

**TOWN OF MANCHESTER  
PLANNING AND ZONING COMMISSION**

July 15, 2024  
7:00 P.M.

Lincoln Center Hearing Room, 494 Main Street  
Or virtually, via Zoom

**AGENDA**

This meeting will be held both in person and virtually, via Zoom. The meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to speak at or attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting> by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting and will be allowed to speak when directed by the Chairman. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to [pzccomments@manchesterct.gov](mailto:pzccomments@manchesterct.gov), or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.

*PUBLIC HEARING:*

1. **LUZERN ASSOCIATES LLC** – Inland wetland permit and special exception under Art. II, Sec. 16.15.02 (a), (b), and (c) for construction of a 144,074 sq. ft. distribution center/warehouse at 71 and 81 Commerce Road.
  - Inland Wetland Permit (IWP-0008-2024)
  - Special Exception (PSE-0004-2024)
2. **DWRE EAST CENTER, LLC** – Change of zone from Residence B to Business III for two small portions of the site at 25 East Center Street and 443 & 463 Main Street.
  - Zone Change (ZC-0001-2024)

*BUSINESS:*

1. **LUZERN ASSOCIATES LLC** – Inland wetland permit and special exception under Art. II, Sec. 16.15.02 (a), (b), and (c) for construction of a 144,074 sq. ft. distribution center/warehouse at 71 and 81 Commerce Road.
  - Inland Wetland Permit (IWP-0008-2024)
  - Special Exception (PSE-0004-2024)
  - Erosion & Sedimentation Control Plan (ESC-0004-2024)
2. **DWRE EAST CENTER, LLC** – Change of zone from Residence B to Business III for two small portions of the site at 25 East Center Street and 443 & 463 Main Street.
  - Zone Change (ZC-0001-2024)

3. **HIGHLAND PARK MARKET OF MANCHESTER RE LLC** – Building additions and parking modification to Highland Park Market at 307 Highland Street.
  - Special Exception Modification (PSE-0005-2024)
  
4. **TOWN OF MANCHESTER/BENESCH** – Demolition of the existing bank building and site preparation for construction of a new Manchester Public Library at 1041 Main Street, 18 & 22 Maple Street, and 25 Eldridge Street.
  - Erosion & Sedimentation Control Plan (ESC-0005-2024)
  
5. **ADMINISTRATIVE REPORTS**
  - Upcoming Training Opportunities
  - Rules of Procedure Update
  
6. **APPROVAL OF MINUTES**
  - July 1, 2024 – Business Meeting/Aquifer Protection Agency Meeting
  
7. **RECEIPT OF NEW APPLICATIONS**

**TOWN OF MANCHESTER  
LEGAL NOTICE**

The Planning and Zoning Commission will hold a public hearing on July 15, 2024 at 7:00 P.M., both virtually and in person in the Lincoln Center Hearing Room, 494 Main Street, Manchester, Connecticut, to hear and consider the following petitions:

**LUZERN ASSOCIATES LLC – Inland Wetland Permit (IWP-0008-2024); Special Exception (PSE-0004-2024)** – Inland wetland permit and special exception under Art. II, Sec. 16.15.02 (a), (b), and (c) for construction of a 144,074 sq. ft. distribution center/warehouse at 71 and 81 Commerce Road, Industrial zone.

**DWRE EAST CENTER, LLC – Zone Change (ZC-0001-2024)** – Change of zone from Residence B to Business III for two small portions of the site at 25 East Center Street and 443 & 463 Main Street, Business III and Residence B zones.

At this hearing interested persons may be heard, either in person or virtually via Zoom, and written communications received. This meeting will be shown live on Cox Channel 16 and streamed live at <http://www.channel16.org/CablecastPublicSite/watch/1?channel=1>. Individuals who wish to speak at or attend the virtual meeting must complete a Request to Attend Virtually form, available at <https://manct.us/meeting>, by 4:00 p.m. on the day of the meeting. These individuals will need to join the Zoom meeting and will be allowed to speak when directed by the Chairman. Zoom meeting information will be sent to individuals who complete a Request to Attend Virtually form. Only individuals who complete a Request to Attend Virtually form will be allowed to join the Zoom meeting. A physical location and electronic equipment will be provided for the public to use if a written request is received at least 24 hours in advance, via email to [pzcomments@manchesterct.gov](mailto:pzcomments@manchesterct.gov), or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191.


