundaries were delineated by REMA Registered Soil Scientist George T. Logan during the first three of the aforementioned site visits. A REMA *On-Site Soil Investigation & Wetland Delineation Report* (the “Wetland Delineation Report”) dated May 24, 2024, supporting the wetland delineations, is being submitted separately.

We note that REMA reviewed secondary source data, including archival aerial photographs, previously mentioned, and also more recent aerial photography for flight years 1990 through 2023 (Google Earth). We also reviewed USGS topographic maps, including historic ones (e.g., 1954), CTECO Resource Maps, the State of Connecticut Soil Survey (USDA-NRCS) (attached to the Wetland Delineation Report), and several CT DEEP GIS-based resource maps (e.g., surficial and bedrock geology, etc.).

Attached to this *Summary of Findings* we provide several annotated photographs, primarily of the site’s regulated resources, as well as other pertinent features of the site (see Photos 1 through 18, attached).

## **2.0 Existing Conditions**

### **2.1 Wetland and Watershed Overview**

The site’s delineated regulated wetland/watercourse resources, Wetlands A through F (see Figure A of the Wetland Delineation Report), are mostly isolated, and do not discharge off site, with the exception of Wetland D, which may overflow to a constructed detention basin immediately to the east. This detention basin discharges to the Connecticut River via the Podunk River (Basin 4004-05-1).

### **2.2 Geology and Soils**

Based on State of Connecticut GIS data (i.e., CTECO), the subject site is underlain mainly by thick till deposits. Bedrock is mapped as Portland arkose (Jp) (i.e., reddish-brown arkose; a.k.a., brownstone).

The USDA/NRCS soils map (i.e., Web Soil Survey) shows the well-drained Wethersfield loam (Mapping Unit 87), occupying the majority of the site prior to the earthwork that took place in



the early 2000s. As a result, most of the “study area” (see Wetland Delineation Report) is now mapped as Udorthents (Mapping Unit 308) consisting of well drained to moderately well drained soils altered by cutting, filling, or grading. Prior to the earthwork, no wetlands occurred (or were mapped) on the subject site. However, the grading resulted in compacted materials, and several isolated wetlands were formed in microtopographical depressions. The soils that are forming in these newly created wetlands are mapped as Aquents (Mapping Unit 308w).

### 2.3 Wetland Characterizations

Six distinct, isolated wetlands (i.e., Wetlands A through F), were delineated at the subject site. Wetlands A, B, C, and E, have resulted predominately from the trapping of rainwater on compacted, fine-grained reddish subsoils. Wetland D was likely created as a swale to trap and direct water easterly to an existing detention basin. Similarly, Wetland F is a constructed detention/sediment erosion basin.

Wetlands A through E, predominately poorly drained, emergent wetlands (i.e., wet meadows), supporting *seasonally flooded* and *seasonally saturated* hydrologic regimes. Figure A, attached to the aforementioned *On-Site Soil Investigation & Wetland Delineation Report*, graphically shows their approximate extents on a 2016 aerial photograph. Wetland F, the small detention basin may also be *semi-permanently flooded*. This wetland was investigated in March and May of 2024<sup>1</sup> for potential serving as habitat for the breeding of vernal pool obligate amphibians, such as wood frog and spotted salamander. Egg masses or individuals of such species were not detected.

All of the delineated wetlands are *palustrine* (i.e., freshwater), *emergent* wetlands, classified as PEM1, according to the National Wetlands Inventory (NWI) classification system, dominated herbaceous species, including sedges (i.e., fox, tussock, stipate, etc.), red tope, cattail, common reed, purple loosestrife, willowherbs, wool grass, swamp milkweed, goldenrods, and asters. Also, shrubs were observed growing within the delineated wetlands, such as at the western edge of Wetland E. These included such species as red maple (seedlings, saplings), multiflora rose, silky dogwood, and variety of willow species. Wetland C is characterized by a maturing stand of common reed (i.e., *Phragmites australis*).

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<sup>1</sup> A dip-net was utilized during the May survey. Many mosquito larvae were observed, but not amphibian larva (i.e., tadpoles).



**2.4 Wetland Functions & Values**

Wetland/watercourse functions and values<sup>2</sup> were assessed informally, using the rationales of a standardized evaluation methods [e.g., US Army Corps of Engineers’ *Descriptive Approach* (1995)], and best professional judgment. Wetland and upland baseline data provide the basis for the assessment, as well as the landscape setting of the site, as noted above. Table A (below) shows the results of the assessment.

**Table A: Summary of Wetland/Watercourse Functions-Values Assessment**

Function/Value	Wetlands A to F
<b>Groundwater Recharge/discharge</b>	N
<b>Floodflow alteration</b>	N
<b>Sediment/Shoreline Stabilization</b>	n/a
<b>Sediment/toxicant/pathogen retention</b>	N/Y <sup>3</sup>
<b>Nutrient Removal/Transformation</b>	Y
<b>Production Export</b>	Y
<b>Aquatic Habitat</b>	N
<b>Wildlife Habitat</b>	Y
<b>Endangered Species Habitat</b>	N
<b>Visual Quality/aesthetics</b>	Y
<b>Educational/Scientific Value</b>	Y
<b>Recreation (passive/active)</b>	N
<b>Uniqueness/heritage</b>	N

Notes: P = Primary/principal function; Y = secondary/function present; N = function not appreciably present or absent

Due to their isolation and their relatively recent formation, none of the site’s delineated wetlands confer any principal/primary functions. None are associated with a flowing watercourse, and the presence of invasive species within or along their perimeters, detract from their function. It should be noted that if these wetlands were left to continue to “mature,” they will be overtaken by woody species, including invasives such as multiflora rose. As the woody species become dominant, especially tree species, these wetlands will shrink or transition to uplands, by the sheer increase in evapotranspiration. With limited watersheds, and relying

<sup>2</sup> Functions are those provided by a given wetland/watercourse that are intrinsic to the resource. That is, they would present regardless of society (e.g. wildlife habitat, nutrient removal/transformation). Values are those services that society benefits from (e.g., floodflow alteration, recreation, educational/scientific value. Some “functions” also benefit society, such as sediment/toxicant/pathogen retention.

<sup>3</sup> Wetlands D and F, only, and to a minor extent.



much on direct precipitation for their hydrology, shrubs and trees will quickly use the limited supply of water, and many of these areas will dry up, and longer function as wetland habitats.

### **3.0 Overview of Potential Wetland/Watercourse Impacts**

#### **3.1 Direct Wetland/Watercourse Impacts**

Per the reviewed plans, *direct* impacts to wetlands shall be 33,600 square feet (i.e., 0.77 acres). All of the recently created isolated wetlands (i.e., Wetlands A to F), described in previous sections of this report, would be filled to provide for the development of the distribution warehouse. Reasonable development of the property, per its zoning designation, cannot take place without filling/disturbing these wetlands. Due to their very young age, low or negligible functions and values, and isolation, the disturbance of these wetlands is not considered a significant loss of regulated wetlands. Nevertheless, similar and potentially higher functioning wetlands will be created within the site's two proposed detention basin (Basins #1 and #2).

#### **3.2 Indirect Wetland/Watercourse Impacts**

*Indirect* or *secondary* impacts to a wetland or watercourse can occur as a result of activities *outside* of wetlands or watercourses. Such impacts can be *short-term* or *long-term*, and are typically associated with the potential for erosion and sedimentation, mostly during the construction period, the removal or disturbance of vegetation in upland areas but adjacent to wetlands or watercourses, the alteration of wetland hydrology or the flow regime of a watercourse, and the discharge of degraded surface water or groundwater, which may adversely impact the water quality of the regulated resources both on-site, but also, potentially off-site and downgradient.

The potential for any of these *indirect* impacts to occur at the site as a result of the proposal depends on the regulated resources themselves, the functions and values that they provide, their environmental sensitivity, and their ecological and physical characteristics. These potential impacts are discussed below.

##### **3.2.1 *Erosion and Sedimentation***

The potential for soil erosion and subsequent deposition in wetlands or watercourses exists at every development site that involves soil disturbance. At this site the risk or the potential for adverse impacts from erosion and sedimentation is considered to be *moderate*. The primary



reasons for this assessment are as follows: (1) appropriate erosion and sedimentation controls have been proposed, as seen on the submitted plans, conforming to CT DEEP’s 2002 *Guidelines for Soil Erosion and Sediment Control*, or as most recently amended<sup>4</sup>, (2) the area to be disturbed for the building and paved areas are on fine-textured subsoils, that are *moderately* erodible, and (3) slopes are generally gentle to nearly level throughout the area subject to soil disturbance. Nonetheless, diligent monitoring and maintenance of erosion and sedimentation controls is necessary to ensure that the regulated resources are protected during the construction phase.

### ***3.2.2 Removal of Native Vegetation and Habitat Loss***

Habitat loss associated with land clearing is an unavoidable consequence of land development, which has the potential of impacting wetlands and watercourses, especially when conducted in close proximity to such regulated resources, such as within the designated 100-foot wide upland review area (URA). At this is not an appropriate metric for assessing wetland impacts, since all of the newly created, isolated wetlands would be filled.

### ***3.2.3 Potential Impacts to Wetland Hydrology and Stream Flow***

Under existing conditions all of the wetlands are fed by direct precipitation and from surface flows from their relatively small watersheds. Since all of these newly created isolated wetlands would be filled, this is not a relevant category for impact assessment. Nevertheless, all of the runoff that will be generated from impervious surfaces at the site will be directed first to two on-site detention basins, which have been designed to retain water and promote wetland hydrology. Both of these basins will be plated with wetland species and provide similar or higher functions and values than the wetlands that are being filled. Also, the two basins will discharge to an off-site wetland which contains a large wetland habitat, thus maintaining its hydrology.

### ***3.2.4 Potential Water Quality Impacts***

Stormwater runoff from impervious surfaces of development (e.g., commercial, residential, industrial) sites has the potential of degrading the water quality (i.e., surface and groundwater) of regulated resources. Generation of potential pollutants on impervious surfaces typically

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<sup>4</sup> The 2024 Guidelines for Soil Erosion & Sediment Control amend the 2002 guidelines, with an effective date of March 30, 2024. However, since the design for the for the subject development proposal was more than 50% completed by March 30, 2024, the site is not subject to the updated guidance.



results from vehicular traffic over them. The more the “axle-miles” or the movements of vehicles over impervious surfaces, the higher is the potential loading of runoff constituents, including sediment, nutrients, heavy metals, and the like.

The newly revised 2024 CT Stormwater Quality Manual (“the Manual”), with an effective date of March 30, 2024, provides the applicable guidance for designing effective stormwater management that will provide for water quality control. Since the proposal was more than 50% designed by March 30, 2024 the revised guidance would not apply. Nevertheless, the design engineer, as seen in the Stormwater Management Report, dated May 6, 2024, utilizes some of the new guidance, such as the for the calculation of the water quality volume (WQV).

In reviewing the proposed stormwater management system, the aforementioned Stormwater Management Report, and the potential sensitivity of the receiving off-site surface waters, it is our professional opinion that there will not be any adverse impacts to these waters, which include downgradient wetland resources.

#### **4.0 Mitigation**

In an effort to replace lost functions and values from the filling or alteration of the site’s six, recently formed, isolated wetlands, the two proposed detention basins have been designed to provide appropriate hydrology as wetland habitats, with appropriate planting materials, as seen on the submitted plans (see Sheet C5.1). We note that typically creation of wetland habitats within stormwater wetland basins, is not considered as “in-kind” mitigation. However, in this case, where the wetlands taken are of low functional quality, are recently formed, and would likely “blink-out” or substantially be reduced in size as woody vegetation took over within them, this mitigation strategy is reasonable. In fact, while some functions and values would be similarly conferred, that is, not substantially enhanced (e.g., *wildlife habitat*), others would increase, such as *sediment/toxicant/pathogen retention, nutrient removal/transformation, and production export*. Moreover, the creation of wetland habitats are concentrated in two larger areas, instead of six isolated areas, which typically increases functions and values.

#### **5.0 Conclusion**

It is our professional opinion that while six, low-functioning, isolated, and newly formed wetlands will be impacted, their functions and values will more than be replaced by the proposed created wetland habitats. Moreover, short-term and long-term impacts to off-site





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wetland resources are not expected, which include the preservation of the water quality of downgradient receiving waters.

Please call us if you have any questions on the above or need further assistance.

Respectfully submitted,

**REMA ECOLOGICAL SERVICES, LLC**

A handwritten signature in black ink that reads "George T. Logan". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

George T. Logan, MS, PWS, CSE  
Certified Senior Ecologist  
Professional Wetland Scientist  
Registered Soil Scientist

Attachments: Figures 1 through 4; Annotated Photographs (1-18)

**FIGURE 1**  
SITE LOCUS  
71 & 81 Commerce Road,  
Wallingford, CT



**FIGURE 2:**

71 & 81 Commerce Road, Manchester, CT  
(as seen on a June 2022 aerial photograph)



**FIGURE 3: 71 & 81 Commerce Road,  
Manchester, Connecticut  
(as seen on a 1995 aerial photograph; UConn MAGIC)**



**SUBJECT  
SITE**



**FIGURE 4: 71 & 81 Commerce Road,  
Manchester, Connecticut  
(as seen on a 2004 aerial photograph; UConn MAGIC)**



**SUBJECT SITE**


	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b> November 30, 2023	<b>FACING:</b> NORTHEASTERLY	<b>PHOTO NO.:</b> 1	
		<b>Comments:</b> Wetland A	

<b>DATE:</b> November 30, 2023	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 2	
		<b>Comments:</b> Wetland B	



	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b> November 30, 2023	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 3	
			<i>Comments: Wetland C</i>

<b>DATE:</b> February 12, 2024	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 4	
			<i>Comments: Wetland D</i>



	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b> November 30, 2023	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 5	
			<i>Comments: Wetland E (wet meadow portion)</i>


<b>DATE:</b> February 12, 2024	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 6	
			<i>Comments: Wetland E (internal scrub shrub portion)</i>




	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b> February 12, 2024	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 7	
		<b>Comments:</b> Wetland F (will be surveyed as potential vernal pool habitat in late March/early April)	

<b>DATE:</b> February 12, 2024	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 8	
		<b>Comments:</b> Typical wetland soil profile (disturbed/man-made); within Wetland D	

	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> SOUTHWESTERLY	<b>PHOTO NO.:</b> 9	
			<i>Comments: Wetland F was investigated as a potential vernal pool habitat but no evidence of obligate amphibian breeding was observed</i>

<b>DATE:</b> March 18, 2024	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 10	
			<i>Comments: Wetland F</i>


	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 11	
			<i>Comments: Wetland A</i>



<b>DATE:</b> March 18, 2024	<b>FACING:</b> NORTHEASERLY	<b>PHOTO NO.:</b> 12	
			<i>Comments: Wetland A in foreground with uplands in background</i>


	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> NORTHEASTERLY	<b>PHOTO NO.:</b> 13	
			<i>Comments: Wetland B</i>

<b>DATE:</b> March 18, 2024	<b>FACING:</b> EASTERLY	<b>PHOTO NO.:</b> 14	
			<i>Comments: Wetland C, expanding common reed (Phragmites) patch</i>

	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 15	
			<i>Comments: Wetland D</i>

<b>DATE:</b> March 18, 2024	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 16	
			<i>Comments: Wetland E</i>

	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 17	
		<i>Comments: Wetland E in foreground, uplands in background</i>	

<b>DATE:</b> March 18, 2024	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 18	
		<i>Comments: Central uplands</i>	



REPORT DATE: May 24, 2024

PAGE 1 OF 3

**REMA ECOLOGICAL SERVICES, LLC**

43 Blue Ridge Drive, Vernon, CT 06066

860.649.REMA (7362) / 860.883.8690

## ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT

### PROJECT NAME & SITE LOCATION:

+/- 8.5 acres (study area)

71 & 81 Commerce Road

Manchester, CT

### REPORT PREPARED FOR:

TRAC Consulting

40 Rita Drive

New Fairfield, CT

Attn.: Tom Riley

REMA Job No.: 23-2666-MAN44

Field Investigation Date(s): February-April 2024

### Field Investigation Method(s):

Spade and Auger

Backhoe Test Pits

Other: \_\_\_\_\_

### Field Conditions:

Weather: sunny to overcast, 30s to 50s

Soil Moisture: Moderate-High

Snow Depth: none

Frost Depth: none

### Purpose of Investigation:

Wetland Delineation/Flagging in Field

Wetland Mapping on Sketch Plan or Topographic Plan

High Intensity Soil Mapping by Soil Scientist

Medium Intensity Soil Mapping from *The Soil Survey of Connecticut Maps* (USDA-NRCS)

Other: \_\_\_\_\_

Base Map Source: CT Soil Survey web; USDA-NRCS) (attached), Figure A (attached)

Wetland Boundary Marker Series: RES-A-1 to RES-A-29, RES-B-1 to RES-B-9, RES-C-1 to RES-C-17, RES-D-1 to RES-D-8, RES-E-1 to RES-E-53, and RES-F-1 to RES-F-12 (closed lines)

**General Site Description/Comments:** The "study area" or "site" consists of roughly 8.5 acres of land of an overall 19.98 acre property, located in an industrially-zoned portion of Manchester, CT. The site was graded and filled sometime between 2001 and 2003 to prepare "pads" for two industrial buildings. This grading created very shallow depressional areas that have ponded a few inches of water for a significant enough time for several, isolated wetland areas to develop. The site's original soils were derived from glacial till (i.e., unstratified sand, silt, and rock) deposits. However, under existing conditions the great majority of the soils within the study area are disturbed and are derived from sandy/silty fill. The soils are classified as Aquepts (308w), which are poorly drained disturbed wetland soils, and as Udorthents (308) which are moderately well drained disturbed upland soils. Also, at the far northwestern portion of the site, in a forested area, the soils are identified as the well-drained Wethersfield (87) loam soil series. At the far southwestern section of the study area, a small shallow detention basin was investigated as a vernal pool, but no obligate species (e.g., mole salamanders, wood frogs) were observed. For the most part, the regulated wetlands within the study area are emergent (i.e., meadow/marsh), with some scrub shrub inclusions. Dominant species include willows, dogwoods, cattail, common reed, sedges, rushes, monkey flower, swamp milkweed, purple loosestrife, goldenrods, asters, red top, and others. We note that the study area does contain several, small and isolated "wet" areas with wetland vegetation but marginal upland soils, which were not delineated.

**ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT (CONTINUED)**

**PROJECT NAME & SITE LOCATION:** +/- 8.5 acres (Study Area)  
71 & 81 Commerce Road, Manchester, CT

**SOIL MAP UNITS****Upland Soils**

**Udorthents (308).** This soil mapping unit consists of well drained to moderately well drained soils that have been altered by cutting, filling, or grading. The areas either have had two feet or more of the upper part of the original soil removed or have more than two feet of fill material on top of the original soil. Udorthents or Made Land soils can be found on any soil parent material but are typically fluvial on glacial till plains and outwash plains and stream terraces.

**Wethersfield loam (87).** The Wethersfield series consists of deep, well drained soils formed in a coarse-loamy mantle underlain by firm, compact glacial till from Triassic materials. They are nearly level to steeply sloping soils on till plains, low ridges and drumloidal landforms. The soils developed in glacial till derived mainly from reddish Triassic sandstone, conglomerate and shale with some basalt. Typically, these soils have a dark brown loam surface layer 8 inches thick. The subsoil from 8 to 25 inches is reddish brown loam. The substratum from 25 to 60 inches is reddish brown, firm fine sandy loam.

**Wetland Soils**

**Aquents (308w).** This soil map unit consists of poorly drained and very poorly drained, disturbed land areas. They are most often found on landscapes which have been subject to prior filling and/or excavation activities. In general, this soil map unit occurs where two or more feet of the original soil surface has been filled over, graded or excavated. The Aquents are characterized by a seasonal to prolonged high ground water table and either support or are capable of supporting wetland vegetation. Aquents are recently formed soils which have an aquic moisture regime. An aquic moisture regime is associated with a reducing soil environment that is virtually free of dissolved oxygen because the soil is saturated by groundwater or by water of the capillary fringe. The key feature is the presence of a ground water table at or very near to the soil surface for a period of fourteen days or longer during the growing season.



ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT (CONTINUED)

PROJECT NAME & SITE LOCATION: +/- 8.5 acres (Study Area)  
71 & 81 Commerce Road, Manchester, CT

SOIL MAP UNITS

See previous page

Any accompanying soil logs and soil maps, and the on-site soil investigation narrative are in accordance with the taxonomic classification of the National Cooperative Soil Survey of the USDA Natural Resource Conservation Service, and with the Connecticut Soil Legend (DEP Bulletin No.5, 1983), as amended by USDA-NRCS. Jurisdictional wetland boundaries were delineated pursuant to the Connecticut General Statutes (CGS Sections 22a-36 to 22a-45), as amended. The site investigation was conducted and/or reviewed by the undersigned Registered Soil Scientist(s) [registered with the Society of Soil Scientists of Southern New England (SSSSNE) in accordance with the standards of the Federal Office of Personnel Management].

Respectfully submitted,

**REMA ECOLOGICAL SERVICES, LLC**



George T. Logan, MS, PWS, CSE  
Registered Professional Soil Scientist  
Field Investigator/Senior Reviewer

**FIGURE A: WETLAND DELINEATIONS SKETCH MAP**

71 & 81 Commerce Road, Manchester, CT

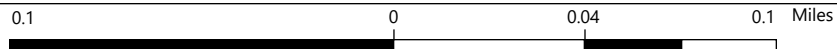


**Legend**

Light Gray Canvas Base

**ANNOTATED BY:** Rema Ecological Services, LLC  
**DATE:** 2/21/2024  
**BASE MAP:** Spring 2019 aerial with 2016 topography

1: 2,257



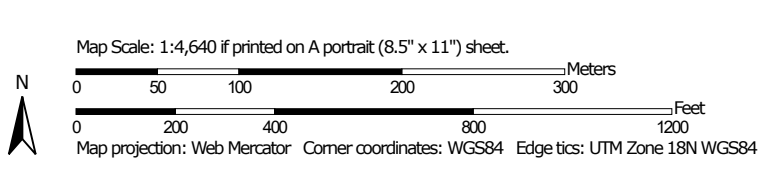
This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

Notes

Soil Map—State of Connecticut, Western Part  
(71 & 81 Commerce Road, Manchester, CT)




Soil Map may not be valid at this scale.



## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut, Western Part

Survey Area Data: Version 1, Sep 15, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Oct 6, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
9	Scitico, Shaker, and Maybid soils, 0 to 3 percent slopes	2.9	2.6%
12	Raypol silt loam, 0 to 3 percent slopes	2.1	1.9%
28A	Elmridge fine sandy loam, 0 to 3 percent slopes	1.0	0.9%
43B	Rainbow silt loam, 3 to 8 percent slopes	0.4	0.3%
82B	Broadbrook silt loam, 3 to 8 percent slopes	29.4	26.1%
82D	Broadbrook silt loam, 15 to 25 percent slopes	0.4	0.4%
87B	Wethersfield loam, 3 to 8 percent slopes	10.4	9.2%
87C	Wethersfield loam, 8 to 15 percent slopes	7.8	6.9%
87D	Wethersfield loam, 15 to 25 percent slopes	5.4	4.8%
306	Udorthents-Urban land complex	15.7	13.9%
702A	Tisbury silt loam, 0 to 3 percent slopes	7.0	6.2%
702B	Tisbury silt loam, 3 to 8 percent slopes	1.9	1.7%
704A	Enfield silt loam, 0 to 3 percent slopes	5.7	5.1%
704B	Enfield silt loam, 3 to 8 percent slopes	22.7	20.1%
<b>Totals for Area of Interest</b>		<b>112.9</b>	<b>100.0%</b>

**PROJECT ANALYSIS –**

**ZONE OF SUBJECT PROPERTY: INDUSTRIAL ZONE**  
 NOTE: THE SUBJECT PROPERTY IS WITHIN THE "BUCKLAND INDUSTRIAL PARK II" WHICH HAS ITS OWN SET OF "INDUSTRIAL PARK REGULATIONS", DATED NOVEMBER, 1999.

**PROPOSED USE:** 144,300 SQUARE FOOT BUILDING TO BE USED FOR A DISTRIBUTION WAREHOUSE AND/OR LIGHT INDUSTRIAL/MANUFACTURING  
 (PROPOSED USES ARE PERMITTED IN BOTH THE TOWN ZONING REGULATIONS AND "PARK" REGULATIONS)  
**INCLUDED IN THE PROPOSAL:** 127 PARKING SPACES (122 REGULAR SPACES & 5 ACCESSIBLE SPACES)  
 28 LOADING SPACES  
 2 DRIVE IN DELIVERY BAYS  
 15 TRUCK TRAILER SPACES

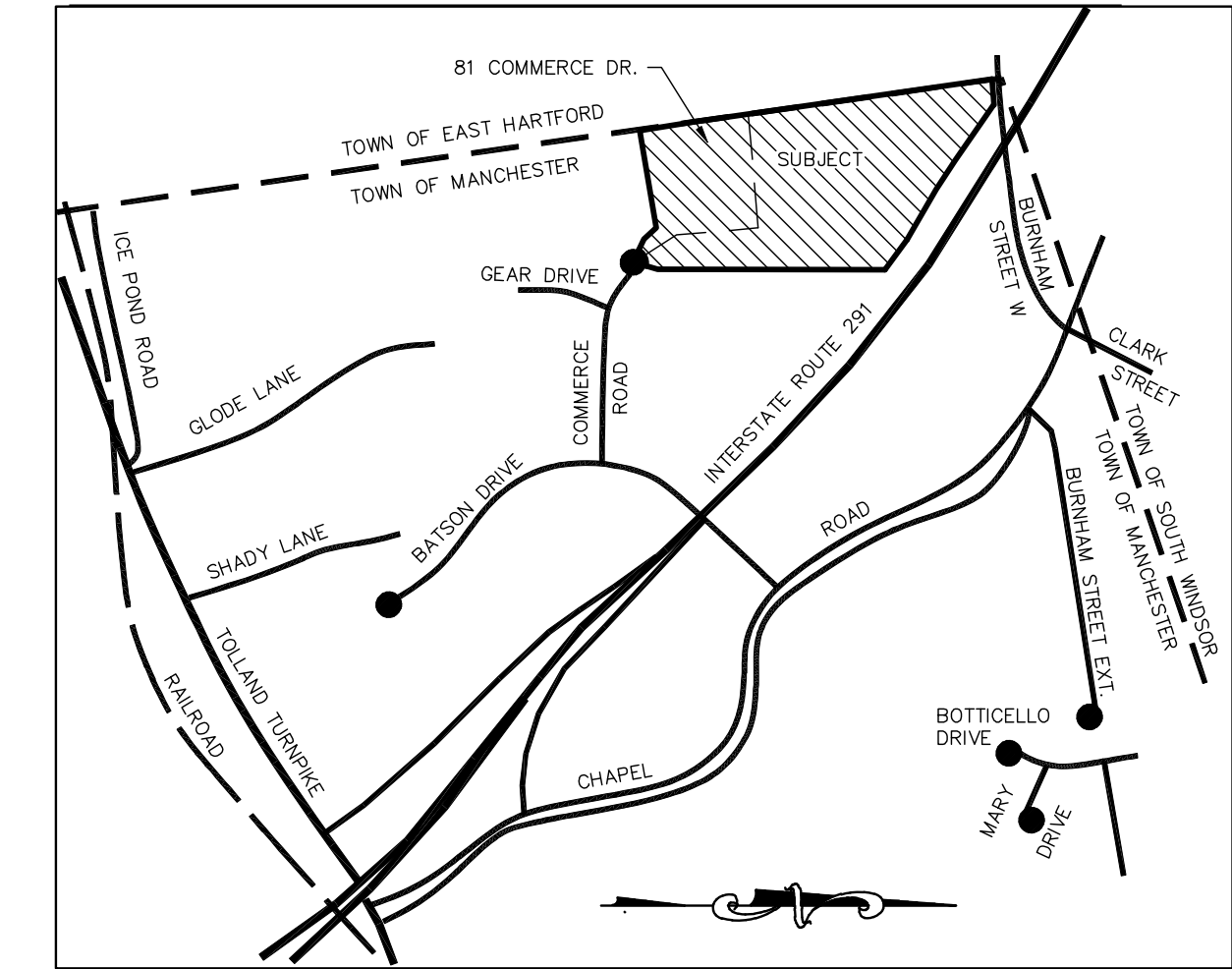
**SPECIAL EXCEPTION USES:** PER SECTION 16.15.02 OF THE MANCHESTER ZONING REGULATIONS USES SHALL REQUIRE APPROVAL FROM THE PLANNING AND ZONING COMMISSION AFTER A PUBLIC HEARING  
 (a) ALL USES WHICH INCLUDE DEVELOPMENT ON A SITE WHICH IS FOUR (4) ACRES OR LARGER IN SIZE  
 (b) ALL USES WHICH REQUIRE AUTOMOBILE PARKING SPACES IN EXCESS OF 60 SPACES  
 (c) ALL USES WHICH REQUIRE LOADING DOCKS OR BAYS IN EXCESS OF SEVEN (7)

**ZONING COMPLIANCE TABLE:**

ITEM	REQUIRED / PERMITTED		PROPOSED
	TOWN ZONING REGULATIONS	"PARK" REGULATIONS	
LOT AREA	NR	2 ACRES MINIMUM	870,318 SQ. FT. = 19.980 ACRES
LOT FRONTAGE	NR	NR	83.1'
BUILDING HEIGHT	75' MAXIMUM	75' MAXIMUM	45'
LOT COVERAGE (BUILDING)	60% MAXIMUM	33% MAXIMUM	16.6%
LOT COVERAGE (PAVEMENT)	NR	33% MAXIMUM	17.0%
FRONT YARD	40' MINIMUM	50' MINIMUM	198.7'
SIDE YARD	15' MINIMUM	25' MINIMUM	91.6' (ALONG SOUTH SIDE)
REAR YARD	30' MINIMUM	50' MINIMUM	141.4' (ALONG WEST SIDE)
DENSITY RATIO OF TOTAL GROSS FLOOR AREA TO SITE AREA	NR	1.0 MAXIMUM	0.17
PARKING	THE NUMBER OF SPACES SHALL BE SUFFICIENT TO ACCOMMODATE PERSONNEL AND CUSTOMERS	NR	VEHICLE SPACES: 127 SPACES TOTAL (INCLUDES 122 REGULAR SPACES & 5 ACCESSIBLE SPACES)
EV PARKING	10% OF PARKING SPACES 127 x 10% = 12.7 OR 13 SPACES	NR	13 SPACES (INCLUDES 12 REGULAR SPACES & 1 ACCESSIBLE SPACES)
SETBACK ALONG ANY PROPERTY LINE OF RESIDENTIAL USE PROPERTY	NR	50' MINIMUM	156' SETBACK FROM THE WEST PROPERTY LINE
SETBACK OF A STRUCTURE FROM A RESIDENCE	NR	150' MINIMUM	280' FROM NEAREST RESIDENCE (ALONG THE WEST SIDE)
BUFFER ALONG A RESIDENTIAL ZONED PROPERTY	EIGHT (8') WIDE BERMED LANDSCAPED BORDER (MINIMUM)	NO LESS THAN ONE AND ONE HALF (1 1/2) TIMES THE MAXIMUM HEIGHT OF THE STRUCTURE  THE WEST SIDE OF THE BUILDING WILL BE 48" HIGH 48 x 1.5 = 69" MINIMUM	156'± WIDE AREA, ALONG THE WEST SIDE OF THE PROPERTY, WILL HAVE A BERM, A RETAINING WALL AND NEW EVERGREENS PLANTED ALONG WITH EXISTING TREES AND VEGETATION

NR = NO REQUIREMENT

**LOCATION MAP**  
 SCALE: 1 INCH = 800 FEET



**SHEET INDEX**

SHEET TITLE	SHEET NUMBER
COVER SHEET	C1.1
CONTAINS PROJECT ANALYSIS	
EXISTING CONDITIONS SURVEY	C2.1 & C2.2
LAYOUT PLAN	C3.1
LANDSCAPING PLAN	C4.1 & C4.2
WETLANDS CREATION PLAN	C5.1
GRADING AND UTILITIES PLAN	C6.1 & C6.2
EROSION & SEDIMENTATION CONTROL PLAN	C7.1 & C7.2
NOTES AND DETAILS	C8.1
STORM DRAINAGE NOTES AND DETAILS	C8.2
STORM DRAINAGE DETAILS	C8.3
WATER SERVICE NOTES AND DETAILS	
SANITARY SEWER DETAILS	C8.4
PHOTOMETRIC PLAN	1 of 1

**APPROVED**  
 PLANNING & ZONING COMMISSION  
 MANCHESTER, CT.  
 DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

REVISION
DATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



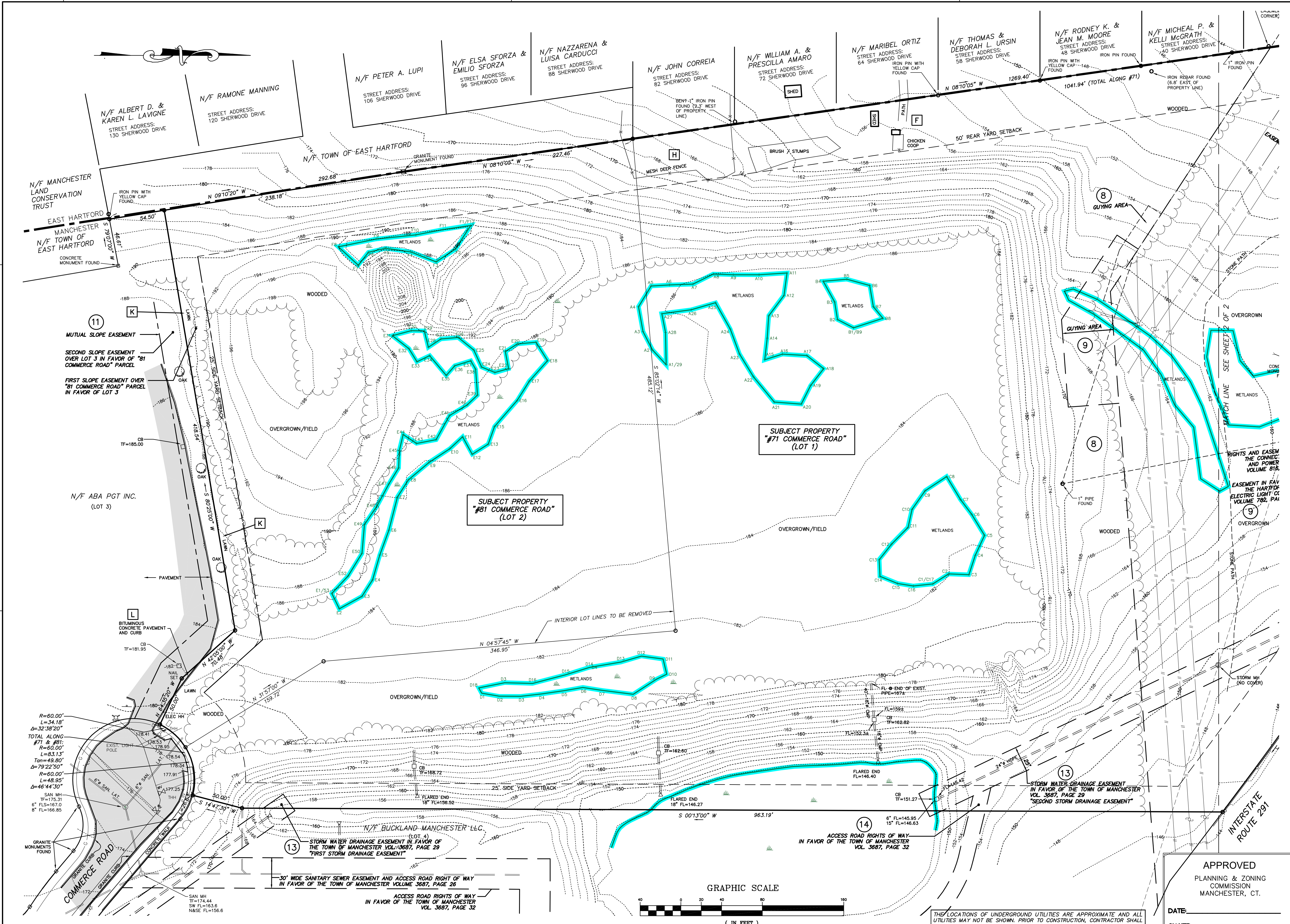
CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

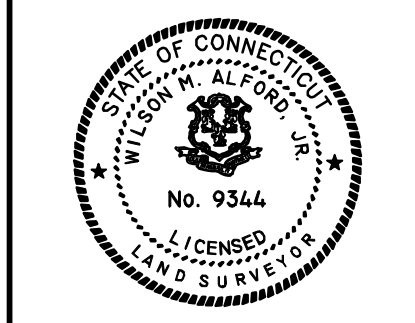
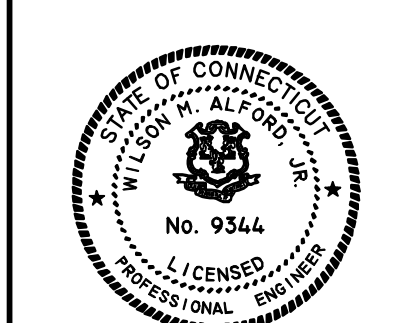
SCALE: 1 IN. = - FT.

SITE PLAN PREPARED FOR LFF COMMERCE JV LLC COVER SHEET  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD AND 81 COMMERCE ROAD

**Sheet C1.1**



NO.	DATE	REVISION



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN  
 PREPARED FOR  
**LFF COMMERCE JV LLC**  
 EXISTING CONDITIONS PLAN  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD  
 AND 81 COMMERCE ROAD

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

Sheet  
C2.1

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

SCHEDULE B, PART II EXCEPTIONS

THE FOLLOWING ARE ITEMS LISTED AS EXCEPTIONS IN SCHEDULE B, PART II IN THE ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: CT6472466, COMMITMENT DATE: SEPTEMBER 18, 2023, PROPERTY ADDRESS: 71 COMMERCE ROAD AND 81 COMMERCE ROAD, MANCHESTER, CONN.

- 1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. NOT A SURVEY ITEM.
2. Rights or claims of parties other than the insured in actual possession or under unrecorded leases of any or all of the land. NOT A SURVEY ITEM.
3. Easements or claims of easements not shown by the public records, encroachments, violations, variations or adverse circumstances affecting the Title that would be disclosed by an accurate survey of the Land. EASEMENTS OF PUBLIC RECORD AND ENCROACHMENTS ARE SHOWN ON THE SURVEY.
4. Any lien or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records. NOT A SURVEY ITEM.
5. Liens for taxes and assessments which become due and payable subsequent to date of policy. NOT A SURVEY ITEM.
6. Sewer and water use charges may be due and payable. NOT A SURVEY ITEM.
7. Second Half Taxes to the City/Town of Manchester on the list of October 1, 2022, not yet payable.

List No. 124500071 Map 2 Block 1245 Lot 71 Assessment: \$277,100.00 Taxes: \$10,308.12 (71 Commerce Road)

List No. 124500081 Map 2 Block 1245 Lot 81 Assessment: \$250,900.00 Taxes: \$5,613.48 (81 Commerce Road) NOT A SURVEY ITEM.

8. Easement in favor of The Connecticut Power Company dated July 3, 1956 and recorded in volume 305 at page 443. See Partial Release, volume 917, page 242. (as to 71 Commerce Road only)

9. Easement in favor of The Hartford Electric Light Company dated May 28, 1981 and recorded in volume 782 at page 184. (as to 71 Commerce Road only) MAP REFERRED TO IN EASEMENT DOCUMENT WAS NOT PROVIDED TO THE SURVEYOR. EASEMENT IS AS SHOWN ON REFERENCE PLAN #1.

10. Certificate of Condemnation in favor of The Connecticut Light and Power Company dated July 29, 1982 and recorded in volume 816 at page 147. (as to 71 Commerce Road only) THE LOCATION IS SHOWN.

11. Mutual Slope Rights by and between 291 Development LLC, and AGA-PGT Inc. dated February 5, 2001 and recorded in volume 2242 at page 139 (as to 81 Commerce Road only) THE LOCATIONS ARE SHOWN.

12. Sanitary Sewer and Access Road Right of Way in favor of the Town of Manchester dated May 15, 2009 and recorded in volume 3687 at page 26. (as to 71 Commerce Road only) IS NOT LOCATED ON THE SUBJECT PROPERTIES.

13. Storm Drainage Easement in favor of the Town of Manchester dated May 15, 2009 and recorded in volume 3687 at page 29 (as to 71 Commerce Road). THE LOCATIONS ARE SHOWN.

14. Access Road Rights of Way in favor of the Town of Manchester dated May 15, 2009 and recorded in volume 3687 at page 32 (as to 71 Commerce Road only) THE LOCATION IS SHOWN.

SIGNIFICANT OBSERVATIONS:

PERTAINING TO "#71 COMMERCE ROAD" PARCEL

- A. REFERENCE PLAN 1, SHOWS A D.R.O.W. IN FAVOR OF THE STATE OF CONNECTICUT LOCATED AT THE NORTHERLY CORNER OF "#71 COMMERCE ROAD" PARCEL. THERE IS A RIP-RAP SWALE WITHIN THE D.R.O.W. SWALE PICKS UP SURFACE WATER FROM THE ADJUTING EAST PROPERTY AND DRAINING TO THE ADJUTING WEST PROPERTY.
B. A LAWN, BEING MAINTAINED BY THE ADJUTING PROPERTY, ENCLOSES ON TO THE NORTHERLY CORNER OF THE SUBJECT PROPERTY.
C. A GUARD RAIL, AT BURNHAM STREET, ENCLOSES ON TO THE NORTHERLY CORNER OF THE SUBJECT PROPERTY.
D. A STONE ROAD LIES ON THE SUBJECT PROPERTY AND RUNS OVER THE WEST PROPERTY LINE OF THE SUBJECT PROPERTY AND ON TO THE ADJUTING PROPERTY.
E. A PATH RUNS OVER THE WEST PROPERTY LINE OF THE SUBJECT PROPERTY AND ON TO THE ADJUTING PROPERTY. ADDITIONALLY, THERE IS A FIELD CAMERA WITHIN THE SAME AREA AS THE PATH.
F. A SHED, CHICKEN COOP AND PATH, LOCATED ON THE WEST SIDE OF THE SUBJECT PROPERTY, IS BEING USED BY THE ADJUTING PROPERTY.
G. DELETED
H. A FENCED AREA, LOCATED ON THE WEST SIDE OF THE SUBJECT PROPERTY, IS BEING USED BY THE ADJUTING PROPERTY. THIS AFFECTS BOTH #71 & #81 COMMERCE ROAD PARCELS.
J. EASEMENT LISTED AS "ITEM 8" IN SCHEDULE B, PART II EXCEPTIONS, IS NOT SHOWN ON REFERENCE PLAN #1.

PERTAINING TO "#81 COMMERCE ROAD" PARCEL

- K. A LAWN, BEING MAINTAINED BY THE ADJUTING PROPERTY, ENCLOSES ON TO THE SOUTH SIDE OF THE SUBJECT PROPERTY.
L. A PORTION OF A BITUMINOUS CONCRETE DRIVEWAY, BEING USED BY THE ADJUTING PROPERTY, ENCLOSES ON TO THE SOUTH SIDE OF THE SUBJECT PROPERTY.

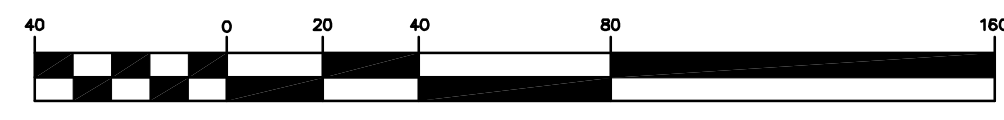
LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for Bituminous Concrete Pavement, Utility Pole with Guy Wire, Overhead Utility Wires, Electric Hand Hole, Telephone Hand Hole, Sign, Abbreviation for Catch Basin, Top of Frame Elevation, Invert Elevation, Storm Pipe, Storm Outlet Structure, Catch Basin, Sanitary Sewer Man Hole & Sanitary Sewer Line, Water Gate and Water Service, Hydrant, Gas Service Line, Gas Gate Valve, Swamp Symbol, Wetlands by Soil Scientist, Wetlands Flag.

REFERENCE PLANS

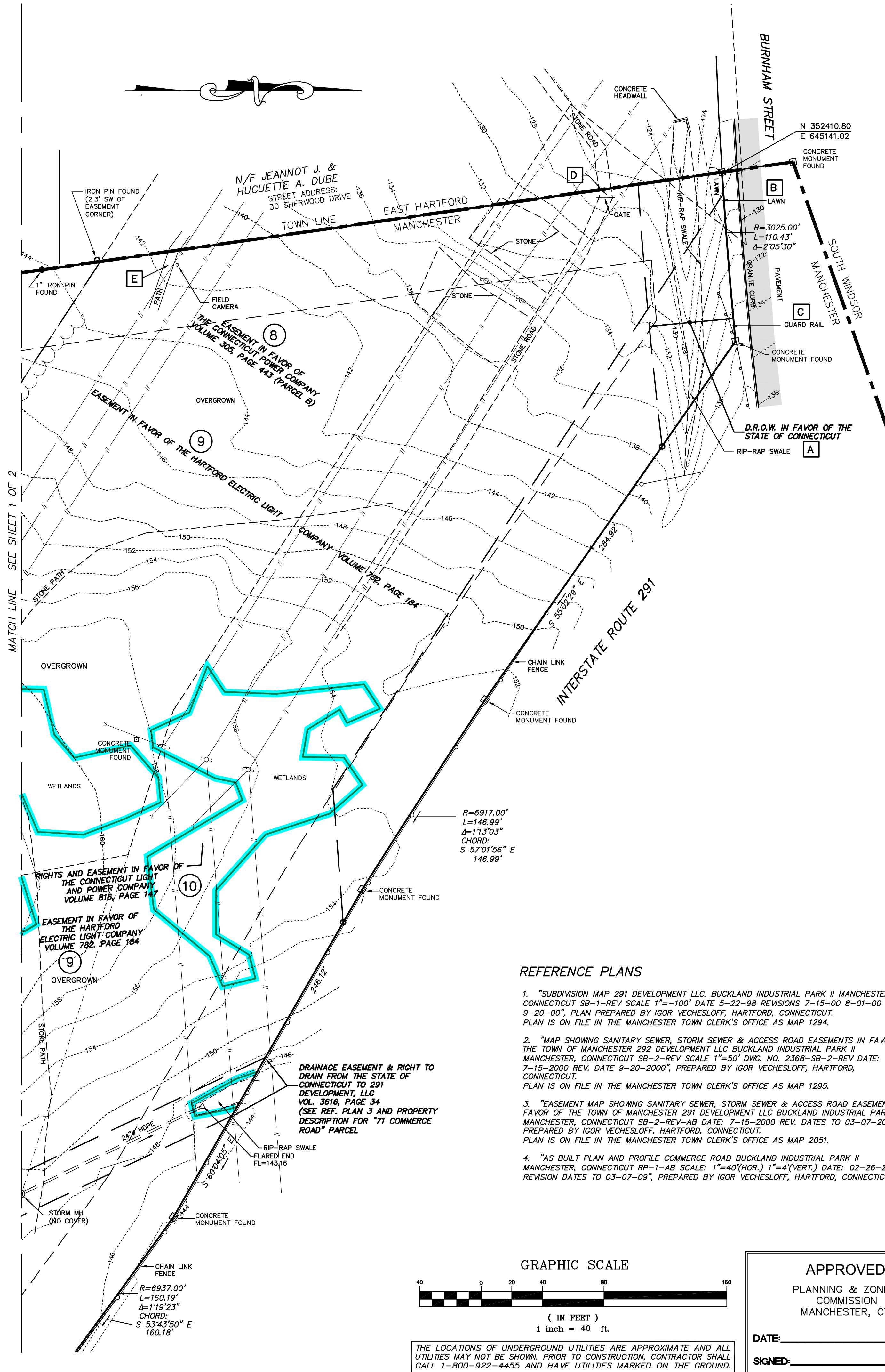
- 1. "SUBDIVISION MAP 291 DEVELOPMENT LLC BUCKLAND INDUSTRIAL PARK II MANCHESTER, CONNECTICUT SB-1-REV SCALE 1"=100' DATE 5-22-98 REVISIONS 7-15-00 8-01-00 9-20-00", PLAN PREPARED BY IGOR VECHESLOFF, HARTFORD, CONNECTICUT. PLAN IS ON FILE IN THE MANCHESTER TOWN CLERK'S OFFICE AS MAP 1294.
2. "MAP SHOWING SANITARY SEWER, STORM SEWER & ACCESS ROAD EASEMENTS IN FAVOR OF THE TOWN OF MANCHESTER 291 DEVELOPMENT LLC BUCKLAND INDUSTRIAL PARK II MANCHESTER, CONNECTICUT SB-2-REV SCALE 1"=50' DWG. NO. 2368-SB-2-REV DATE: 7-15-2000 REV. DATE 9-20-2000", PREPARED BY IGOR VECHESLOFF, HARTFORD, CONNECTICUT. PLAN IS ON FILE IN THE MANCHESTER TOWN CLERK'S OFFICE AS MAP 1295.
3. "EASEMENT MAP SHOWING SANITARY SEWER, STORM SEWER & ACCESS ROAD EASEMENTS IN FAVOR OF THE TOWN OF MANCHESTER 291 DEVELOPMENT LLC BUCKLAND INDUSTRIAL PARK II MANCHESTER, CONNECTICUT SB-2-REV-AB DATE: 7-15-2000 REV. DATES TO 03-07-2009", PREPARED BY IGOR VECHESLOFF, HARTFORD, CONNECTICUT. PLAN IS ON FILE IN THE MANCHESTER TOWN CLERK'S OFFICE AS MAP 2051.
4. "AS BUILT PLAN AND PROFILE COMMERCE ROAD BUCKLAND INDUSTRIAL PARK II MANCHESTER, CONNECTICUT RP-1-AB SCALE: 1"=40'(HOR.), 1"=4'(VERT.) DATE: 02-26-2002 REVISION DATES TO 03-07-09", PREPARED BY IGOR VECHESLOFF, HARTFORD, CONNECTICUT.