Individuals may also submit comments in writing to the Planning and Economic Development Department via email to [pzcomments@manchesterct.gov](mailto:pzcomments@manchesterct.gov), or by mail to the Planning Department, 494 Main Street, P.O. Box 191, Manchester, CT 06045-0191. All written comments received by 4:00 p.m. on the day of the meeting will be presented and recorded as part of the hearing.

A copy of the proposed zoning district change may be reviewed online at <https://www.manchesterct.gov/Government/Departments/Planning-and-Economic-Development>; by contacting the Town Clerk's office at [townclerkdept@manchesterct.gov](mailto:townclerkdept@manchesterct.gov) or (860) 647-3037 to request a PDF by email; or in the Planning and Economic Development Department, 494 Main Street, during regular business hours, 8:30 – 4:30, Monday through Friday. Information about this application will be available online at <https://Manchesterct.gov/pzc> by the Friday before the hearing.

Planning and Zoning Commission  
Eric Prause, Chair

**TOWN OF MANCHESTER  
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

**TO:** Planning & Zoning Commission

**FROM:** Megan Pilla, Principal Development Planner 

**DATE:** July 11, 2024

**RE:** Luzern Associates LLC – 71 & 81 Commerce Road  
Special Exception (PSE-0004-2024)  
Erosion & Sedimentation Control Plan (ESC-0004-2024)  
Inland Wetland Permit (IWP-0008-2024)

***Introduction***

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The applicant is seeking approval of a special exception in accordance with Art. II, Sec. 16.15.02(a), (b), and (c) to develop a 144,074 sq. ft. warehouse distribution building at 71 & 81 Commerce Road, as well as an inland wetland permit and certification of an erosion and sedimentation control plan.

Because the properties are located in the Buckland Industrial Park II, development is subject to the requirements of the Industrial Park Regulations (attached) in addition to the Zoning Regulations.

***Project Description***

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The two parcels combined create a 19.98-acre site located at the cul-de-sac of Commerce Road, which is bounded by I-291 to the north and the East Hartford town line to the west. The parcel to the east is undeveloped, and the parcel to the south contains an industrial building currently occupied by a plastic fabrication company. Nearby uses on Commerce Road and Batson Drive are industrial, and a residential neighborhood is located to the west in East Hartford. The currently undeveloped site was leveled and prepared for development following approval of the industrial park subdivision in 2000.

The applicant proposes the construction of a new 144,074 sq. ft. warehouse distribution building which would accommodate up to three (3) tenants, including 28 loading docks, 2 drive-in doors, 15 trailer storage spaces and 127 parking spaces. The northern portion of the site would remain undeveloped with access retained for the existing easement in favor of the Hartford Electric Light Co., which operates and maintains utility poles and overhead wires on that part of the site.

Renderings of the proposed building are included at the end of the attached plan set. The building façade includes changes in color (neutral tones of gray to white) and geometry to

visually break up large expanses of wall. On the east side of the building, the loading docks and drive-in doors span the length of the building, while the south and west sides include covered pedestrian entrances. Egress doors are located on all sides of the building.

### Traffic & Parking

As proposed, vehicular access to the site would be via a single driveway off of the Commerce Road cul-de-sac. An access road would loop around the building, as required for emergency vehicle access. The 28 loading docks and 2 drive-in doors are located on the east side of the building, and 15 trailer storage spaces are located on the north side. Large trucks would be limited to these areas; signage and a height clearance bar are shown to prevent tractor trailers from continuing around to the west and south sides of the building. Only personal vehicles will be allowed in those areas, where the 127 parking spaces are located.

A traffic report provided by F.A. Hesketh & Associates indicates that the anticipated traffic that would be generated by the proposed development can readily be accommodated by the existing roadway network without a significant impact to existing traffic operations.

### Stormwater Management

In the existing undeveloped condition, the portion of the site where the proposed building would be located is relatively flat, having been leveled in 2000 following the subdivision approval. This level area is at a higher elevation than its surroundings, so any surface runoff flows downhill to the west, north, and east. An existing detention basin to the east was part of the approved subdivision and is intended to collect stormwater for the industrial park.