GRAPHIC SCALE



APPROVED PLANNING & ZONING COMMISSION MANCHESTER, CT. DATE: SIGNED:

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.



SURVEYOR'S NOTES

- 1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A LIMITED PROPERTY/BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO VERTICAL ACCURACY CLASS T-2.
2. BEARINGS FOR THIS SURVEY ARE BASED ON REFERENCE PLAN #1. BEARINGS AND COORDINATES ARE BASED ON NAD27 HORIZONTAL DATUM. ELEVATIONS ARE BASED ON NGVD29 DATUM. TOPOGRAPHY WAS FIELD VERIFIED BY ALFORD ASSOCIATES, INC. IN NOVEMBER, 2023.
3. "71 COMMERCE ROAD" PARCEL: 653,007 SQ. FT. = 14,991 ACRES "81 COMMERCE ROAD" PARCEL: 217,311 SQ. FT. = 4,989 ACRES
4. THE SURVEYOR DID NOT ABSTRACT PROPERTY. THE ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER: CT6472466, COMMITMENT DATE: SEPTEMBER 18, 2023 FOR PROPERTY ADDRESS: 71 COMMERCE ROAD AND 81 COMMERCE ROAD, MANCHESTER, CONN. WAS USED TO PREPARE THIS SURVEY.
5. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
6. CURRENT DEEDS: "71 COMMERCE ROAD": VOLUME 4009, PAGE 42 "81 COMMERCE ROAD": VOLUME 4672, PAGE 1173 AS RECORDED IN THE MANCHESTER LAND RECORDS
7. "71 COMMERCE ROAD" IS SHOWN ON TOWN OF MANCHESTER TAX ASSESSOR'S MAP 2, BLOCK 1245, LOT 71. "81 COMMERCE ROAD" IS SHOWN ON TOWN OF MANCHESTER TAX ASSESSOR'S MAP 2, BLOCK 1245, LOT 81.
8. THE SUBJECT PROPERTIES ARE ZONED "INDUSTRIAL" AS SHOWN ON THE CURRENT ZONING MAP FOR MANCHESTER, CONNECTICUT.
9. THE SUBJECT PROPERTIES ARE NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON A PLAN ENTITLED "NATIONAL FLOOD HAZARD LAYER FIRMETTE 0900300387F EFFECTIVE DATE 9-26-2008".
10. FOR BOTH SUBJECT PROPERTIES, THERE ARE NO BUILDINGS OBSERVED.
11. FOR BOTH SUBJECT PROPERTIES, THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
12. FOR BOTH SUBJECT PROPERTIES, BASED ON INFORMATION FROM THE TOWN OF MANCHESTER ENGINEERING DEPARTMENT, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. ADDITIONALLY, THERE IS NO EVIDENCE OF ANY RECENT STREET AND SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
13. WETLANDS WERE FLAGGED BY GEORGE LOGAN, SOIL SCIENTIST, FROM REMA ECOLOGICAL SERVICES, LLC IN NOVEMBER, 2023. FLAGS WERE FIELD LOCATED BY ALFORD ASSOCIATES, INC.

PROPERTY DESCRIPTIONS

THE PROPERTY DESCRIPTIONS ARE AS SHOWN IN SCHEDULE "A" IN THE ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: CT6472466, COMMITMENT DATE: SEPTEMBER 18, 2023, PROPERTY ADDRESS: 71 COMMERCE ROAD AND 81 COMMERCE ROAD, MANCHESTER, CONN.

71 Commerce Road

All that certain piece or parcel of land situated in the Town of Manchester, County of Hartford and State of Connecticut known as 71 Commerce Road and being shown as Lot No. 1 on a map entitled "Subdivision Map 291 Development LLC Buckland Industrial Park II Manchester, Connecticut Igor Veschesloff Professional Engineer & Land Surveyor 51 Lorraine Street, Hartford, Connecticut Scale 1"=100' Date 5-22-98 Drawing No. 2368SB-1 Revised 7-15-00 Update 8-01-00 Per Town's Comments 9-20-00 Per Town's Comments" which map is on file in the Manchester Land Records.

Together with a drainage easement from the State of Connecticut dated November 3, 2008 and recorded in volume 3616 at page 64\*. (as to 71 Commerce Road)

\* Volume 3616 at Page 64 is a scrivener's error and should be Volume 3616 at Page 34.

81 Commerce Road

All that certain piece or parcel of land situated in the Town of Manchester, County of Hartford and State of Connecticut known as 81 Commerce Road and being shown as Lot No. 2 on a map entitled "Subdivision Map 291 Development LLC Buckland Industrial Park II Manchester, Connecticut Igor Veschesloff Professional Engineer & Land Surveyor 51 Lorraine Street, Hartford, Connecticut Scale 1"=100' Date 5-22-98 Drawing No. 2368SB-1 Revised 7-15-00 Update 8-01-00 Per Town's Comments 9-20-00 Per Town's Comments" which map is on file in the Manchester Land Records.

Together with a right of way in common with others as set forth in a quit claim deed in favor of Henry G. Glode dated April 30, 1947 and recorded in volume 164 at page 224. (as may benefit both parcels)\*\*

\*\* Current deed for "81 Commerce Road" parcel, Volume 4672, Page 1173, does not include statement "Together with a right of way in common with others as set forth in a quit claim deed in favor of Henry G. Glode dated April 30, 1947 and recorded in volume 164 at page 224."

Based on quit claim deed Vol. 164, Page 224 and referenced map in the quit claim deed, the right of way does not abut "#71 and #81 Commerce Road" parcels.



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

71 COMMERCE ROAD AND 81 COMMERCE ROAD MANCHESTER, CONNECTICUT

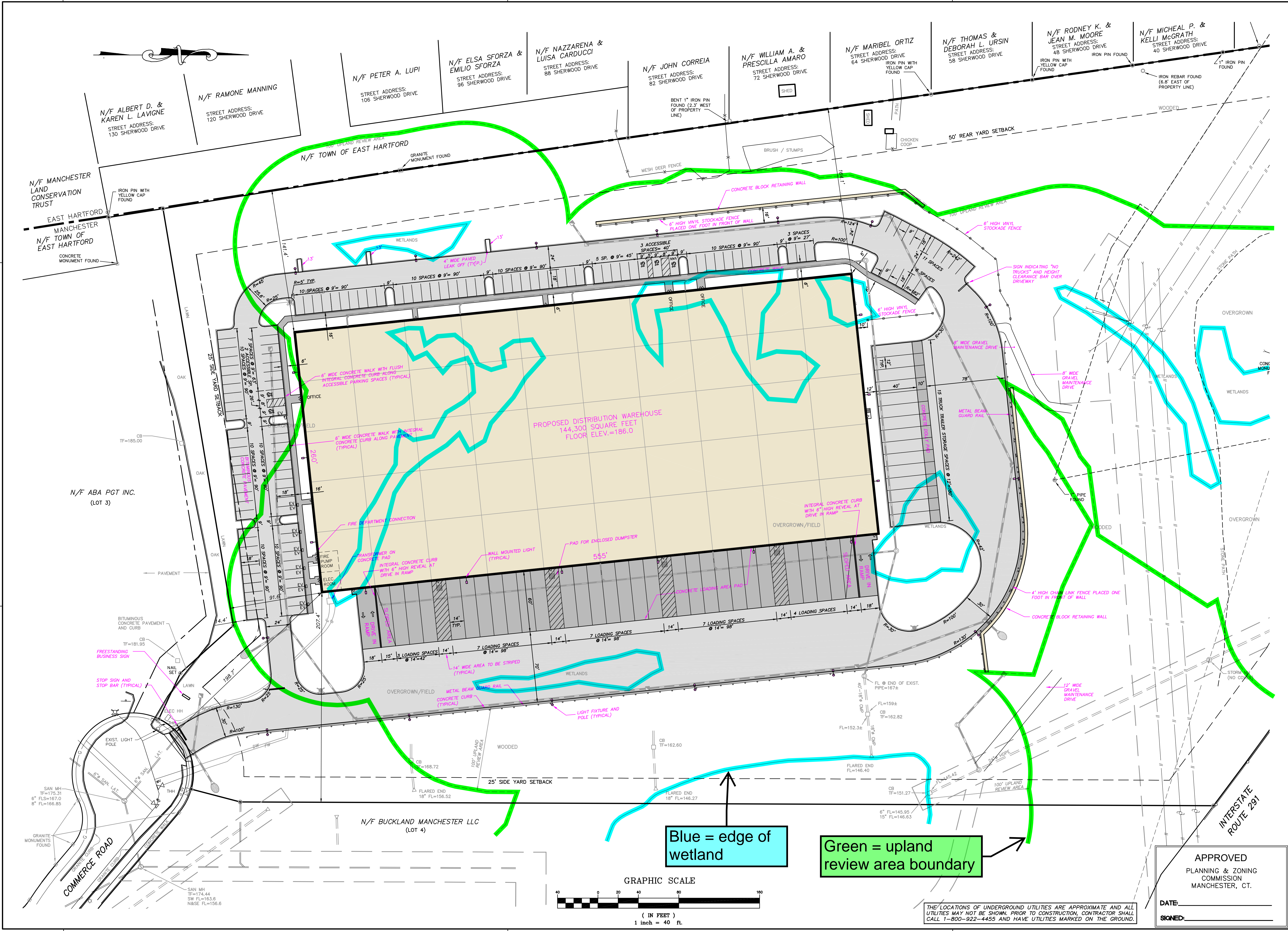
EXISTING CONDITIONS PLAN

LFF COMMERCE JV LLC PREPARED FOR

SITE PLAN

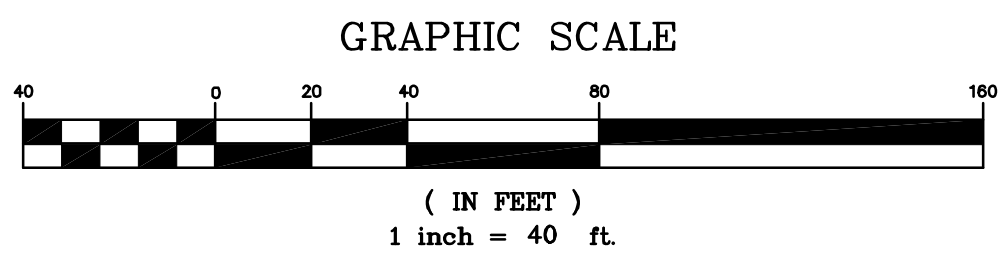
Sheet C2.2





Blue = edge of wetland

Green = upland review area boundary



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	REVISION	DATE

STATE OF CONNECTICUT  
WILSON H. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL SURVEYOR

STATE OF CONNECTICUT  
WILSON H. ALFORD, JR.  
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LICENSED PROFESSIONAL SURVEYOR

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L.S. No. 9344

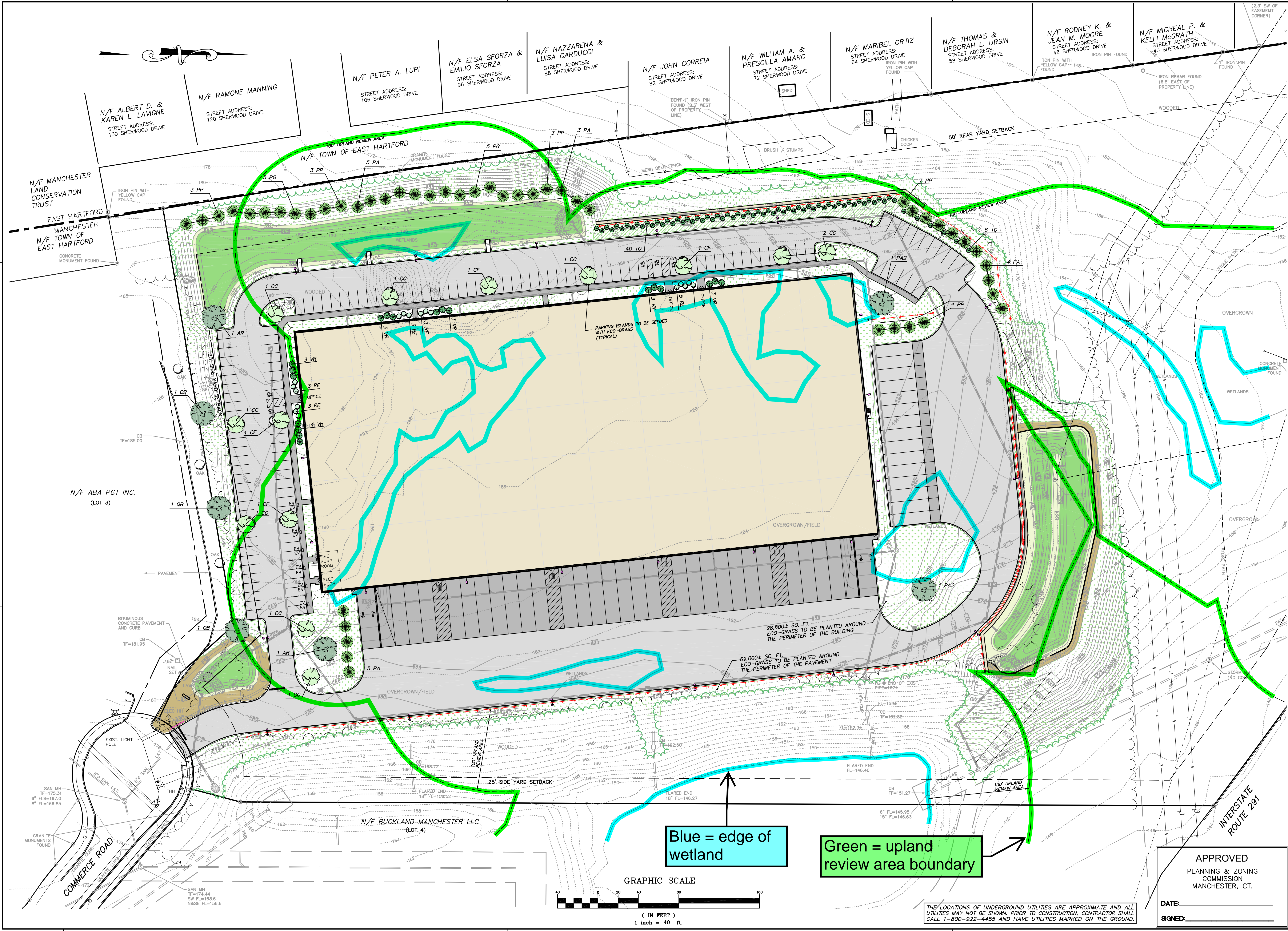
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

**Alford**  
ASSOCIATES, INC.  
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON H. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024  
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
LA YOUT PLAN  
MANCHESTER, CONNECTICUT  
71 COMMERCE ROAD  
AND 81 COMMERCE ROAD

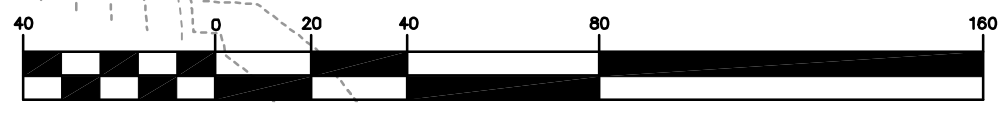
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C3.1



Blue = edge of wetland

Green = upland review area boundary

GRAPHIC SCALE



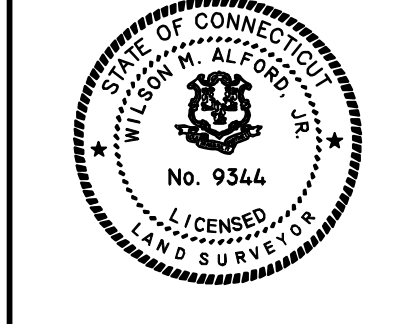
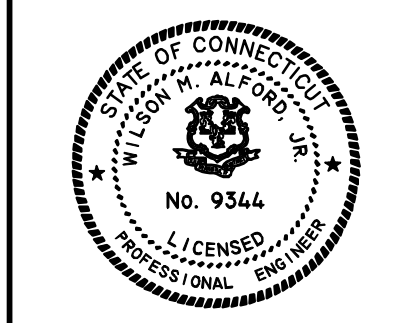
( IN FEET )  
1 inch = 40 ft.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	DATE	REVISION



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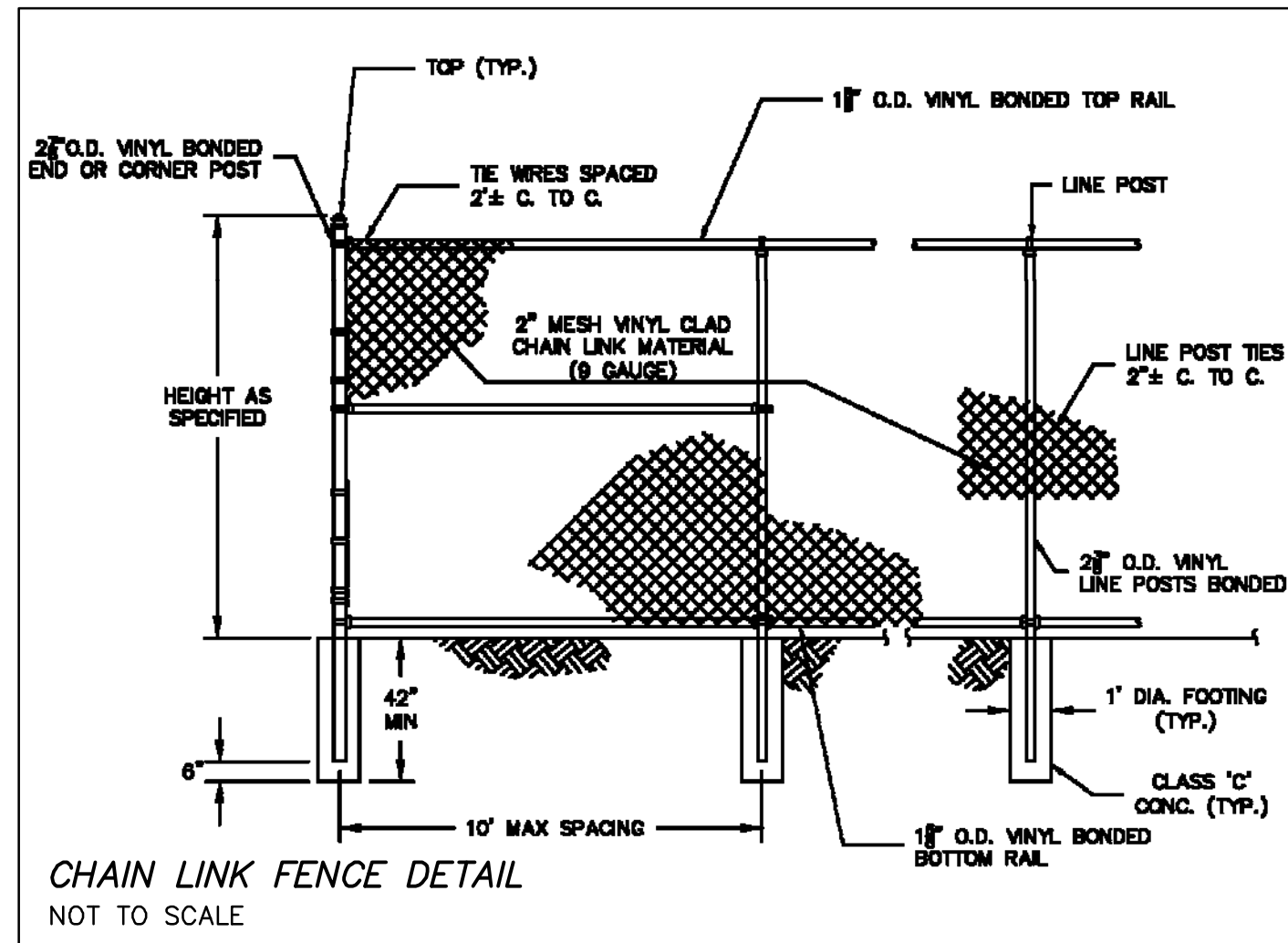
**Alford**  
ASSOCIATES, INC.  
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WINDSOR, CONNECTICUT  
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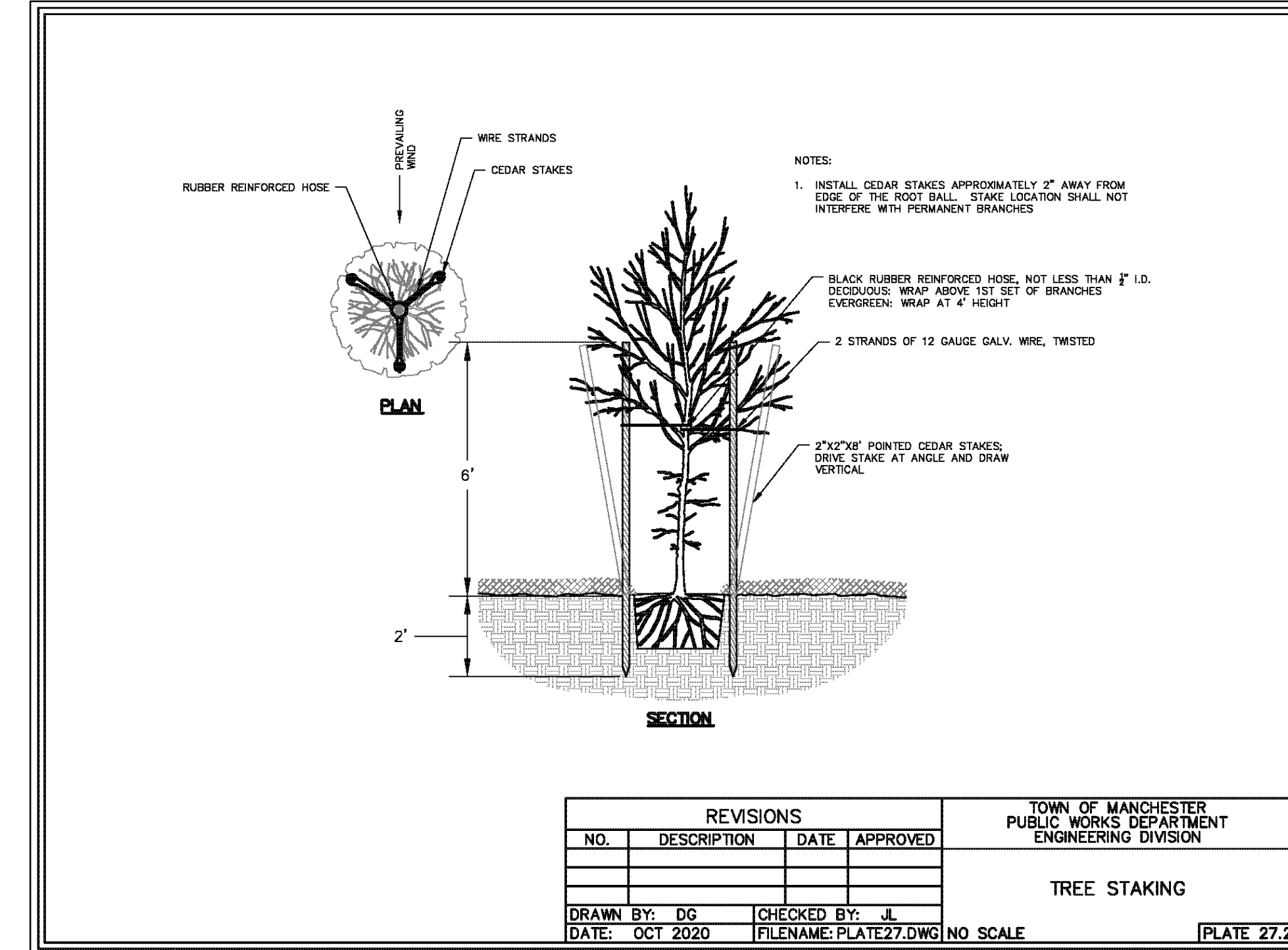
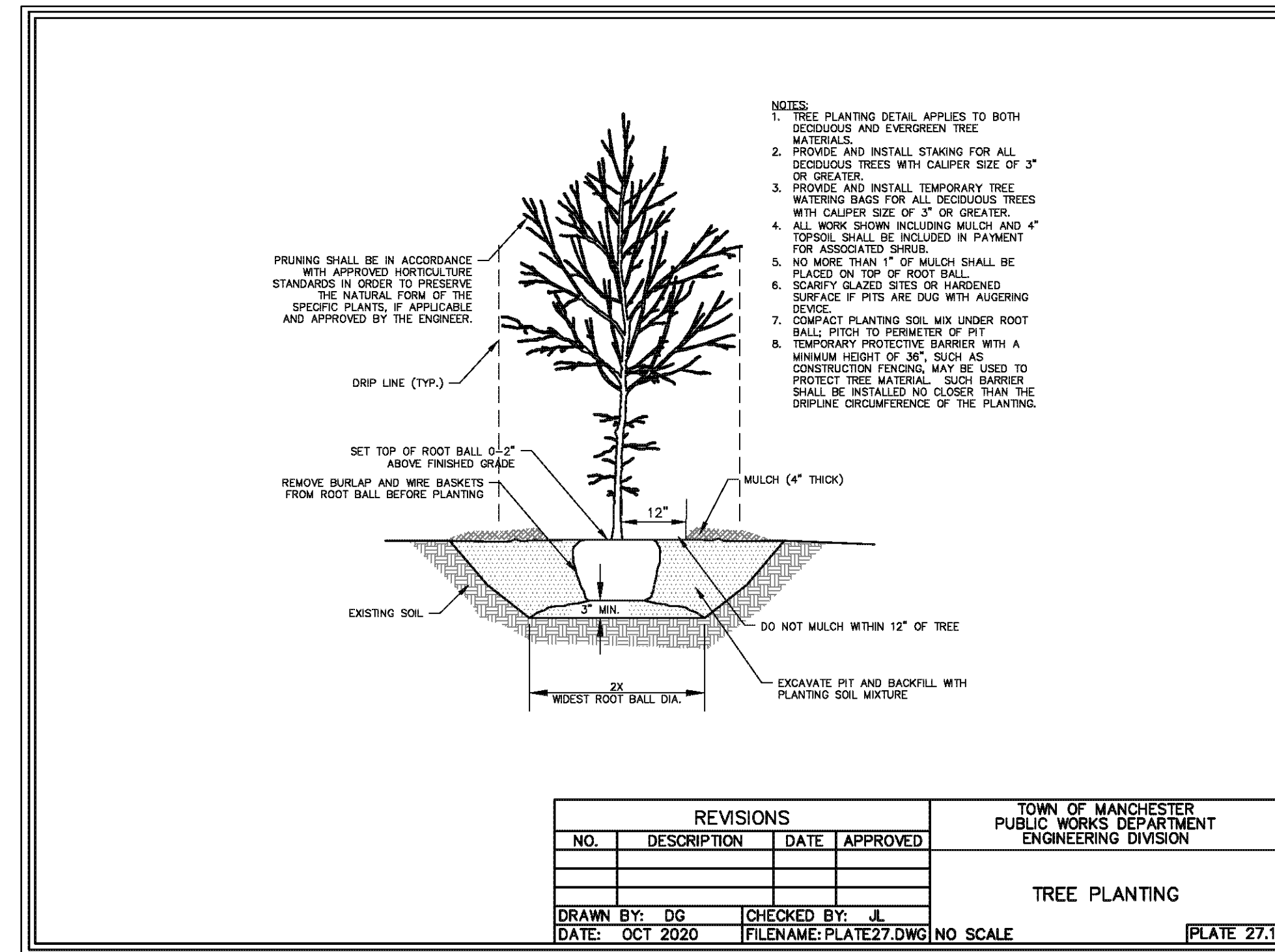
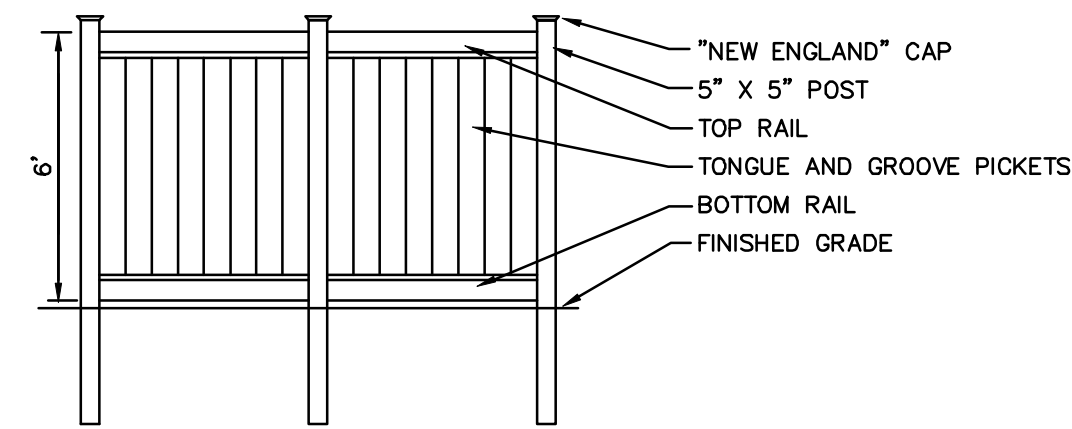
SITE PLAN  
PREPARED FOR  
**LFF COMMERCE JV LLC**  
LANDSCAPING PLAN  
MANCHESTER, CONNECTICUT  
71 COMMERCE ROAD  
AND 81 COMMERCE ROAD

Sheet  
C4.1



**STOCKADE FENCE DETAIL**  
NOT TO SCALE

FENCE TO BE "CHESTERFIELD WITH CERTAGRAIN TEXTURE" AS MANUFACTURED BY CERTANTEED CORPORATION OR APPROVED EQUAL. TO BE BROWN. INSTALL PER MANUFACTURERS SPECIFICATIONS.



**PLANTING SCHEDULE**

- NOTES:
- IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN ON THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
  - PROPOSED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 12 INCHES AND FILLED WITH A MIXTURE OF 80% TOPSOIL AND 20% PEAT MOSS. ALL PLANTING BEDS SHALL BE MULCHED WITH 4 INCHES OF 3/4\"/>

**TREES**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE (MINIMUM)	QUANTITY
	AR	ACER RUBRUM 'FRANKSRED' / RED SUNSET MAPLE	3" - 3 1/2" CAL. (B & B)	2
	CC	CORNUS FLORIDA 'CHEROKEE BRAVE' / CHEROKEE BRAVE DOGWOOD	3" - 3 1/2" CAL. (B & B)	9
	CF	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD	2 1/2" CAL. (B & B)	4
	PA	PICEA ABIES / NORWAY SPRUCE	6'-8' HT. (B & B)	17
	PG	PICEA GLAUCA / WHITE SPRUCE	6'-8' HT. (B & B)	10
	PP	PICEA PUNGENS GLAUCA / BLUE SPRUCE	6'-8' HT. (B & B)	20
	PA2	PLATANUS X ACERIFOLIA / LONDON PLANE TREE	3" - 3 1/2" CAL. (B & B)	2
	QB	QUERCUS BICOLOR / SWAMP WHITE OAK	3" - 3 1/2" CAL. (B & B)	3
	TO	THUJA OCCIDENTALIS 'NIGRA' / DARK AMERICAN ARBORVITAE	6'-8' HT. (B & B)	46

**SHRUBS**

	RE	RHODODENDRON X 'PJM' / PJM RHODODENDRON	5 GALLON CONT.	17
	VR	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY' / ALLEGHANY LANTANAPHYLLUM VIBURNUM	5 GALLON CONT.	16

**GROUND COVER**

	ECO-GRASS SEED MIXTURE (MANUFACTURED BY PRAIRIE MOON)	SEED TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS	97,800± SQ. FT.
	SCHIZACHYRIUM / LITTLE BLUESTEM	SEED TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS	4,800± SQ. FT.

**VEGETATIVE COVER SCHEDULE**

ALL DISTURBED AREAS NOT PAVED OR LANDSCAPED SHALL BE LOAMED WITH 4 INCHES MINIMUM OF TOPSOIL. SEED AS INDICATED BELOW. BOTTOM OF WATER QUALITY BASIN TO BE LOAMED WITH 4" OF TOPSOIL. CONDITION SOIL WITH FERTILIZER AND LIMESTONE AS INDICATED BY SOIL TEST.

PERMANENT VEGETATIVE COVER:  
PERMANENT SEEDING IS TO BE USED ON DISTURBED OR ERODIBLE SOILS THAT HAVE BEEN BROUGHT TO FINAL GRADE OR WHERE THE SUSPENSION OF WORK IS EXPECTED TO EXCEED ONE (1) YEAR.

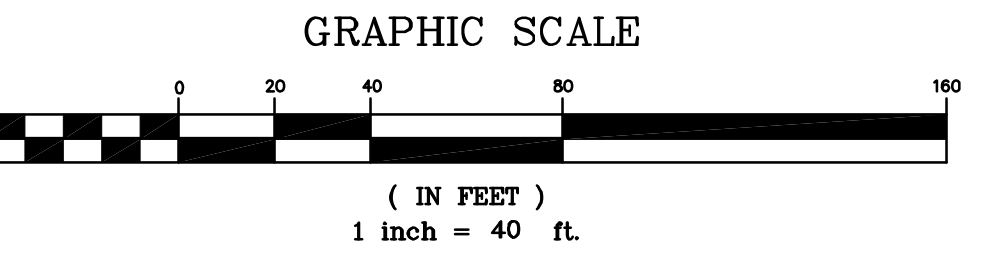
SEEDING DATES: APRIL 1 TO JUNE 15 & SEPTEMBER 1 TO OCTOBER 15

LAWN AREAS:  
REFER TO "PLANTING SCHEDULE" FOR GROUND COVER

TEMPORARY VEGETATIVE COVER:  
TEMPORARY SEEDING SHALL BE USED WHEN SOILS WILL BE EXPOSED FOR A PERIOD OF GREATER THAN ONE (1) MONTH BUT LESS THAN TWELVE (12) MONTHS.  
SEEDING DATES: MARCH 1 TO JUNE 15 & AUGUST 1 TO OCTOBER 15  
USE THE FOLLOWING SEED OR EQUAL AS APPROVED BY DESIGN ENGINEER -  
ANNUAL RYEGRASS 100%  
APPLY 1 LB./1000 S.F.

IF FINAL GRADING IS FINISHED TOO LATE IN THE SEASON FOR ESTABLISHMENT OF VEGETATIVE COVER, AREAS DISTURBED TO BE ROUGH GRADED, COVERED WITH HAY MULCH, THEN EROSION CONTROL FABRIC OR BLANKET TO BE PLACED ON TOP OF THE HAY. EROSION CONTROL FABRIC OR BLANKET TO BE PLACED PER MANUFACTURER'S SPECIFICATIONS.

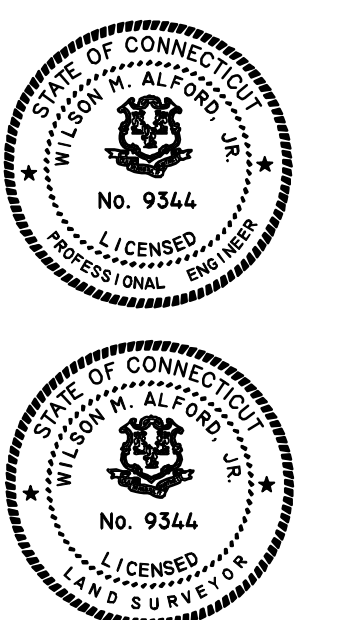
ALL 3:1 SLOPES AND STEEPER ARE TO BE STABILIZED WITH NETTING OR OTHER DIRECT STABILIZATION METHOD, IN ADDITION TO TEMPORARY OR PERMANENT SEEDING.



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	REVISION	DATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

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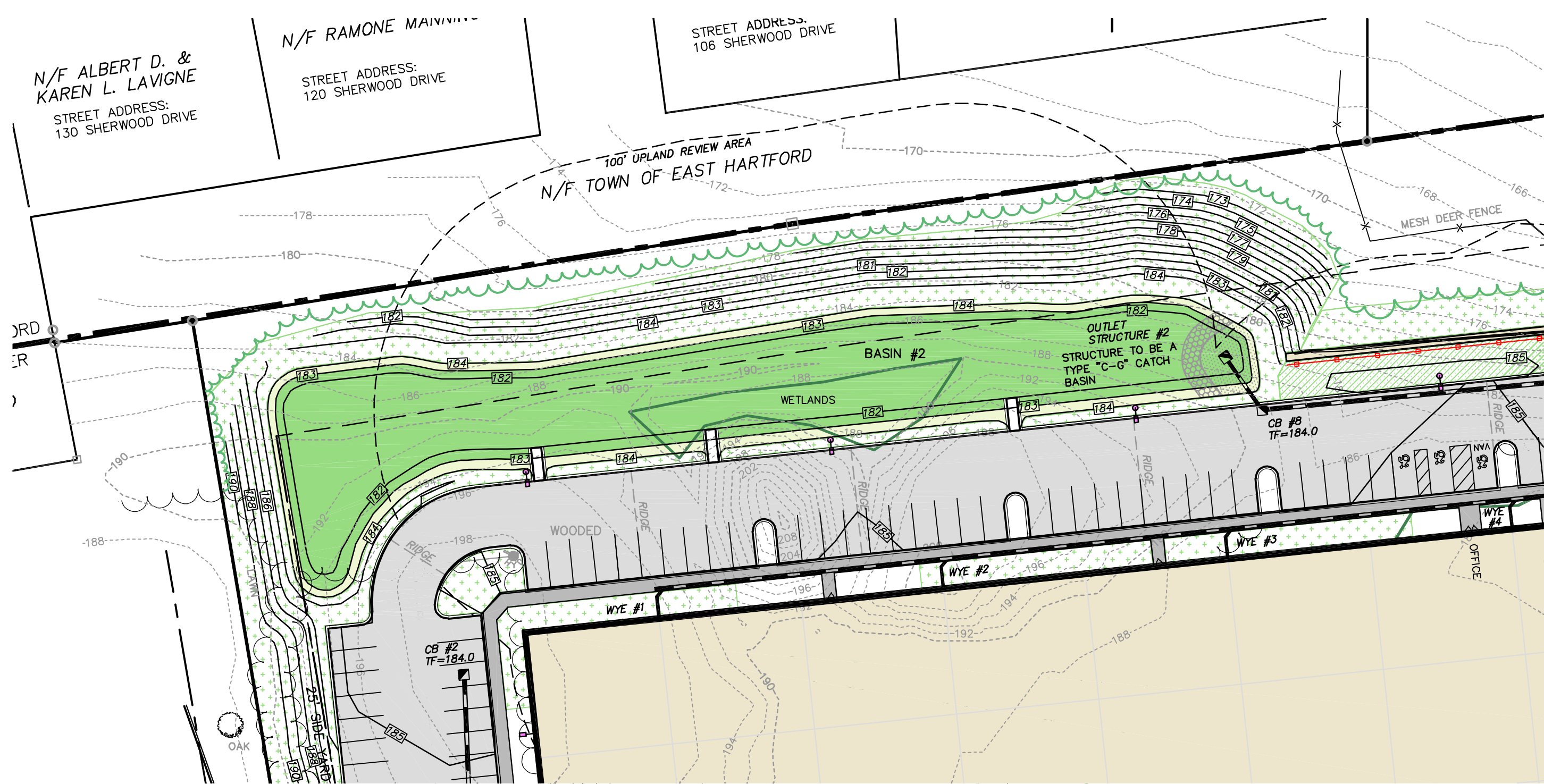
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN  
 PREPARED FOR  
**LFF COMMERCE JV LLC**  
 LANDSCAPING PLAN  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD  
 AND 81 COMMERCE ROAD

Sheet  
C4.2

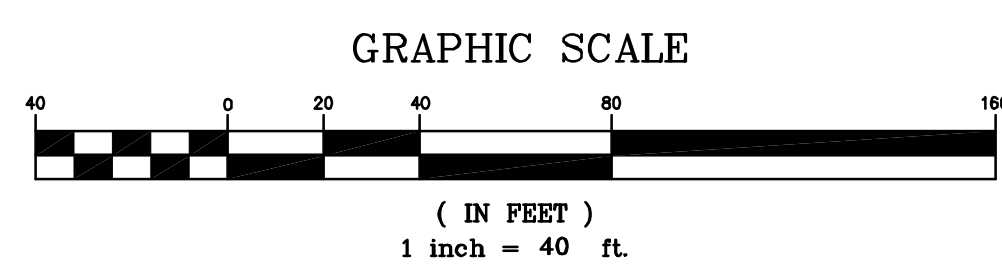


WATER QUALITY BASIN #3



WATER QUALITY BASIN #2

AREA OF WETLANDS DISTURBANCE = 33,600 SQ. FT. = 0.77 ACRES  
 WETLANDS CREATED = 42,400 SQ. FT. = 0.97 ACRES



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WATER QUALITY BASIN #1

**SEED MIXES FOR WETLANDS CREATION AREAS**

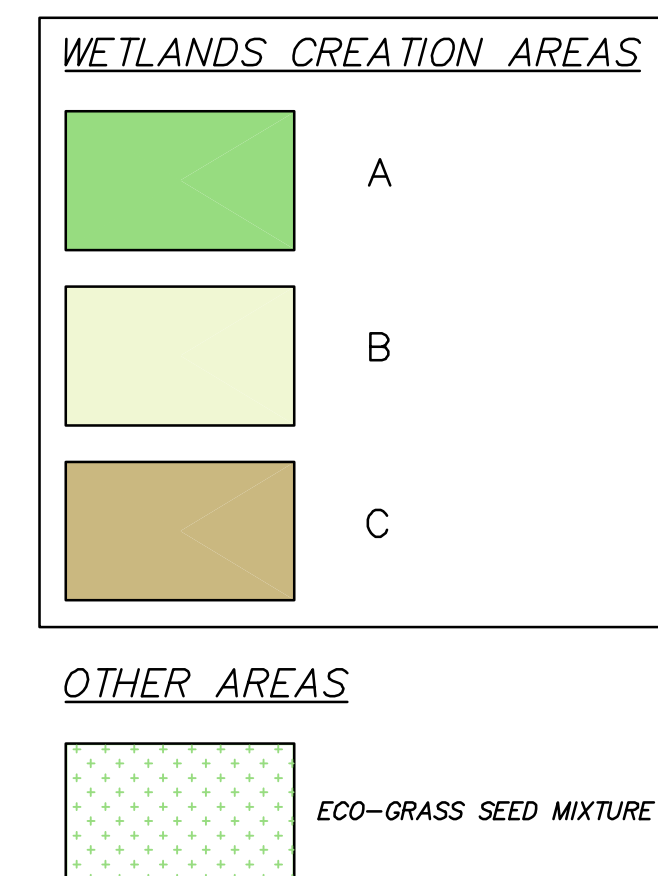
SEED MIX	COMMENT
<b>AREA A</b>	
NEW ENGLAND WETMIX 1 LB/2500 SF	USE IN WETLANDS CREATION AREAS
<b>AREA B</b>	
NEW ENGLAND EROSION CONTROL/RESTORATION 1 LB/1250 SF	USE AROUND EDGES OF WETLANDS CREATION AREAS
<b>AREA C</b>	
NEW ENGLAND ROADSIDE MATRIX FOR WETLANDS 1 LB/1250 SF	USE IN WETLAND BUFFER AREAS UP TO THE EDGE OF CREATED WETLANDS

- NOTES:
- SOURCE: NEW ENGLAND WETLAND PLANTS, 14 PEARL LANE, SOUTH HADLEY, MA 01075, PHONE: 413-548-8000, info@nepw.com
  - MIXING 1:1 WITH FILLER (SAND OR KITTY LITTER) HELPS WITH CORRECTLY DIVIDING SEED PACKAGES AND WITH EVEN SPREADING.
  - MIXES CONTAIN SEEDS WITH A RANGE OF HYDROLOGICAL TOLERANCES, SO THAT SOME WILL BE ADAPTED TO ANY ONE SET OF CONDITIONS.
  - PLANTS WILL BE SETTING SEED AND SPREADING FURTHER, INCREASING IN DENSITY, BECOMING CONCENTRATED IN MOST SITUATIONS.
  - AREAS UNDER AND AROUND PLUG SHRUB CLUSTERS ARE MULCHED TO FOSTER SHRUB ESTABLISHMENT, AND CREATE A NATURAL LAYER, WHICH REDUCES THE AREA THAT NEEDS TO BE SEEDED.
  - A LATE FALL SEEDING WILL REQUIRE 20% MORE SEED, BECAUSE SOME SEED WILL BE LOST TO WASH OFF AND HERBIVORY, BUT GERMINATION RATES WILL ACTUALLY BE HIGHER, DUE TO THE COLD WINTER STRATIFICATION OF THE SEED.

**PLANTING MATERIALS FOR WETLANDS CREATION AREAS**

BOTANICAL / COMMON NAME	HEIGHT (MINIMUM)	QUANTITY			
		WATER QUALITY BASIN			
		#1	#2	#3	TOTAL
<b>SHRUBS:</b>					
<b>AREA A</b>					
ARONIS ARBUTIFOLIA / RED CHOKEBERRY	18"	14	2	21	47
CLETHRA ALNIFOLIA / SWEET PEPPERBUSH	18"	14	2	18	34
SMIDA AMOMUM / SILKY DOGWOOD	18"	12	-	18	30
SAMBUCUS AMERICANA / COMMON ELDBERRY	18"	12	-	18	30
SPIREA LATIFOLIA / MEADOWSWEET	18"	21	6	24	51
SPIREA TOMENTOSA / STEEPLE BUSH	18"	21	6	24	51
<b>AREA B</b>					
CLETHRA ALNIFOLIA / SWEET PEPPERBUSH	18"	10	-	14	24
SMIDA RACEMOSA / GRAY DOGWOOD	18"	10	4	18	32
MORELLA CAROLINIENSIS / BAYBERRY	18"	18	3	18	39
SPIREA LATIFOLIA / MEADOWSWEET	18"	18	3	18	39
VACCINIUM CORYMBOSUM / Highbush BLUEBERRY	18"	10	3	14	27
VBURNUM DENTATUM / ARROWWOOD	18"	10	-	18	28
<b>AREA C</b>					
CRATAEGUS SPP. / HAWTHORN SPP.	24"	10	3	-	13
SMIDA RACEMOSA / GRAY DOGWOOD	18"	10	3	-	13
MORELLA CAROLINIENSIS / BAYBERRY	18"	10	-	-	10
HAMELIS VIRGINIANA / WITCH HAZEL	24"	10	3	-	13
VBURNUM LENTAGO / NANNYBERRY	18"	10	-	-	10
<b>HERBACEOUS PLANTS:</b>					
<b>AREA A</b>					
ASCLEPIAS INCARNATA / SWAMP MILKWEED	PLUG	500	100	700	1300
<b>AREA B</b>					
CAREX STRICTA / TUSSOCK SEDGE	PLUG	75	25	100	200
EUPATOREUM MACULATUM / JOE PYE	PLUG	75	25	100	200
OSMUNDA CINNAMONEA / CINNAMON FERN	6" POT	45	10	50	105
VERNONIA NOVAEANGIAE / NEW YORK IRONWEED	PLUG	75	25	100	200

- NOTES -
- SHRUBS AND HERBACEOUS PLANTS TO BE PLANTED RANDOMLY THROUGHOUT EACH AREA.
  - SOURCES BELOW ARE REASONABLE WITH GENETICS NOT ALTERED BY BREEDING FOR HORTICULTURAL TRAITS.
  - PERENNIAL WILDFLOWER AND GRASS PLUGS MAY BE PURCHASED IN FLATS OF 50 (MINIMUM SIZE) FROM NEW ENGLAND WETLAND PLANTS, FLATS OF 36 OR 6-PACKS FROM LINPL.
  - SOURCES:  
 LINPL (LONG ISLAND NATIVE PLANT INITIATIVE)  
 SUFFOLK COUNTY SOIL AND WATER CONSERVATION DISTRICT, RIVERHEAD, NY (631) 727-2315  
 NEW ENGLAND WETLANDS PLANTS, 14 PEARL LANE, SOUTH HADLEY, MA 01075 (413) 548-8000  
 SUMMER HILL NURSERIES, MADISON, CT 06443 (203) 421-3055



**APPROVED**  
 PLANNING & ZONING COMMISSION  
 MANCHESTER, CT.  
 DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

NO.	REVISION	DATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

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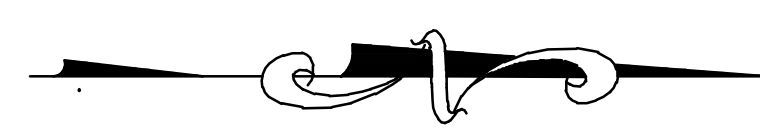
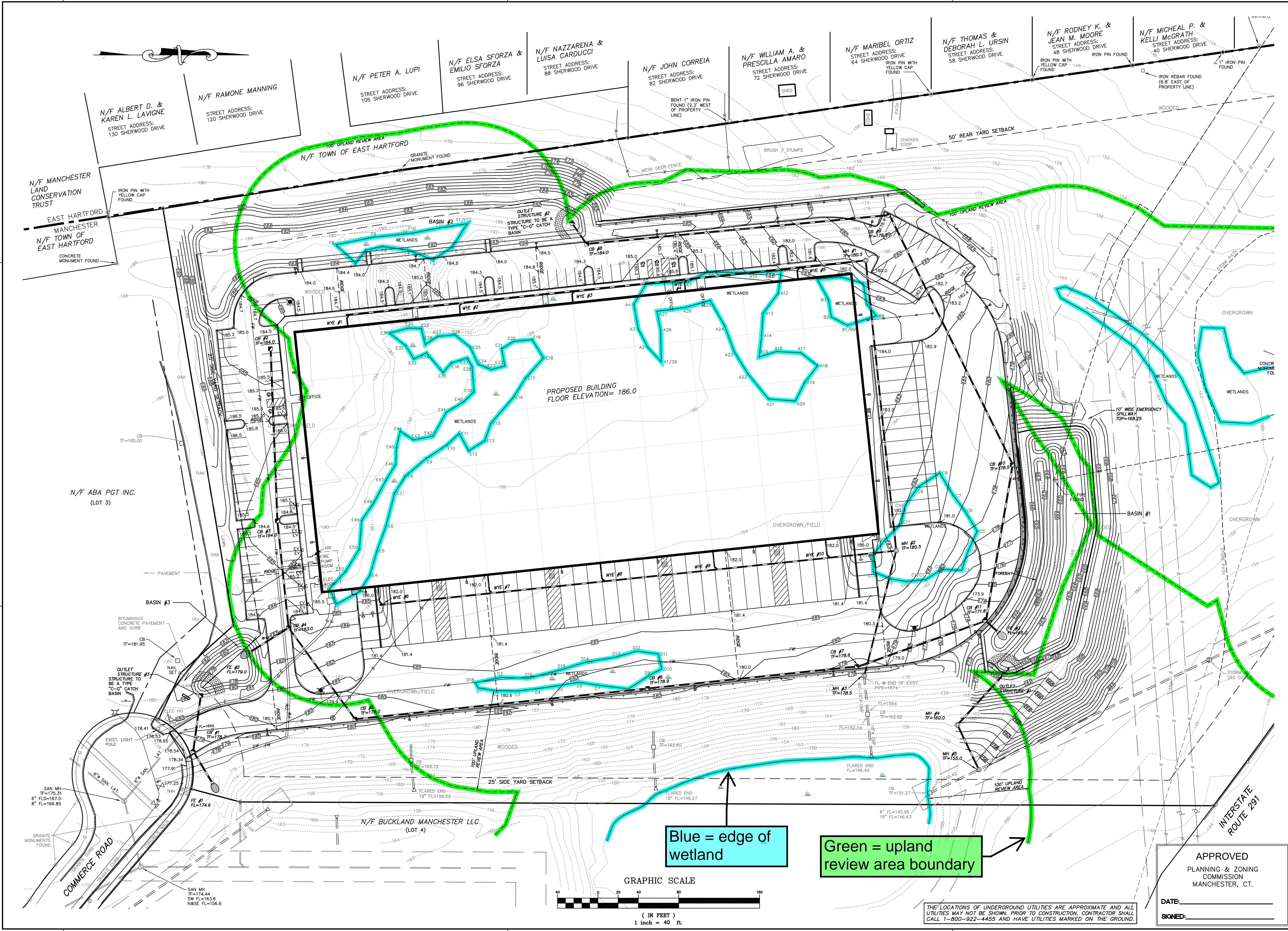


CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024  
 SCALE: 1 IN. = 40 FT.

SITE PLAN  
 PREPARED FOR  
 LFF COMMERCE JV LLC  
 WETLANDS CREATION PLAN  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD  
 AND 81 COMMERCE ROAD

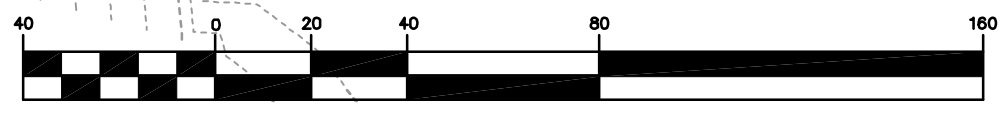
Sheet  
 C5.1



Blue = edge of wetland

Green = upland review area boundary

GRAPHIC SCALE



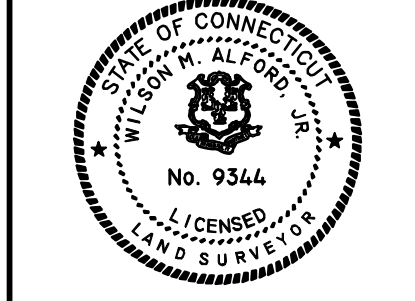
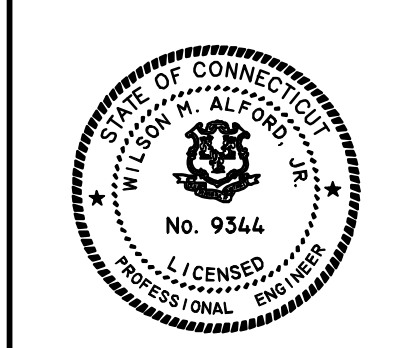
( IN FEET )  
1 inch = 40 ft.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	DATE	REVISION



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L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



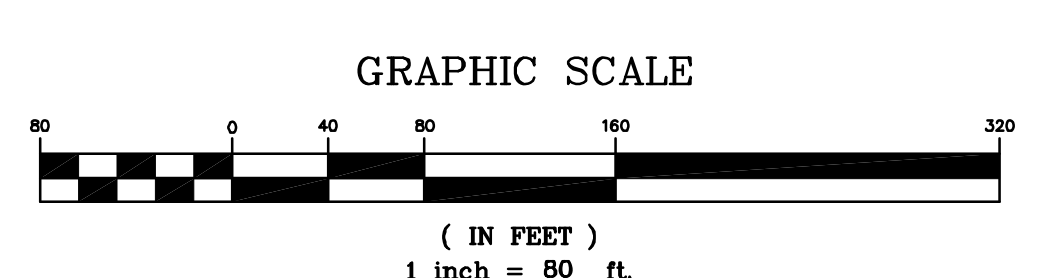
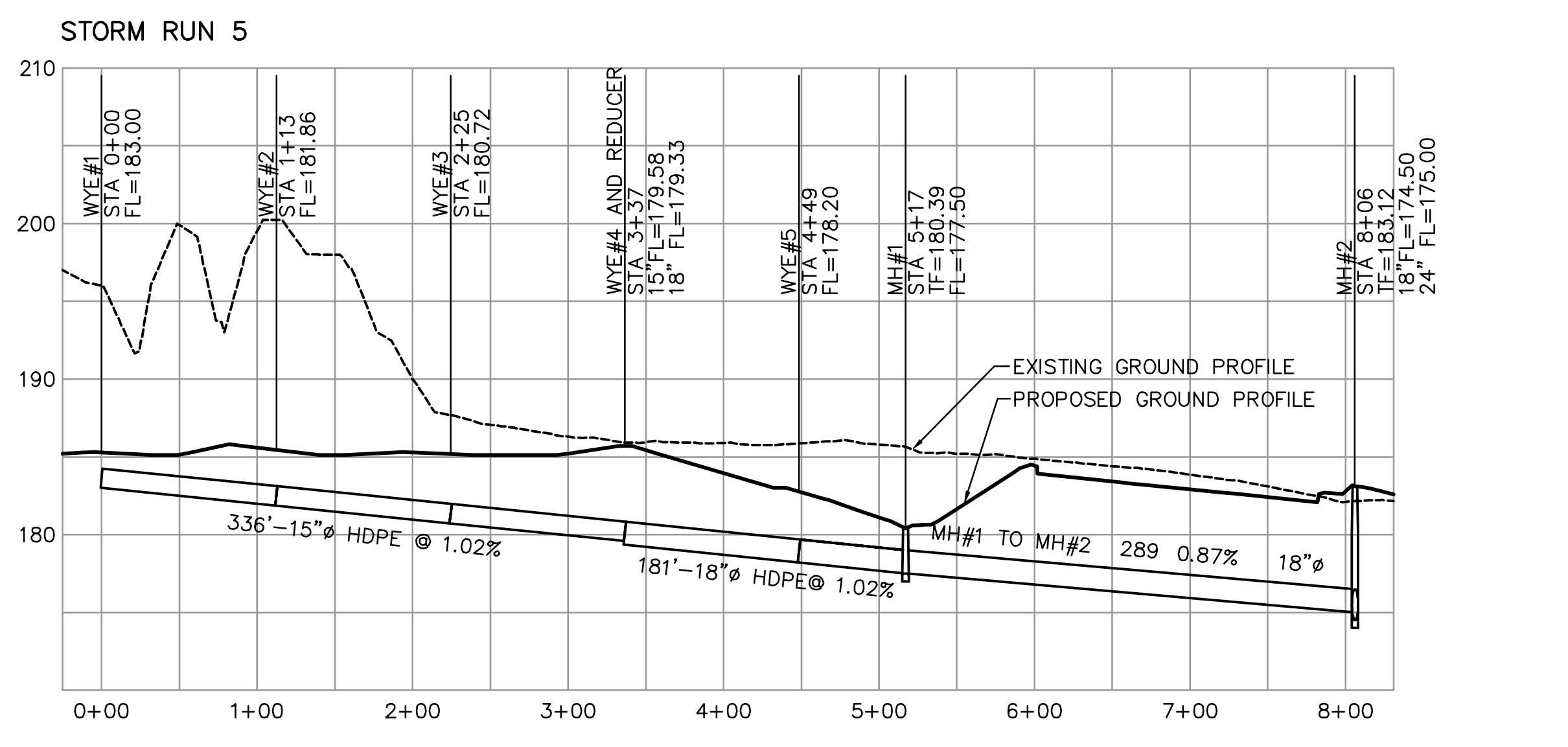
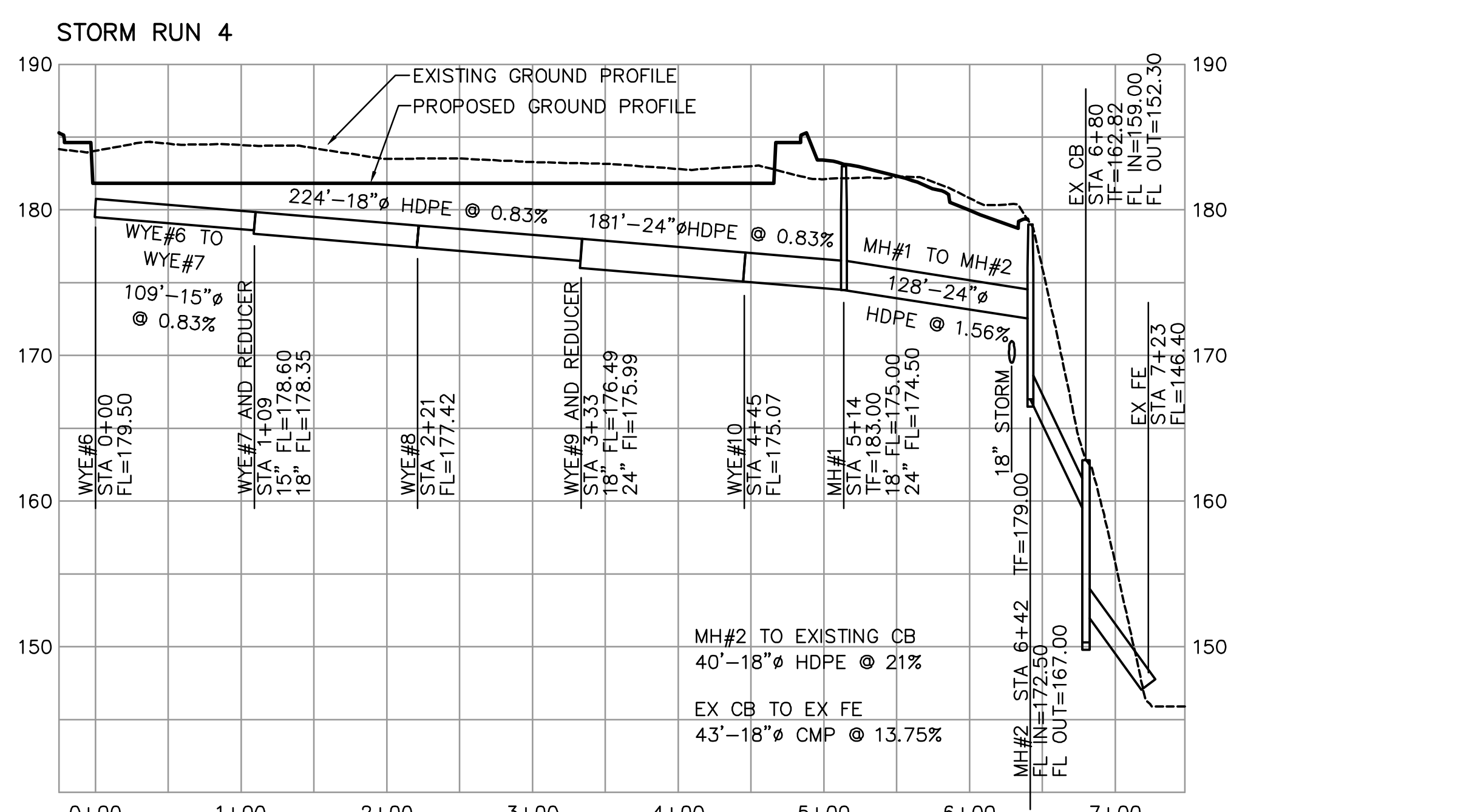
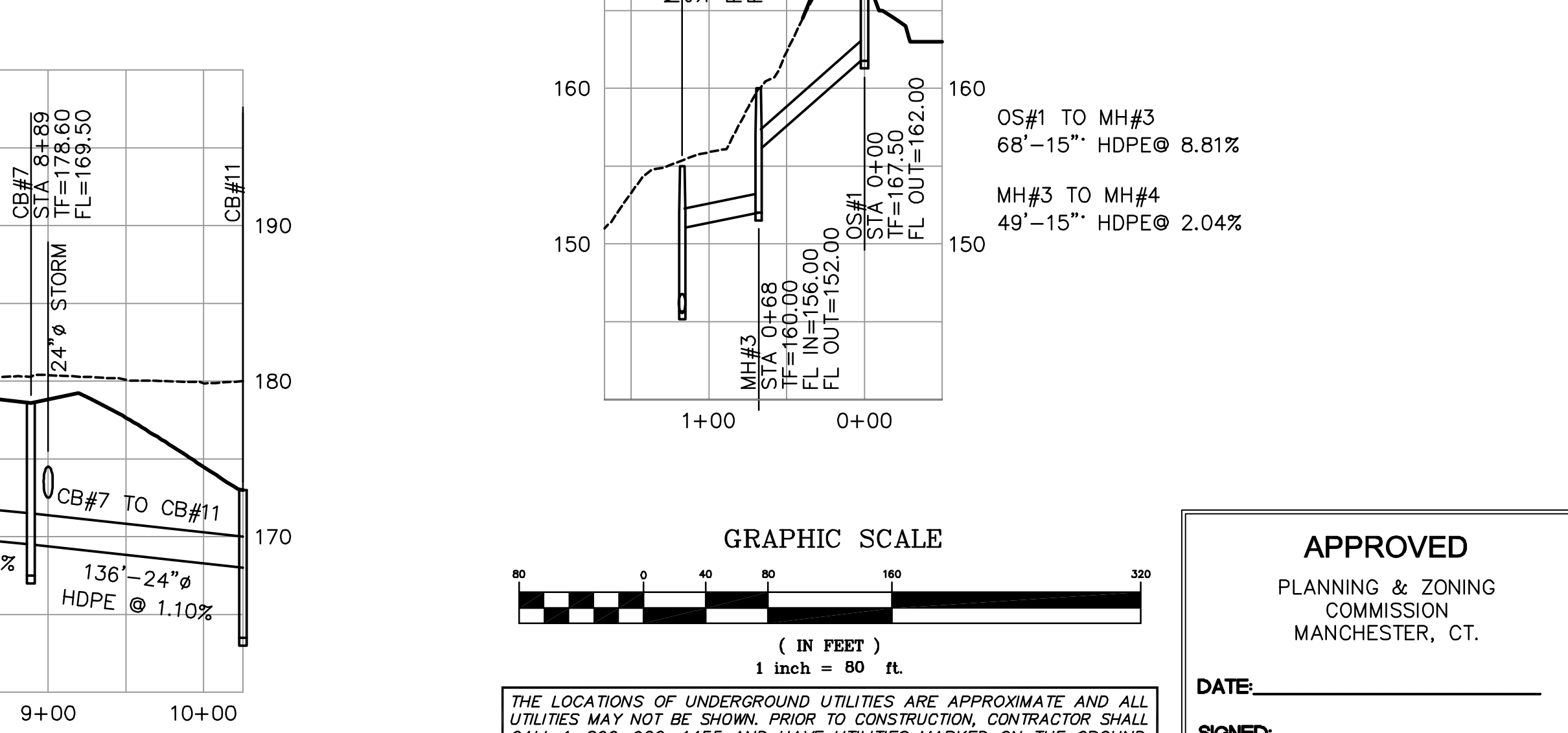
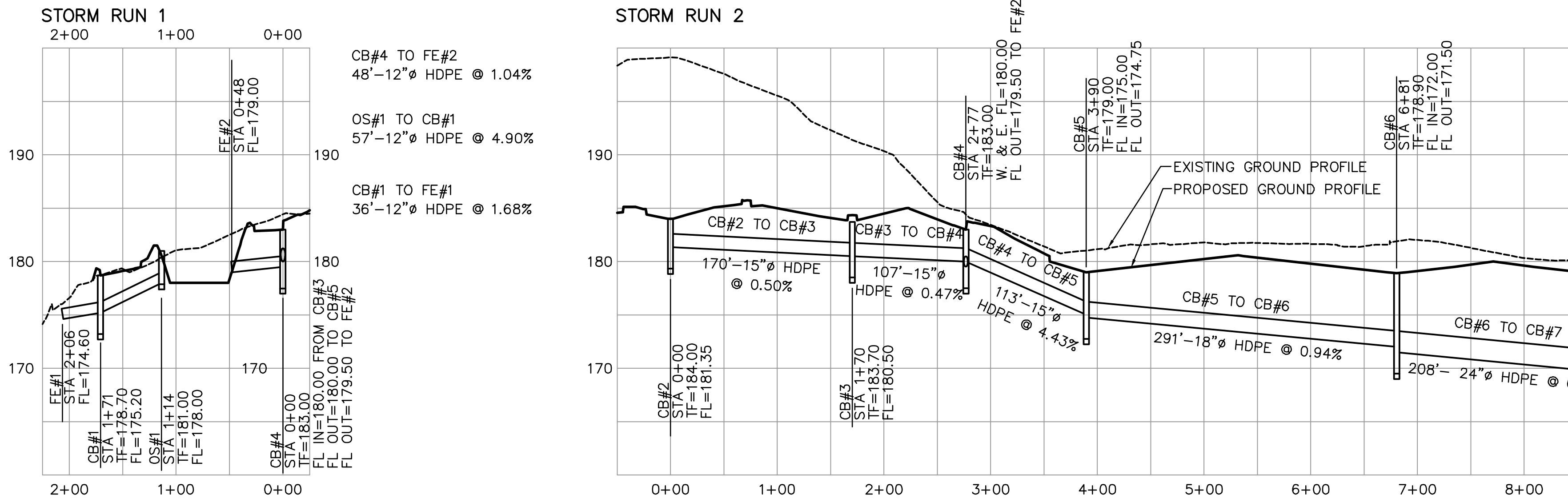
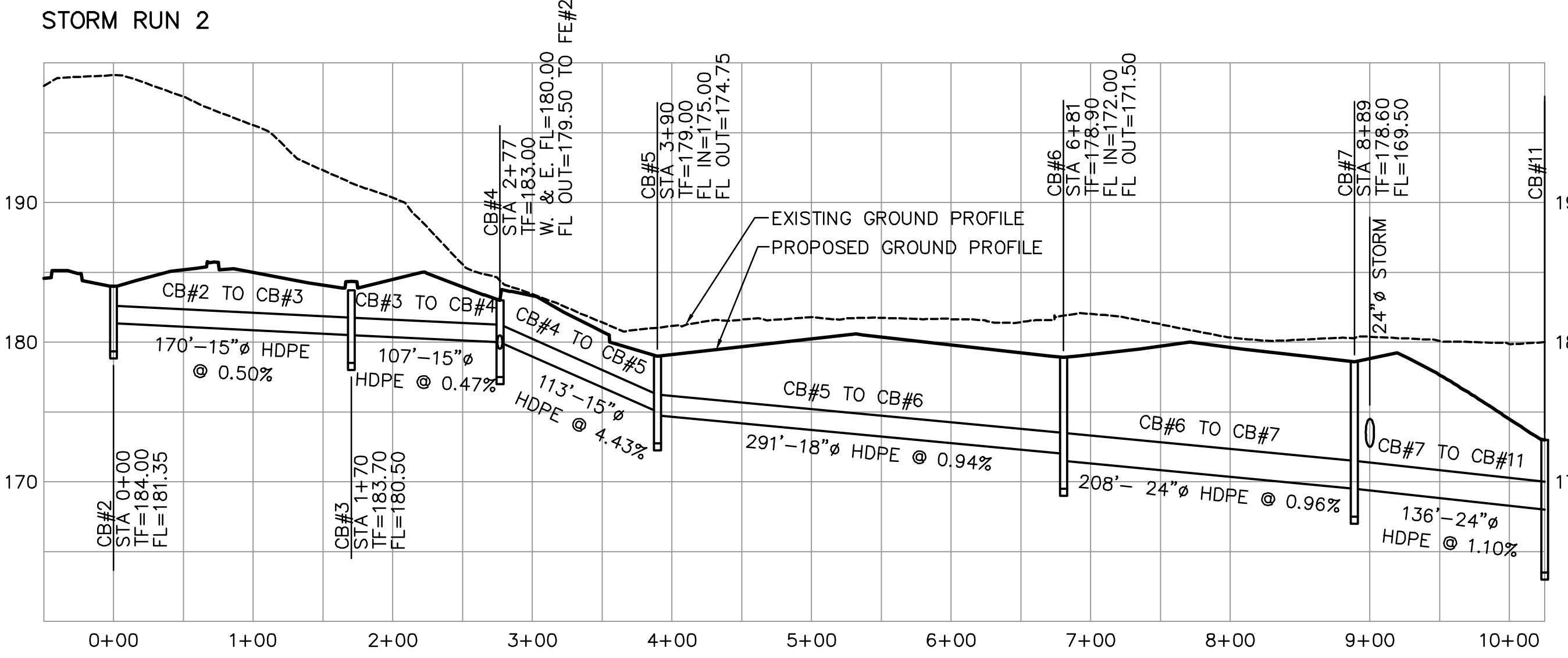
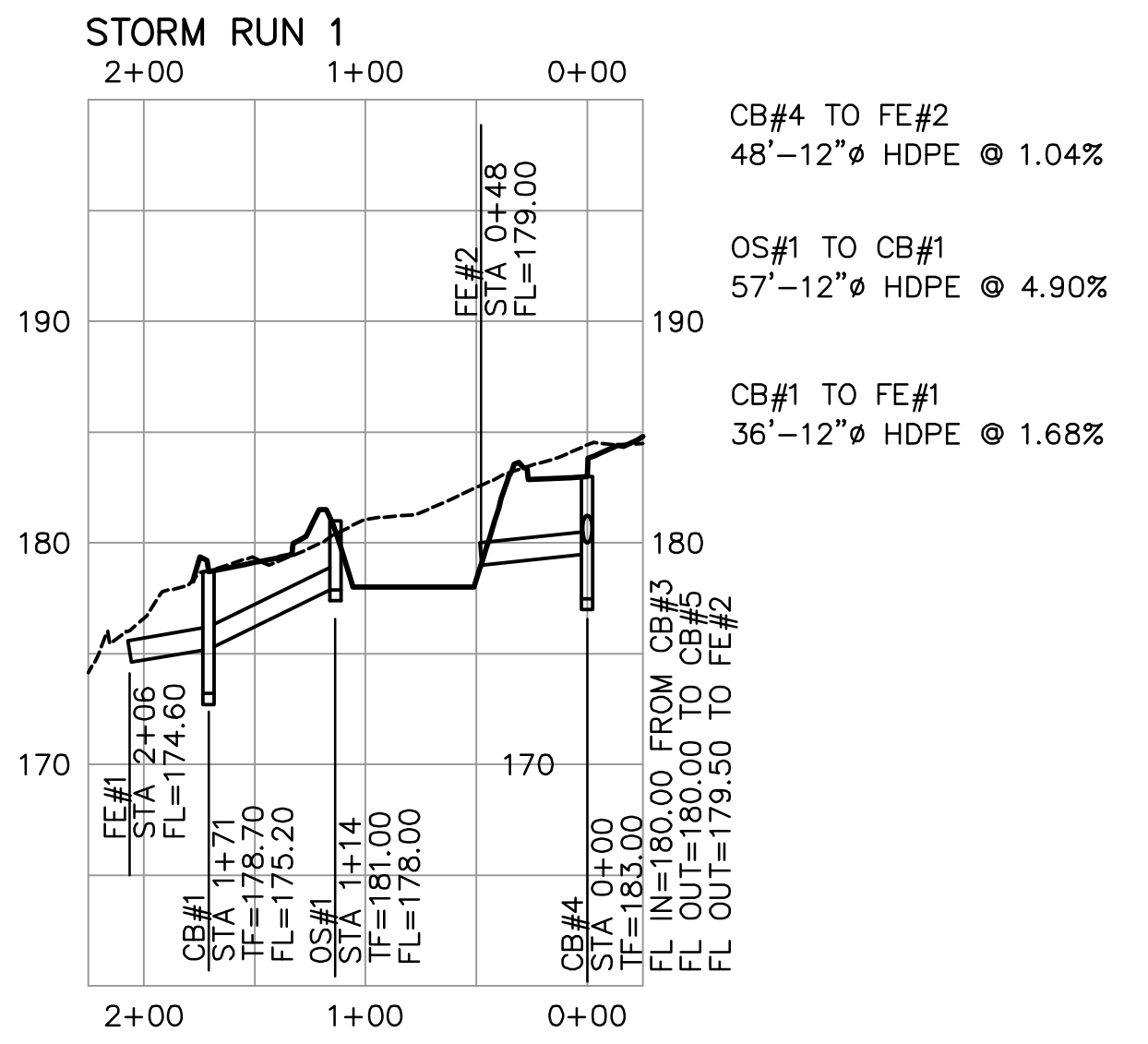
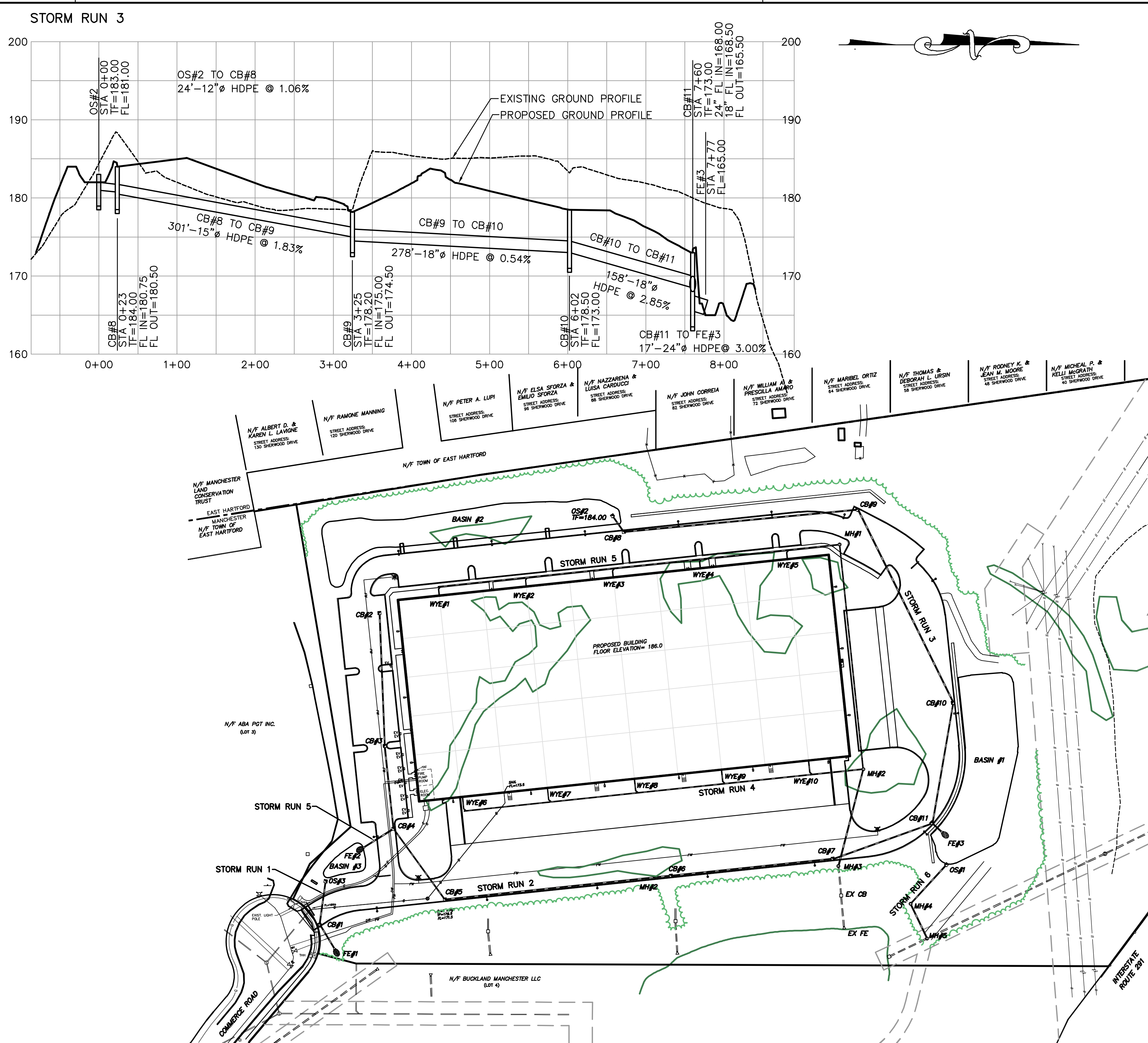
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON H. ALFORD, P.E. & L.S.

DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
GRADING AND UTILITIES PLAN  
MANCHESTER, CONNECTICUT  
71 COMMERCE ROAD  
AND 81 COMMERCE ROAD

Sheet  
C6.1



**APPROVED**  
 PLANNING & ZONING  
 COMMISSION  
 MANCHESTER, CT.  
 DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

STATE OF CONNECTICUT  
 WILSON M. ALFORD, JR.  
 LICENSED PROFESSIONAL ENGINEER  
 No. 9344

STATE OF CONNECTICUT  
 WILSON M. ALFORD, JR.  
 LICENSED PROFESSIONAL LAND SURVEYOR  
 No. 9344

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
 L.S. No. 9344

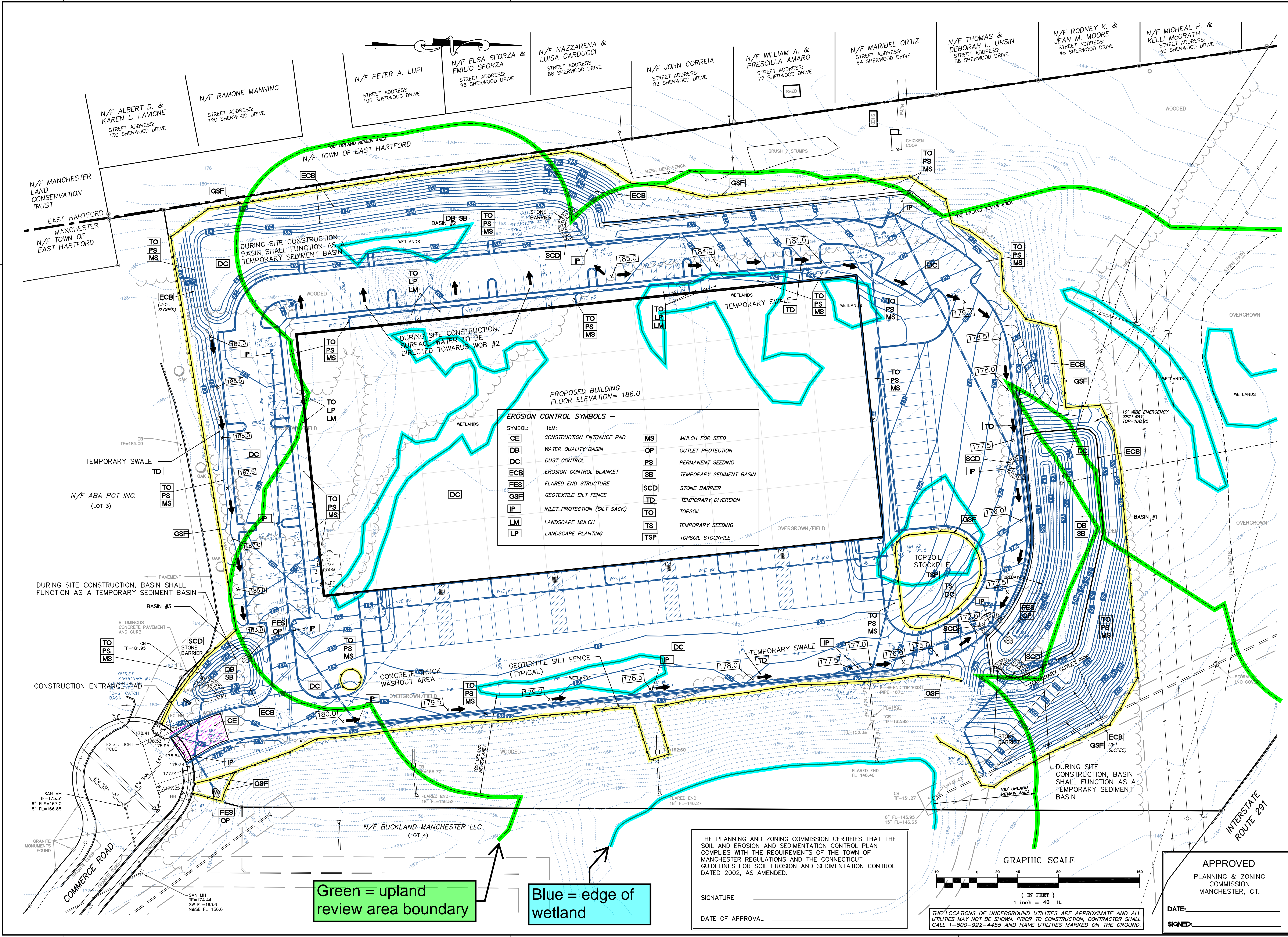
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**Alford ASSOCIATES, INC.**  
 CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024  
 SCALE: 1 IN. = 80 FT.

SITE PLAN  
 PREPARED FOR  
**LFF COMMERCE JV LLC**  
 UTILITIES PLAN  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD  
 AND 81 COMMERCE ROAD

**Sheet C6.2**



Green = upland review area boundary

Blue = edge of wetland

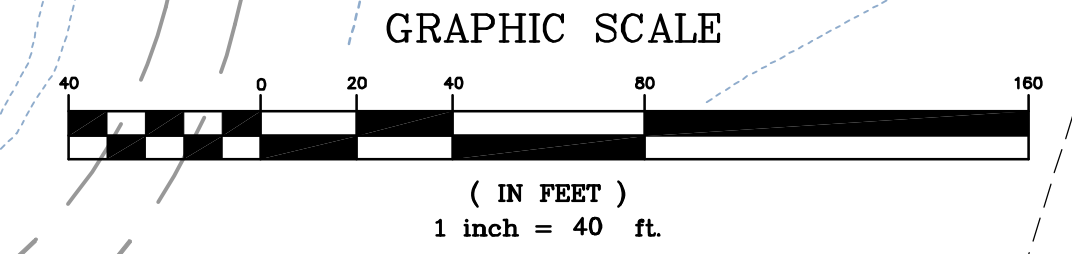
**EROSION CONTROL SYMBOLS -**

SYMBOL:	ITEM:	SYMBOL:	ITEM:
CE	CONSTRUCTION ENTRANCE PAD	MS	MULCH FOR SEED
DB	WATER QUALITY BASIN	OP	OUTLET PROTECTION
DC	DUST CONTROL	PS	PERMANENT SEEDING
ECB	EROSION CONTROL BLANKET	SB	TEMPORARY SEDIMENT BASIN
FES	FLARED END STRUCTURE	SCD	STONE BARRIER
GSF	GEOTEXTILE SILT FENCE	TD	TEMPORARY DIVERSION
IP	INLET PROTECTION (SILT SACK)	TO	TOPSOIL
LM	LANDSCAPE MULCH	TS	TEMPORARY SEEDING
LP	LANDSCAPE PLANTING	TSP	TOPSOIL STOCKPILE

THE PLANNING AND ZONING COMMISSION CERTIFIES THAT THE SOIL AND EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE TOWN OF MANCHESTER REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL DATED 2002, AS AMENDED.

SIGNATURE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

APPROVED  
 PLANNING & ZONING  
 COMMISSION  
 MANCHESTER, CT.

DATE: \_\_\_\_\_

SIGNED: \_\_\_\_\_

REVISION	DATE

STATE OF CONNECTICUT  
 WILSON M. ALFORD, JR.  
 No. 9344  
 LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT  
 WILSON M. ALFORD, JR.  
 No. 9344  
 LICENSED PROFESSIONAL SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

**Alford**  
 ASSOCIATES, INC.

CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

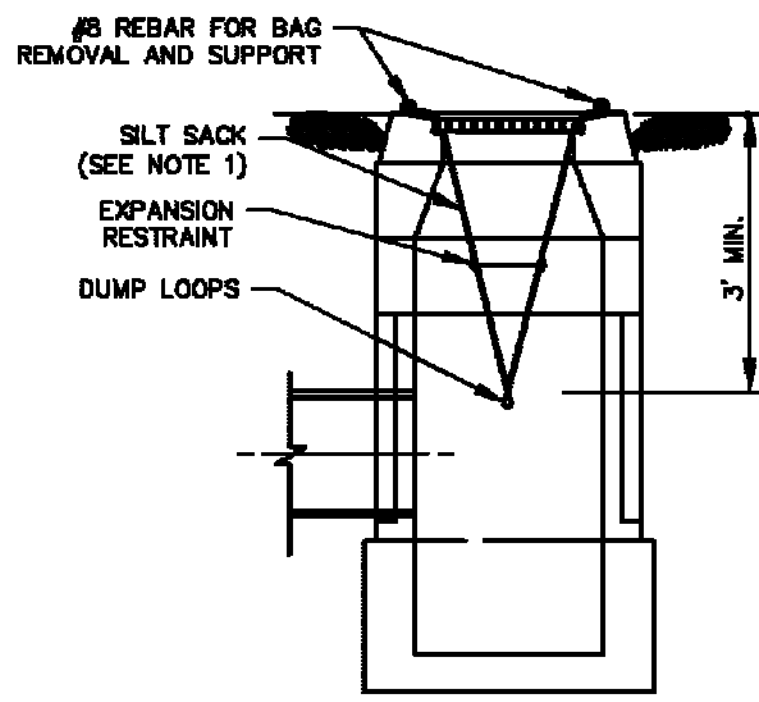
SCALE: 1 IN. = 40 FT.

SITE PLAN  
 PREPARED FOR  
 LFF COMMERCE JV LLC  
 EROSION & SEDIMENTATION CONTROL PLAN  
 MANCHESTER, CONNECTICUT

71 COMMERCE ROAD  
 AND 81 COMMERCE ROAD

Sheet  
 C7.1

SS: PR-EROSION CONTROL P: C23047 D: C23047SP FOLDER: CAMPOFRANCO-MANCHESTER



- NOTES:**
- SILT SACKS SHALL BE HI-FLOW SILTSACK® TYPE 'A' FOR TYPE 'C'-L' CB TOPS AND TYPE 'B' WITH CURB DEFLECTORS FOR TYPE 'C' CB TOPS OR OTHER STRUCTURES WITH CURB INLETS AS MANUFACTURED BY ACF ENVIRONMENTAL, INC OR APPROVED EQUAL.
  - SILT SACKS SHALL BE PROVIDED WITH INTERNAL OVERFLOWS.
  - SILT SACKS SHALL BE EMPTIED WHEN THEY HAVE COLLECTED 8" TO 12" OF SEDIMENT. INSPECT EVERY 1 TO 2 WEEKS AND AFTER EVERY MAJOR RAINFALL EVENT.

REVISIONS			
NO.	DESCRIPTION	DATE	APPROVED

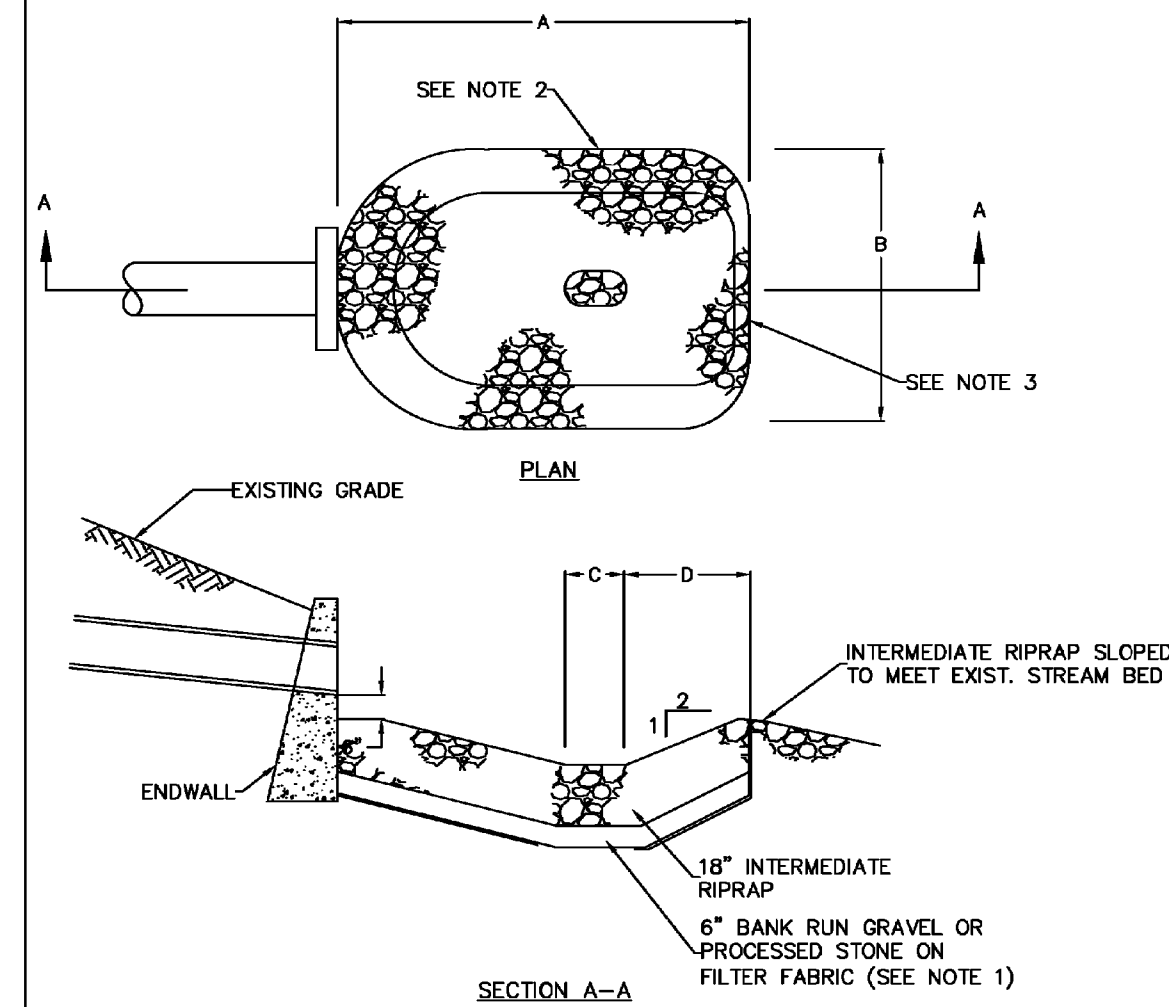
DRAWN BY: DG    CHECKED BY: JL  
DATE: OCT 2020    FILENAME: PLATE26.DWG    NO SCALE    **PLATE 26.3**

TOWN OF MANCHESTER  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

**SILT SACK**

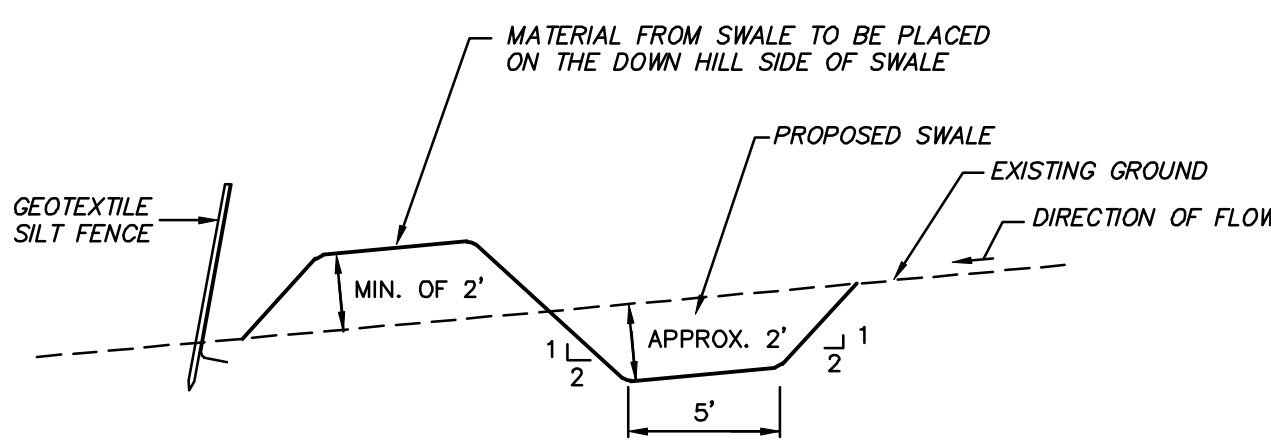
**RIP RAP PLUNGE POOL**  
NOT TO SCALE

PIPE SIZE	A	B	C	D
UNDER 18"	10'	7'	2'	3'
18"-24"	16'	10'	3'	4'
30"-36"	22'	16'	3'	5'

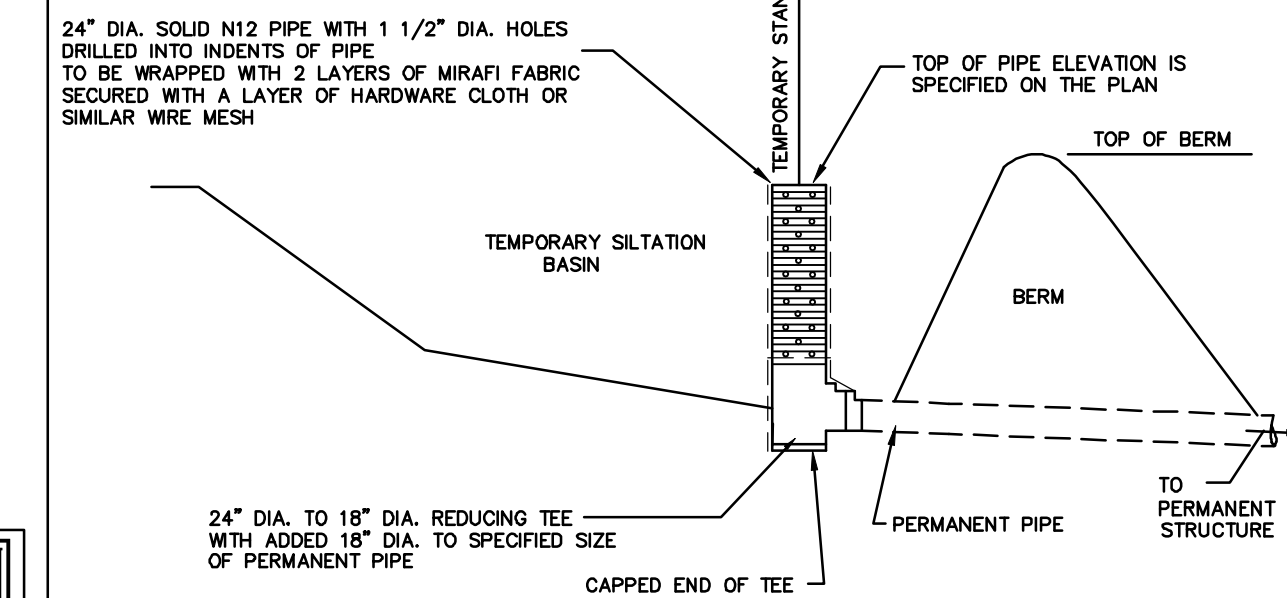


- NOTES:**
- FILTER FABRIC SHALL BE NONWOVEN CLASS 2, WITH PERMITTIVITY OF 0.5 TO 0.1 SEC AND AOS OF 0.43mm TO 0.22mm AND SHALL MEET AASHTO M288-96.
  - SIDE ELEVATIONS TO BE AT OR ABOVE PIPE FLOW LINE.
  - DOWNSTREAM ELEVATION TO BE 1"-2" LOWER THAN UPSTREAM ELEVATION.