As proposed, roof water from the building would drain directly into the existing detention basin, and stormwater from the rest of the site would be conveyed through a system of catch basins and leak-offs into three (3) new detention basins – one on the west side of the building, one to the northeast, and a smaller one immediately off of the entrance from Commerce Road. These basins are also intended to function as created wetlands in order to offset the filling of existing wetlands, and will be vegetated with wetland plants (this is discussed further below).

### Landscaping & Screening

As shown on sheet C4.1 of the attached plan set, the clearing of existing trees will be limited to the area of construction; existing vegetation will be allowed to remain beyond the construction limits. An additional row of evergreen trees is shown along the western edge of the detention basin on the west side in order to provide additional screening from the residential properties. Slightly to the north of that, a combination of a retaining wall, wood fence, and evergreen plants is shown for the same purpose.

It should be noted that the Industrial Park Regulations require a minimum building setback of 150 feet from existing residences. The proposal exceeds this requirement. In an effort to further

limit any nuisance to the abutting residences, the loading docks are intentionally located on the east side of the building, and truck circulation is limited to the east and north sides.

### Utilities

The site is served by Town water and sewer. The anticipated utility demand of the proposed development is not expected to have any adverse impact on these systems.

### ***Issuance of Wetland Permit***

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After considering all relevant facts and circumstances, and in accordance with Section 5.3 of the Inland Wetlands and Watercourses Regulations, the Commission may approve this application as filed; grant it upon other terms, conditions, limitation, or modifications of the regulated activities as they deem appropriate; or deny it.

In evaluating applications in which the Agency relied in whole or in part on information provided by the applicant, if such information subsequently proves to be false, deceptive, incomplete or inaccurate, the permit may be modified, suspended or revoked.

*At its meeting on July 1, 2024, the Commission, acting in its capacity as the Inland Wetlands Agency, determined that the proposed development may have a significant impact on the existing wetlands, and therefore requires a public hearing. **The applicant must also provide additional description of the following:***

- *Description of the ecological communities and function and values of the wetlands and the effects of the proposed activities on these communities and wetland functions;*
- *Description of any prudent and feasible alternatives considered which would cause less or no environmental impact to the wetlands;*
- *Analysis of chemical and physical characteristics of any fill material;*
- *Soil sample data (only if the area is believed to contain poorly drained, alluvial, and/or floodplain soils).*

### Wetland Impacts

As proposed, the development would involve the filling of several pocket wetlands that have developed since the leveling of the site in 2000. The applicant proposes to mitigate this impact by creating new wetlands in the three (3) proposed detention basins. These created wetlands, which would total approximately 0.97 acres, are detailed on sheet C5.1 of the attached plan set.

The total proposed area of **direct disturbance within the wetland area is 0.77 acres, and the direct disturbance within the upland review area is 8.36 acres.** [NOTE: These numbers are provided by the applicant.]

### ***Erosion & Sedimentation Control Plan***

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Erosion and sedimentation controls for the project, highlighted on sheet C7.1 of the attached plan set, include a dedicated construction entrance with anti-tracking pad off of Commerce Road, concrete washout area, and soil stockpile area surrounded by silt fence. Silt fencing is shown around the perimeter of the entire work area. The three (3) proposed detention basins are identified for use as temporary sediment basins during construction, with temporary swales for conveyance of runoff. Erosion control blanket is shown on areas with steep slopes, and inlet protection is shown at all new drain structures.

### ***For the Commission's Consideration***

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The Commission should consider whether the proposed development meets the special exception criteria outlined in Art. IV, Sec. 20 of the Zoning Regulation, as well as the requirements of the Industrial Park Regulations (attached).

For the inland wetland permit, the Commission should consider whether the applicant has satisfactorily considered all prudent and feasible alternatives to avoid environmental impact to the existing wetlands, as well as whether the proposed mitigation sufficiently offsets the impacts.

### ***Economic Development Commission (EDC)***

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In addition to PZC approval, EDC approval is required in accordance with Section VIII of the Industrial Park Regulations. At its meeting on July 11, 2024, the EDC unanimously approved the proposal.