**TEMPORARY SWALE DURING CONSTRUCTION**  
NOT TO SCALE



**DETAIL OF TEMPORARY SILTATION BASIN OUTLET**  
NOT TO SCALE



**PERMANENT EROSION CONTROL BLANKETS**  
TO BE USED WHERE SLOPES ARE 3:1 AND STEEPER

WHEN INSTALLING, ENSURE THAT THE LAP JOINTS ARE SECURE, ALL EDGES ARE PROPERLY ANCHORED AND ALL STAKING/STAPLING PATTERNS FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.



**GENERAL NOTES FOR NARRATIVE -**

- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- A STOCKPILE OF CRUSHED STONE, GEOTEXTILE SILT FENCE AND HAY BALES IS TO BE MAINTAINED ON SITE FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
- GEOTEXTILE SILT FENCE SHALL BE KEPT ON-SITE IN THE EVENT OF AN EMERGENCY OR TOWN REQUEST FOR ADDITIONAL EROSION PROTECTION DURING CONSTRUCTION.
- MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS OF ANY DEBRIS AND SEDIMENTS FROM THE CONSTRUCTION ACTIVITIES.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP SILT FENCE FUNCTIONAL. IN ALL CASES, DEPOSITS SHALL BE REMOVED WHEN THE ACCUMULATED SEDIMENT HAS REACHED ONE-HALF ABOVE THE GROUND HEIGHT OF THE FENCE.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", CONNECTICUT DEP BULLETIN 34.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
- ALL CONSTRUCTION, STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROLS SHALL COMPLY WITH THE TOWN OF MANCHESTER SPECIFICATIONS AND REGULATIONS.
- THE CONTRACTOR AND/OR OWNER SHALL BE CONTACTED IN THE EVENT OF EMERGENCY EROSION OR SEDIMENTATION FAILURE.
- AFTER A RAIN STORM, HAY BALES, GEOTEXTILE SILT FENCE AND VEGETATIVE COVER SHALL BE INSPECTED FOR POSSIBLE DAMAGE OR WASHOUT. REPAIR AS NECESSARY.
- NO STUMPS SHALL BE BURIED ON THE SUBJECT PROPERTY.
- ALL CONSTRUCTION TRAFFIC MUST EXIST THE SITE OVER THE CONSTRUCTION ENTRANCE PROPOSED TO PREVENT TRACKING OF THE SEDIMENT ONTO THE ROAD.

**STORM DRAINAGE MAINTENANCE SCHEDULE -**

MAINTENANCE OF THE ON-SITE STORM DRAINAGE IS THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY.

**MAINTENANCE SCHEDULE:**

- PARKING AREA SURFACE CLEANING; ALL PAVED AREAS SHALL BE SWEEPED ANNUALLY BETWEEN APRIL 1st AND JULY 1st.
- CATCH BASINS; ALL BASIN RIM AREAS AND SUMPS SHALL BE KEPT CLEAR OF SEDIMENT, TRASH AND DEBRIS. ALL CATCH BASINS SHALL BE INSPECTED ANNUALLY BETWEEN MAY 1st AND SEPTEMBER 15th AND SUMPS SHALL BE CLEANED WHEN THE DEPTH OF ACCUMULATED MATERIAL EXCEEDS 1 FOOT. ACCUMULATED SAND, DIRT AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN A PROPER MANNER.
- SILT SACKS; SILT SACKS SHALL BE EMPTIED WHEN 6 INCHES TO 12 INCHES OF SEDIMENT HAS COLLECTED, BE INSPECTED EVERY 1 TO 2 WEEKS AND AFTER EVERY MAJOR RAIN EVENT.
- STORM DRAINAGE PIPES AND STRUCTURES; ALL STORM DRAINAGE STRUCTURES AND PIPES SHALL BE KEPT IN PROPER WORKING CONDITION. RIP-RAP OUTLET SHOULD BE INSPECTED AT LEAST SEMI-ANNUALLY AND AFTER SUBSTANTIAL RAINFALL EVENTS. THE AREA SHALL BE CLEARED OF ALL SEDIMENT DEPOSITS AND INVASIVE PLANT SPECIES. DAMAGE AND DETERIORATION OF THE AREA SHALL BE REPAIRED IMMEDIATELY. OUTLET CONTROL STRUCTURE SHALL BE INSPECTED MONTHLY. DEBRIS AND SEDIMENT WITHIN THE STRUCTURE SHALL BE REMOVED AS NEEDED OR AT LEAST ONCE PER YEAR BETWEEN MAY 1ST AND SEPTEMBER 15TH.
- BASINS; BASINS SHALL BE INSPECTED MONTHLY FOR EVIDENCE OF SILTATION, DEBRIS, AND EROSION. UNDERCUT OR ERODED AREAS SHALL BE REPAIRED WITHIN 30 DAYS OF DOCUMENTATIONS. BASINS SHALL BE INSPECTED FOR INVASIVE VEGETATION AT LEAST ONCE EVERY SIX MONTHS. FOREBAYS AND DETENTION BASINS SHALL BE MOWED ONCE PER YEAR AT THE END OF THE GROWING SEASON NO LATER THAN OCTOBER 15TH.
- REFER TO THE LATEST EDITION OF THE CONNECTICUT GUIDELINES FOR STORMWATER QUALITY MANAGEMENT, AS WELL AS THE TOWN'S ENGINEERING STANDARDS AND SPECIFICATIONS AS AMENDED, FOR THE PROPER IMPLEMENTATION OF STORMWATER MANAGEMENT.

**SUMMARY OF CONSERVATION PRACTICES -**

**TEMPORARY MEASURES DURING CONSTRUCTION**

- CONSTRUCTION ENTRANCE PAD
- GEOTEXTILE SILT FENCE TO BE PLACED IN AREAS AS SHOWN ON THE PLAN
- DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER
- ALL LITTER AND DEBRIS TO BE PICKED UP ON A DAILY BASIS
- ANY DISCARDED CONSTRUCTION MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER
- DISTURBED SURFACE WATER WILL BE COLLECTED IN A TEMPORARY SEDIMENT BASIN

**PERMANENT MEASURES ONCE SITE IS DEVELOPED**

- ALL DISTURBED AREAS WITHOUT PAVEMENT SHALL BE LOAMED AND SEEDED TO ESTABLISH PERMANENT GRASS COVER.
- ALL LITTER AND DEBRIS TO BE PICKED UP ON A REGULAR BASIS
- BASINS WILL SERVE THE SITE STORM DRAINAGE.

**CONCRETE TRUCK WASHOUT NOTES:**

- A SIGN IS TO BE INSTALLED ADJACENT TO THE WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
- TEMPORARY WASHOUT AREA SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
- WEEKLY INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
- CONCRETE SPOILS ARE TO BE REMOVED AFTER CURED.
- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER NEEDED, THE AREA IS TO BE RESTORED TO ORIGINAL EXISTING GRADE. PLACE A MINIMUM OF 4 INCHES OF TOPSOIL AND SEED PER VEGETATIVE COVER SCHEDULE.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

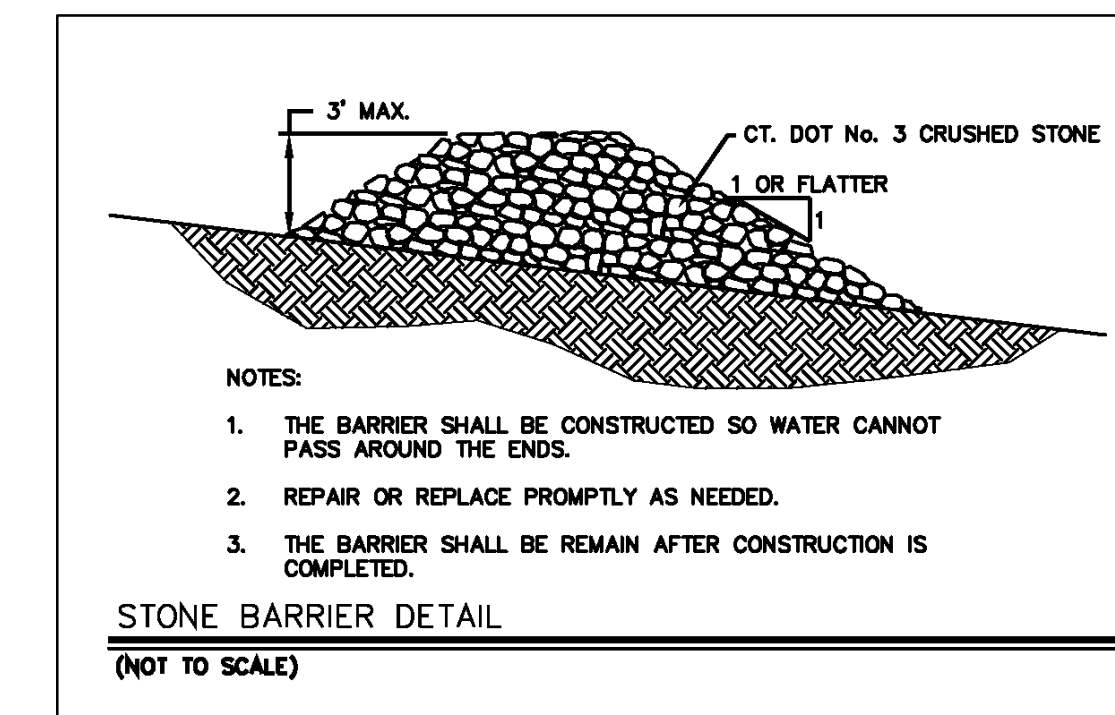
**EROSION AND SEDIMENTATION CONTROL NARRATIVE -**

- THE PROPERTY IS A 19.98 ACRE PARCEL LOCATED AT THE END OF COMMERCE ROAD IN MANCHESTER, CONNECTICUT. THE PROPERTY CONSISTS OF TWO (2) PARCELS KNOWN AS #71 AND #81 COMMERCE ROAD. BOTH PARCELS ARE ZONED "INDUSTRIAL" AND ARE WITHIN THE "BUCKLAND INDUSTRIAL PARK II". THE WEST SIDE OF THE PROPERTY ABUTS THE TOWN OF EAST HARTFORD, THE NORTH SIDE ABUTS INTERSTATE 291 AND BURHAM STREET, THE EAST SIDE ABUTS A VACANT INDUSTRIAL ZONED PROPERTY, ALSO BEING WITHIN THE "BUCKLAND INDUSTRIAL PARK II" AND THE SOUTH SIDE ABUTS A DEVELOPED INDUSTRIAL FACILITY. THE SUBJECT PROPERTY IS VACANT AND HAS SOME WETLANDS LOCATED ON THE PROPERTY.
- THE PROPOSAL IS TO CONSTRUCT A 144,300 SQUARE FOOT BUILDING DISTRIBUTION WAREHOUSE WITH ASSOCIATED PARKING, TRUCK LOADING, TRAILER PARKING AND UTILITIES.
- THE ANTICIPATED START OF CONSTRUCTION IS PLANNED FOR THE FALL OF 2024 WITH FINAL COMPLETION IN APPROXIMATELY ONE YEAR.

**CONSTRUCTION SEQUENCE -**

- CUT TREES AND REMOVE BRUSH WITHIN THE AREA OF CONSTRUCTION AND REMOVE OFF SITE.
  - INSTALL CONSTRUCTION ENTRANCE.
  - INSTALL GEOTEXTILE SILT FENCES.
- CONSTRUCT BASINS #1, #2 AND #3.
  - FOR EACH BASIN:
    - STUMP AREA OF BASIN. STUMPS TO BE REMOVED FROM SITE. STUMPS ARE NOT TO BE BURIED ON THE PROPERTY.
    - STRIP AND STOCKPILE TOPSOIL.
    - EXCAVATE, GRADE (INCLUDING FOREBAY IN BASIN #1), TOPSOIL AND SEED BASIN.
  - CONSTRUCT RETAINING WALL ADJACENT TO BASIN #1.
- FOR BASIN #1, INSTALL PERMANENT STORM DRAINAGE OUTLET STRUCTURE ALONG WITH ASSOCIATED MANHOLES AND PIPES TO CONNECT INTO THE EXISTING OUTLET PIPE.
  - FOR BASIN #2, INSTALL PERMANENT STORM DRAINAGE OUTLET STRUCTURE #2 ALONG WITH ASSOCIATED STORM DRAINAGE STRUCTURES AND CONNECTING PIPE TO FLARED END #3 THAT DISCHARGES INTO BASIN #1. PLACE RIP-RAP PLUNGE POOL AT FLARED END.
  - FOR BASIN #3, INSTALL PERMANENT STORM DRAINAGE OUTLET STRUCTURE ALONG WITH ASSOCIATED STORM DRAINAGE STRUCTURES AND CONNECTING PIPE TO FLARED END #1. PLACE RIP-RAP PLUNGE POOL AT FLARED END.
- FOR BASIN #1, INSTALL TEMPORARY OUTLET PIPE INTO STORM DRAINAGE OUTLET STRUCTURE #1.
- INSTALL A STONE BARRIER AT EACH OF THE BASIN OUTLET DRAINAGE STRUCTURES. EACH OF THE STONE BARRIERS ARE TO BE MAINTAINED AND FUNCTION PROPERLY DURING CONSTRUCTION. AT THE END OF CONSTRUCTION, STONE BARRIERS ARE TO BE CLEANED AND OR REPAIRED, AS NECESSARY, AND TO REMAIN AS PERMANENT.

- DURING SITE CONSTRUCTION, THE THREE (3) BASINS WILL EACH FUNCTION AS A TEMPORARY SEDIMENT BASIN. AS NEEDED, TEMPORARY SEDIMENT BASIN SHALL BE CLEANED OF ACCUMULATED SILT AND SEDIMENT SO THAT BASIN WILL FUNCTION PROPERLY THROUGHOUT THE DEVELOPMENT.
- CONSTRUCT TEMPORARY SWALES AND DIRECT TOWARDS BASIN, AS SHOWN. PLACE TEMPORARY STONE BARRIERS AT CATCHBASINS #10 AND #11. SWALES TO BE MAINTAINED AND FUNCTION PROPERLY UNTIL STORM WATER CAN BE CARRIED IN PROPOSED DRAINAGE STRUCTURES.
  - CONSTRUCT RETAINING WALL ON THE WEST SIDE OF THE PROPERTY.
  - STUMP, STRIP AND STOCKPILE TOPSOIL FROM THE AREA OF THE BUILDING AND THE PROPOSED IMPROVEMENTS. PLACE GEOTEXTILE SILT FENCE AROUND STOCKPILE AREAS. PILES ARE TO BE SEED FOR TEMPORARY VEGETATION IF PILE IS TO REMAIN FOR AN EXTENDED PERIOD OF TIME. STUMPS ARE TO BE REMOVED FROM THE PROPERTY.
  - GRADE THE AREAS OF THE PROPOSED IMPROVEMENTS.
  - BEGIN CONSTRUCTION OF BUILDING.
  - INSTALL STORM DRAINAGE.
    - PLACE SILT SACK IN THE TOP OF NEW CATCH BASINS. AREAS AROUND NEW CATCH BASIN TOPS ARE TO BE DEPRESSED. THROUGHOUT CONSTRUCTION, CARE SHALL BE TAKEN TO KEEP DISTURBED SURFACE WATER FROM ENTERING THE CATCH BASIN.
  - CONSTRUCT UTILITIES, PAVEMENT AREAS AND OTHER SITE IMPROVEMENTS.
  - INSTALL PLANT MATERIAL.
  - LOAM AND SEED FOR PERMANENT COVER. IF PERMANENT COVER IS NOT DESIRED AT THE TIME OF THE SEEDING, USE TEMPORARY SEEDING PER VEGETATIVE COVER SCHEDULE.
  - WHEN ALL CONTRIBUTING AREAS HAVE STABILIZED, ACCUMULATED SEDIMENT TO BE REMOVED FROM BASINS. REMOVE TEMPORARY OUTLET STRUCTURE AND PIPE. BLOCK AND SEAL PENETRATION INTO STRUCTURE. CORE PERMANENT ORIFICE. PLACE TOPSOIL AND SEED.
  - THROUGHOUT CONSTRUCTION AND AT LEAST ONCE A WEEK, INSPECT GEOTEXTILE SILT FENCE AND/OR TEMPORARY VEGETATIVE COVER. IF REQUIRED, PERFORM MAINTENANCE AND REPAIRS TO INSURE PROPER WORKING ORDER. GEOTEXTILE SILT FENCE IS TO REMAIN IN PROPER WORKING ORDER UNTIL ALL VEGETATIVE COVER HAS BEEN ESTABLISHED. BEFORE REMOVAL OF ANY SILT FENCE, EXISTING ACCUMULATED SILT IS TO BE REMOVED AND DISPOSED OF PROPERLY. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEED TO ESTABLISH PERMANENT COVER.
  - THE OWNER OF THE PROPERTY AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION/MAINTENANCE/REPAIR/REPLACEMENT OF ALL EROSION CONTROL MEASURES UNTIL ALL CONTRIBUTING SURFACES HAVE BEEN ESTABLISHED.



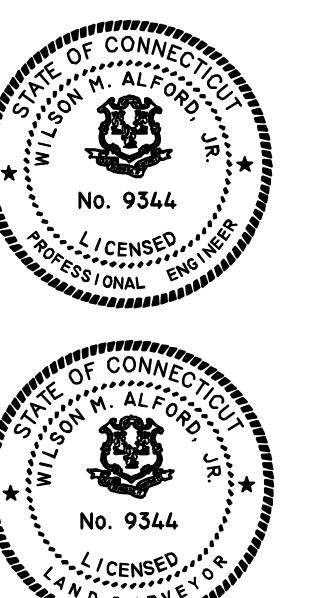
THE PLANNING AND ZONING COMMISSION CERTIFIES THAT THE SOIL AND EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE TOWN OF MANCHESTER REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL DATED 2002, AS AMENDED.

SIGNATURE \_\_\_\_\_  
DATE OF APPROVAL \_\_\_\_\_

**APPROVED**  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	DATE	REVISION



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



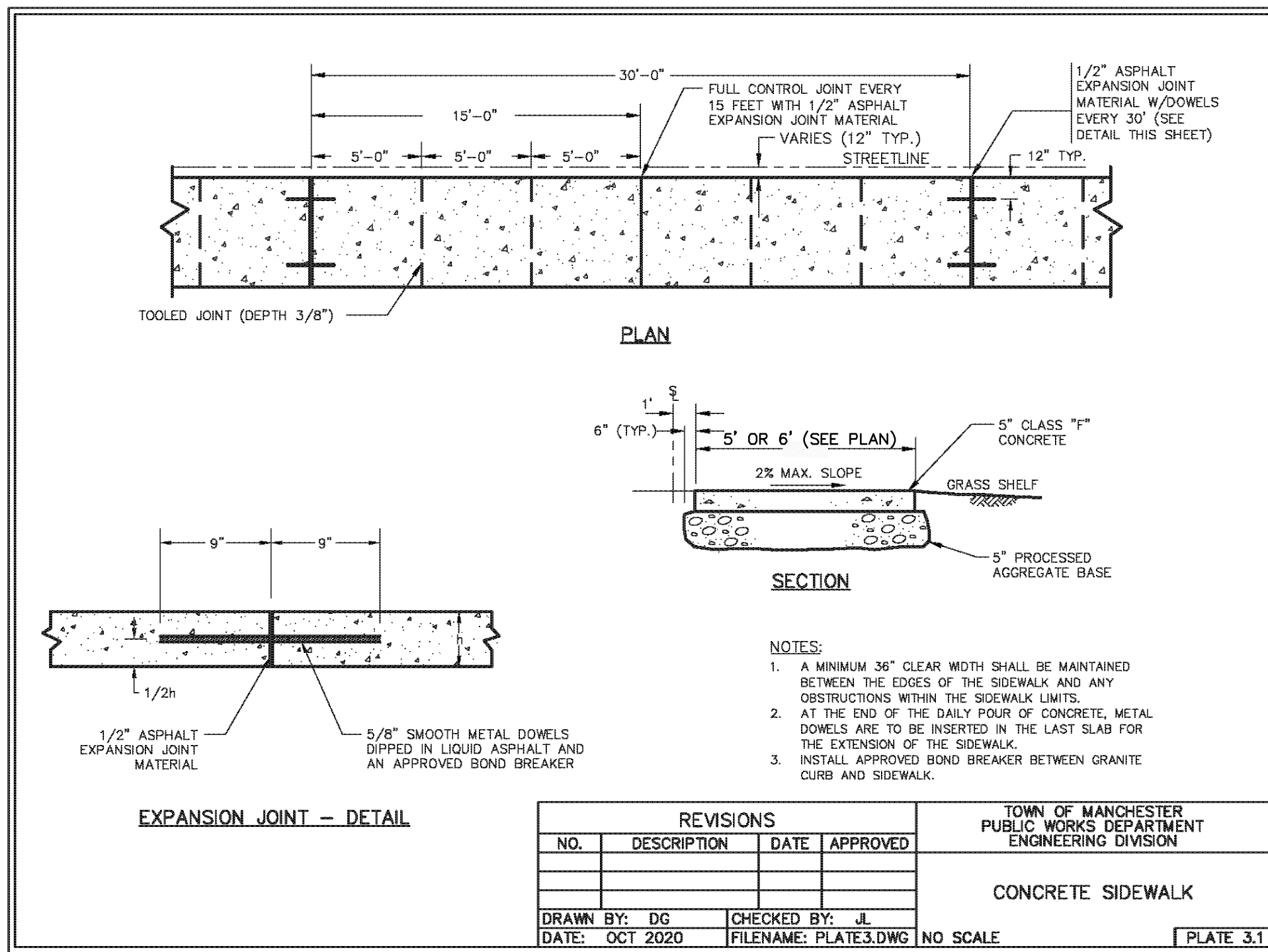
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN PREPARED FOR LFF COMMERCE JV LLC EROSION & SEDIMENTATION CONTROL PLAN  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD AND 81 COMMERCE ROAD  
**Sheet C7.2**



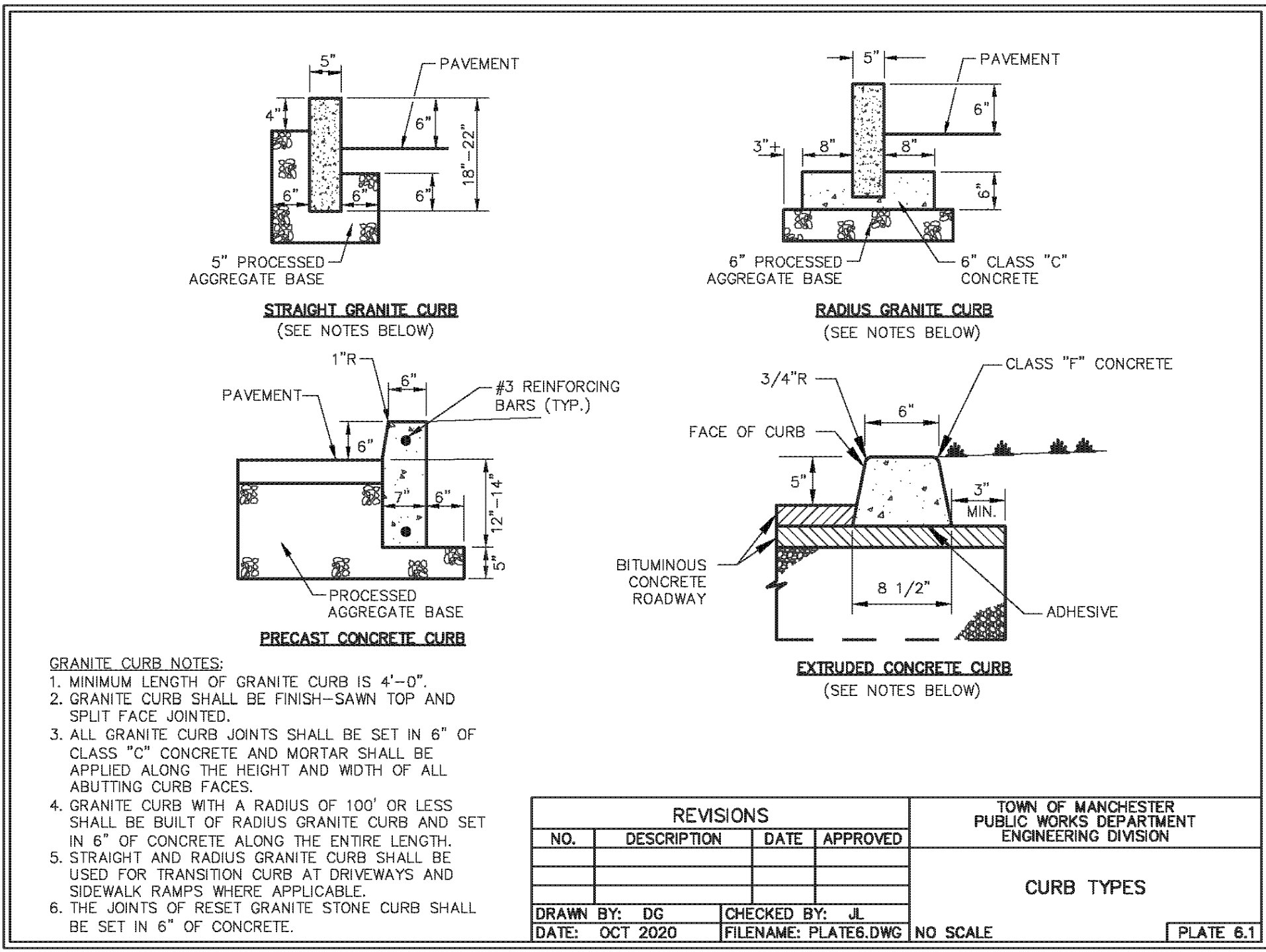


REVISIONS			
NO.	DESCRIPTION	DATE	APPROVED

TOWN OF MANCHESTER  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

CONCRETE SIDEWALK

DRAWN BY: DG      CHECKED BY: JL  
DATE: OCT 2020      FILENAME: PLATE3.DWG      NO SCALE

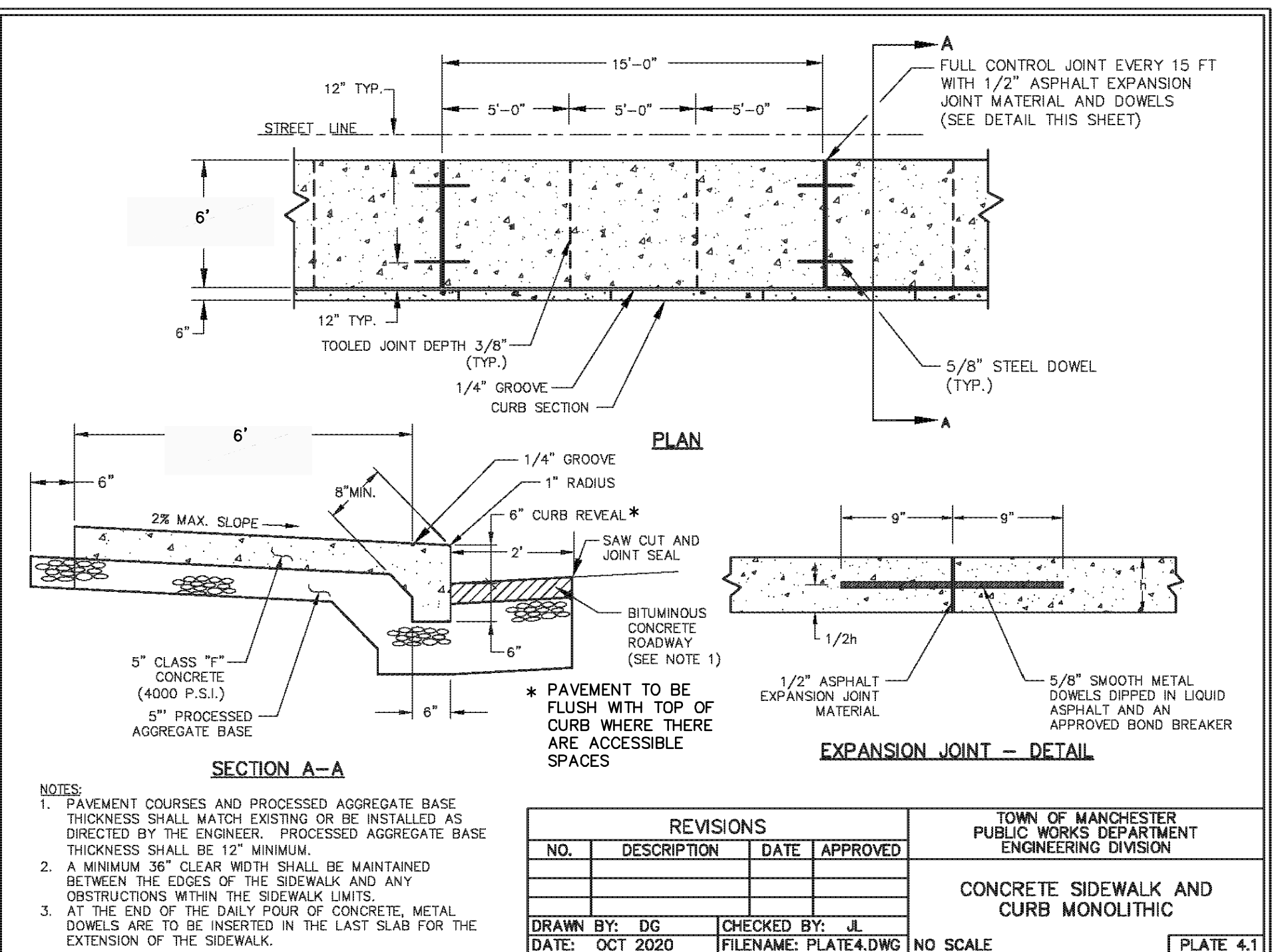


REVISIONS			
NO.	DESCRIPTION	DATE	APPROVED

TOWN OF MANCHESTER  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

CURB TYPES

DRAWN BY: DG      CHECKED BY: JL  
DATE: OCT 2020      FILENAME: PLATE6.DWG      NO SCALE

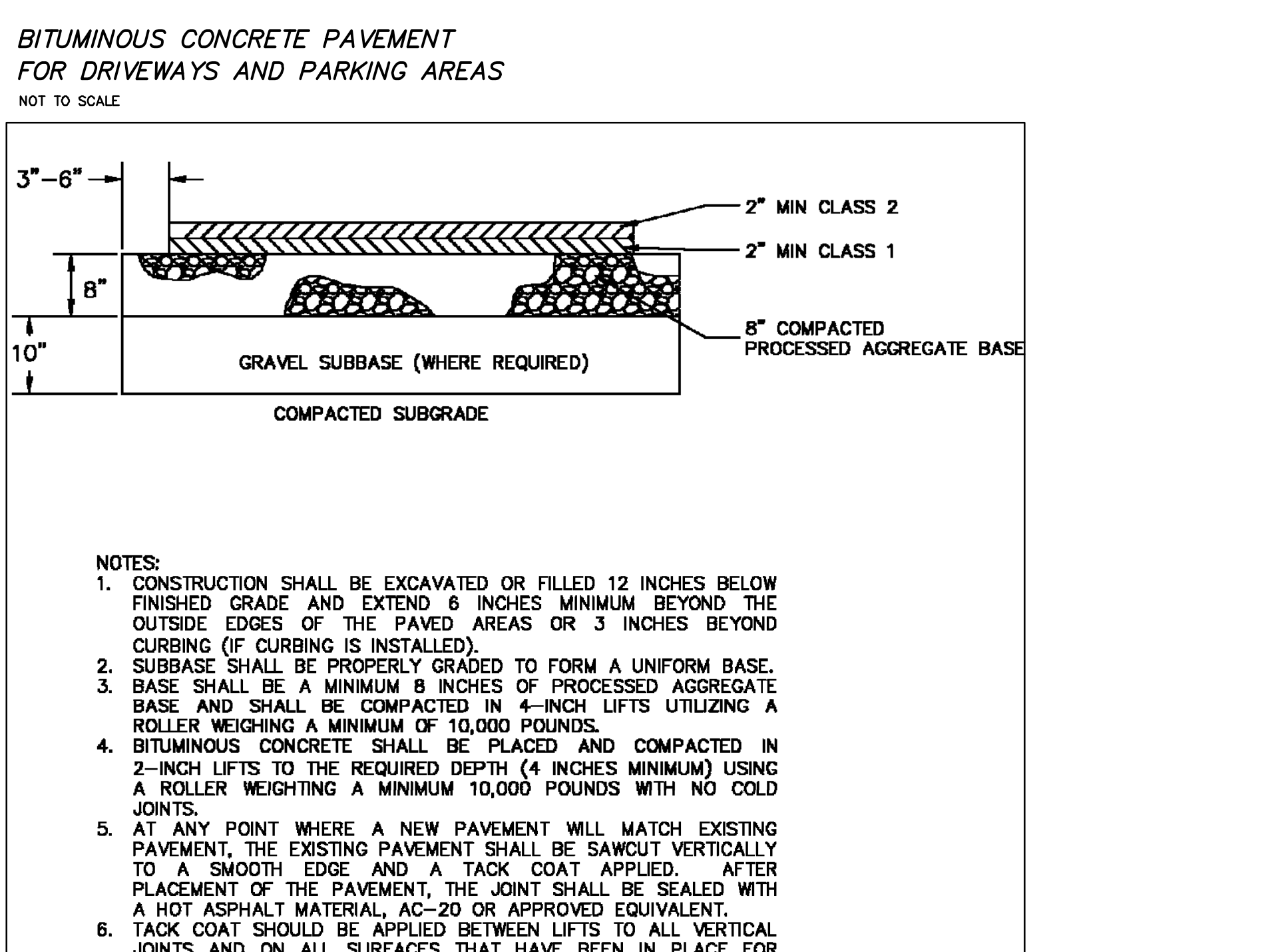


REVISIONS			
NO.	DESCRIPTION	DATE	APPROVED

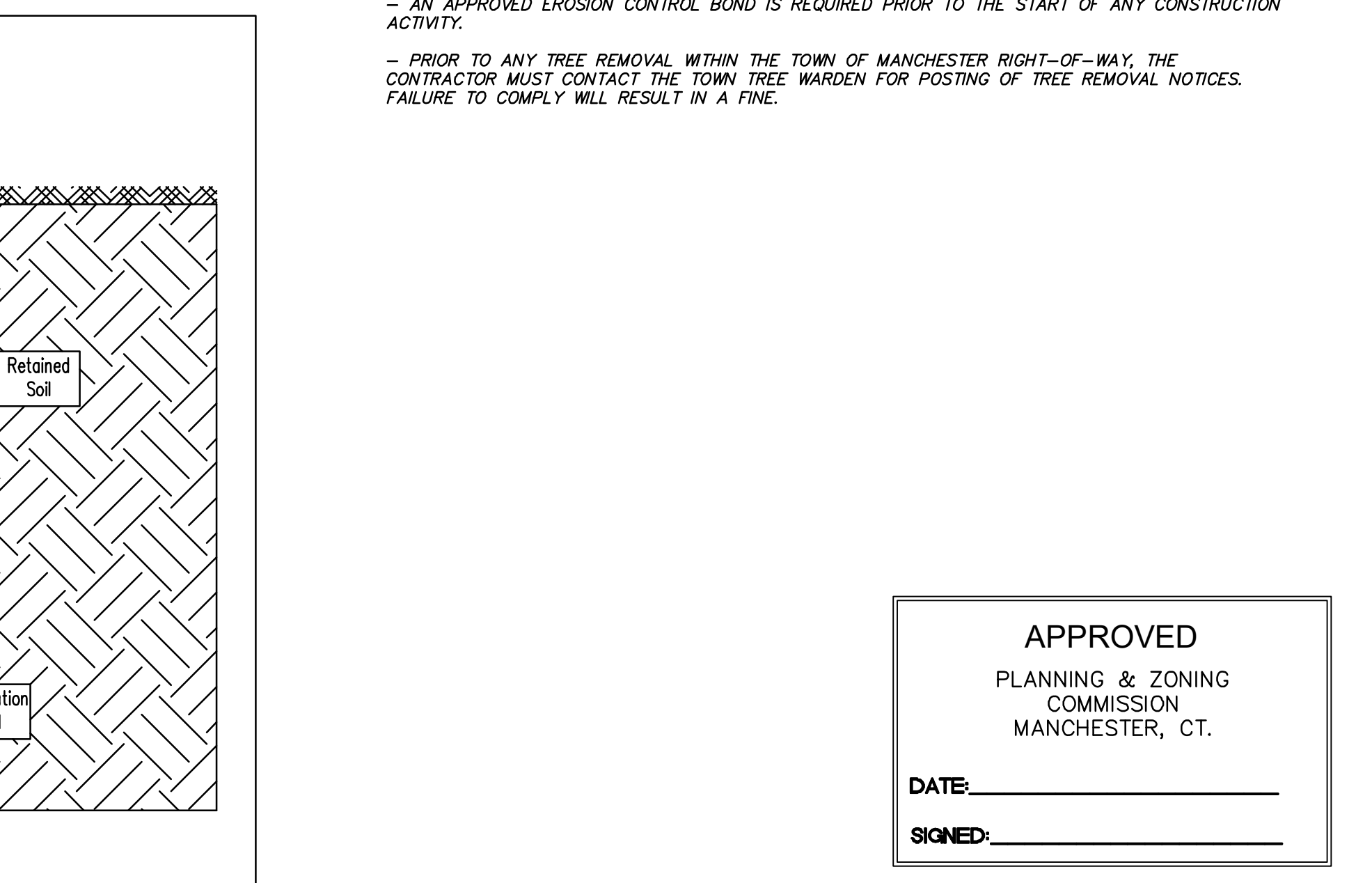
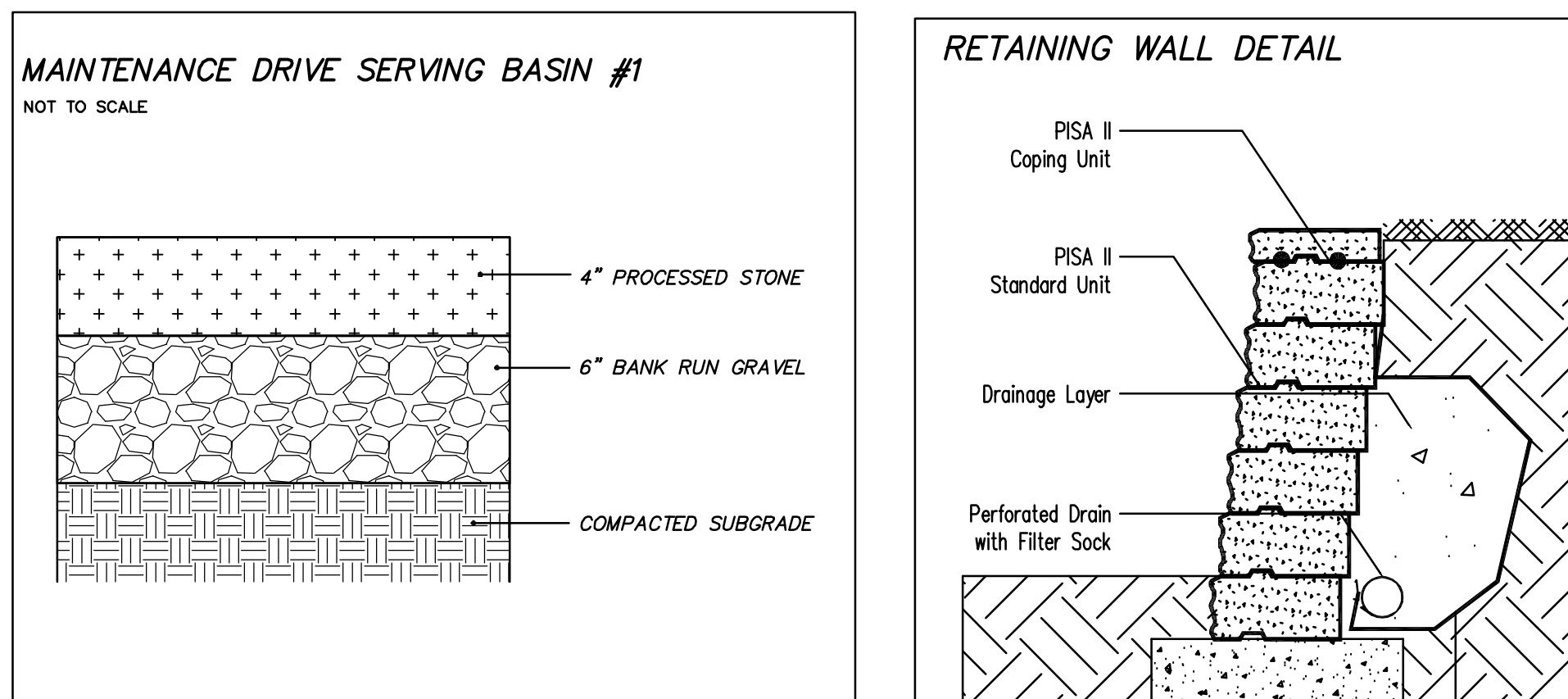
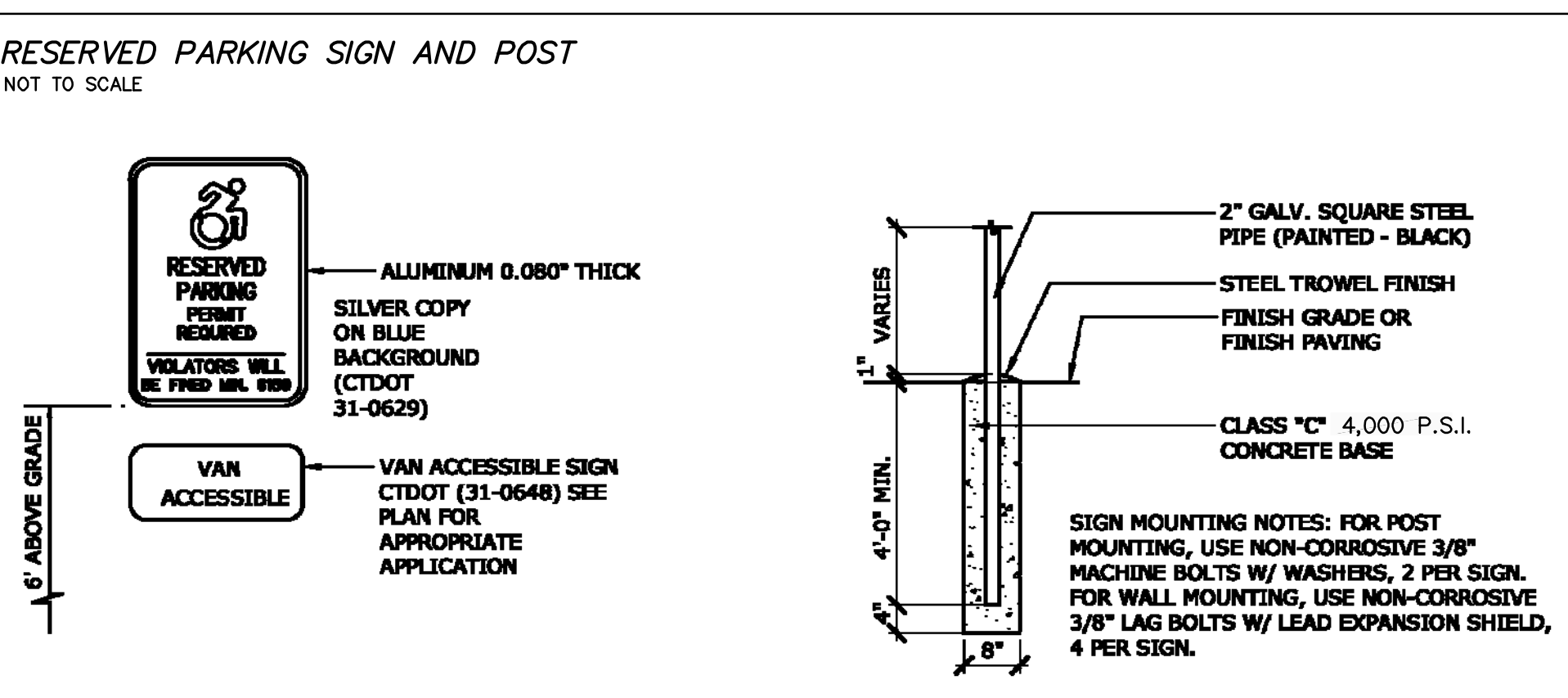
TOWN OF MANCHESTER  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

CONCRETE SIDEWALK AND CURB MONOLITHIC

DRAWN BY: DG      CHECKED BY: JL  
DATE: OCT 2020      FILENAME: PLATE4.DWG      NO SCALE



- NOTES:**
- CONSTRUCTION SHALL BE EXCAVATED OR FILLED 12 INCHES BELOW FINISHED GRADE AND EXTEND 6 INCHES MINIMUM BEYOND THE OUTSIDE EDGES OF THE PAVED AREAS OR 3 INCHES BEYOND CURBING (IF CURBING IS INSTALLED).
  - SUBBASE SHALL BE PROPERLY GRADED TO FORM A UNIFORM BASE. BASE SHALL BE A MINIMUM 8 INCHES OF PROCESSED AGGREGATE BASE AND SHALL BE COMPACTED IN 4-INCH LIFTS UTILIZING A ROLLER WEIGHING A MINIMUM OF 10,000 POUNDS.
  - BITUMINOUS CONCRETE SHALL BE PLACED AND COMPACTED IN 2-INCH LIFTS TO THE REQUIRED DEPTH (4 INCHES MINIMUM) USING A ROLLER WEIGHING A MINIMUM 10,000 POUNDS WITH NO COLD JOINTS.
  - AT ANY POINT WHERE A NEW PAVEMENT WILL MATCH EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAWCUT VERTICALLY TO A SMOOTH EDGE AND A TACK COAT APPLIED. AFTER PLACEMENT OF THE PAVEMENT, THE JOINT SHALL BE SEALED WITH A HOT ASPHALT MATERIAL, AC-20 OR APPROVED EQUIVALENT.
  - TACK COAT SHOULD BE APPLIED BETWEEN LIFTS TO ALL VERTICAL JOINTS AND ON ALL SURFACES THAT HAVE BEEN IN PLACE FOR LONGER THAN 72 HOURS.



APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

- GENERAL SITE DEVELOPMENT NOTES -**
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS.
  - CONTRACTOR SHALL VERIFY LAYOUT DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
  - MATERIAL THICKNESSES SPECIFIED ARE COMPACTED THICKNESSES.
  - PROPOSED PAVEMENT SHALL MAKE A SMOOTH TRANSITION WITH THE EXISTING PAVEMENT.
  - ROUND TOPS AND TOES OF ALL PAVED AND PLANTED SLOPES.
  - UNSPECIFIED CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MANCHESTER PUBLIC IMPROVEMENT STANDARDS, THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 818, AMENDED, AND WITH MANUFACTURER'S SPECIFICATIONS.
  - WASTE CONTROL IS TO BE MAINTAINED ON THE SITE AT ALL TIMES. THIS INCLUDES ACCUMULATED SEDIMENT AND LITTER. SPECIFICALLY, ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP ON A REGULAR BASIS.
  - THE DEVELOPER SHALL PRACTICE EFFECTIVE DUST CONTROL PER THE SOIL CONSERVATION SERVICE HANDBOOK DURING CONSTRUCTION AND UNTIL ALL AREAS ARE STABILIZED OR SURFACE TREATED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.
  - THE TOPSOIL IS THE PROPERTY OF THE OWNER.
  - THE INTENTION OF THIS PLAN IS NOT TO POND SURFACE WATER WITHIN THE PAVED AREAS.
  - PROPOSED LIGHTS SHALL BE SHIELDED TO CONFINE ILLUMINATION TO THE SUBJECT SITE.
  - REQUIRED LANDSCAPING SHOWN ON THE APPROVED SITE PLAN SHALL BE MAINTAINED IN A MANNER REASONABLY ASSURING ITS SURVIVAL. ANY REQUIRED PLANTING FOUND DEAD BY THE ZONING ENFORCEMENT OFFICER SHALL BE REPLACED IN-KIND DURING THE NEXT AVAILABLE PLANTING SEASON.
  - AREAS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT SHOULD BE SAW CUT. TACK COAT EDGE AND SEAL JOINT WITH HOT ASPHALT AC-20 OR APPROVED EQUAL.
  - PROPOSED PARKING SPACES SHALL BE DELINEATED WITH 4" WIDE STRIPES OF WHITE TRAFFIC PAINT.
  - ALL PROPOSED UTILITIES ARE TO BE UNDERGROUND.
  - THERE ARE NO ZONING VIOLATIONS WITH RESPECT TO LOCATION OF THE PROPOSED BUILDING, IF ERRECT AS SHOWN.
  - IN ACCORDANCE WITH TOWN OF MANCHESTER ORDINANCE 14-57, THE CONTRACTOR SHALL REPLACE ALL BROKEN OR DAMAGED SIDEWALK AND CURBS ALONG THE FRONTAGE OF THE PROPERTY AS DIRECTED BY THE TOWN.
  - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY THE PERMITTING AUTHORITIES.
  - PLACE A BIODEGRADABLE EROSION CONTROL BLANKET ON SLOPES 3:1 AND STEEPER.

TOWN OF MANCHESTER  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

STANDARD NOTES FOR SITE DEVELOPMENT APPLICATIONS

- ALL MATERIALS AND METHODS OF CONSTRUCTION WITHIN THE RIGHT-OF-WAY AND FOR PROPOSED UTILITIES SHALL CONFORM TO THE MANCHESTER PUBLIC IMPROVEMENT STANDARDS, EFFECTIVE OCTOBER 31, 2020, AS AMENDED.
- A PRE-CONSTRUCTION MEETING WITH TOWN STAFF IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- RECORD DRAWINGS SHALL BE SUBMITTED TO THE TOWN OF MANCHESTER ENGINEERING DIVISION IN ACCORDANCE WITH SECTION 5.01 OF THE MANCHESTER PUBLIC IMPROVEMENT STANDARDS UPON COMPLETION OF THE WORK. THE DRAWINGS SHALL BE IN A FORM ACCEPTABLE TO THE ENGINEERING DIVISION AND SHALL BE APPROVED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING ALL INFORMATION NECESSARY TO GENERATE DRAWINGS AND FOR PROVIDING THE ACTUAL DRAWINGS TO THE TOWN.
- THE CONTRACTOR MUST CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- IN ACCORDANCE WITH TOWN OF MANCHESTER ORDINANCE 14-57, THE CONTRACTOR SHALL REPLACE ALL BROKEN OR DAMAGED SIDEWALK AND CURBS ALONG THE FRONTAGE OF THE PROPERTY AS DIRECTED BY THE TOWN.
- DRAFT COPIES OF ALL EASEMENTS AS SHOWN ON THE FINAL APPROVED PLANS MUST BE SUBMITTED TO THE TOWN OF MANCHESTER ENGINEERING DIVISION FOR REVIEW AND APPROVAL, AND BE EXECUTED AND FILED, PRIOR TO THE POSTING OF THE PUBLIC IMPROVEMENTS BOND.
- ACTUAL LOCATIONS OF ALL PROPOSED UNDERGROUND UTILITIES (I.E. WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE, ELECTRIC, ETC.) SHALL BE APPROVED BY THE TOWN PRIOR TO CONSTRUCTION.
- AN APPROVED EROSION CONTROL BOND IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- PRIOR TO ANY TREE REMOVAL WITHIN THE TOWN OF MANCHESTER RIGHT-OF-WAY, THE CONTRACTOR MUST CONTACT THE TOWN TREE WARDEN FOR POSTING OF TREE REMOVAL NOTICES. FAILURE TO COMPLY WILL RESULT IN A FINE.

REVISION

DATE

STATE OF CONNECTICUT  
WILSON M. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT  
WILSON M. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

**Alford**  
ASSOCIATES, INC.

CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

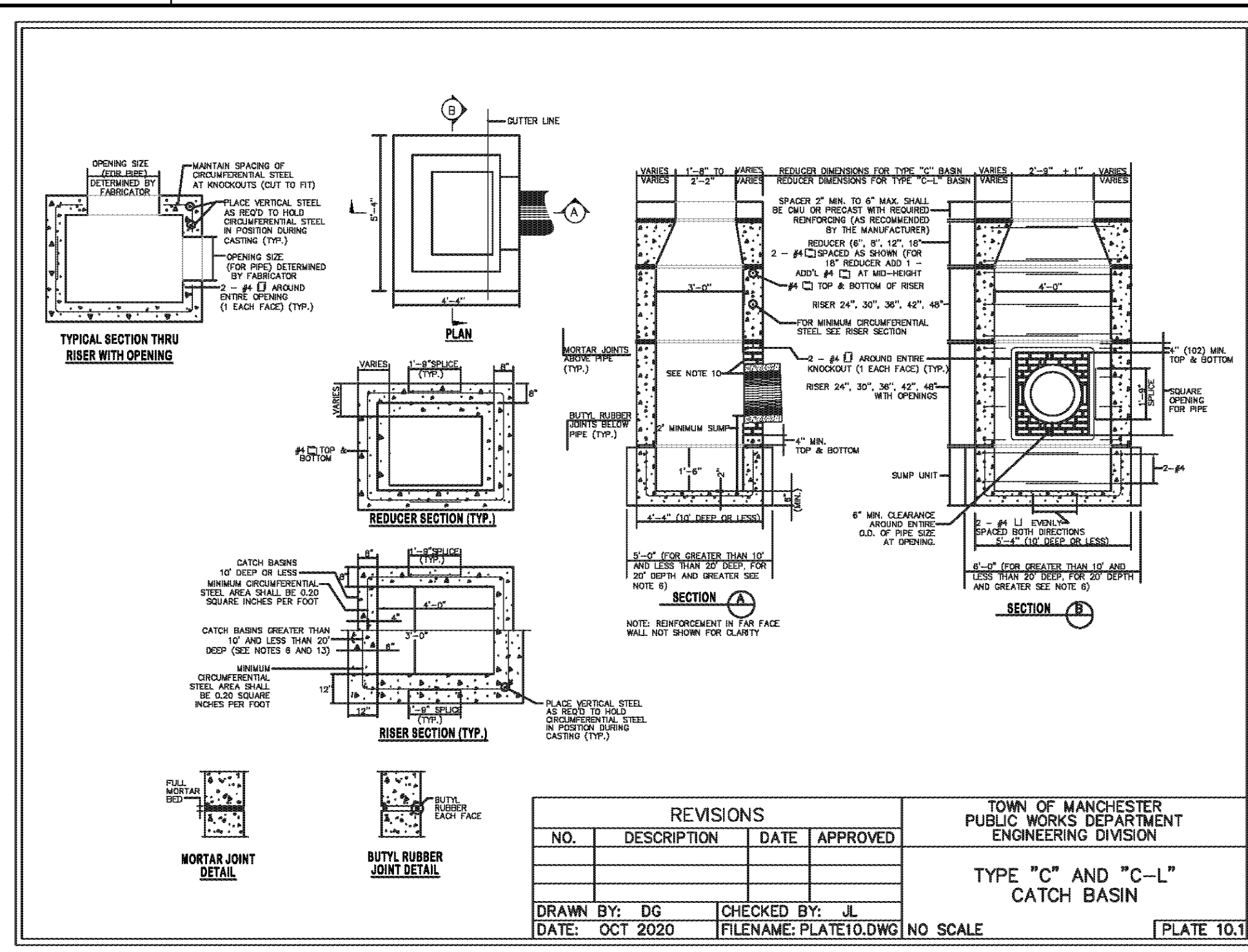
DATE: MAY 6, 2024

SCALE: 1 IN. = \_\_\_\_\_ FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
NOTES AND DETAILS

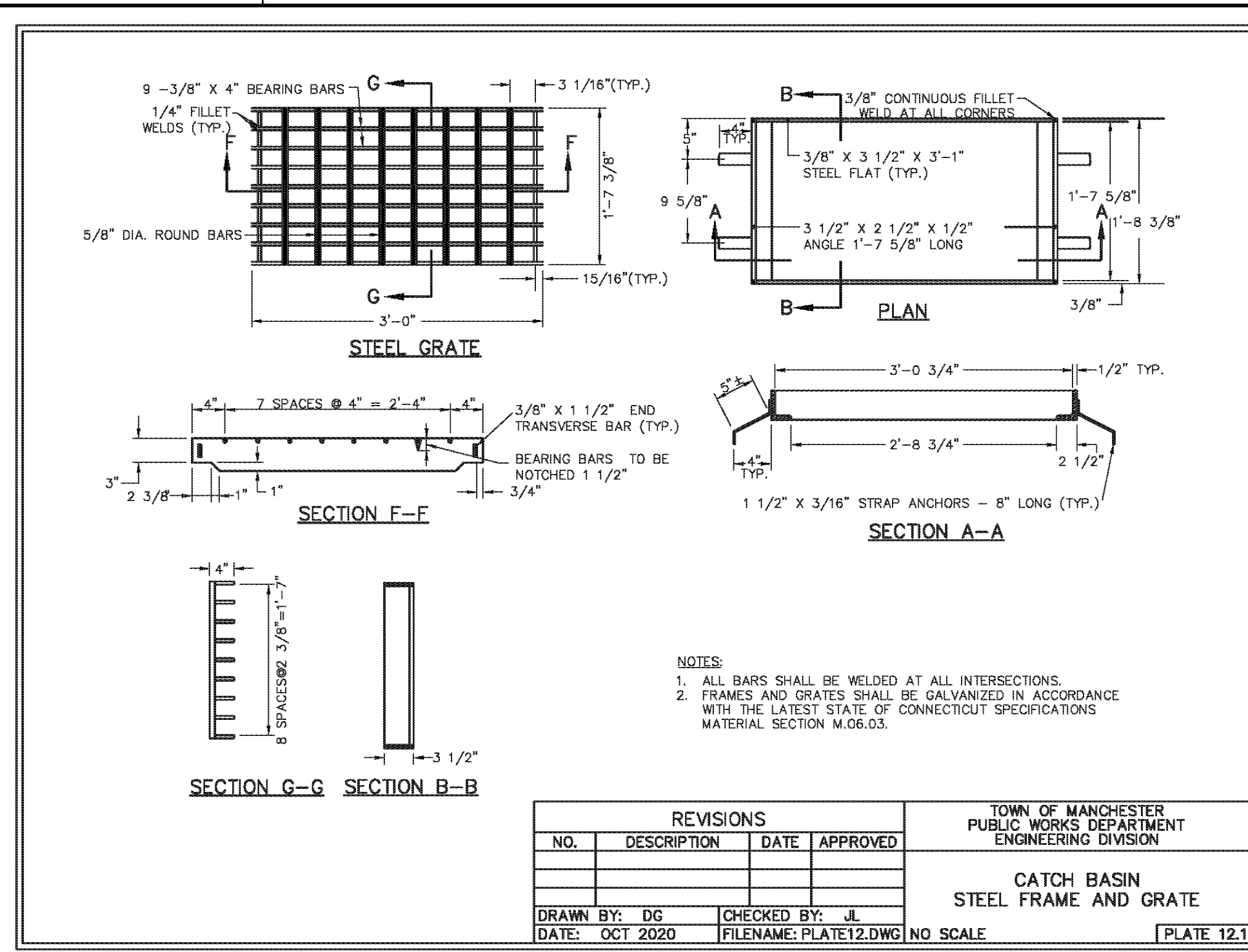
MANCHESTER, CONNECTICUT  
71 COMMERCE ROAD  
AND 81 COMMERCE ROAD

Sheet  
C8.1



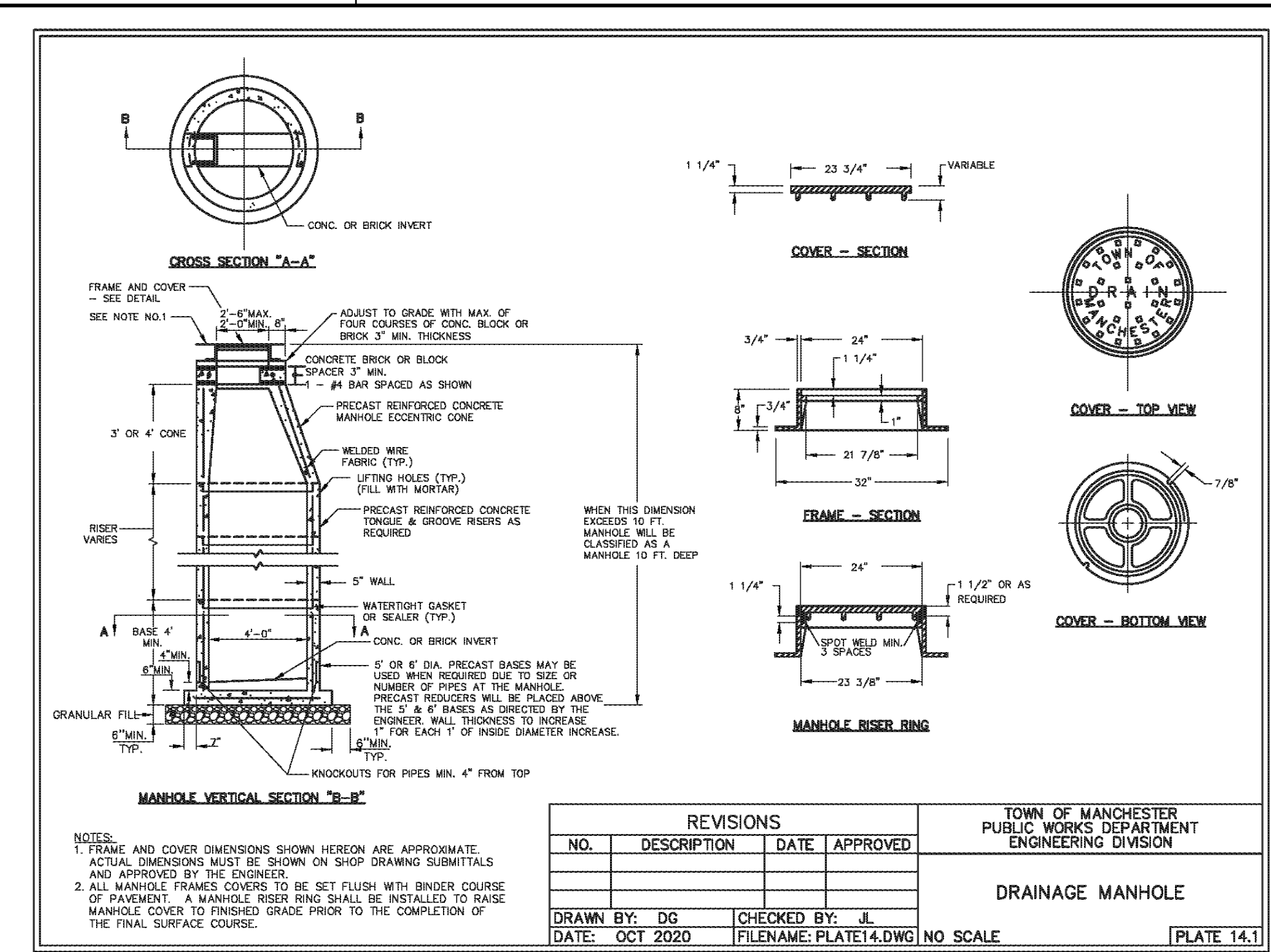
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NO.	DESCRIPTION	DATE	APPROVED	

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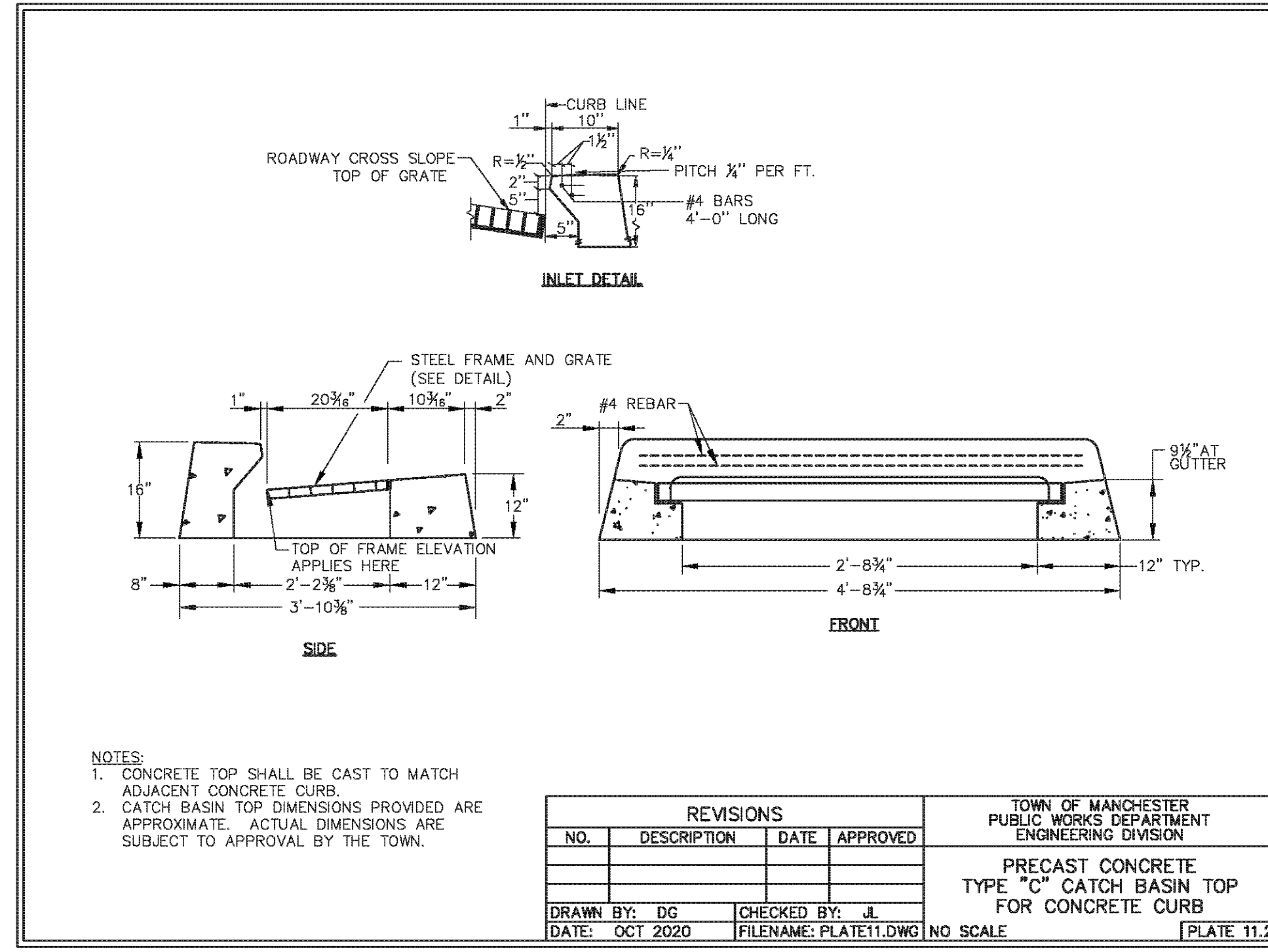
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NO.	DESCRIPTION	DATE	APPROVED	

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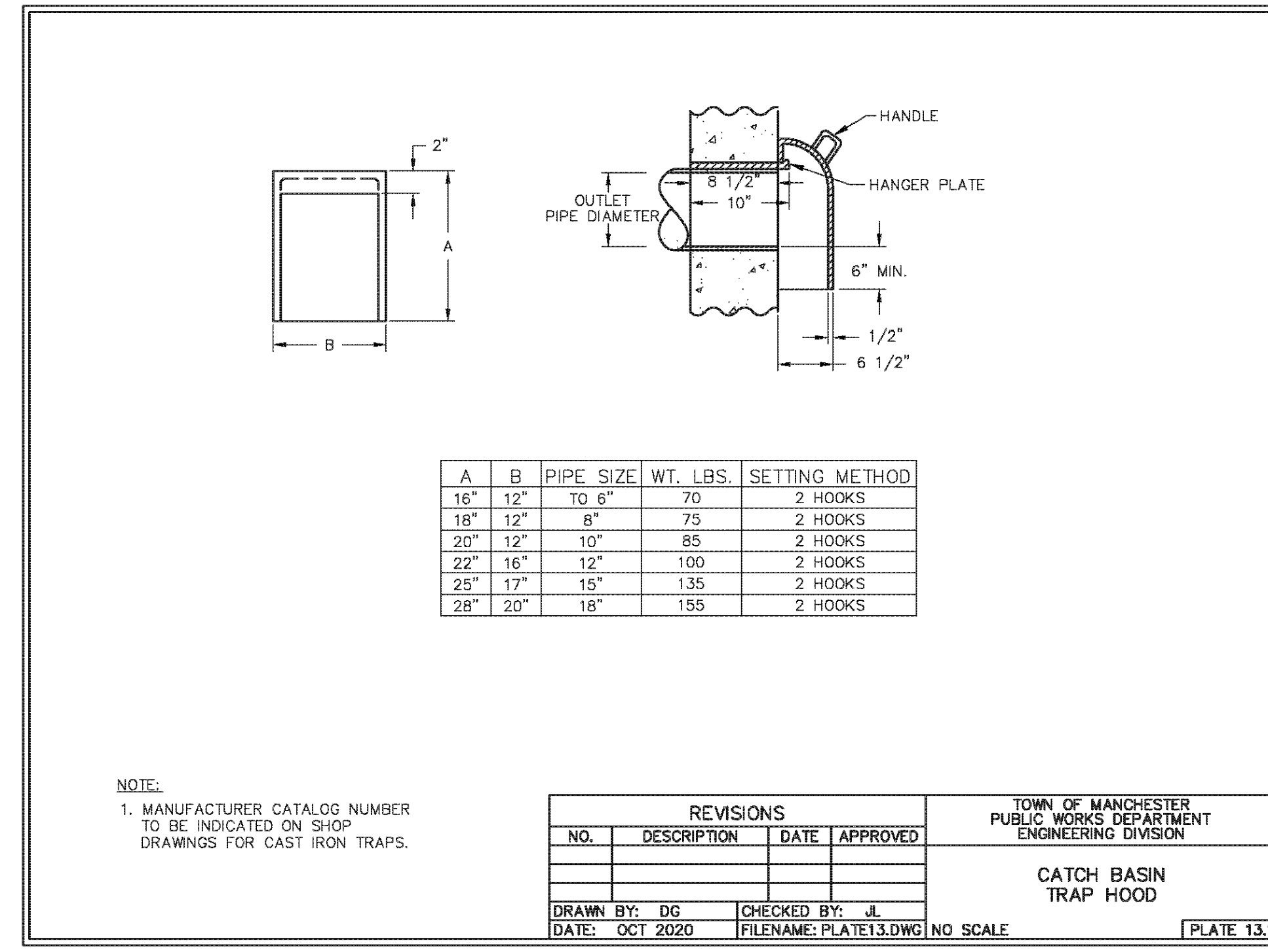
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NO.	DESCRIPTION	DATE	APPROVED	

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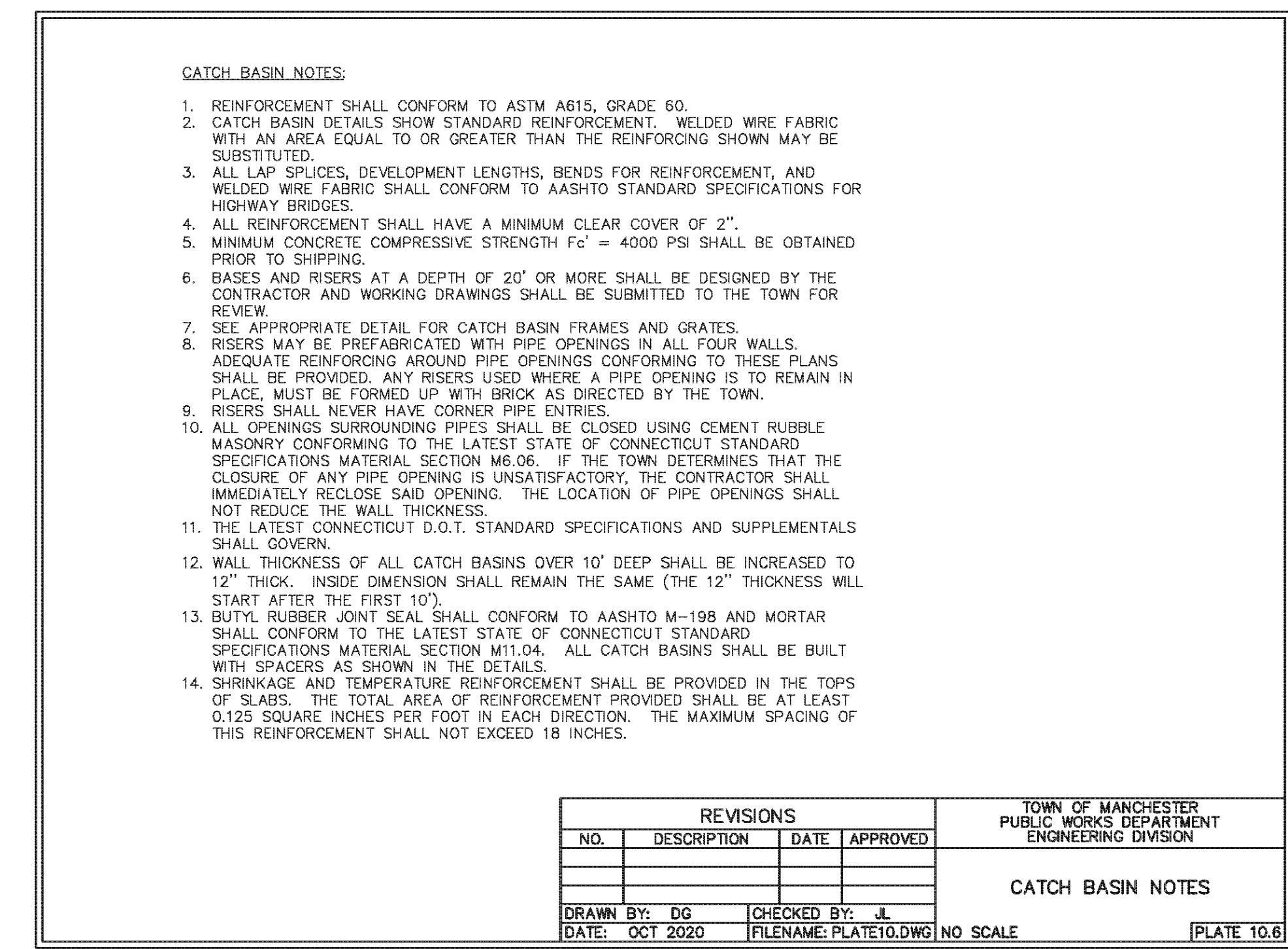
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NO.	DESCRIPTION	DATE	APPROVED	

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 DATE: OCT 2020    FILENAME: PLATE11.DWG    NO SCALE    [PLATE 11.2]



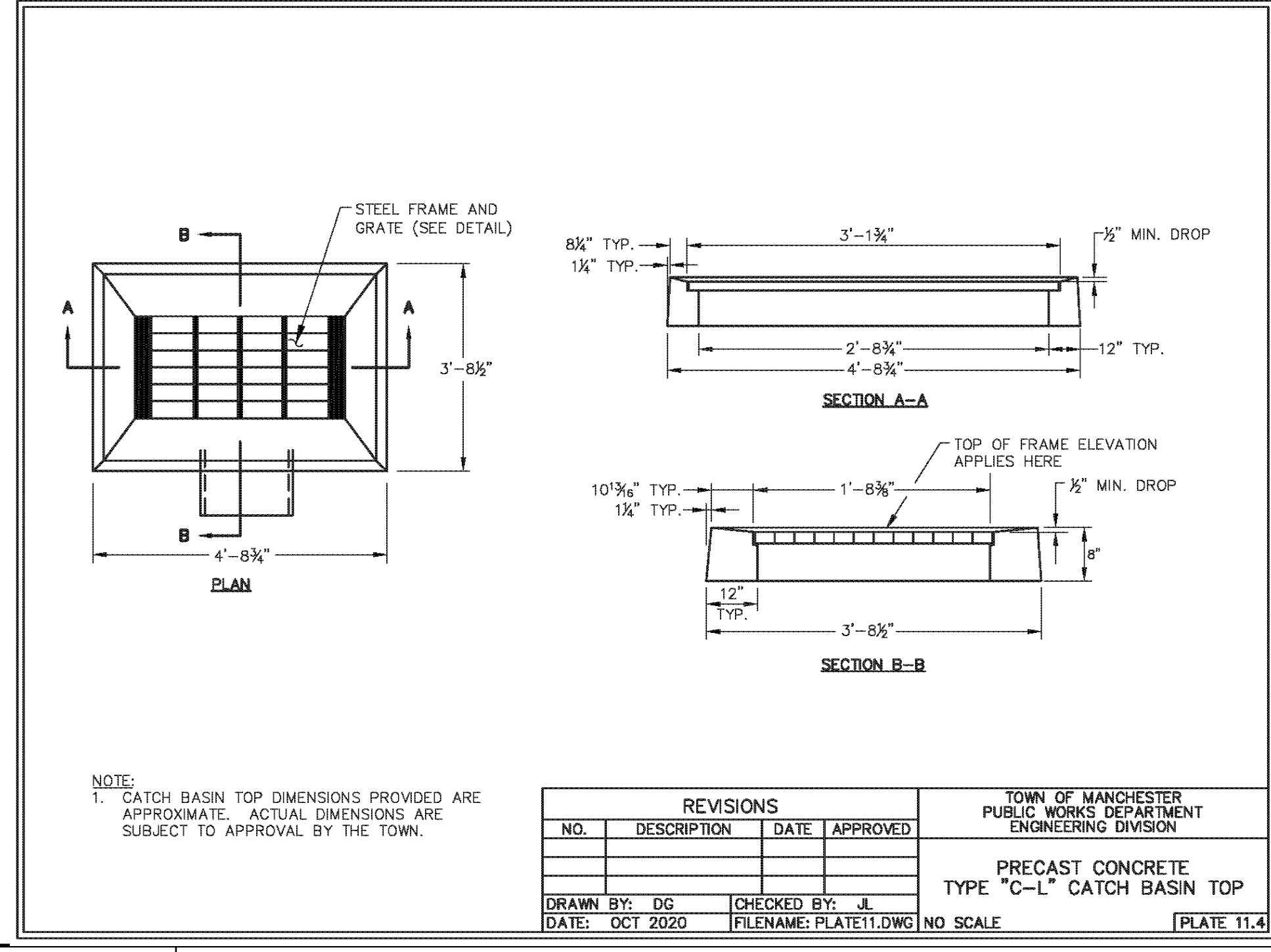
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NO.	DESCRIPTION	DATE	APPROVED	

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 DATE: OCT 2020    FILENAME: PLATE13.DWG    NO SCALE    [PLATE 13.1]



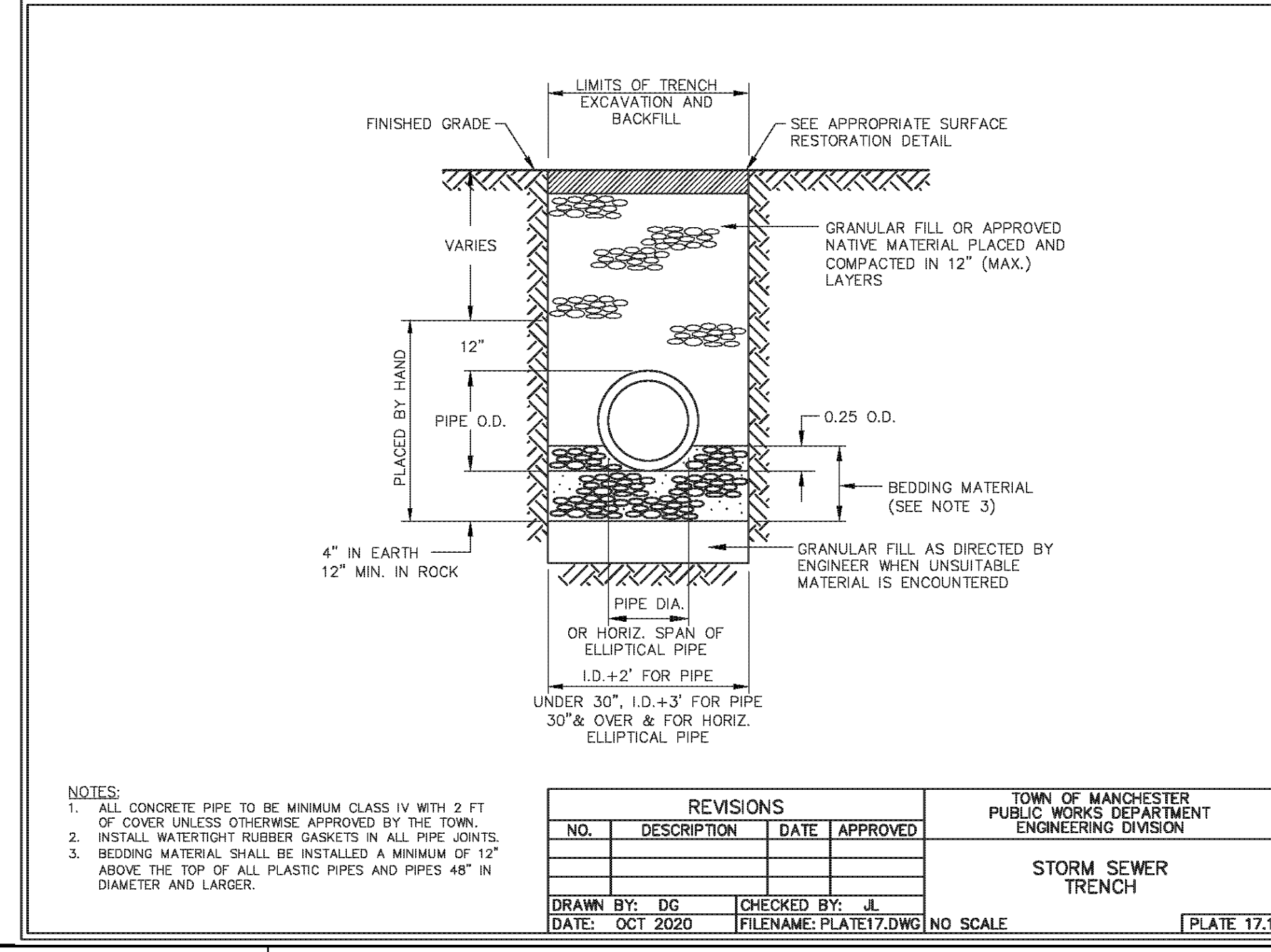
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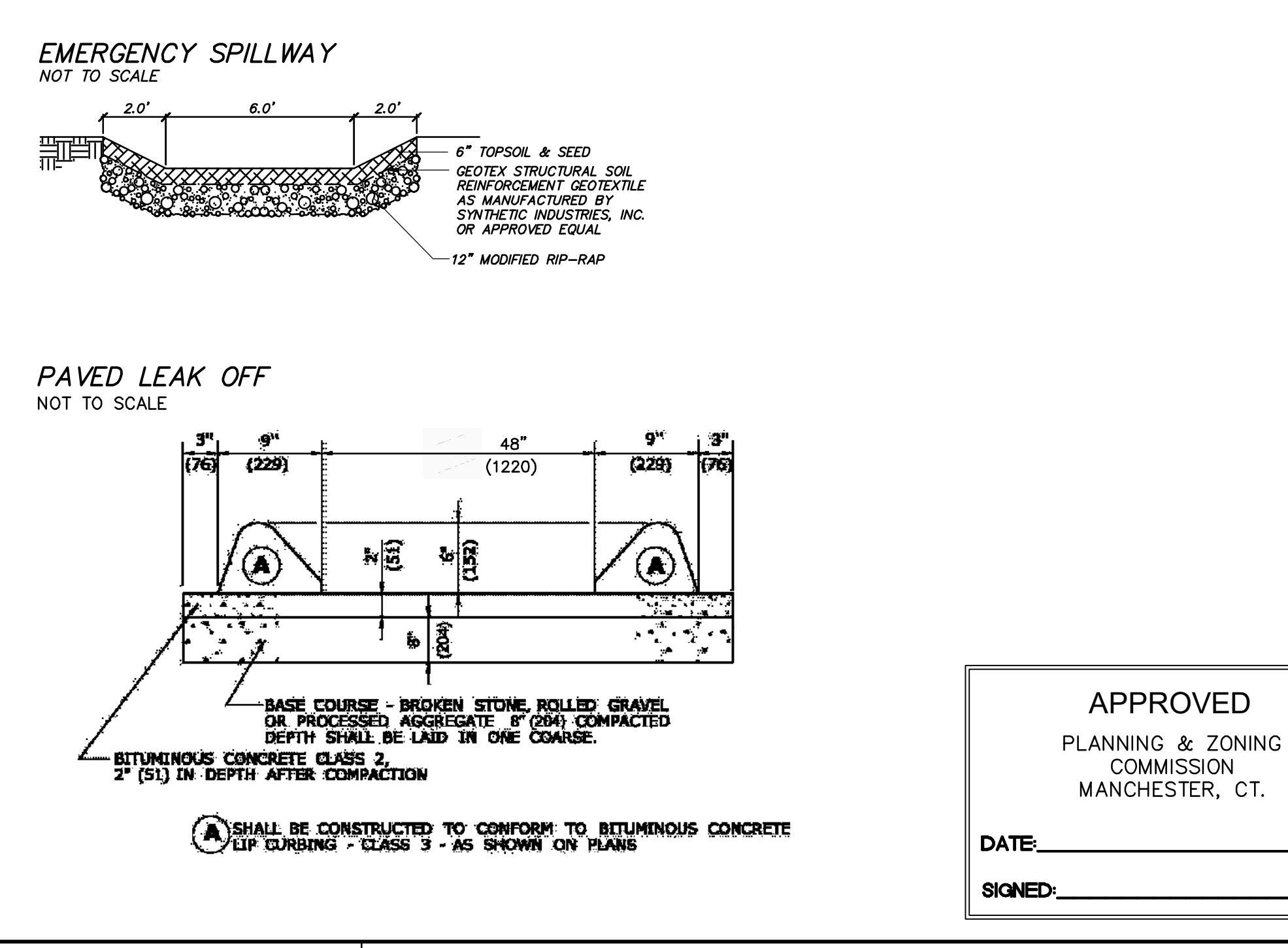
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NO.	DESCRIPTION	DATE	APPROVED	

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REVISIONS				TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION
NO.	DESCRIPTION	DATE	APPROVED	

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 DATE: OCT 2020    FILENAME: PLATE17.DWG    NO SCALE    [PLATE 17.1]



APPROVED  
 PLANNING & ZONING  
 COMMISSION  
 MANCHESTER, CT.  
 DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

REVISION

DATE

STATE OF CONNECTICUT  
 WILSON M. ALFORD, JR.  
 LICENSED PROFESSIONAL ENGINEER  
 No. 9344

STATE OF CONNECTICUT  
 WILSON M. ALFORD, JR.  
 LICENSED LAND SURVEYOR  
 No. 9344

TO THE BEST OF MY  
 KNOWLEDGE AND BELIEF  
 THIS MAP IS SUBSTANTIALLY  
 CORRECT AS NOTED HEREON.  
 L.S. No. 9344

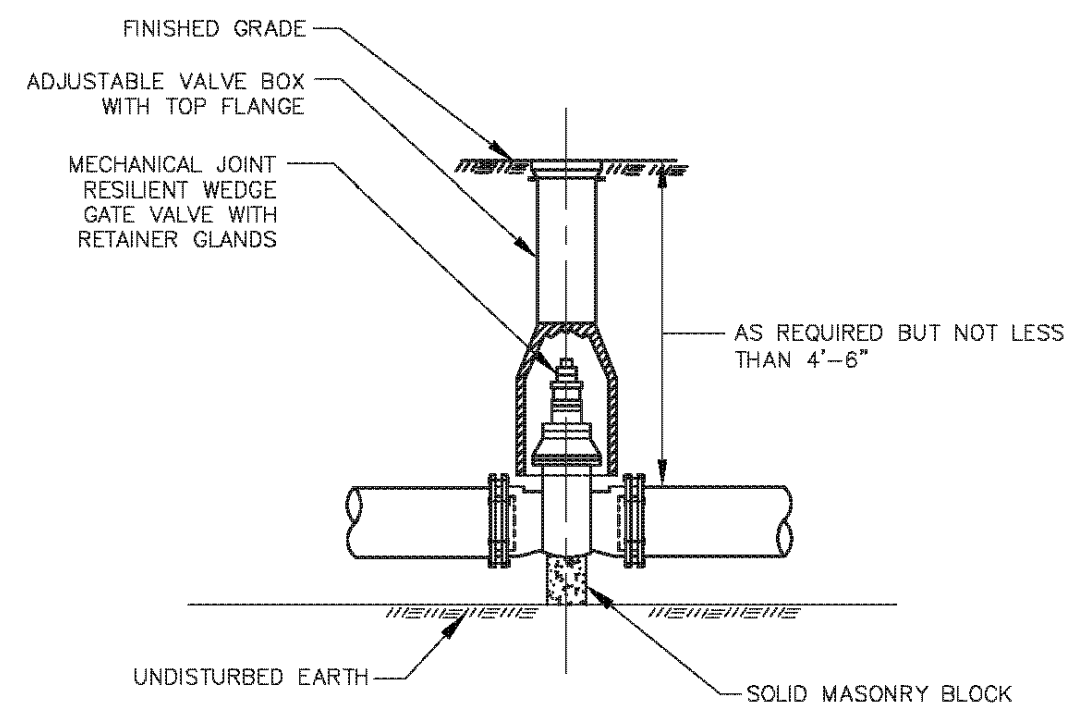
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 SIGNATURE AND EMBOSSED SEAL

**Alford**  
 ASSOCIATES, INC.  
 CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

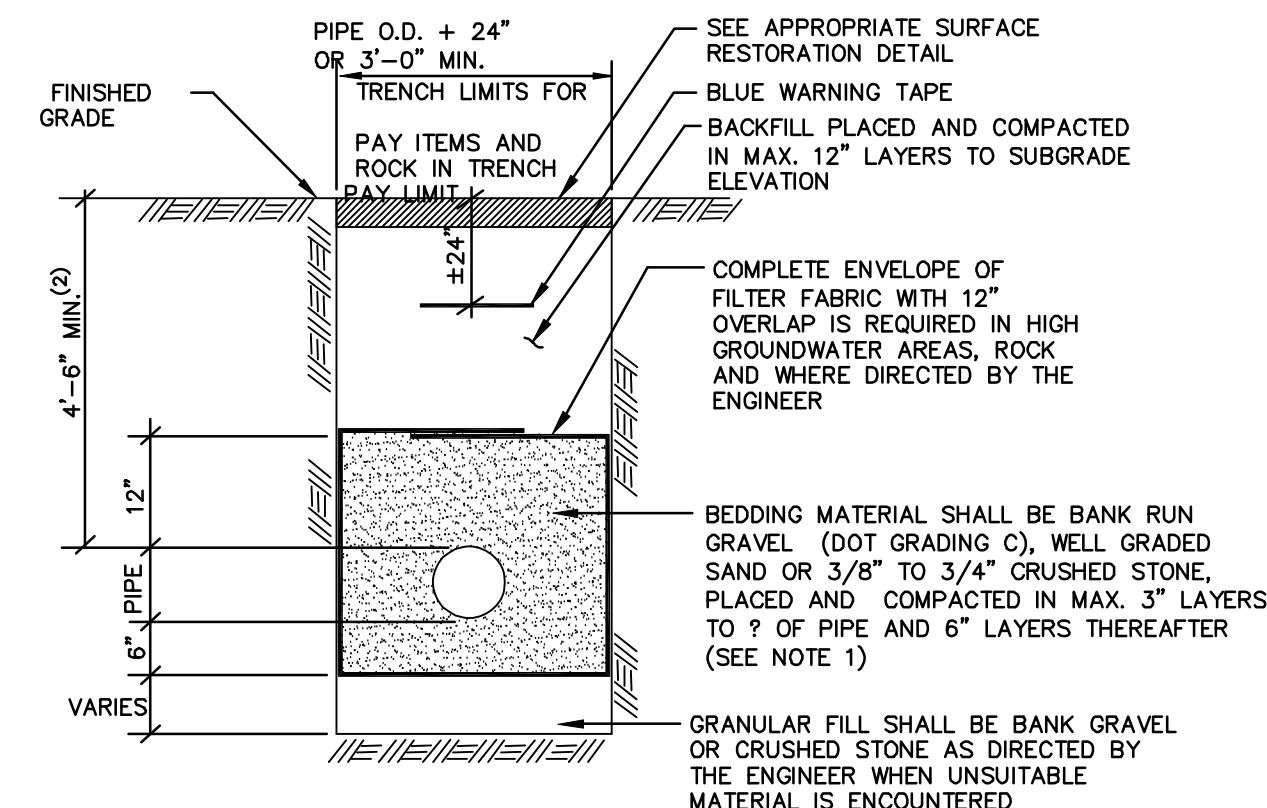
DATE: MAY 6, 2024  
 SCALE: 1 IN. = - FT.