### ***Staff Review***

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Town staff has reviewed the plans and documents submitted with the application and the status of any outstanding comments will be provided at the July 15, 2024 meeting.

The Conservation Commission has reviewed the proposal and provided the following comments for consideration:

1. The project does not seem suitable for this site because of the amount of impacts (direct and indirect) to at least 6 existing wetlands.
2. It is always the preference to save wetlands rather than to create new ones. Existing wetlands are known to function. Proposed wetlands are not proven to function until several years after they are created. It is understood that the project may need to fill in wetlands and create new ones, but it is a stretch to say definitively that the new wetlands will be higher functioning than the existing ones (that is a hope not a fact).

3. The applicant has not presented or discussed any alternatives that reduce the impacts to regulated resources.
4. The applicant states that there was an investigation of a potential vernal pool – a copy of that study should be presented.
5. The applicant made a statement that if the wetlands were left to mature, they would “shrink or transition into uplands”. This statement is pure conjecture and is not supported by any science. These wetlands, by admission of the applicant, were formed over 20 years ago. In those 2 decades the wetlands have persisted.
6. There seems to have been no attempt by the applicant to avoid any wetland impacts.
7. The plan, as presented, proposed many more parking spaces than required. As a spec build with no tenant, there is no way for the applicant to prove the need to have more spaces than required.
8. All proposed plantings should be native species.

mp

R:\Planning\PZC\2024\07 - July 15\Packet\PSE-0004, ESC-0004, IWP-0008-2024 (71-81 Commerce) - Memo.docx

Attach.



# Town of Manchester, CT



Geographic Information  
Systems

## 71 & 81 COMMERCE ROAD

### Legend

Zoning

- IND - Industrial
- PRD - Planned Residence  
Development
- RR - Rural Residence

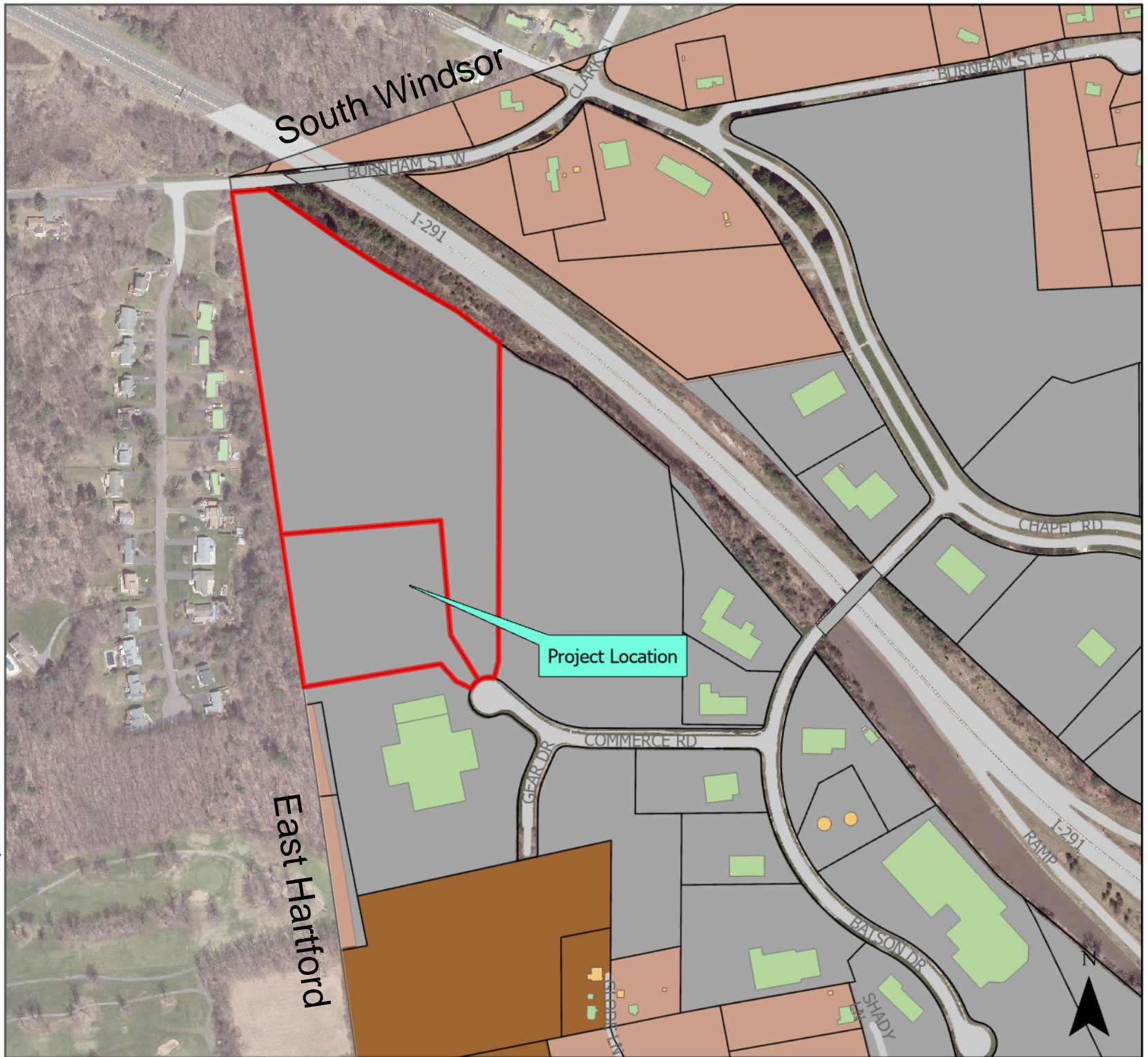
**DISCLAIMER:**  
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