SITE PLAN  
 PREPARED FOR  
**LFF COMMERCE JV LLC**  
**STORM DRAINAGE NOTES AND DETAILS**  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD  
 AND 81 COMMERCE ROAD

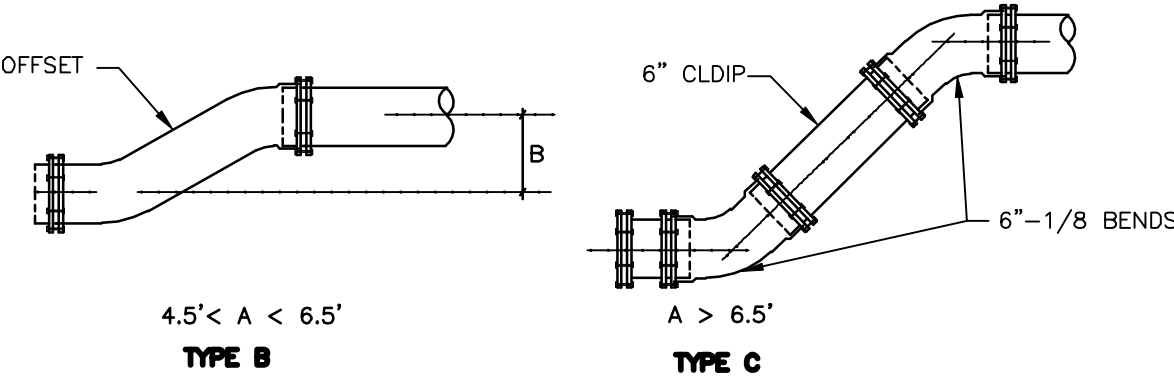
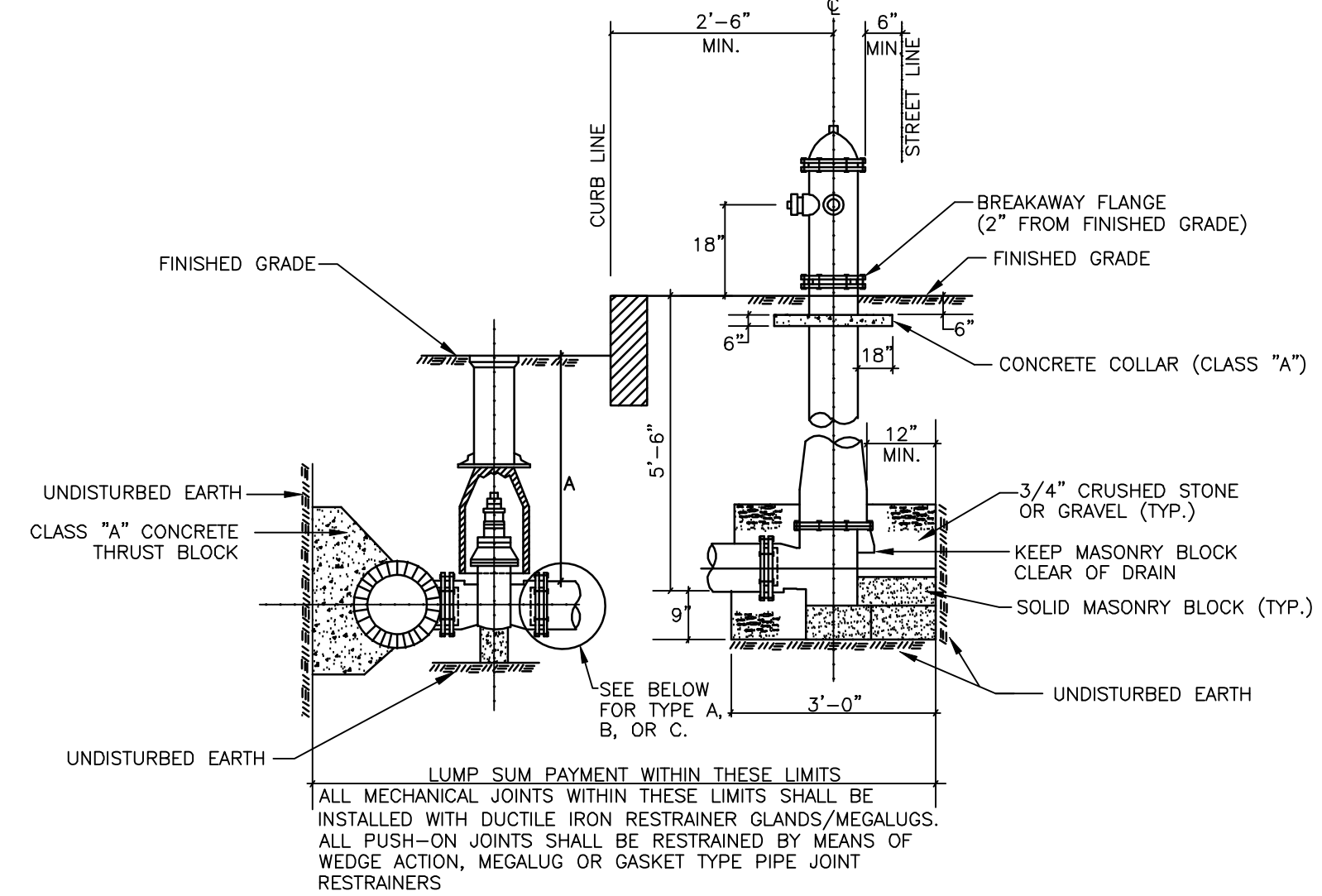
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REVISIONS				TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION
NO.	DESCRIPTION	DATE	APPROVED	
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DATE: OCT 2020				
CHECKED BY: JL				PLATE 19.4
FILENAME: PLATE19.DWG NO SCALE				



**TYPICAL TRENCH DETAIL (WATER)**  
NOT TO SCALE



**HYDRANT ASSEMBLY**  
NOT TO SCALE

**TOWN OF MANCHESTER  
WATER AND SANITARY SEWER CONSTRUCTION NOTES -**

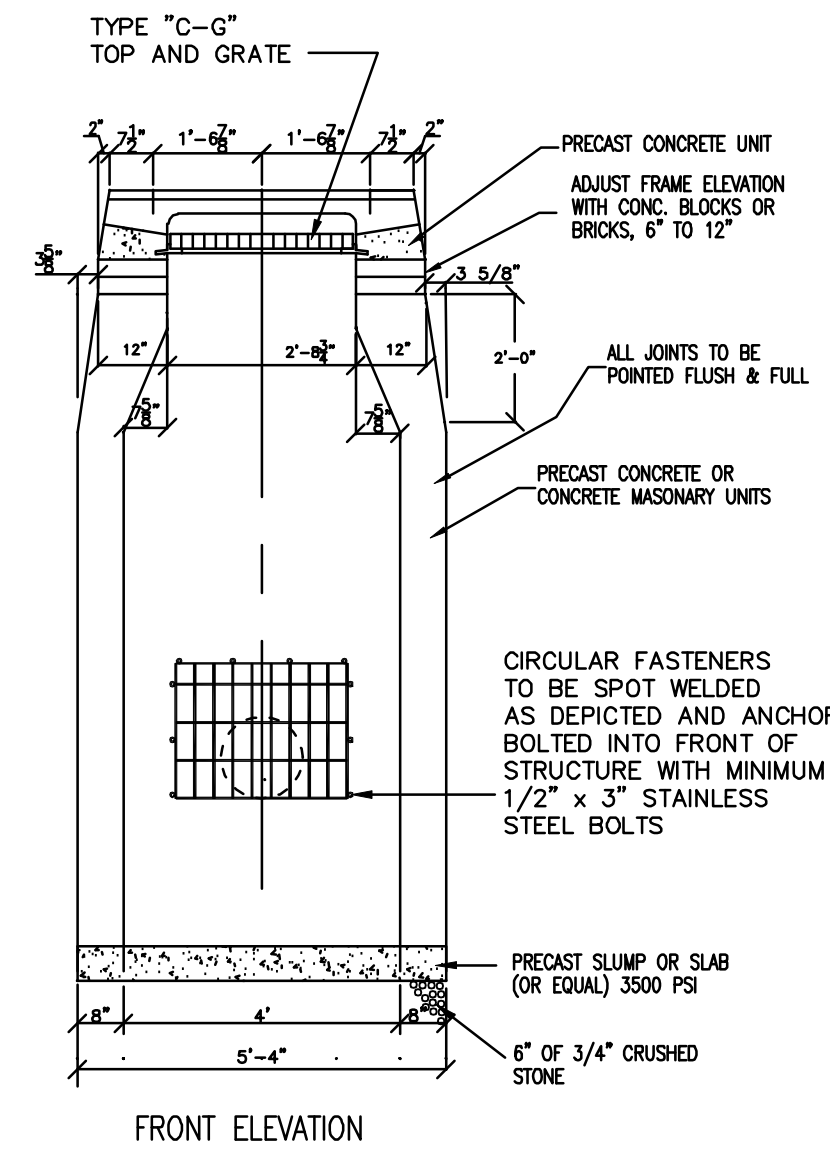
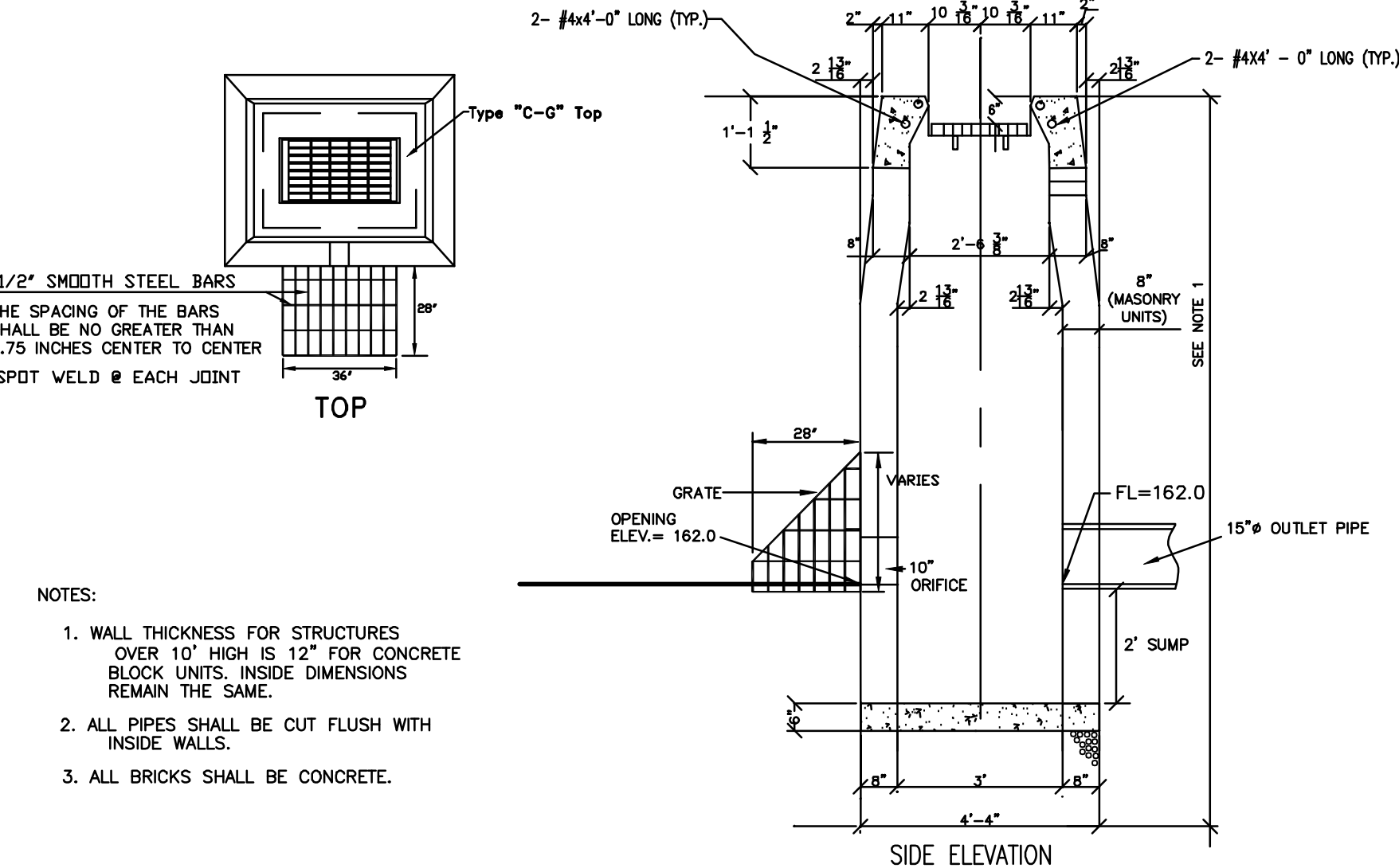
1. A PRECONSTRUCTION MEETING WITH TOWN STAFF IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES DEPICTED ON THESE DRAWINGS ARE FROM THE BEST AVAILABLE SOURCES. SUCH INFORMATION IS FURNISHED ONLY FOR THE INFORMATION OF THE CONTRACTOR AND IS NOT GUARANTEED.
4. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
5. THE LOCATIONS OF ALL PROPOSED UNDERGROUND UTILITIES (I.E. GAS, TELEPHONE, CABLE TV, ELECTRIC, ETC.) SHALL BE APPROVED BY THE TOWN PRIOR TO CONSTRUCTION.
6. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST REVISION OF THE TOWN OF MANCHESTER "PUBLIC IMPROVEMENT STANDARDS".
7. AT ALL UTILITY CROSSINGS A MINIMUM 18" VERTICAL SEPARATION DISTANCE SHALL BE PROVIDED FROM WATER OR SEWER UTILITIES UNLESS INDICATED OTHERWISE ON THE PLANS OR AS APPROVED BY THE TOWN. A CONCRETE CRADLE SHALL BE UTILIZED IF A MINIMUM VERTICAL SEPARATION DISTANCE OF LESS THAN 12" IS ALLOWED BY THE TOWN. A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10" SHALL BE PROVIDED BETWEEN WATER AND SEWER UTILITIES. PROVIDE 5' MINIMUM SEPARATION DISTANCE BETWEEN WATER OR SEWER UTILITIES AND GAS MAINS. PROVIDE 5' MINIMUM SEPARATION DISTANCE BETWEEN WATER OR SEWER UTILITIES AND STORM DRAIN LINES. PROVIDE 2' MINIMUM SEPARATION DISTANCE BETWEEN WATER MAINS AND CATCH BASINS.
8. THRUST RESTRAINT FOR ALL MECHANICAL JOINTS AT VALVES AND FITTINGS SHALL BE PROVIDED BY MEANS OF DUCTILE IRON RESTRAINER GLANDS. WEDGE-ACTION JOINT RESTRAINERS OR GASKET-TYPE JOINT RESTRAINT SHALL BE USED TO RESTRAIN ALL DUCTILE IRON PIPE JOINTS FOR A DISTANCE OF AT LEAST 27 FEET ON EACH SIDE OF ALL VALVES OR FITTINGS. NO MORE THAN ONE PIPE JOINT SHALL BE ALLOWED WITHIN THAT 27 FEET OF PIPE.
9. ALL VALVE BOXES AND CURB BOXES SHALL BE ADJUSTED TO THE FINAL GRADES. ALL CURB BOXES SHALL BE LOCATED IN GRASSED AREAS AT THE STREET LINE FRONTING THE PROPERTY UNLESS INDICATED OTHERWISE ON THE PLANS.
10. ALL VALVES AND HYDRANTS SHALL BE EITHER RIGHT-OPENING (CLOCKWISE) OR LEFT-OPENING (COUNTER CLOCKWISE) BASED ON THEIR LOCATION IN TOWN. THE CONTRACTOR SHALL VERIFY THE DIRECTION OF OPENING PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION. ALL MAIN LINE AND AUXILIARY VALVES (4" TO AND INCLUDING 12") SHALL BE RESILIENT WEDGE GATE VALVES.

11. ALL WATER MAINS SHALL HAVE 4 1/2 FEET OF COVER UNLESS OTHERWISE INDICATED ON THE PLANS. COVER LESS THAN OR IN EXCESS OF 4 1/2 FEET SHALL BE ALLOWED ONLY AS INDICATED ON THE PLANS OR APPROVED BY THE TOWN. WATER MAINS HAVING COVER LESS THAN 4 1/2 FEET SHALL BE INSULATED.
12. ALL EXISTING WATER OR SANITARY SEWER SERVICES THAT WILL NOT BE REUSED AS PART OF THE FUTURE DEVELOPMENT SHALL BE ABANDONED AT THE MAIN IN ACCORDANCE WITH PROCEDURES SET FORTH BY THE TOWN.
13. ALL WELLS SHALL BE ABANDONED IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN THE RULES OF PRACTICE AND REGULATIONS MANUAL PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF CONSUMER PROTECTION, WELL DRILLING BOARD. THE TOWN SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY SUCH ABANDONMENT.
14. ALL PROPOSED WATER AND SEWER EASEMENTS SHALL BE DESCRIBED BY METES AND BOUNDS. PROPOSED EASEMENTS SHALL BE APPROVED BY THE TOWN AND FILED WITH THE TOWN CLERK PRIOR TO MAKING A REQUEST FOR A CERTIFICATE OF OCCUPANCY. PROVIDE VOLUME AND PAGE REFERENCES FOR ALL EXISTING WATER AND SEWER EASEMENTS.

15. IF THE PROJECT IS WITHIN AN AQUIFER PROTECTION ZONE A BEST MANAGEMENT PLAN FOR THE STORAGE OR USE OF ANY POTENTIALLY HAZARDOUS MATERIALS SHALL BE SUBMITTED TO AND APPROVED BY THE TOWN PRIOR TO MAKING A REQUEST FOR A CERTIFICATE OF OCCUPANCY.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY HANDLING OF SANITARY SEWAGE FLOWS DURING CONSTRUCTION. METHODS OF HANDLING SEWAGE FLOWS SHALL BE APPROVED BY THE TOWN.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY THRUST RESTRAINT THAT MAY BE REQUIRED.
18. ALL EXISTING HYDRANTS TO BE REMOVED OR REPLACED SHALL BE SALVAGED WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE TOWN. ALL OTHER MATERIALS WHICH ARE REMOVED FROM THE ROADWAY SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF PROPERLY, UNLESS INDICATED OTHERWISE ON THE PLANS.
19. WHEN DOMESTIC OR FIRE WATER SERVICES GREATER THAN OR EQUAL TO 4" IN DIAMETER ARE PROPOSED TO BE CONNECTED TO THE WATER MAIN USING A TAPPING SLEEVE AND VALVE A WET TAP CONTRACTOR PREAPPROVED BY THE TOWN SHALL BE USED.

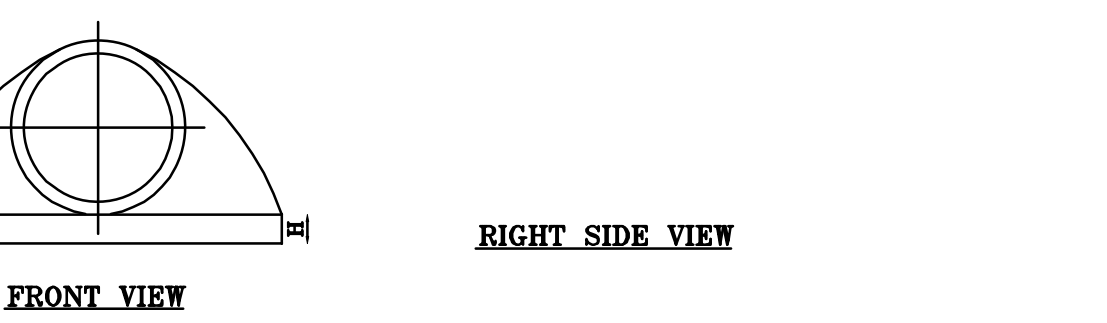
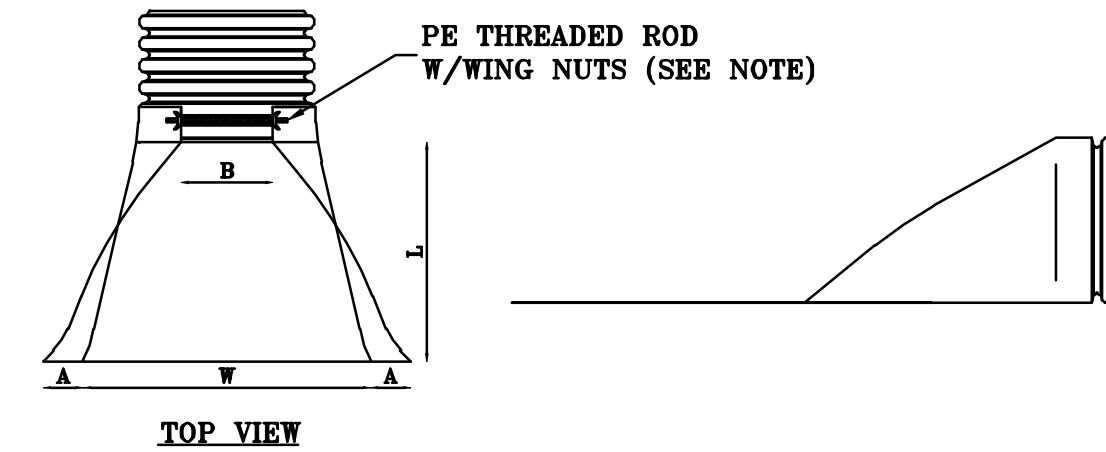
**BASIN OUTLET STRUCTURE #1**  
NOT TO SCALE

NOTE- FRAME AND GRATE SHALL BE GALVANIZED



**FLARED END SECTION**  
NOT TO SCALE

AS MANUFACTURED BY ADS ADVANCE DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL



PART NO	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	29"
300 mm	165 mm	254 mm	165 mm	635 mm	735 mm	
1210-NP	15"	6.5"	10"	6.5"	25"	29"
375 mm	165 mm	254 mm	165 mm	635 mm	735 mm	
1810-NP	18"	7.5"	15"	6.5"	32"	35"
450 mm	190 mm	380 mm	165 mm	812 mm	890 mm	
2410-NP	24"	7.5"	18"	6.5"	36"	45"
600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm	
3012-NP	30"	10.5"	N/A	7.0"	53"	68"
750 mm	266 mm	N/A	178 mm	1345 mm	1725 mm	
3612-NP	36"	10.5"	N/A	7.0"	53"	68"
900 mm	266 mm	N/A	178 mm	1345 mm	1725 mm	

NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS TO BE WELDED TO PIPE PER MANUFACTURER'S RECOMMENDATIONS.  
NOTE: ALL DIMENSIONS ARE NOMINAL.

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

REVISION

DATE

STATE OF CONNECTICUT  
WILSON M. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT  
WILSON M. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

**Alford**  
ASSOCIATES, INC.

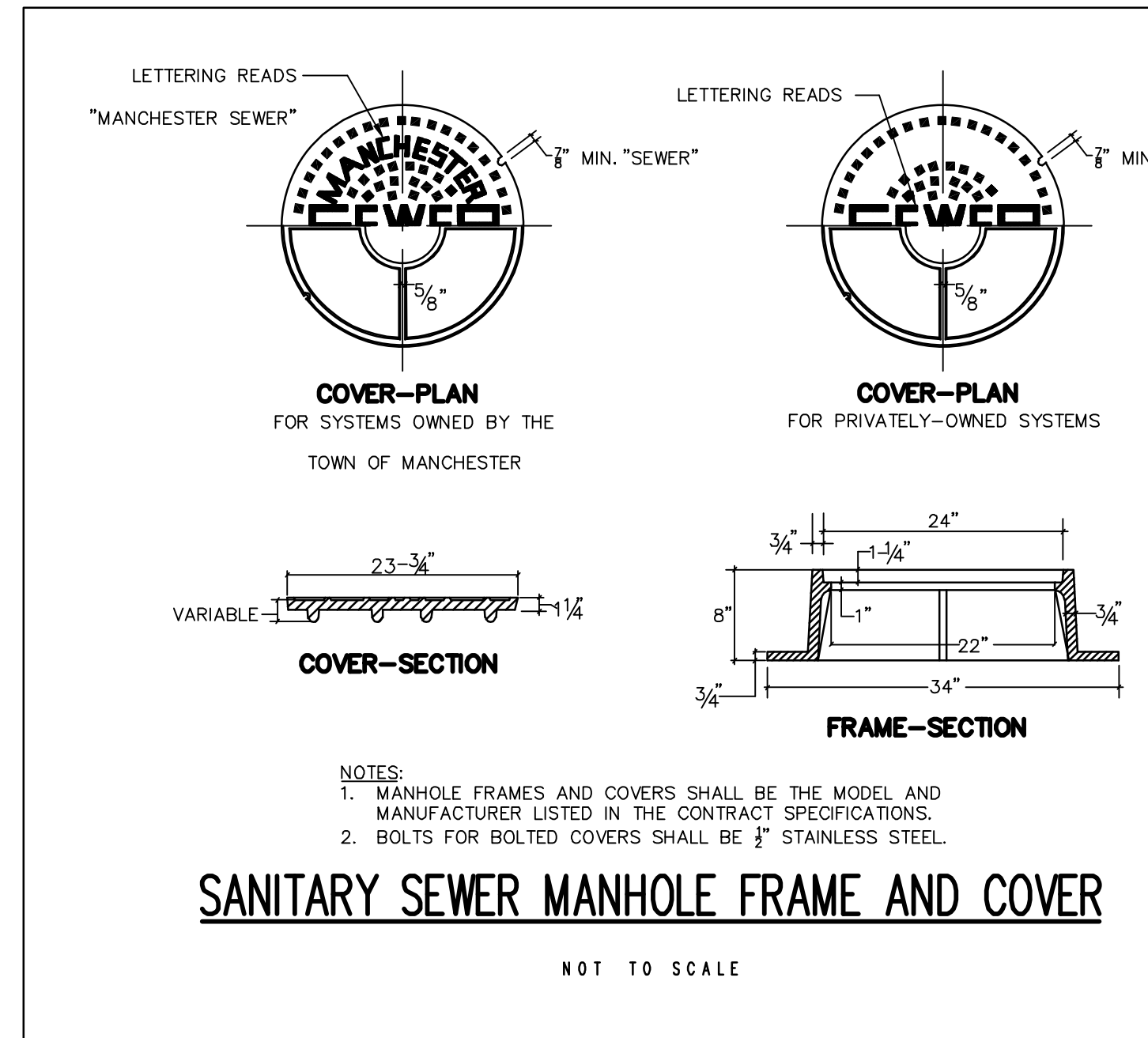
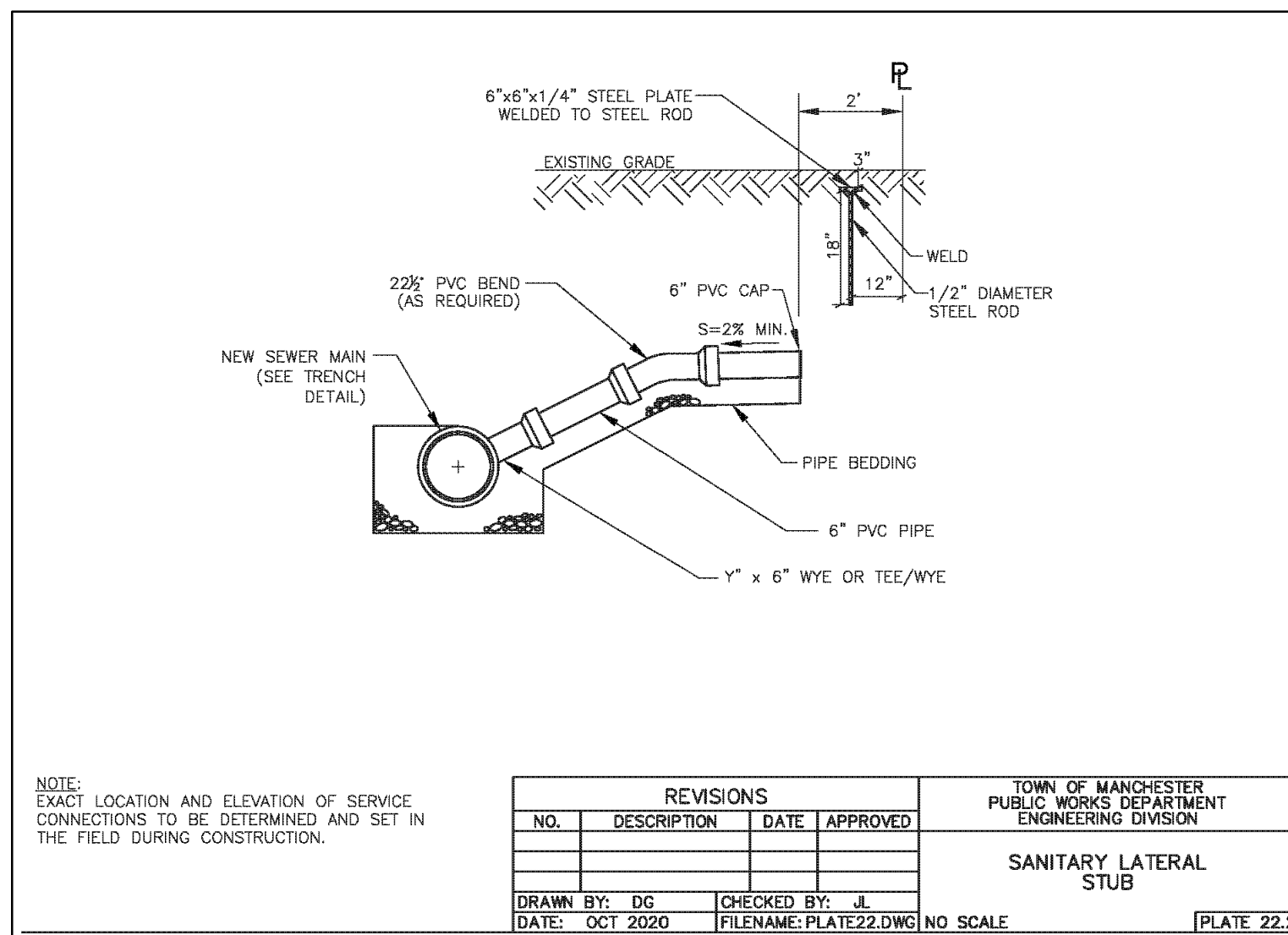
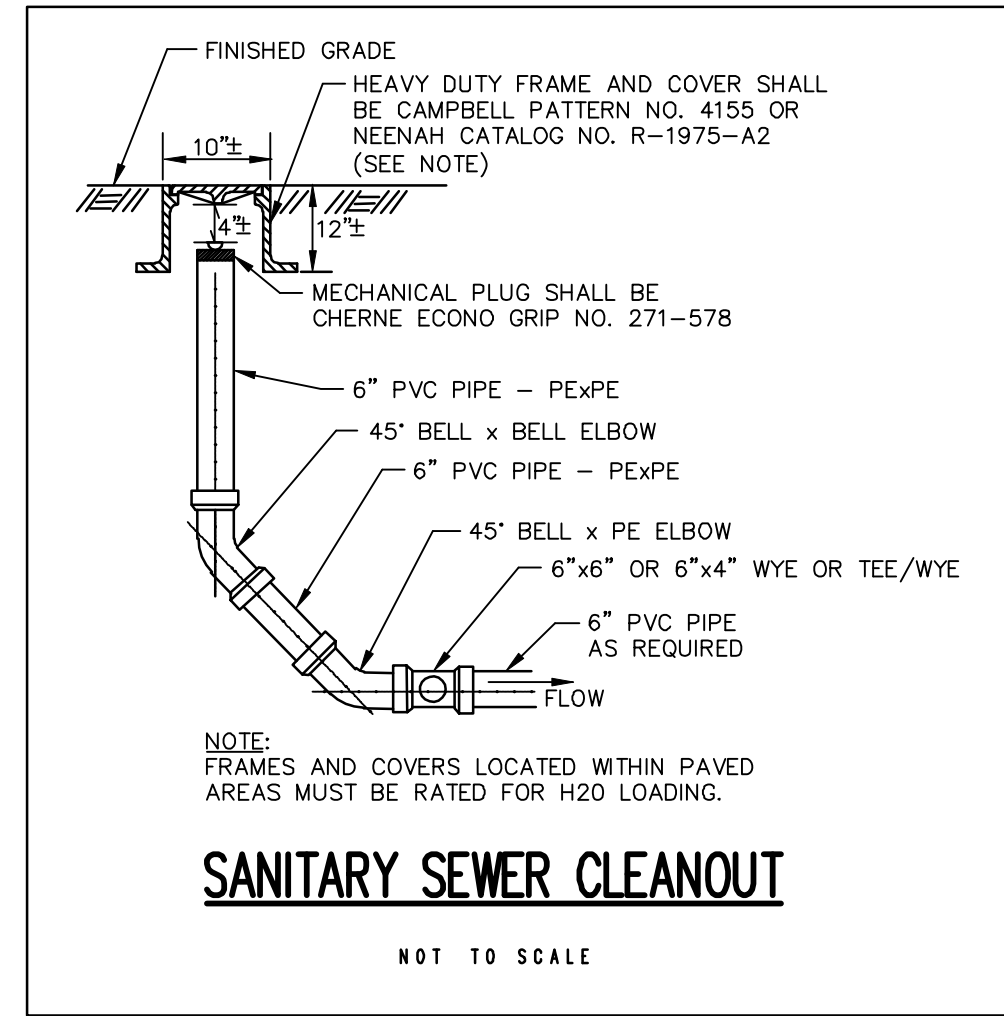
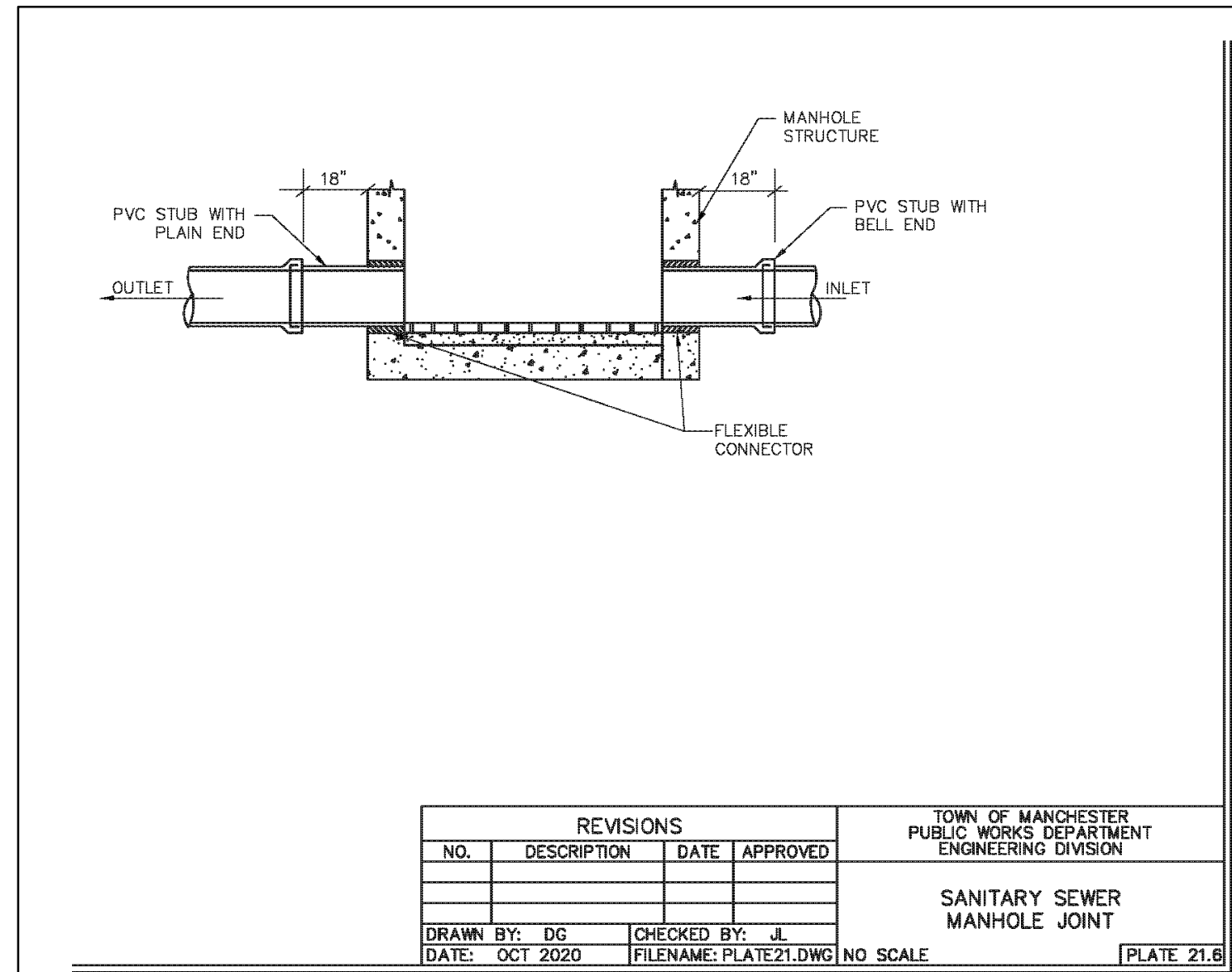
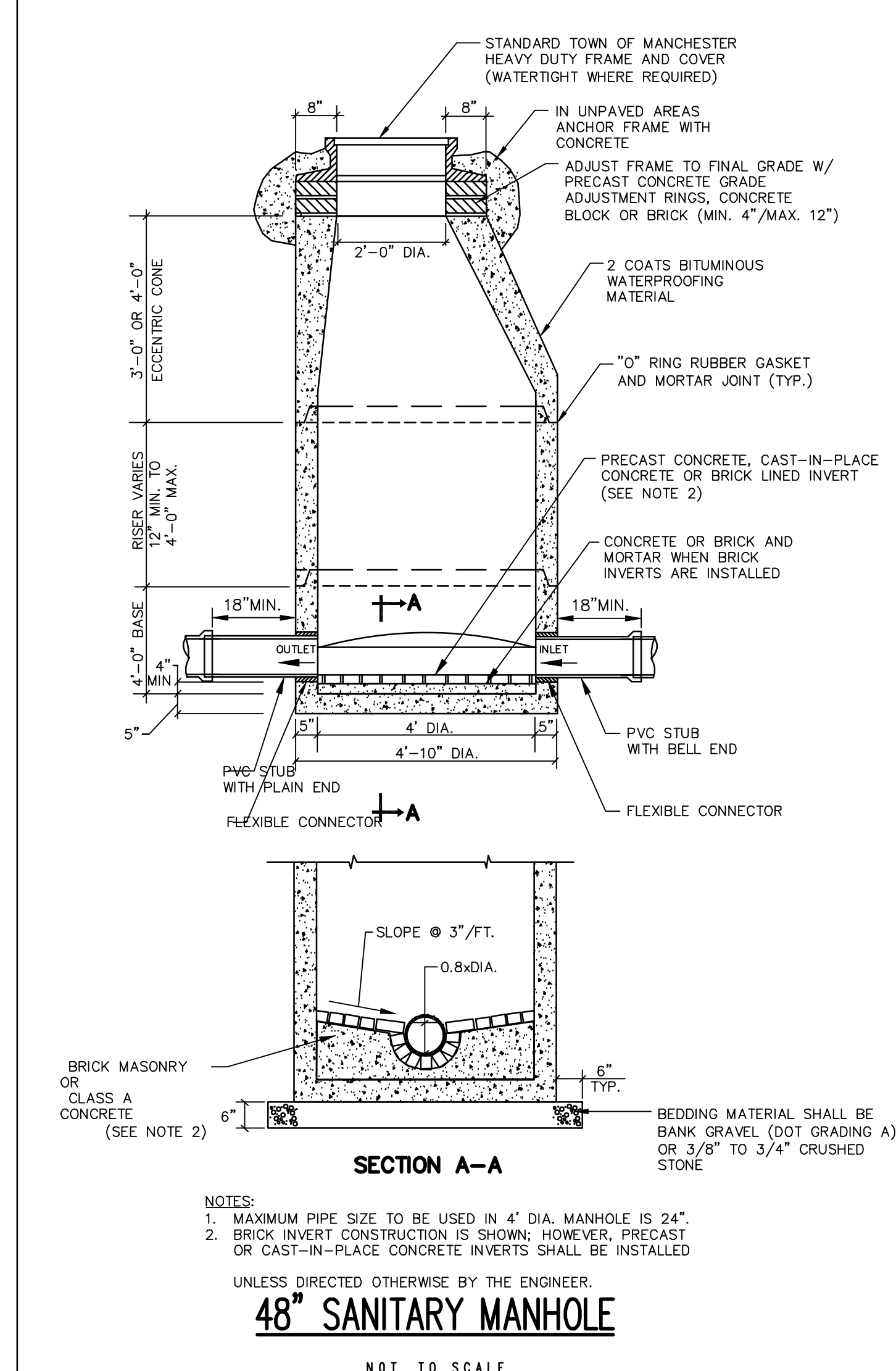
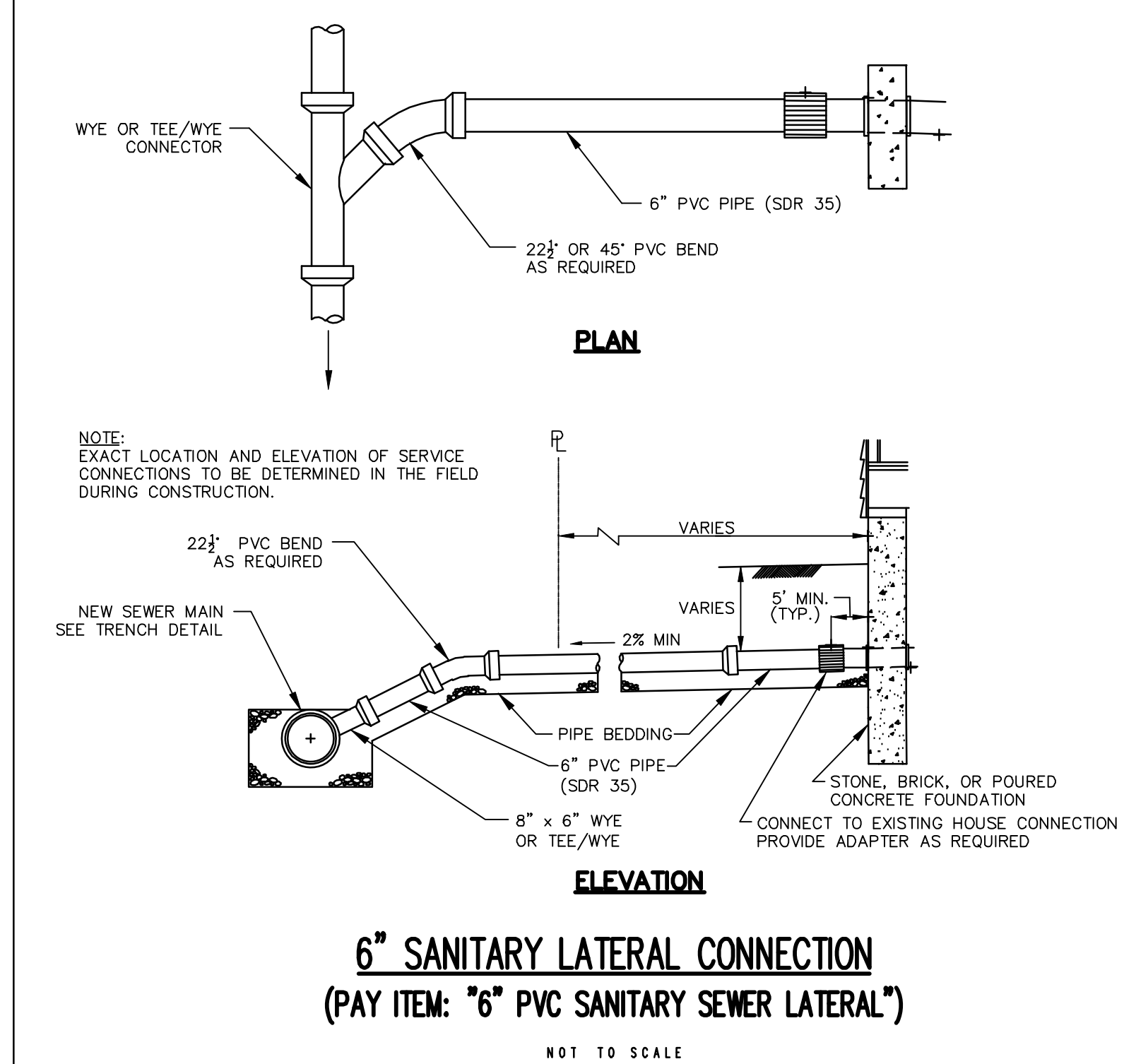
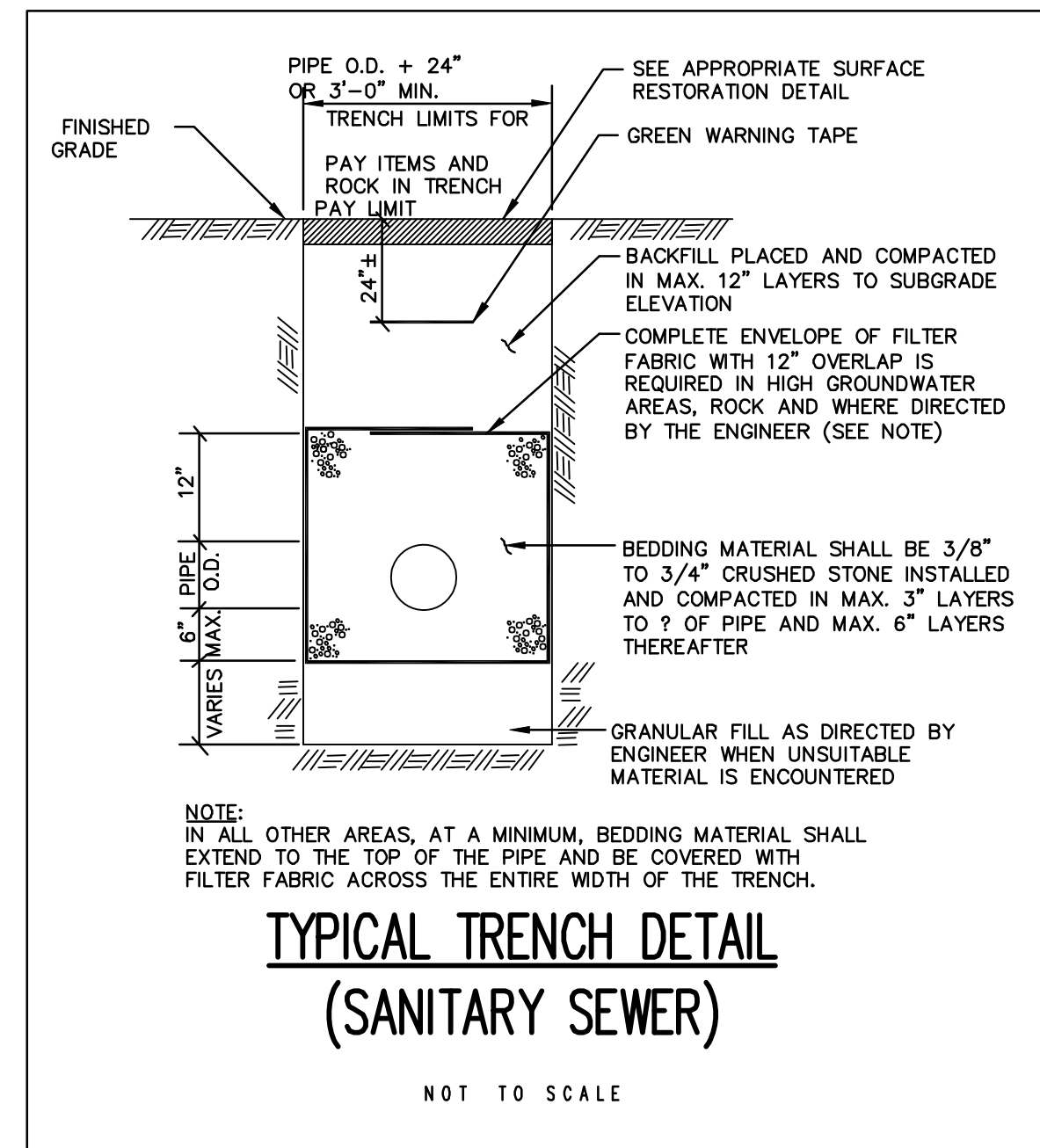
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

SCALE: 1 IN. = - FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
STORM DRAINAGE DETAILS  
WATER SERVICE NOTES AND DETAILS  
MANCHESTER, CONNECTICUT  
71 COMMERCE ROAD  
AND 81 COMMERCE ROAD

Sheet  
C8.3



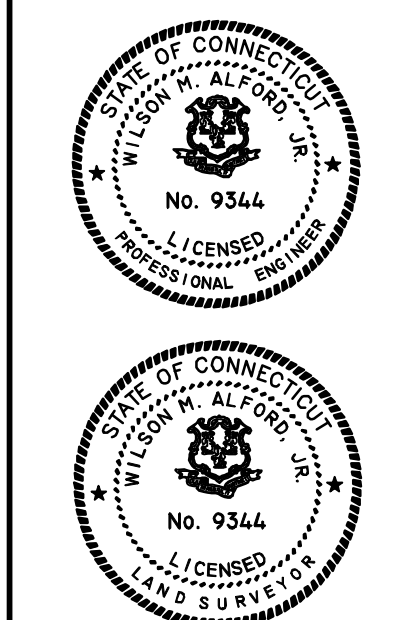
REVISIONS				TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION
NO.	DESCRIPTION	DATE	APPROVED	

DRAWN BY: DG    CHECKED BY: JL  
DATE: OCT 2020    FILENAME: PLATE21.DWG    NO SCALE    [PLATE 21.B]

REVISIONS				TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION
NO.	DESCRIPTION	DATE	APPROVED	

DRAWN BY: DG    CHECKED BY: JL  
DATE: OCT 2020    FILENAME: PLATE22.DWG    NO SCALE    [PLATE 22.B]

NO.	REVISION	DATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344  
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

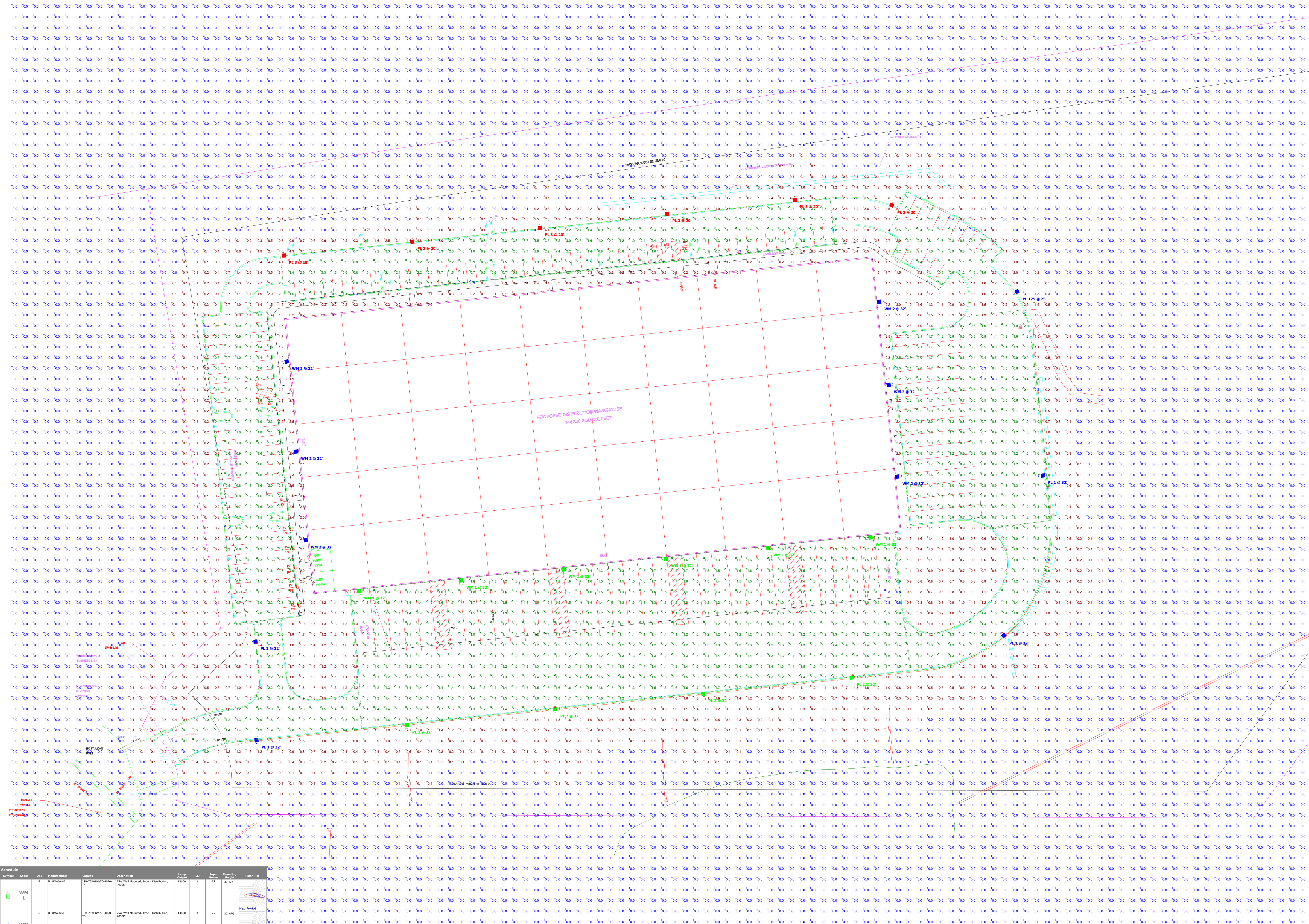
DATE: MAY 6, 2024  
SCALE: 1 IN. = - FT.