**NOTES:**  
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.

0 70 140 280 420 560  
Feet

1 inch = 400 ft

Date: 6/25/2024



# **TRACCONSULTING**

Construction-Development Consultants  
40 Rita Drive, New Fairfield, CT 06812

May 30, 2024

Planning and Economic Development  
Lincoln Center  
494 Main Street  
Manchester, CT 06045

Re: Project Narrative  
71 & 81 Commerce Road  
Manchester, CT

The proposed project consist of a 144,074 SF warehouse distribution building with 28 loading docks, 2 drive in doors, 15 trailer storage spaces and parking for 127 automobiles located on the combined properties of 71 and 81 Commerce Road with a total acreage of 19.980.

The properties are zoned "I" Industrial and part of an industrial subdivision approved by the PZC in 2000. Accessed to the site is off of Commerce Road and bounded by industrial zoned properties to the east and south, residential zoned properties to the west in East Hartford and interstate 291 to the north.

Although the planned uses; warehouse, light industrial and manufacturing are as of right, the project requires a Special Use Exception per Article II section 16.15.02 since it exceeds 4-acres, 60 parking spaces and more than 7 loading docks.

## Special Exception Criteria

Review of the special exception use by the Planning and Zoning Commission shall be based on the criteria defined in Article IV Section 20.01 of the zoning regulations.

- (a) Suitable Location for Use. The project use is suitable for the location since the property is part of an approved industrial subdivision which contemplated the use proposed. Furthermore the use is in accordance with the Plan of Conservation and Development which designates this area as a the special industrial zone (SP-IND) suitable for truck circulation, large building footprints and uses including warehouse and manufacturing.
- (b) Suitable Structures for Use. The proposed structure is suitable for this site and the subdivision in that its location and size is consistent with the location and size of buildings shown on the concept plans contained in the subdivision approvals. Of the 5-lots contained in this subdivision only one lot has been developed. Development of these two lots will promote the development of the remaining two lots which is consistent with the plan of Conservation and Development. The properties abut residential properties to the west in East

Hartford. This was also contemplated when the subdivision was approved with the requirement that the building is set back from the residences 150'. The planned development complies with this along with preserving trees and vegetation as a buffer.