SITE PLAN  
 PREPARED FOR  
 LFF COMMERCE JV LLC  
 SANITARY SEWER DETAILS  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD  
 AND 81 COMMERCE ROAD

SEE SHEET C8.3 FOR "TOWN OF MANCHESTER WATER AND SANITARY SEWER NOTES"

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

Sheet  
C8.4



Schedule	Label	Qty	Manufacturer	Model	Description	Beam Spread	Height	Mounting	Notes
WM 1	WM 1	6	ILLUMADYNE	13000	750 Watt Highbay, Type 4 Distribution, 4000K	32° AFG	1	35'	27' AFG
WM 2	WM 2	6	ILLUMADYNE	13000	750 Watt Highbay, Type 3 Distribution, 4000K	32° AFG	1	35'	27' AFG
PL 1	PL 1	4	ILLUMADYNE	13000	750 Watt Highbay, Type 3 Distribution, 4000K, External Glass Shield	32° AFG	1	35'	27' AFG
PL 125	PL 125	1	ILLUMADYNE	13000	750 Watt Highbay, Type 3 Distribution, 4000K, External Glass Shield	32° AFG	1	35'	27' AFG
PL 2	PL 2	4	ILLUMADYNE	13000	750 Watt Highbay, Type 3 Distribution, 4000K, External Glass Shield	32° AFG	1	35'	27' AFG
PL 3	PL 3	6	ILLUMADYNE	13000	750 Watt Highbay, Type 3 Distribution, 4000K, External Glass Shield	32° AFG	1	35'	27' AFG


Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Corner Auto Parking Area	✗	1.7 fc	4.2 fc	0.4 fc	10.5:1	4.3:1
Entry Drive Lanes	✗	1.6 fc	2.4 fc	0.4 fc	6.0:1	4.0:1
Front Auto Parking	✗	1.4 fc	2.6 fc	0.3 fc	8.7:1	4.7:1
Side Auto Parking	✗	1.8 fc	4.2 fc	0.3 fc	14.0:1	6.0:1
Trailer Parking Area	✗	1.2 fc	2.7 fc	0.3 fc	9.0:1	4.0:1
Truck Court	✗	1.3 fc	2.1 fc	0.8 fc	2.6:1	1.6:1
Back Corner Drive Lane (NE)	✗	1.3 fc	2.0 fc	0.8 fc	2.5:1	1.6:1

The Visual Simulation ("Lighting Design") provided here by Illumadyne, Inc. represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others has not been field verified and therefore actual measured results may vary from the actual field conditions.

Illumadyne, Inc. neither warrants, either implied or stated, the actual measured light levels or energy consumption as compared to those illustrated by the Lighting Design. Illumadyne, Inc. neither warrants, either implied or stated, nor represents the appropriateness, completeness, or suitability of the Lighting Design insofar as it complies with any applicable regulatory code requirements except for those specifically stated on the drawings created and submitted by Illumadyne, Inc. The Lighting Design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction.

**TOWN OF MANCHESTER  
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

**TO:** Planning & Zoning Commission

**FROM:** Megan Pilla, Principal Development Planner 

**DATE:** June 27, 2024

**RE:** Steven Blanchard  
Pre-application Review (PAR-0004-2024)

***Introduction***

The applicant is seeking initial feedback on a possible zoning regulation amendment proposal to allow construction of a new 2-family residence in a Residence A (RA) zone. As currently written, the regulations allow the conversion of an existing single-family house to a 2-family house by special exception (Art. II, Sec. 4.02.01), but do not allow new construction of a 2-family house.

If such a regulation amendment were to be considered, the applicant is interested in developing a new 2-family house at 669 Hartford Road. A location map and plan for that parcel are attached for purposes of discussion.

As always, any discussion held during a pre-application review is non-binding for both the Commission and the applicant.

mp

R:\Planning\PZC\2024\07 - July 01\PAR-0004-2024 - Memo.docx

Attach.

# Town of Manchester, CT



Geographic Information Systems

669 HARTFORD ROAD

## Legend

Overlay Zone

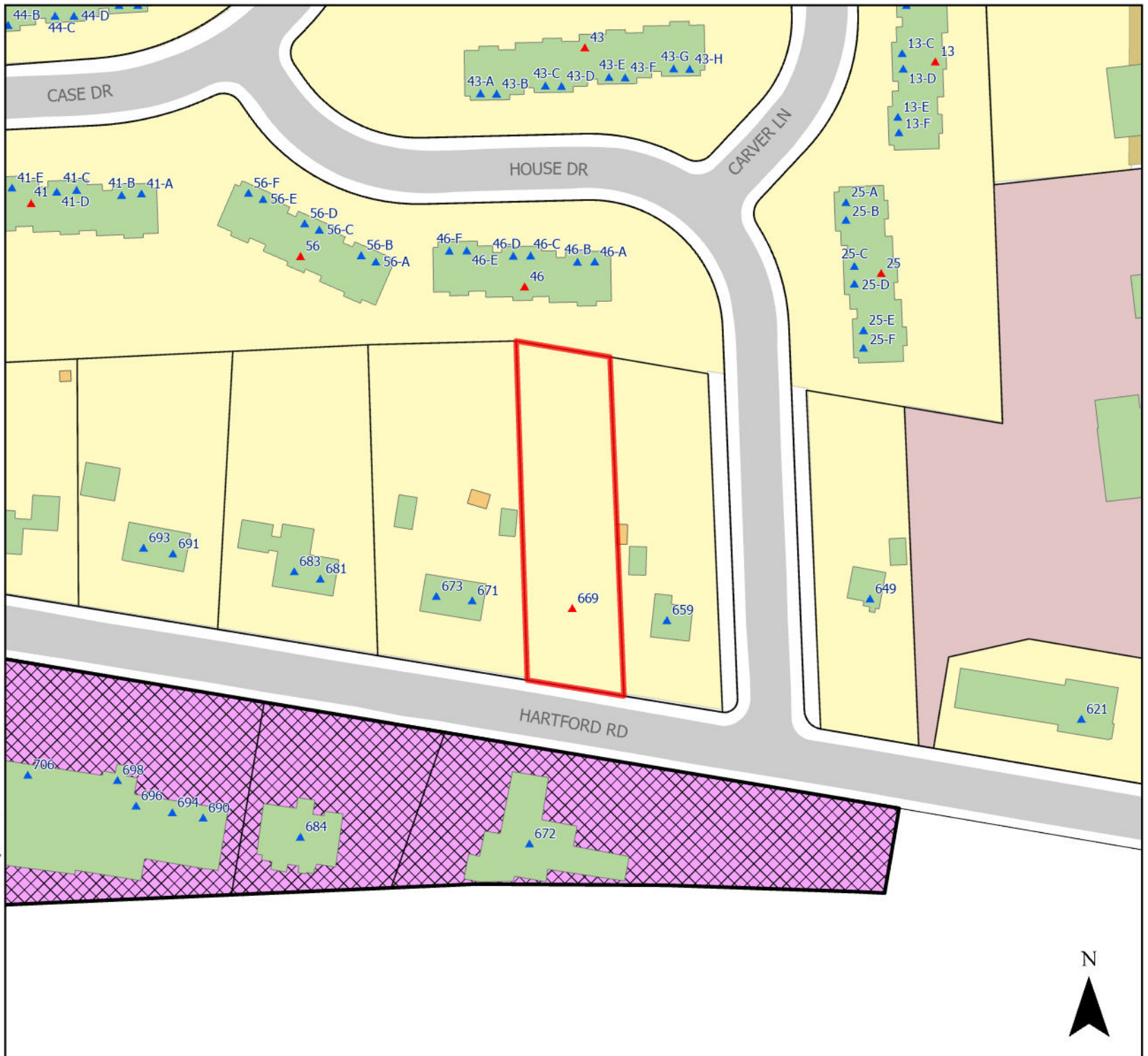
Zoning

B2 - Business II

EHD - Elderly Housing Development

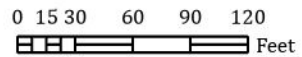
RA - Residence A

RB - Residence B



**DISCLAIMER:**  
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

**NOTES:**  
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.



1 inch = 100 ft

Date: 6/25/2024



**SURVEY NOTES:**  
 1.) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS", AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. ON AUGUST 29, 2019. IT IS A LIMITED PROPERTY IMPROVEMENT LOCATION SURVEY MAP BASED ON A RESURVEY CONFORMING TO HORIZONTAL SURVEY ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS 1-D. THE INTENT OF THIS MAP IS TO DEPICT THE LOCATION OF THE PROPOSED OR EXISTING IMPROVEMENTS SHOWN WITH RESPECT TO THE APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS.

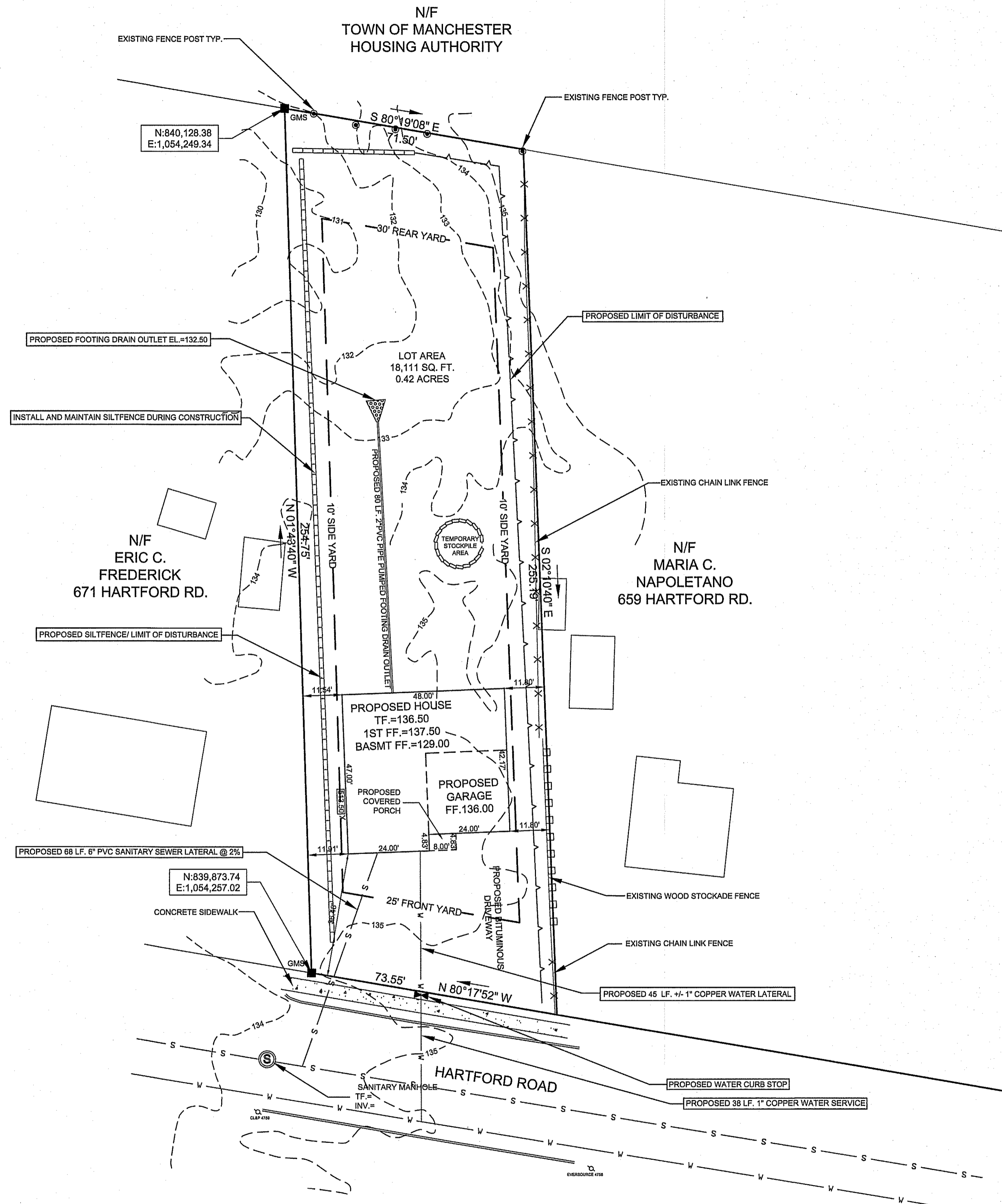
- 2.) PROPERTY IS LOCATED IN A RESIDENCE A ZONE.
- 3.) THE PROPERTY IS NOT LOCATED IN A FLOOD ZONE A PER PER FIRM FLOOD INSURANCE RATE MAP NUMBER 09003C0394F EFFECTIVE DATE SEPTEMBER 26 2008.
- 3.) EXISTING UTILITIES SHOWN WERE EITHER FIELD LOCATED, TAKEN FROM THE REFERENCED MAPS, CALL BEFORE YOU DIG MARKINGS OR INFORMATION PROVIDED BY THE TOWN OF MANCHESTER ENGINEERING DIVISION. THE CONTRACTOR SHALL VERIFY THE INFORMATION PRIOR TO THE START OF CONSTRUCTION.
- 4.) HORIZONTAL DATUM IS BASED ON TOWN OF MANCHESTER CONTROL NETWORK (NAD 83 AS ESTABLISHED IN 1998). STARTING CONTROL POINTS WERE TOWN OF MANCHESTER SURVEY CONTROL POINT 284 (NORTHING: 836,338.159 EASTING: 1,057,666.481) & 285 (NORTHING: 836,358.499 EASTING: 1,068,218.142).
- 5.) VERTICAL DATUM IS BASED ON TOWN OF MANCHESTER CONTROL NETWORK (NAVD 88 USING GEOID 96). STARTING BENCHMARK WAS TOWN OF MANCHESTER CONTROL POINT 284 (CGS ELEVATION=312.04).
- 6.) TOPOGRAPHY DEPICTED WAS TAKEN FROM TOWN OF MANCHESTER GIS DATA.
- 7.) THE PROPERTY IS NON-CONFORMING TO CURRENT TOWN OF MANCHESTER ZONING REGULATION REQUIREMENTS FOR LOT FRONTAGE.

**MAP REFERENCES:**

- 1.)

**CONSTRUCTION NOTES:**

- 1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
- 3.) CONSTRUCTION METHODS AND MATERIALS WITHIN THE RIGHT OF WAY AND FOR PROPOSED UTILITIES SHALL CONFORM TO THE TOWN OF MANCHESTER "PUBLIC IMPROVEMENT STANDARDS" REVISED EFFECTIVE OCTOBER 31, 2020 AS AMENDED.
- 4.) ALL PROPOSED UTILITIES LOCATIONS SHALL BE APPROVED BY THE LOCAL UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION. ALL UTILITIES SHALL BE CONSTRUCTED UNDERGROUND AND TO LOCAL UTILITY COMPANY SPECIFICATIONS.
- 5.) A PRE-CONSTRUCTION MEETING WITH THE TOWN OF MANCHESTER STAFF IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- 6.) THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- 7.) BEFORE THE START OF ANY CONSTRUCTION ACTIVITY, CONTACT MARK CZEREPUSZKO, CHIEF CONSTRUCTION INSPECTOR, AT 860-647-5211 TO REVIEW REQUIREMENTS.



**LEGEND**

- GMS EXISTING GRANITE MERESTONE
- IR EXISTING IRON ROD
- BLDG LINE BUILDING LINE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- SILT FENCE
- W — W WATER LINE
- S — S SANITARY SEWER LINE
- E — E UNDERGROUND UTILITY LINE (ELECTRIC, CATV, TELEPHONE)
- X 3339 PROPOSED SPOT GRADE
- - - 313 EXISTING CONTOUR
- - - 319 PROPOSED CONTOUR
- TF TOP OF CONCRETE FOUNDATION
- FF FINISHED FLOOR

UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPTH IN THE FIELD PRIOR TO THE START OF ANY CONSTRUCTION. "CALL BEFORE YOU DIG (1-800-922-4455)."

PLAN PREPARED FOR

S.R. BLANCHARD

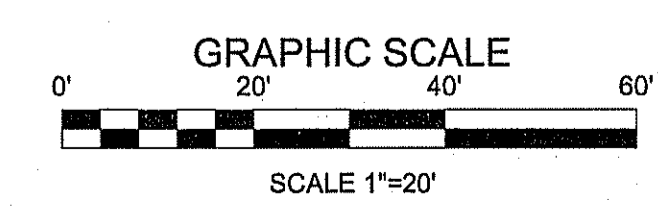
669 HARTFORD ROAD MANCHESTER, CT.

SITE PLAN

SCALE: 1"=20' DATE: 5/2/2024 FILE NO. 2023-44 SHEET: 1 OF 2

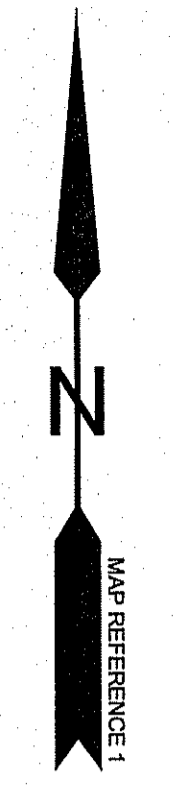
**BUSHNELL ASSOCIATES LLC.**  
 CIVIL ENGINEERING AND LAND SURVEYING  
 563 WOODBRIDGE STREET MANCHESTER, CT. 06042  
 860-643-7875

REVISIONS:



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ANDREW F. BUSHNELL P.E. L.S. 24591  
 THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE LICENSED LAND SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE.





**TOWN OF MANCHESTER  
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

**TO:** Planning & Zoning Commission

**FROM:** Megan Pilla, Principal Development Planner *MP*

**DATE:** June 27, 2024

**RE:** Lot Line Revision

Pursuant to the Planning and Zoning Commission's policy statement regarding lot line revisions adopted May 18, 1992, we are notifying the Commission that staff has approved a lot line revision at the following location: 483 Birch Mountain Road and 107 Blue Ridge Drive.

The plan was submitted for this revision and reviewed by town staff prior to the approval. A copy of the plan is attached for your reference. When the mylar has been stamped, the applicant will be advised to file the stamped mylar of the lot line revision with the Town Clerk for recording at their earliest convenience.

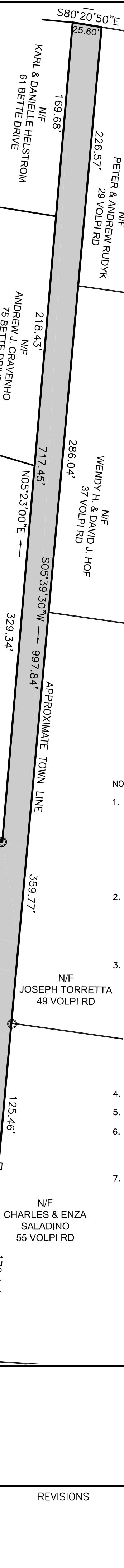
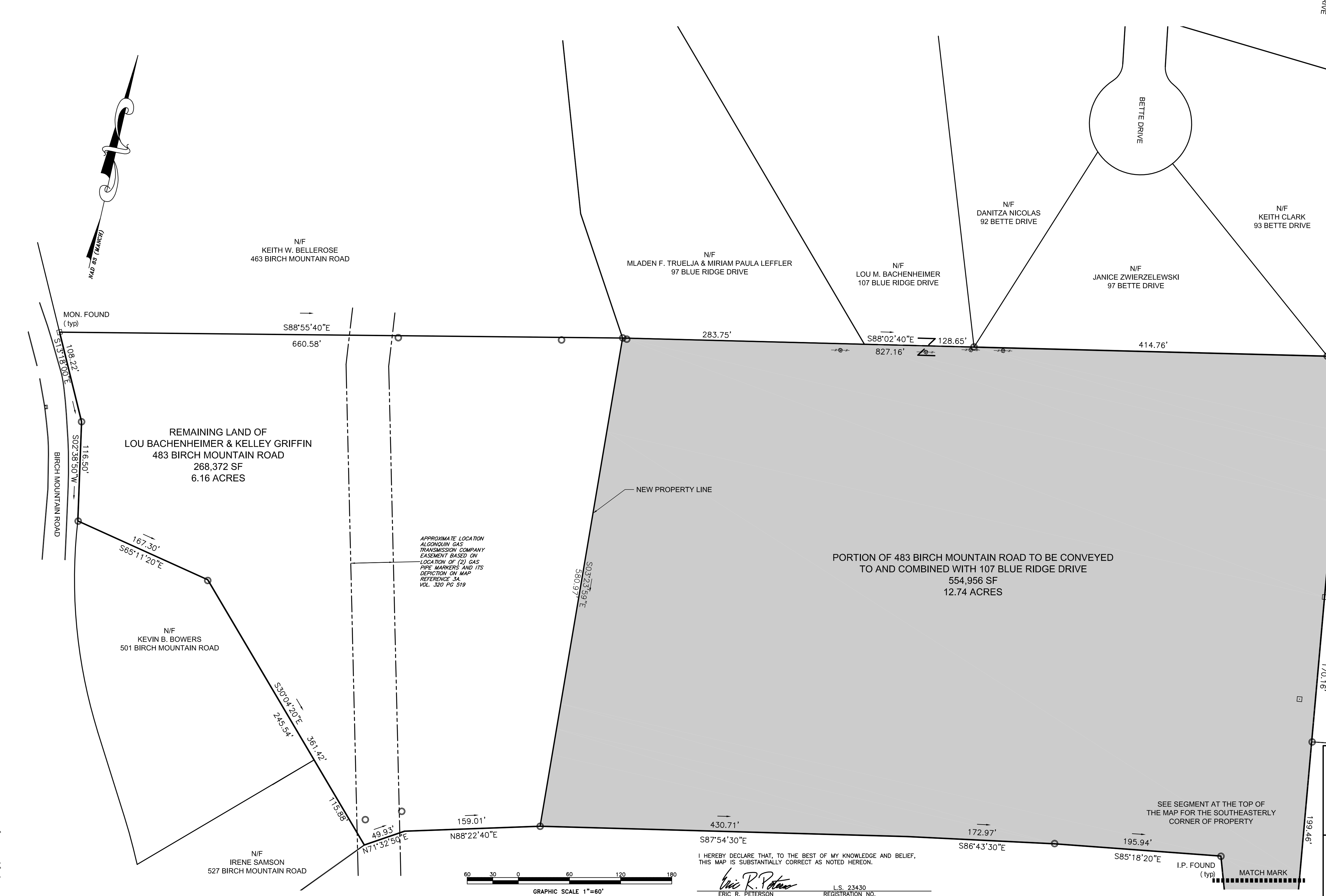
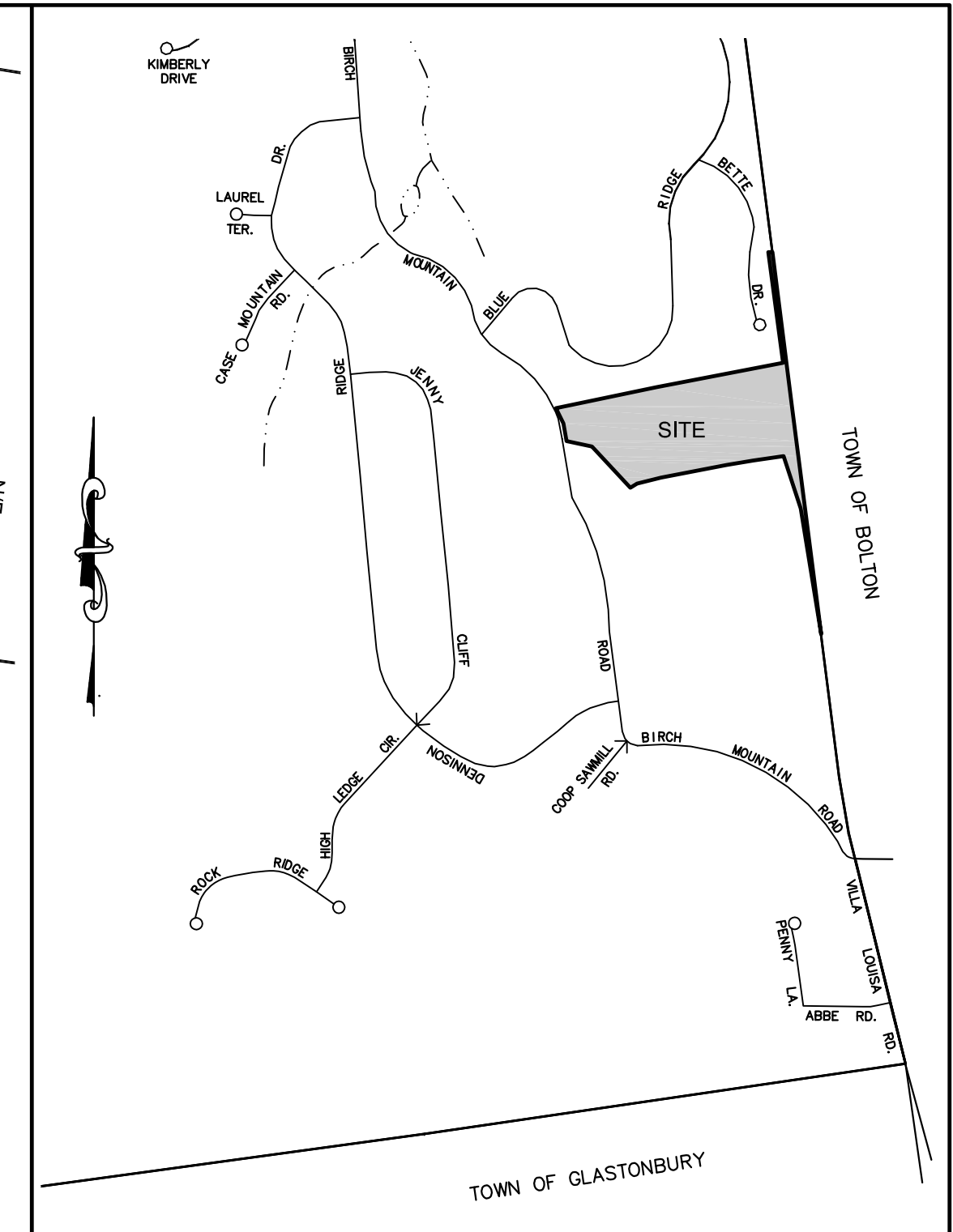
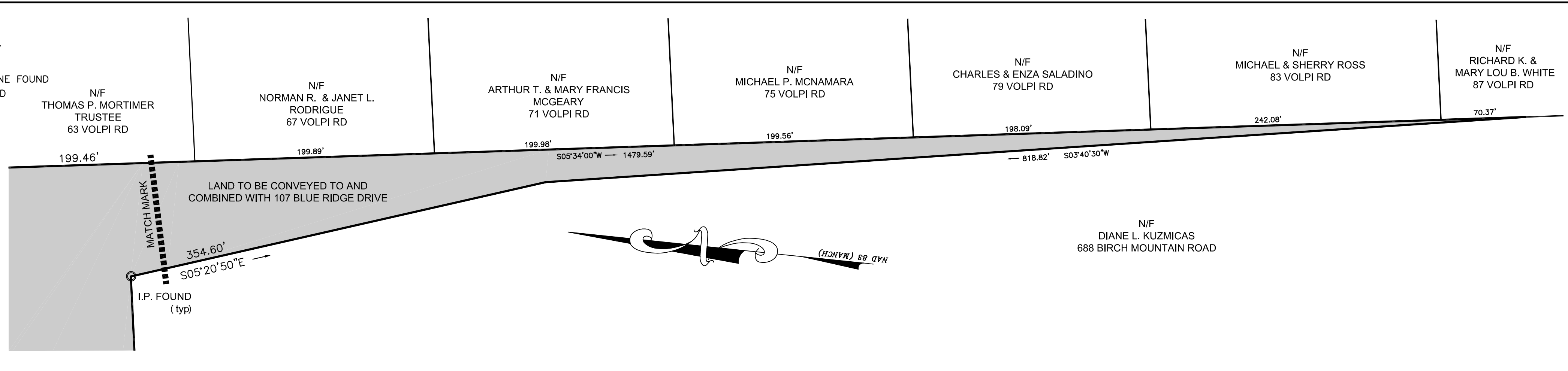
mp/kw

Attach.

cc: File LLR-0002-2024

**LEGEND**

- PROPERTY BOUNDARY
- - - EASEMENT
- MONUMENT/MERESTONE FOUND
- IRON PIN/PIPE FOUND
- CATCH BASIN
- UTILITY POLE
- OVERHEAD WIRES
- GRANITE CURBING



- NOTES:**
1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS A PROPERTY SURVEY AND A DEPENDANT RESURVEY OF THE PERIMETER BOUNDARY AND AN ORIGINAL SURVEY OF THE PROPERTY LINE CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.  
THE PURPOSE OF THIS PLAN IS TO CONVEY A PORTION OF 483 BIRCH HILL ROAD TO 107 BLUE RIDGE DRIVE.
  2. BEARINGS DEPICTED ON THIS PLAN ARE BASED UPON NAD 83 (CONNECTICUT STATE PLANE COORDINATES) AND ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON THE 1988 NORTH AMERICAN DATUM (NAVD 88) PER THE PUBLISHED COORDINATES OF TOWN OF MANCHESTER CONTROL MONUMENTS 310 & 311.  
#310 N838887.498 E1076887.951 ELEV=678.85  
#311 N838218.546 E1076981.047 ELEV=691.35
  3. REFERENCE IS MADE TO THE FOLLOWING MAP:  
A. "S&J SUBDIVISION MAP LAND OF PETER R. BLUM, TRUSTEE VOLPI RD. BOLTON BIRCH MOUNTAIN ROAD MANCHESTER" BY RALPH E. ZAHNER DATE: MAY 1, 1979, REVISED: 12-30-82, SHEET 1 OF 1.  
B. "HIGHLAND ESTATES BIRCH MOUNTAIN ROAD & CARTER STREET MANCHESTER-CONNECTICUT SCALE: 1"=50' MARCH 23, 1967 HAYDEN GRISWOLD C.E. DEVELOPER THE U&R HOUSING CORP REVIDED TO SEPT. 20, 1971, SHEET 2 OF 3.  
C. "PLAN PREPARED FOR ANNA HALLENSCHEIDT MANCHESTER, CONNECTICUT WILLIAM R. PALMBERG SCALE: 1"=50', DATE: 9-4-96, SHEET 10F1, NO 96044"  
D. "PLAN PREPARED FOR BIRCH MOUNTAIN BROOK ESTATES NO.537 BIRCH MOUNTAIN ROAD MANCHESTER, CT PLOT PLAN SCALE: 1"=40', DATE: 14 JUNE 1999, FILE NO.9875 SHEET 10F3 JAMES PAGGIOLI LAND SURVEYING, INC. REVISED TO 12/12/99"
  4. THIS PARCEL IS LOCATED IN THE RURAL RESIDENCE RR ZONE.
  5. TOTAL AREA OF PARCEL = 19.90 Acres.
  6. PARCEL IS ENTIRELY LOCATED IN FLOOD HAZARD ZONE 'X' (AREA DETERMINED TO BE OUTSIDE 500 YEAR FLOOD-PLAIN), PER "FIRM FLOOD INSURANCE RATE MAP TOWN OF MANCHESTER HARTFORD COUNTY PANEL 6 OF 6 COMMUNITY PANEL NUMBER 090031 0066 MAP REVISED: MAY 2, 1991.
  7. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

**PROPERTY SURVEY  
REVISION TO PROPERTY LINE  
PREPARED FOR  
LOU BACHENHEIMER  
483 BIRCH MOUNTAIN ROAD  
MANCHESTER, CONNECTICUT**

REVISIONS		PROFESSIONAL ENGINEERS		LAND SURVEYORS		
		BY	SCALE	DATE	SHEET NO.	MAP NO.
		M.A.P.	1"=60'	05-24-2024	1 of 1	11118R

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Eric R. Peterson*  
ERIC R. PETERSON L.S. 23430  
REGISTRATION NO.

**DRAFT**

**TOWN OF MANCHESTER  
MINUTES OF PUBLIC HEARING  
HELD BY THE PLANNING AND ZONING COMMISSION/INLAND WETLANDS AND  
WATERCOURSES AGENCY  
JUNE 17, 2024**

**MEMBERS PRESENT:**

In Person: Eric Prause, Chairman  
Patrick Kennedy, Vice Chairman  
Michael Stebe, Secretary  
Teresa Ike  
Chris Schoeneberger  
Michael Farina

**ALTERNATE MEMBERS SITTING:**

In Person: Sara Van Buren

**ABSENT:**

Daniela Luna  
Maliha Ahsan  
Zachary Schurin

**ALSO PRESENT:**

In Person: Gary Anderson, Director of Planning and Economic  
Development  
Megan Pilla, Principal Development Planner  
Electronically: Nancy Martel, Recording Secretary

The Chairman opened the Public Hearing at 7:00 P.M. The secretary read the legal notice when the call was made.

VIKING MANCHESTER PARTNERS, LLC – Subdivision of existing parcel into two parcels each containing an existing commercial building, with no change in building envelope, parking, or site conditions, at 19 Pavilions Drive. – Resubdivision (SUB-0001-2024)

Attorney Charles Naselsky, General Counsel for Viking Manchester, the owners, introduced himself. Attorney Naselsky described the property, which had previously been subdivided by Brixmor. He detailed the current and future occupants of the property. Their plan is to subdivide the two separate properties into two separate tax parcels, keeping everything in place. Currently, there is an all-encompassing restricted easement agreement with Brixmor.

Mr. Ike Gabbay, Principal of Viking Manchester, commented that the application does not contemplate any change in the side yard or changes to the building envelope.

Mr. Andrew Bushnell, Bushnell Associates, added that there are also easements and agreements for the utilities.

Mr. Gabbay reported that they will add an internal REA to govern sharing certain expenses between the two.

Mr. Bushnell stated that there was only one staff comment asking for at least three of the proposed new property line corners to be set, which he completed.

Ms. Pilla confirmed that there was only one staff comment about showing the pins on the new property line, which has been addressed.

Noting past issues with subdivisions, parking, and controlling traffic flow, Mr. Stebe asked how approval of this subdivision would affect the ability for changes along that line.

Ms. Pilla noted that, in terms of maintaining the parking itself, that would be covered by the agreement already in place between the two parcels. However, if one parcel comes under new ownership, there would just be more individuals that would be required to agree with any future changes to the parking lot as a whole.

Mr. Gabbay reported that the proposed subdivision will not affect the master reciprocal easement agreement in place with Brixmor.

Mr. Stebe requested information about snow removal and Mr. Gabbay stated that Brixmor is responsible under the REA for snow removal of the entire parking surface.

Mr. Prause asked if this is legally conforming with zoning requirements, which Ms. Pilla confirmed.

There were no members of the public to speak on the application.

**MOTION:** Mr. Kennedy moved to close the Public Hearing. Mr. Schoeneberger seconded the motion and all members voted in favor.

The Public Hearing closed at 8:05 P.M.

I certify these minutes were adopted on the following date:

\_\_\_\_\_ Date

\_\_\_\_\_ Eric Prause, Chairman

**NOTICE: A DIGITAL RECORDING OF THIS PUBLIC HEARING CAN BE HEARD IN THE PLANNING DEPARTMENT.**

**DRAFT**

**TOWN OF MANCHESTER  
MINUTES OF BUSINESS MEETING  
HELD BY THE PLANNING AND ZONING COMMISSION/INLAND  
WETLANDS AND WATERCOURSES AGENCY  
JUNE 17, 2024**

**MEMBERS PRESENT:**

In Person: Eric Prause, Chairman  
Patrick Kennedy, Vice Chairman  
Michael Stebe, Secretary  
Teresa Ike  
Chris Schoeneberger  
Michael Farina

**ALTERNATE MEMBERS SITTING:**

In Person: Sara Van Buren

**ABSENT:**

Daniela Luna  
Maliha Ahsan  
Zachary Schurin

**ALSO PRESENT:**

In Person: Gary Anderson, Director of Planning and Economic  
Development  
Megan Pilla, Principal Development Planner  
Electronically: Nancy Martel, Recording Secretary

The Chairman opened the Business Meeting at 8:05 P.M. The Secretary read the legal notice when the call was made.

**UNFINISHED BUSINESS**

**TOWN OF MANCHESTER – Potential disposition of 601 Lydall Street. – Mandatory Referral (MR-0003-2024)**

Mr. Anderson reviewed the Mandatory Referral discussed in detail at the prior meeting, describing the four properties in question. After the Commission issues the report, it will go to the Board of Directors. The properties are related to the new downtown library, which he detailed. Mr. Anderson acknowledged his error at the last meeting, explaining that 25 Eldridge Street was not part of the bond referendum.

Mr. Anderson stated that, when the Town approached the owner of 25 Eldridge Street about purchasing the property, that owner preferred to contemplate a land exchange for a property adjacent to a parcel on Lydall Street. The property, 601 Lydall Street, was described. He explained that he reiterated information with the Water & Sewer Administrator, and the watercourse and associated wetlands within the parcel do not contribute to the Town of

Manchester drinking water supply. The only value to the property is the value of the land itself. The watercourse was displayed and discussed.

David Laiuppa, Environmental Planner/Wetlands Agent, visited the delineated wetlands that encompass most of the property, according to Mr. Anderson. There is less than 0.2 acres of available buildable land which would be situated on a steep slope at the eastern end of the property between two curves in the road.

Displaying the property in question, Mr. Anderson pointed out the Town parcels. The Town is interested in trail connectivity, and the Land Acquisition and Historic Property Investment Committee is considering an easement or the purchase of the farm property in the future.

Mr. Anderson commented that it is important that the Commission take action this evening so this can go to the Board of Directors.

Mr. Prause noted which commissioners were at the previous meeting. He noted that he listened to the prior meeting's recording and believes he understands the prior comments.

Mr. Anderson interjected that this is an agreement that is on the table for the Board of Directors and the Commission is giving advice on that agreement. The acquisition of 25 Eldridge Street is key for the library project, as it will go to the Board of Directors.

Mr. Stebe stated that Mr. Anderson summarized a number of questions that the Commission had at the prior meeting. He remarked that another discussion referenced the adjacent property to the Lydall Street piece that the Town will be negotiating with. There has been encroachment on the Town property, along with movement of the property line to accommodate ingress. He commented that there are wetlands past the driveway. It was Mr. Stebe's opinion that agricultural farmland has a lower bar to reach in order to go into a wetland to make changes and they still have an approval process to go through. He added that he is correcting his statement at the last meeting. He understood the reason why the owner is seeking that property, as it is valuable to their operation. Mr. Stebe suggested putting something into the report to protect the wetlands.

Mr. Kennedy did not feel the Commission could put conditions on the referral. Mr. Anderson suggested adding a comment. Any wetlands activity would be up to the Commission anyway in its capacity as the Wetlands Agency.

After a question from Mr. Prause, Mr. Anderson stated that he will pass along a written version of whatever the Commission states. There will most likely be a comment in the report.

Mr. Farina speculated about an easement, and Mr. Anderson remarked that they have mentioned it to the Town Attorney's office, who is negotiating the agreement. Mr. Farina spoke to the fact that the owner of the unbuildable property is unwilling to agree to an easement. Mr. Anderson reiterated that he is unsure about their willingness to give the easement.

Mr. Schoeneberger assumed that the decision parameters are not this Commission's responsibility and it is not their obligation to negotiate terms and conditions, with which Mr.

Anderson agreed. Mr. Schoeneberger continued that the Commission can only make the decision for a favorable or unfavorable report based on the select criteria provided in the packet. He added that there have been no recommendations that he has read stating anything contrary to selling it off. There is nothing involving an easement in front of the Commission.

Mr. Anderson stated for the record that it is important to the library project. Once it comes to this Commission, it means there is a deal on the table for the Board of Directors to act on.

Mr. Prause noted that, when listening to the recording, there was discussion about the property already being encroached upon and that is why the owner of 25 Eldridge Street is looking for this. The Plan of Conservation and Development talks about conservation, preservation, and local farming. He asked whether the encroachment is related to farming.

Mr. Anderson acknowledged that he does not have information on the existing encroachment. He noted that there was some in the past and, at that time, the Town felt the solution was to sell a small piece of property to the owner to accommodate a barn.

Mr. Prause noted that there is reference to urban farming as part of the rationale.

Mr. Anderson responded that farming ties in because he understands the owner wants to purchase it to protect their property.

Mr. Prause clarified that the Commission must decide:

- A favorable report is achieved by a majority of members.
- An unfavorable referral requires a two-thirds vote.
- If the Commission does nothing, there is a statutory timeframe of 35 days; when it runs out, that is the equivalent of a favorable vote.

#### Mandatory Referral (MR-0003-2024)

**MOTION:** Mr. Kennedy moved to issue a favorable report regarding the disposition of 601 Lydall Street as presented at the June 17, 2024 Planning & Zoning Commission meeting. Mr. Schoeneberger seconded the motion.

The reason for the approval is that the disposition of the property in question advances the Town's Downtown library project.

Mr. Farina speculated about where the stream crosses the street and questioned the disposition.

Mr. Anderson reiterated that he spoke with the Water & Sewer Administrator today and he again stated that there is no value to the Town's water supply.

Mr. Farina continued to comment about the discharge of the water. He reiterated that the property owners have encroached on the Town property. He added that he feels the Commission should issue an unfavorable report without an easement.

Mr. Prause asked for clarification about the water flow.

Mr. Schoeneberger asked who is responsible for the dams. Mr. Anderson responded that it is the Water & Sewer Department.

Noting that there have been issues with this property, Mr. Kennedy noted that the parcel is not useful to the Town but is useful for them; they have property downtown that is not much use to them but is useful to the Town.

Mr. Schoeneberger commented that there is nuance to every deal and consideration must be given to what benefits the long-term initiative.

Mr. Prause observed that, in the last meeting, there was discussion about the work done by the Land Acquisition and Historic Property Investment Committee regarding an easement on the larger property to the east, which he is encouraged by. There is a larger need here to be successful on the library project.

Ms. Van Buren asked whether there is the possibility of an easement on any other property.

Mr. Anderson stated that he was not able to answer that because individuals are not always forthright about what they are willing or not willing to do.

Mr. Stebe agreed with Mr. Kennedy that the Commission cannot add an addendum, but they can attach a memo, though he acknowledged that he is unsure of the process.

Mr. Prause assumed that the Commission can recommend comments, not a condition but recommended language.

After a comment from Mr. Kennedy, Mr. Anderson remarked that, to summarize, we must limit it to what the Commission wishes to say. He speculated whether it should state that the Commission urges the Board of Directors to seek an easement.

Mr. Schoeneberger offered that, from his perspective, if there is to be an accompanying memo or comments, he would be happy to participate but he did not see how it relates to the vote. The Commission has heard that the Town is in active negotiations with other properties in the area, and it seemed to him that the Commission is trying to do the work that is already being done without the benefit of insight. The decision criteria are straightforward.

Mr. Kennedy asked for clarification about the Town's pursuit of an easement. He noted that it is a separate issue. A discussion ensued regarding an amendment.

#### Mandatory Referral (MR-0003-2024)

**MOTION:** Mr. Kennedy moved to issue a favorable report regarding the disposition of 601 Lydall Street as presented at the June 17, 2024 Planning & Zoning Commission meeting. Mr. Schoeneberger seconded the motion. Mr. Kennedy, Mr. Prause, Ms. Ike, and Mr. Schoeneberger voted in favor of the motion. Ms. Van Buren, Mr. Farina, and Mr. Stebe voted against the motion. The motion passed four to three.



The reason for the approval is that the disposition of the property advances the Town's Downtown library project.

**NEW BUSINESS:**

VIKING MANCHESTER PARTNERS, LLC – Subdivision of existing parcel into two parcels each containing an existing commercial building, with no change in building envelope, parking, or site conditions, at 19 Pavilions Drive. – Resubdivision (SUB-0001-2024)

Resubdivision (SUB-0001-2024)

**MOTION:** Mr. Kennedy moved to approve the resubdivision of the existing parcel into two parcels each containing an existing commercial building, with no change in building envelope, parking, or site conditions, at 19 Pavilions Drive. Mr. Schoeneberger seconded the motion and all members voted in favor.

Mr. Stebe said that he does not understand the reason behind the resubdivision. He questioned staff about the net effect it would create on the taxable value of the property. Because this is in the one and only Comprehensive Urban Development zone, he questioned staff about the difference between this area vs. another zone in town.

Ms. Pilla stated that she does not have that answer. Procedurally, this is actually easier in the CUD zone because they can get away with the strip of frontage. She commented that the mall property has multiple parcels, each with their own strip of frontage.

Mr. Anderson reported that, if the application meets the requirements of the subdivision, the Commission is to approve it.

TOWN OF MANCHESTER PUBLIC WORKS DEPT – Parking lot improvements including pavement replacement, grading to drain, installation of new drainage swale within infiltration trench, replacement of wooden barrier rail, and ADA improvements at 864 Middle Turnpike West. – Inland Wetland Permit (IWP-0007-2024); Flood Plain Permit (FLDP-0002-2024)

Mr. John DiBiasi, Assistant Town Engineer, introduced himself. Mr. DiBiasi reported that he ran through the entire project at the last meeting. He reviewed the project, Laurel Marsh Park improvements to a small parking lot area, one of a number of projects planned for the area which is grant funded. The parking lot falls within the regulated area.

The parking area was displayed, and Mr. DiBiasi gave a detailed explanation of the existing conditions. He reported that there will be a complete replacement of the parking lot, grading in a uniform fashion to redirect rainwater. There will also be ADA improvements to ensure access for all, as well as improvements to the timber rail. In addition, the Recreation Department will be working on a new gateway sign to the parking area, as well as a wood utility pole in the parking lot.

Mr. DiBiasi detailed the wetlands and the Hockanum River. He pointed out the upland review area, noting that the parking area is predominantly outside the regulated area. The work is in the

floodway, necessitating the flood plain permit and limiting activities within the area. He went on to describe the proposed grading plan, the bioswale, and landscaping. In addition, he explained the plan for the connection between the trail along Middle Turnpike and across the parking area directly to the trail. Mr. DiBiasi highlighted overgrown brush which will be cut back.

During a state project years ago, they provided a dedicated left turn lane intended for the parking area. However, the parking area has a right in/right out restricted driveway, which is not conducive to left turns in. The center island will be modified to facilitate westbound left turns in. The ADA ramp and space were detailed, as was the utility pole.

Mr. DiBiasi stated that the northern edge of the parking area runs parallel to the state highway line and the Town needs an encroachment permit from the State to allow access. The overall disturbance of the project has gone down based on small changes. The disturbance within the upland review area is 0.065 acres and there is no work within the wetland. There will be short-term temporary impacts due to the construction, though no long-term impacts are anticipated. The plan is to capture stormwater and filter the initial runoff. As a result of this project, the flood storage capacity will be increased by one cubic yard by the proposed grading. It will not result in an increase in flood levels.

There are wood turtles in the area, Mr. DiBiasi informed the Commission. When aware of species of special concern, the Public Works Department provides the fact sheet from DEEP. The plan is to use additional silt fencing beyond what they need for erosion control measures as an exclusionary barrier to keep turtles out of the parking lot construction. Silt sacs and adjacent catch basins will be used as needed, in accordance with the updated 2023 guidelines.

Mr. DiBiasi reiterated that they will be replacing the parking lot in kind, maintaining its footprint, partly to make the required ADA accommodations, but also for safe access for parking vehicles and access to the trail. Alternatives would be to not pursue the project and let the parking lot degrade, potentially leading to the closure of the parking lot. There was discussion about pursuing pervious pavement, for which specialized equipment is required for proper maintenance. Pervious pavement is highly susceptible to sand infiltration, which clogs the pores of the pavement. Mr. DiBiasi stated that he and the Town Engineer attended a meeting with CRCOG discussing municipal stormwater concerns, issues, and hot topics where permeable pavement was addressed, noting the requirement of equipment to maintain it. He added that, if he were to pick one location for the first public test area, it would not be this location, as it is in the flood plain that is prone to flooding, bringing sand and fill to the site.

In terms of alternatives to the bioswale, nothing could be done which would keep it as it is today. An alternative to the bioswale which has limited access due to the removal of brush and trees would be similar to a hydrodynamic separator. Due to the grade being downhill from the state road and the depth needed for most HDS units, it would be difficult to get the water back up to the state road, necessitating direct discharge closer to the Hockanum River.

The work is being directly funded through a grant. Per the terms of the grant, funding is provided by the State of Connecticut Urban Act Grant administered by the Department of Energy and Environmental Protection.

Mr. DiBiasi gave the details of the proposed timeline. He acknowledged feedback after the last meeting from the Conservation Commission. One comment was regarding pervious pavement. The second question involved whether the size of the parking lot could be increased. However, the way the grant was written to fund the proposed work was specific to the size and layout. He noted that he discussed with the Town Engineer after the last meeting that, if there is interest, it could be reviewed as part of a much larger project. Manchester and the Town of East Hartford have a joint grant regarding more significant issues along the Hockanum River Trail.

Mr. Stebe noted that fill cannot be brought into the flood plain. He assumed that would mean that removal of the current pavement will get recycled or that material will be taken out.

Mr. DiBiasi explained that the primary issue with fill has to do with storage capacity of the floodway. The requirement in the zoning regulations spells out that the storage capacity cannot be decreased. He explained the process that will be used for the new pavement. The net result will be an increase in flood storage capacity, which means a very small amount of material will be removed overall from the site.

Mr. Schoeneberger thanked Mr. DiBiasi for his level of detail.

Mr. Prause asked whether there are any remains from Laurel Park in terms of historical preservation.

Mr. DiBiasi was unaware of any remains but assumed there will be someone with intimate local knowledge. The markings specific to this particular project did not go back to anything of note.

Ms. Pilla reported no technical comments on the application. She reiterated the Conservation Commission's comments. For the benefit of newer Commission members, she noted that, when considering the flood plain permit and flood storage capacity, typically the concern is to ensure there is no decrease in flood storage capacity. In this case, this is being increased.

Mr. DiBiasi added that, at the last meeting, there was a review of wetlands on the site. The nearby wetlands associated with the river itself provide habitats for a variety of species. This particular area also provides the floodway channel for the flood plain area and flood storage. It is also important to provide recreational access to the public.

#### Inland Wetlands Permit (IWP-0007-2024)

**MOTION:** Mr. Kennedy moved to approve the inland wetlands permit for parking lot improvements including pavement replacement, grading to drain, installation of new drainage swale within infiltration trench, replacement of wooden barrier rail, and ADA improvements at 864 Middle Turnpike West. Mr. Stebe seconded the motion and all members voted in favor.

The reason for the approval is that the proposed activity does not disturb the natural or indigenous character of the wetlands by significant impact or major effect.

The approval is valid for 5 years. The work in the regulated area must be completed within one year of commencement.

#### Flood Plain Permit (FLDP-0002-2024)

**MOTION:** Mr. Kennedy moved to approve the flood plain permit for parking lot improvements including pavement replacement, grading to drain, installation of new drainage swale within infiltration trench, replacement of wooden barrier rail, and ADA improvements at 864 Middle Turnpike West. Ms. Ike seconded the motion and all members voted in favor.

### **ADMINISTRATIVE REPORTS**

Ms. Pilla provided information for the Commission to review, as it will come up in a future application. These are the Industrial Park Regulations for Buckland Industrial Park II, which is in the Commerce Road area. There is an application in that will most likely be on a July agenda and any application in the industrial park will be subject to these regulations. Some are setbacks, uses, building heights, etc. that are more strict than regular zoning regulations.

There is not a lot for the Commission to look at besides making sure the application is in line with all of this. The main difference in the process for the applicant is that the Economic Development Commission must approve the application as well. The application in now includes a wetlands permit, so the PZC will see it first for the Determination of Significance for the wetlands permit. Before coming back to the PZC, it will go the Economic Development Commission for their approval.

After a question from Ms. Ike, Ms. Pilla stated that these should be in our regulations. These are valid until 2029 but are rarely used.

Mr. Kennedy asked whether these are part of the regulations in the members' binders.

Ms. Pilla stated that it is a separate document. If it were to be changed or extended, it is in the hands of all the property owners in the industrial park, not a municipal entity.

Mr. Kennedy assumed that this is a private compact, with which Ms. Pilla agreed.

Mr. Anderson added that it delegates it to the Economic Development Commission. The previous iteration, Industrial Park I, expired approximately five years ago. At the time, Renata Bertotti, the Senior Planner at that time, reached out to see if there was any interest in extending it and there was not.

Mr. Stebe assumed that the tweaks done, such as shared use parking and other building regulations, had zero effect on this.

Ms. Pilla affirmed Mr. Stebe's statement, saying they still apply, and these are additional.

Mr. Stebe and Mr. Anderson discussed Ms. Luna's appointment with CRCOG.

Mr. Prause offered Mr. Farina an opportunity to speak about the Greenway Plan, which he declined.

Mr. Prause remarked that he never received the final plan for the Keeney Erosion & Sedimentation Control plan. He requested an update.

### **APPROVAL OF MINUTES**

June 3, 2024 – Business Meeting

**MOTION:** Mr. Kennedy moved to approve the minutes as written. Mr. Schoeneberger seconded the motion and all members voted in favor.

A discussion was held regarding the minutes reflecting that 25 Eldridge Street was part of the referendum, which it was not.

### **RECEIPT OF NEW APPLICATIONS**

LUZERN ASSOCIATES LLC – Inland Wetland Permit (IWP-0008-2024); Special Exception (PSE-0004-2024); Erosion & Sedimentation Control Plan (ESC-0004-2024) – Construction of a 144,074 sq. ft. distribution center/warehouse at 71 and 81 Commerce Road.

**MOTION:** Mr. Kennedy moved to adjourn the Business Meeting. Mr. Stebe seconded the motion and all members voted in favor.

The Business Meeting closed at 8:55 P.M.

I certify these minutes were adopted on the following date:

\_\_\_\_\_  
Date

\_\_\_\_\_  
Eric Prause, Chairman

**NOTICE: A DIGITAL RECORDING OF THIS BUSINESS MEETING CAN BE HEARD IN THE PLANNING DEPARTMENT.**

**TOWN OF MANCHESTER  
PLANNING DEPARTMENT**

**TO:** Aquifer Protection Agency

**FROM:** David Laiuppa, Environmental Planner/Wetlands Agent *DL*

**DATE:** June 26, 2024

**RE:** Aquifer Protection Area Registration Renewal

***Introduction***

The Aquifer Protection Area Program is a State-mandated program designed by the CT Department of Energy and Environmental Protection (DEEP) to protect major public drinking water supply wells in sand and gravel aquifers. The CT DEEP has identified 28 potentially hazardous activities (regulated activities), that when located or conducted, wholly or partially, in an Aquifer Protection Area (APA) must follow the Town of Manchester Aquifer Protection Area Regulations (the Regulations) adopted by the Aquifer Protection Agency to minimize the potential for contamination of the well field. The Regulations require existing facilities conducting regulated activities to register and follow best management practices (BMPs). The Regulations go further to prohibit any new, unregistered facility from conducting regulated activity within an APA.

There are four APAs in Manchester that consist of the combined areas of groundwater recharge and contribution as shown on Level A maps delineated in accordance with state mapping regulations using site-specific data and groundwater modeling and approved by the Commissioner of the CT DEEP. The APAs are delineated in red on the Town Zoning Map. The APAs in Manchester are the New State Road APA, the Love Lane APA, the Charter Oak APA, and the New Bolton Road APA. According to the APA Regulations, a registration must be renewed every five years. One registration was due to expire on June 3, 2024 and it has been successfully submitted on-time and renewed.

***Registration Renewal Form***

The Planning Department provided a renewal form by mail to the registrant. Enclosed with the form was a list of all 28 regulated activities with those conducted at the particular facility highlighted for their review. Additionally, a list of the Best Management Practices (BMPs) required for the proper use, storage, handling or disposal of regulated activities was enclosed with the mailing.

In order to renew the existing registration, the registrant was asked to review and update the original contact information for the owner of the facility and operator of regulated activities. The registrant and operator of regulated activities were then required to certify that the facility is in

compliance with the applicable BMPs. Finally, the registrant was required to certify that all the information they provided is true and accurate to the best of their knowledge. No fee was assessed for this process.

### ***Renewal Information***

There are two facilities in Manchester with a June 17, 2024 renewal date.

With an on-time response to the renewal letter, 1145 Tolland Turnpike has indicated that there will be no change in operations and, therefore, they will not require a change in the registration. There have been some non-substantive changes regarding the contact information, and these have been administratively updated. For the record the registrant's name has changed from "Winstanley Enterprises, LLC" to "The Plaza at Burr Corners LLC (an asset of Winstanley Property Management LLC)". This registered facility certified that their operation is in compliance with applicable BMP's. This application is being submitted for automatic renewal.

With an on-time response to the renewal letter, 1143 Tolland Turnpike has indicated that the facility is closed, and that the registrant no longer wishes to hold the registration open. This application is being submitted for closure in the database of registered facilities in Manchester.

In accordance with the APA Regulations Section 8 (f) (5) "If a registered regulated activity is out of business or inactive when registration renewal is required, a five (5) year allowance shall be in effect from the date the registration expires. If the registrant has not applied to renew the registration within five (5) years of the date the registration expires, the facility is no longer eligible for registration."

DWL

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# Town of Manchester

41 Center Street • P.O. Box 191  
Manchester, Connecticut 06045-0191  
[www.manchesterct.gov](http://www.manchesterct.gov)

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STEVE STEPHANOU, TOWN MANAGER

May 22, 2024

Winstanley Enterprises, LLC  
150 Baker Avenue Extension, Suite 303  
Concord, MA 01742

Dear Aquifer Protection Area Registrant,

Firestone Complete Auto Care #011967 at 1145 Tolland Turnpike is a regulated facility as required by the Town of Manchester Aquifer Protection Area Program. The five (5) year registration period for the conduct of registered regulated activities will expire on June 17, 2024. Pursuant to the Town of Manchester Aquifer Protection Area Regulations, the existing Registration for this facility requires renewal. Enclosed is an Aquifer Protection Area Renewal Form to be completed and returned to the Planning and Economic Development Department no later than **June 5, 2024**. Please take this opportunity to review the existing registrant and facility information and update any information related to the operator or ownership of the regulated activity by making the appropriate changes on the Renewal Form.

It is your responsibility to review the requirements listed on the form. At the time that the facility was originally registered, the registrant certified to conduct regulated activities in accordance with required Best Management Practices. To renew the registration, the registrant and operator, if different than the registrant, must again certify that each regulated activity is conducted in compliance with all the best management practices as set forth in Section 12 of the Aquifer Protection Area Regulations. Please review the attachment titled *Best Management Practices*.

**Registration Transfers and Permit Applications:** Please be advised that any person not identified on the current Registration who wishes to assume the conduct of regulated activities at this facility shall, prior to commencement, apply to the Aquifer Protection Agency to transfer the Registration. Additionally, any person may apply for a permit to add a regulated activity to a facility where a registered regulated activity occurs. ***The attached Renewal Form is not a transfer form or a permit application.*** A registration transfer form or permit application is available at <https://www.manchesterct.gov/Government/Departments/Planning-and-Economic-Development/Development-Applications-Regulations-and-Maps/Aquifer-Protection-Agency-Application-Procedure>. A renewal form, signed by the current registrant, must still be submitted even if a transfer is also being requested.

The Aquifer Protection Area program is designed to protect our drinking water resources from defined sources of contamination. Under the terms of the registration, the Town of Manchester has the right to conduct periodic inspections of regulated activities in order to ensure continuing compliance with the required best management practices that have been certified on the subject Registration Form.

If you have any questions regarding the renewal of your registration or the Aquifer Protection Area program, please feel free to call me at (860) 647-3046.

Sincerely,

David Laiuppa,  
Environmental Planner/Wetlands Agent



## Town of Manchester Aquifer Protection Area Renewal Form

This form is for the sole purpose of renewing existing registrations for conducting regulated activities in Aquifer Protection Areas as required by Sec. 8 (f) (4) of the Town of Manchester Aquifer Protection Area Regulations. Please complete this form to ensure the proper handling of your renewal. Print or type unless otherwise noted. There is no fee required for renewal.

### Part I: Registrant Information:

**Registrant and Facility Info:**

The following information is provided as it is found on the current Registration Form. For the purposes of this renewal, the Registrant and the Regulated Activities must be consistent with those on the current, approved Registration Form. To change the Registrant or add regulated activities, you must first obtain approval from the Aquifer Protection Agency; please contact the Planning and Economic Development Department at 860-647-3044 for assistance.

<b>Registrant:</b>	<del>Winstanley Enterprises, LLC</del> The Plaza at Burr Corners LLC (an asset
<b>Registrant's interest:</b>	facility owner Property Owner of Winstanley Property
<b>Registration Number:</b>	25 management LLC)
<b>Facility (Company):</b>	Firestone Complete Auto Care #011967
<b>Facility Address:</b>	1145 Tolland Turnpike
<b>Regulated Activities:</b>	(B, D) For detailed descriptions, please refer to the attached Regulated Activities list.

Below, please note any changes to the owner or operator, if different than the registrant. The information currently on record is provided on the left. If the owner or operator has changed, please provide the new information on the right.

<b>Facility Owner Information</b>	
<p style="text-align: center;"><b>Current Info on File:</b></p> <p>Facility Owner Name: Bridgestone Retail Operations, LLC</p> <p>Title:</p> <p>Mailing Address: 200 4th Avenue South</p> <p>City/Town: Nashville</p> <p>State: TN                      Zip Code: 37201</p> <p>Contact Person:</p> <p>Title:</p> <p>Business Phone: (615) 937-9520 Ext.</p> <p>Fax: (615) 493-3700</p> <p>Email:</p>	<p style="text-align: center;"><b>New Info (If Applicable):</b></p> <p>Facility Owner Name: _____</p> <p>Mailing Address: _____</p> <p>City/Town: _____</p> <p>State: _____ Zip Code: _____</p> <p>Contact Person: Mike Tharpe</p> <p>Title: Lead Remediation Specialist</p> <p>Business Phone: (615) 937-9377 Ext.: _____</p> <p>Fax: _____</p> <p>E-mail: envgen@bfr.com</p>
<b>Facility Operator Information</b>	
<p style="text-align: center;"><b>Current Info on File:</b></p> <p>Facility Operator Name: Firestone Complete Auto Care #011967</p> <p>Title:</p> <p>Street Address: 1145 Tolland Turnpike</p> <p>City/Town: Manchester</p> <p>State: CT Zip Code: 06042</p> <p>Contact Person:</p> <p>Title:</p> <p>Business Phone: (860) 646-1761 Ext.</p> <p>Fax:</p> <p>E-mail:</p>	<p style="text-align: center;"><b>New Info (If Applicable):</b></p> <p>Facility Operator Name: _____</p> <p>Street Address: _____</p> <p>City/Town: _____</p> <p>State: _____ Zip Code: _____</p> <p>Contact Person: Mike Tharpe</p> <p>Title: Lead Remediation Specialist</p> <p>Business Phone: (615) - 937-9377 Ext. _____</p> <p>Fax: _____</p> <p>E-mail: envgen@bfr.com</p>

## Part II: Certification of Best Management Practices

The registrant and operator, if different from the registrant, must certify that the facility is in compliance with all the best management practices set forth in Section 12 of the Aquifer Protection Area Regulations (see attached document titled "Best Management Practices"). **The registrant and the operator, if different from the registrant, must sign this part.** A renewal will be considered incomplete unless the required signatures are provided.

For a full description of Best Management Practices (BMP's) for regulated activities, see Section 12 of the Aquifer Protection Area Regulations, available online at [www.manchesterct.gov/Government/Departments/Planning-and-Economic-Development](http://www.manchesterct.gov/Government/Departments/Planning-and-Economic-Development).

"I certify that the subject facility is in compliance with all the best management practices set forth in Section 12 of the Aquifer Protection Area Regulations. I have checked the box by each of the following statements as verification that the subject facility is in compliance with all applicable best management practices."

- Storage of hazardous materials above ground is in compliance with all provisions of Section 12(a)(1) of the Aquifer Protection Area Regulations.
- The number of underground storage tanks used to store hazardous materials shall not increase in accordance with Section 12(a)(2) of the Aquifer Protection Area Regulations.
- Replacement of any underground storage tanks used to store hazardous materials shall take place in accordance with all provisions of Section 12(a)(3) of the Aquifer Protection Area Regulations.
- Devices for release of wastewaters to the ground shall not be used except in accordance with Section 12(a)(4) of the Aquifer Protection Area Regulations.
- A Materials Management Plan has been developed in accordance with Section 12(a)(5) of the Aquifer Protection Area Regulations and will be implemented upon issuance of a registration.

Ken Grant  
Signature of Registrant (If Registrant is a business, signature of an authorized employee)

Kenneth R Grant

Name of Registrant (print or type; must match Part I)

Mike Tharpe  
Signature of Operator (if different than above)

Mike Tharpe

Name of Operator (print or type)

6/17/24

Date  
Senior Vice President  
of Winstanley Property Management LLC  
Title (if applicable)

06/12/24

Date  
Lead Remediation Specialist  
Title (if applicable)

### Part III: Registrant Certification

The registrant *and* the individual(s) responsible for actually preparing the registration must sign this part. A renewal will be considered incomplete unless all required signatures are provided.

"I have personally examined and am familiar with the information submitted in the Aquifer Protection Area Registration and all attachments, and I certify, based on reasonable investigation, including my inquiry of the individuals responsible for obtaining the information, the submitted information remains true, accurate and complete, to the best of my knowledge and belief.

I understand that any false statement made in the submitted information is punishable as a criminal offense, under Section 53a-157b of the General Statutes and any other applicable law.

I understand that the agency or its duly authorized agent may make regular inspections of the facility and associated property, except a private residence, at reasonable hours.

I certify that this renewal is on complete and accurate forms as prescribed by the Agency, without alteration of the text."

*ken grant*

Signature of Registrant (If Registrant is a business, signature of an authorized employee)

Kenneth Grant kgrant@winent.com

Name of Registrant (print or type; must match Part I)

6/17/24  
Date

Senior Vice President  
of Winstanley Property Management LLC  
Title (if applicable)

*Mike Tharpe*

Signature of Preparer (if different than above)

Mike Tharpe

Name of Preparer (print or type)

06/12/24  
Date

Lead Remediation Specialist  
Title (if applicable)

Check here if additional signatures are required. If so, please reproduce this sheet and attach signed copies to this sheet.

Please submit the Renewal Form and all supporting documents to:

Town of Manchester  
Planning and Economic Development Department  
494 Main Street  
P.O. Box 191  
Manchester, CT 06045-0191

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## Regulated Activities List

The Regulated Activities currently being conducted **must be consistent with those on the most recent, approved Registration or Renewal Form**, which have been highlighted below for your reference. Please check the boxes next to the activities currently conducted at the facility. The removal of previously regulated activities is permissible (Once removed, an activity cannot be reinstated without an approved permit). For a full description of each regulated activity see Section 2 of the Aquifer Protection Area Regulations, available online at [planning.townofmanchester.org](http://planning.townofmanchester.org).

- (A) Underground storage or transmission of oil or petroleum, except for (i) a tank that contains number two (2) fuel oil and is located more than five (500) hundred feet from a public supply well or (ii) underground electrical facilities such as transformers, breakers, or cables containing oil for cooling or insulation purposes which are owned and operated by a public service company.
- (B) Oil or petroleum dispensing for the purpose of retail, wholesale or fleet use
- (C) On-site storage of hazardous materials for the purpose of wholesale sale
- (D) Repair or maintenance of vehicles or internal combustion engines of vehicles
- (E) Salvage operations of metal or vehicle parts
- (F) Wastewater discharges to ground water other than domestic sewage and stormwater, except for discharges that have received a permit from the DEP Commissioner pursuant to 22a-430 of the Connecticut General Statutes: (i) a pump and treat system for ground water remediation, (ii) a potable water treatment system, (iii) heat pump system, (iv) non-contact cooling water system, (v) swimming pools
- (G) Car or truck washing (unsewered) – In accordance with DEEP advisement, any facility with unsewered car or truck washing checked as a regulated activity must be able to demonstrate that the washing operation takes place in a discrete location with a containment system in place that does not allow for an uncontrolled discharge.
- (H) Production or refining of chemicals
- (I) Clothes or cloth cleaning service (dry cleaner)
- (J) Industrial laundry service (unsewered)
- (K) Generation of electrical power by means of fossil fuels (power plants), except for (i) generation of electrical power by an emergency engine as defined by 22a-174-22(a)(2) of the Regulations of Connecticut State Agencies, or (ii) generation of electrical power by means of natural gas or propane
- (L) Production of electronic boards, electrical components, or other electrical equipment
- (M) Embalming or crematory services (unsewered)
- (N) Furniture stripping operations
- (O) Furniture finishing operations
- (P) Storage, treatment or disposal of hazardous waste under a RCRA permit
- (Q) Biological or chemical testing, analysis or research (unsewered)
- (R) Pest control services
- (S) Photographic finishing (unsewered)
- (T) Production or fabrication of metal products
- (U) Printing, plate making, lithography, photoengraving, or gravure
- (V) Accumulation or storage of waste oil, anti-freeze or spent lead-acid batteries (recycling facility under a state DEP General Permit)
- (W) Production of rubber, resin cements, elastomers or plastic
- (X) Storage of de-icing chemicals

- (Y) Accumulation, storage, handling, recycling, disposal, reduction, processing, burning, transfer or composting of solid waste (under a state DEP permit; a solid waste facility, landfill, transfer station, composting facility, processing center) except for a potable water treatment sludge disposal area
- (Z) Dying, coating or printing of textiles, or tanning or finishing of leather
- (AA) Production of wood veneer, plywood, reconstituted wood or pressure-treated wood
- (BB) Pulp production processes

## Best Management Practices

- Every regulated activity shall be conducted in accordance with the following:
  - Hazardous materials may be stored above ground within an aquifer protection area only in accordance with the following conditions:
    - Hazardous material shall be stored in a building or under a roof that minimizes storm water entry to the hazardous material storage area, except that a roof is not required for a bulk storage facility as defined in Section 2 of the APA Regulations,
    - Floors within a building or under a roof where hazardous material may be stored shall be constructed or treated to protect the surface of the floor from deterioration due to spillage of any such material,
    - A structure which may be used for storage or transfer of hazardous material shall be protected from storm water run-on, and ground water intrusion,
    - Hazardous material shall be stored within an impermeable containment area which is capable of containing at least the volume of the largest container of such hazardous material present in such area, or 10% of the total volume of all such containers in such area, whichever is larger, without overflow of released hazardous material from the containment area,
    - Hazardous material shall not be stored with other hazardous materials that are incompatible and may create a hazard of fire, explosion or generation of toxic substances,
    - Hazardous material shall be stored only in a container that has been certified to meet state or federal specifications for containers suitable for the transport or storage of such material,
    - Hazardous material shall be stored only in an area that is secured against unauthorized entry by the public, and
    - The requirements of this subdivision are intended to supplement, and not to supersede, any other applicable requirements of federal, state, or local law, including applicable requirements of the Resource Conservation and Recovery Act of 1976;
  - No person shall increase the number of underground storage tanks used to store hazardous materials;
  - An underground storage tank used to store hazardous materials shall not be replaced with a larger tank unless (A) there is no more than a 25% increase in volume of the larger replacement tank, and (B) the larger replacement tank is a double-walled tank with co-axial piping, both meeting new installation component standards pursuant to §22a-449(d)-1(e) and §22a-449(d)-102 of the Regulations of Connecticut State Agencies, and with interstitial monitoring;
  - No person shall use, maintain or install floor drains, dry wells or other infiltration devices or appurtenances which allow the release of waste waters to the ground, unless such release is permitted by the Commissioner in accordance with §22a-430 or §22a-430b of the Connecticut General Statutes; and
  - A materials management plan shall be developed and implemented in accordance with the following:
    - A materials management plan shall contain, at a minimum, the following information with respect to the subject regulated activity:
      - A pollution prevention assessment consisting of a detailed evaluation of alternatives to the use of hazardous materials or processes and practices

that would reduce or eliminate the use of hazardous materials, and implementation of such alternatives where possible and feasible,

- A description of any operations or practices which may pose a threat of pollution to the aquifer, which shall include the following:
  - A process flow diagram identifying where hazardous materials are stored, disposed and used, and where hazardous wastes are generated and subsequently stored and disposed,
  - An inventory of all hazardous materials which are likely to be or will be manufactured, produced, stored, utilized or otherwise handled, and
  - A description of waste, including waste waters generated, and a description of how such wastes are handled, stored and disposed,
- The name, street address, mailing address, title and telephone number of the individual(s) responsible for implementing the materials management plan and the individual(s) who should be contacted in an emergency,
- A record-keeping system to account for the types, quantities, and disposition of hazardous materials which are manufactured, produced, utilized, stored, or otherwise handled or which are discharged or emitted; such record-keeping system shall be maintained at the subject facility and shall be made available thereat for inspection during normal business hours by the Commissioner and the municipal aquifer protection agency, and
- An emergency response plan for responding to a release of hazardous materials. Such plan shall describe how each such release could result in pollution to the underlying aquifer and shall set forth the methods used or to be used to prevent and abate any such a release;
- The materials management plan shall be maintained at the subject facility and shall be made available thereat for inspection during normal business hours by the Commissioner and the municipal aquifer protection agency.



# Town of Manchester

41 Center Street • P.O. Box 191  
Manchester, Connecticut 06045-0191  
[www.manchesterct.gov](http://www.manchesterct.gov)

JAY MORAN, MAYOR  
SARAH JONES, DEPUTY MAYOR  
PAMELA FLOYD-CRANFORD, SECRETARY

DIRECTORS  
ED BOLAND  
PETER CONYERS  
JERALD LENTINI  
JESSEE MUÑIZ POLAND  
ZACHARY REICHELT  
DENNIS SCHAIN

STEVE STEPHANOU, TOWN MANAGER

May 22, 2024

Winstanley Enterprises, LLC  
150 Baker Avenue Extension, Suite 303  
Concord, MA 01742

Dear Aquifer Protection Area Registrant,

Eagle Cleaners at 1143 Tolland Turnpike is a regulated facility as required by the Town of Manchester Aquifer Protection Area Program. The five (5) year registration period for the conduct of registered regulated activities will expire on June 17, 2024. Pursuant to the Town of Manchester Aquifer Protection Area Regulations, the existing Registration for this facility requires renewal. Enclosed is an Aquifer Protection Area Renewal Form to be completed and returned to the Planning and Economic Development Department no later than **June 5, 2024**. Please take this opportunity to review the existing registrant and facility information and update any information related to the operator or ownership of the regulated activity by making the appropriate changes on the Renewal Form.

It is your responsibility to review the requirements listed on the form. At the time that the facility was originally registered, the registrant certified to conduct regulated activities in accordance with required Best Management Practices. To renew the registration, the registrant and operator, if different than the registrant, must again certify that each regulated activity is conducted in compliance with all the best management practices as set forth in Section 12 of the Aquifer Protection Area Regulations. Please review the attachment titled *Best Management Practices*.

**Registration Transfers and Permit Applications:** Please be advised that any person not identified on the current Registration who wishes to assume the conduct of regulated activities at this facility shall, prior to commencement, apply to the Aquifer Protection Agency to transfer the Registration. Additionally, any person may apply for a permit to add a regulated activity to a facility where a registered regulated activity occurs. ***The attached Renewal Form is not a transfer form or a permit application.*** A registration transfer form or permit application is available at <https://www.manchesterct.gov/Government/Departments/Planning-and-Economic-Development/Development-Applications-Regulations-and-Maps/Aquifer-Protection-Agency-Application-Procedure>. A renewal form, signed by the current registrant, must still be submitted even if a transfer is also being requested.

The Aquifer Protection Area program is designed to protect our drinking water resources from defined sources of contamination. Under the terms of the registration, the Town of Manchester has the right to conduct periodic inspections of regulated activities in order to ensure continuing compliance with the required best management practices that have been certified on the subject Registration Form.

If you have any questions regarding the renewal of your registration or the Aquifer Protection Area program, please feel free to call me at (860) 647-3046.

Sincerely,

  
David Laiuppa,  
Environmental Planner/Wetlands Agent



# Town of Manchester Aquifer Protection Area Renewal Form

This form is for the sole purpose of renewing existing registrations for conducting regulated activities in Aquifer Protection Areas as required by Sec. 8 (f) (4) of the Town of Manchester Aquifer Protection Area Regulations. Please complete this form to ensure the proper handling of your renewal. Print or type unless otherwise noted. There is no fee required for renewal.

## Part I: Registrant Information:

### Registrant and Facility Info:

The following information is provided as it is found on the current Registration Form. For the purposes of this renewal, the **Registrant and the Regulated Activities must be consistent with those on the current, approved Registration Form**. To change the Registrant or add regulated activities, you must first obtain approval from the Aquifer Protection Agency; please contact the Planning and Economic Development Department at 860-647-3044 for assistance.

<b>Registrant:</b>	<b>Winstanley Enterprises, LLC</b>
<b>Registrant's interest:</b>	<b>facility owner</b>
<b>Registration Number:</b>	<b>24</b>
<b>Facility (Company):</b>	<b>Eagle Cleaners</b>
<b>Facility Address:</b>	<b>1143 Tolland Turnpike</b>
<b>Regulated Activities:</b>	<b>(I) For detailed descriptions, please refer to the attached Regulated Activities list.</b>

Below, please note any changes to the owner or operator, if different than the registrant. The information currently on record is provided on the left. If the owner or operator has changed, please provide the new information on the right.

<b>Facility Owner Information</b>	
<p style="text-align: center;"><b>Current Info on File:</b></p> <p>Facility Owner Name: Eagle Cleaners            Title:            Mailing Address: 1143 Tolland Turnpike            City/Town: Manchester            State: CT                      Zip Code: 06040            Contact Person:            Title:            Business Phone: (860) 643-9095 Ext.            Fax:            Email:</p>	<p style="text-align: center;"><b>New Info (If Applicable):</b></p> <p>Facility Owner Name: _____            Mailing Address: _____            City/Town: _____            State: _____ Zip Code: _____            Contact Person: _____            Title: _____            Business Phone: _____ Ext.: _____            Fax: _____            E-mail: _____</p>
<b>Facility Operator Information</b>	
<p style="text-align: center;"><b>Current Info on File:</b></p> <p>Facility Operator Name: Eagle Cleaners            Title:            Street Address: 1143 Tolland Turnpike            City/Town: Manchester            State: CT Zip Code: 06040            Contact Person:            Title:            Business Phone: (860) 643-9095 Ext.            Fax:            E-mail:</p>	<p style="text-align: center;"><b>New Info (If Applicable):</b></p> <p>Facility Operator Name: _____            Street Address: _____            City/Town: _____            State: _____ Zip Code: _____            Contact Person: _____            Title: _____            Business Phone: _____ Ext. _____            Fax: _____            E-mail: _____</p>

## Part II: Certification of Best Management Practices

The registrant and operator, if different from the registrant, must certify that the facility is in compliance with all the best management practices set forth in Section 12 of the Aquifer Protection Area Regulations (see attached document titled "Best Management Practices"). **The registrant and the operator, if different from the registrant, must sign this part.** A renewal will be considered incomplete unless the required signatures are provided.

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"I certify that the subject facility is in compliance with all the best management practices set forth in Section 12 of the Aquifer Protection Area Regulations. I have checked the box by each of the following statements as verification that the subject facility is in compliance with all applicable best management practices."

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- Devices for release of wastewaters to the ground shall not be used except in accordance with Section 12(a)(4) of the Aquifer Protection Area Regulations.
- A Materials Management Plan has been developed in accordance with Section 12(a)(5) of the Aquifer Protection Area Regulations and will be implemented upon issuance of a registration.

\_\_\_\_\_  
Signature of Registrant (If Registrant is a business, signature of an authorized employee)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name of Registrant (print or type; must match Part I)

\_\_\_\_\_  
Title (if applicable)

\_\_\_\_\_  
Signature of Operator (if different than above)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name of Operator (print or type)

\_\_\_\_\_  
Title (if applicable)

## Part III: Registrant Certification

**The registrant *and* the individual(s) responsible for actually preparing the registration must sign this part.**  
A renewal will be considered incomplete unless all required signatures are provided.

“I have personally examined and am familiar with the information submitted in the Aquifer Protection Area Registration and all attachments, and I certify, based on reasonable investigation, including my inquiry of the individuals responsible for obtaining the information, the submitted information remains true, accurate and complete, to the best of my knowledge and belief.

I understand that any false statement made in the submitted information is punishable as a criminal offense, under Section 53a-157b of the General Statutes and any other applicable law.

I understand that the agency or its duly authorized agent may make regular inspections of the facility and associated property, except a private residence, at reasonable hours.

I certify that this renewal is on complete and accurate forms as prescribed by the Agency, without alteration of the text.”

\_\_\_\_\_  
Signature of Registrant (If Registrant is a business,  
signature of an authorized employee)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name of Registrant (print or type; must match Part I)

\_\_\_\_\_  
Title (if applicable)

\_\_\_\_\_  
Signature of Preparer (if different than above)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name of Preparer (print or type)

\_\_\_\_\_  
Title (if applicable)

Check here if additional signatures are required. If so, please reproduce this sheet and attach signed copies to this sheet.

Please submit the Renewal Form and all supporting documents to:

Town of Manchester  
Planning and Economic Development Department  
494 Main Street  
P.O. Box 191  
Manchester, CT 06045-0191

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## Regulated Activities List

The Regulated Activities currently being conducted **must be consistent with those on the most recent, approved Registration or Renewal Form**, which have been highlighted below for your reference. Please check the boxes next to the activities currently conducted at the facility. The removal of previously regulated activities is permissible (Once removed, an activity cannot be reinstated without an approved permit). For a full description of each regulated activity see Section 2 of the Aquifer Protection Area Regulations, available online at [planning.townofmanchester.org](http://planning.townofmanchester.org).

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- (B) Oil or petroleum dispensing for the purpose of retail, wholesale or fleet use
- (C) On-site storage of hazardous materials for the purpose of wholesale sale
- (D) Repair or maintenance of vehicles or internal combustion engines of vehicles
- (E) Salvage operations of metal or vehicle parts
- (F) Wastewater discharges to ground water other than domestic sewage and stormwater, except for discharges that have received a permit from the DEP Commissioner pursuant to 22a-430 of the Connecticut General Statutes: (i) a pump and treat system for ground water remediation, (ii) a potable water treatment system, (iii) heat pump system, (iv) non-contact cooling water system, (v) swimming pools
- (G) Car or truck washing (unsewered) – In accordance with DEEP advisement, any facility with unsewered car or truck washing checked as a regulated activity must be able to demonstrate that the washing operation takes place in a discrete location with a containment system in place that does not allow for an uncontrolled discharge.
- (H) Production or refining of chemicals
- (I) Clothes or cloth cleaning service (dry cleaner)
- (J) Industrial laundry service (unsewered)
- (K) Generation of electrical power by means of fossil fuels (power plants), except for (i) generation of electrical power by an emergency engine as defined by 22a-174-22(a)(2) of the Regulations of Connecticut State Agencies, or (ii) generation of electrical power by means of natural gas or propane
- (L) Production of electronic boards, electrical components, or other electrical equipment
- (M) Embalming or crematory services (unsewered)
- (N) Furniture stripping operations
- (O) Furniture finishing operations
- (P) Storage, treatment or disposal of hazardous waste under a RCRA permit
- (Q) Biological or chemical testing, analysis or research (unsewered)
- (R) Pest control services
- (S) Photographic finishing (unsewered)
- (T) Production or fabrication of metal products
- (U) Printing, plate making, lithography, photoengraving, or gravure
- (V) Accumulation or storage of waste oil, anti-freeze or spent lead-acid batteries (recycling facility under a state DEP General Permit)
- (W) Production of rubber, resin cements, elastomers or plastic
- (X) Storage of de-icing chemicals

- (Y) Accumulation, storage, handling, recycling, disposal, reduction, processing, burning, transfer or composting of solid waste (under a state DEP permit; a solid waste facility, landfill, transfer station, composting facility, processing center) except for a potable water treatment sludge disposal area
- (Z) Dying, coating or printing of textiles, or tanning or finishing of leather
- (AA) Production of wood veneer, plywood, reconstituted wood or pressure-treated wood
- (BB) Pulp production processes

## **Best Management Practices**

- Every regulated activity shall be conducted in accordance with the following:
  - Hazardous materials may be stored above ground within an aquifer protection area only in accordance with the following conditions:
    - Hazardous material shall be stored in a building or under a roof that minimizes storm water entry to the hazardous material storage area, except that a roof is not required for a bulk storage facility as defined in Section 2 of the APA Regulations,
    - Floors within a building or under a roof where hazardous material may be stored shall be constructed or treated to protect the surface of the floor from deterioration due to spillage of any such material,
    - A structure which may be used for storage or transfer of hazardous material shall be protected from storm water run-on, and ground water intrusion,
    - Hazardous material shall be stored within an impermeable containment area which is capable of containing at least the volume of the largest container of such hazardous material present in such area, or 10% of the total volume of all such containers in such area, whichever is larger, without overflow of released hazardous material from the containment area,
    - Hazardous material shall not be stored with other hazardous materials that are incompatible and may create a hazard of fire, explosion or generation of toxic substances,
    - Hazardous material shall be stored only in a container that has been certified to meet state or federal specifications for containers suitable for the transport or storage of such material,
    - Hazardous material shall be stored only in an area that is secured against unauthorized entry by the public, and
    - The requirements of this subdivision are intended to supplement, and not to supersede, any other applicable requirements of federal, state, or local law, including applicable requirements of the Resource Conservation and Recovery Act of 1976;
  - No person shall increase the number of underground storage tanks used to store hazardous materials;
  - An underground storage tank used to store hazardous materials shall not be replaced with a larger tank unless (A) there is no more than a 25% increase in volume of the larger replacement tank, and (B) the larger replacement tank is a double-walled tank with co-axial piping, both meeting new installation component standards pursuant to §22a-449(d)-1(e) and §22a-449(d)-102 of the Regulations of Connecticut State Agencies, and with interstitial monitoring;
  - No person shall use, maintain or install floor drains, dry wells or other infiltration devices or appurtenances which allow the release of waste waters to the ground, unless such release is permitted by the Commissioner in accordance with §22a-430 or §22a-430b of the Connecticut General Statutes; and
  - A materials management plan shall be developed and implemented in accordance with the following:
    - A materials management plan shall contain, at a minimum, the following information with respect to the subject regulated activity:
      - A pollution prevention assessment consisting of a detailed evaluation of alternatives to the use of hazardous materials or processes and practices

that would reduce or eliminate the use of hazardous materials, and implementation of such alternatives where possible and feasible,

- A description of any operations or practices which may pose a threat of pollution to the aquifer, which shall include the following:
  - A process flow diagram identifying where hazardous materials are stored, disposed and used, and where hazardous wastes are generated and subsequently stored and disposed,
  - An inventory of all hazardous materials which are likely to be or will be manufactured, produced, stored, utilized or otherwise handled, and
  - A description of waste, including waste waters generated, and a description of how such wastes are handled, stored and disposed,
- The name, street address, mailing address, title and telephone number of the individual(s) responsible for implementing the materials management plan and the individual(s) who should be contacted in an emergency,
- A record-keeping system to account for the types, quantities, and disposition of hazardous materials which are manufactured, produced, utilized, stored, or otherwise handled or which are discharged or emitted; such record-keeping system shall be maintained at the subject facility and shall be made available thereat for inspection during normal business hours by the Commissioner and the municipal aquifer protection agency, and
- An emergency response plan for responding to a release of hazardous materials. Such plan shall describe how each such release could result in pollution to the underlying aquifer and shall set forth the methods used or to be used to prevent and abate any such a release;
- The materials management plan shall be maintained at the subject facility and shall be made available thereat for inspection during normal business hours by the Commissioner and the municipal aquifer protection agency.

**DRAFT**

**TOWN OF MANCHESTER  
MINUTES OF AQUIFER PROTECTION AGENCY  
JUNE 17, 2024**

**MEMBERS PRESENT:**

In Person: Eric Prause, Chairman  
Patrick Kennedy, Vice Chairman  
Michael Stebe, Secretary  
Teresa Ike  
Chris Schoeneberger  
Michael Farina

**ALTERNATE MEMBERS SITTING:**

In Person: Sara Van Buren

**ABSENT:**

Daniela Luna  
Maliha Ahsan  
Zachary Schurin

**ALSO PRESENT:**

In Person: Gary Anderson, Director of Planning and Economic  
Development  
Megan Pilla, Principal Development Planner  
Electronically: Nancy Martel, Recording Secretary

The Chairman opened the Aquifer Protection Agency meeting at 8:55 P.M.

**AQUIFER PROTECTION AGENCY REGISTRATION RENEWAL REPORT**

Ms. Pilla reported that there has been one renewal in the Aquifer Protection Agency for 405 New State Road, due for renewal on June 3<sup>rd</sup>.

**MOTION:** Mr. Kennedy moved to adjourn the Aquifer Protection Agency meeting. Mr. Farina seconded the motion and all members voted in favor.

The Aquifer Protection Agency meeting closed at 9:00 P.M.

I certify these minutes were adopted on the following date:

\_\_\_\_\_  
Date

\_\_\_\_\_  
Eric Prause, Chairman

**NOTICE: A DIGITAL RECORDING OF THIS MEETING CAN BE HEARD IN THE PLANNING DEPARTMENT.**