- (c) Neighborhood Compatibility. As discussed in (a) and (b) this project is in an industrial zone. The design complies with the zoning regulations. We have designed the project in consideration of the residential properties by placing the loading docks on the east side away from the residences, setting back the building 150' plus and have maintained and enhanced the natural buffers.
- (d) Adequate Parking and Access. The development contains parking for 127 automobiles including required accessible spaces and EV charging spaces. According to the Parking Generation Manual by the Institute of Transportation Engineers, this project as a warehouse use would require 56 parking spaces. Access to the site is via Commerce Road with a single in and out driveway with stop sign.
- (e) Adequate Streets for Use. The site is access via Chapel Road to Batson Drive to Commerce Road. According to the traffic report prepared by F.A.Hesketh Associates the traffic generated by the proposed development can readily be accommodated by the existing roadway network without a significant impact to existing traffic operations.
- (f) Adequate Emergency Access. The site is laid out with a roadway circulating the building that provides access to all parts of the building by emergency vehicles and fire trucks. Fire hydrants are located at required intervals for firefighting.
- (g) Adequate Public Utilities. As part of the construction of Commerce Road utilities to accommodate the property including water, sewer, gas and electric were installed. Also as part of the subdivision a storm water system was installed connected to the retention basin located on both 71 and 51 Commerce Road.
- (h) Environmental Protection and Conservation. The existing site was cleared and leveled and generally made ready for development consistent with the approved subdivision plans back in 2001. Over the years the site was left vacate and in low spots wetland areas developed in the areas slated for development. The plan for the site is to regrade the site including the wetland areas in the building pad and create new wetlands as designated in the plans. See wetlands application and report. Because the site was cleared and leveled there are no specimen trees with in the development to save. The storm water system will incorporate three (3) water quality basins to treat storm water before draining into the existing storm water retention basin or drainage easement. The proposed project implements sustainable initiatives; the roof is designed to accept solar, electric vehicle charging stations are provided and the building is designed in accordance with the latest energy efficiency standards.
- (i) Consistent with Purposes. The project complies with the zoning regulations and the Plan for of Conservation and Development, will provide greater control over storm water, will establish additional permanent wetland areas to promote wild life and provides for economic growth.
- (j) Integration of Use. Does not apply



- Soil & Wetland Studies
- Ecology • Application Reviews
- Listed Species Surveys • GPS
- Environmental Planning & Management
- Ecological Restoration & Habitat Mitigation
- Expert Testimony • Permitting

June 7, 2024

VIA E-MAIL

Town of Manchester  
Inland Wetlands & Watercourses Agency  
41 Center Street  
Manchester, CT 06045

**ATTN:** Mr. Eric Prause, Chairman

**RE:** **WETLANDS ASSESSMENT - *Summary of Findings***  
**Proposed Distribution Warehouse**  
71 & 81 Commerce Road, Manchester, CT  
*REMA Job #24-2666-MAN44*

Dear Chairman Prause and Agency Members:

At the request of the applicant, LFF Commerce JV, LLC, REMA ECOLOGICAL SERVICES, LLC (REMA), has prepared this *Wetlands Assessment: Summary of Findings* to be submitted as part of an application before the Town of Manchester's Inland Wetlands and Watercourses Agency, to conduct regulated activities at the above-referenced property. This is pursuant to the provisions of the Inland Wetlands and Watercourses Act, Connecticut General Statutes Section 22a-28 through 22a-45d, inclusive, and the Inland Wetlands and Watercourses Regulations of the Town of Manchester (adopted November 14<sup>th</sup>, 1975, and effective January 3<sup>rd</sup>, 2014).

The primary objective of this report is to provide the Agency with brief descriptions and characterizations of the regulated wetlands and watercourses associated with the subject site, an assessment of their ability to provide various functions and values, and to analyze potential short-term and long-term impacts to these resources. Moreover, mitigation strategies that offset the impacts will be presented and discussed, which include compensatory wetland mitigation.



## **1.0 Introduction & Overview**

The subject site (or “property”) is located at the end of Commerce Road, in Manchester, CT (see Figures 1 and 2 attached), to the north of an existing industrial building (i.e., AGA-PGT Plastics Gearing Tech), to the east of the East Hartford – Manchester municipal boundary, and to the southwest of the Interstate 291 transportation corridor. The site is situated at the northwest corner of the Town of Manchester. An electric power right-of-way (i.e., Eversource) traverses the northern portion of the site, and a portion of a constructed detention basin occurs within its eastern extent.

The applicant is proposing to construct a 144,000 square foot distribution warehouse with associated parking, truck loading, trailer parking, stormwater management facilities, and other infrastructure improvements. The subject site, which encompasses approximately 19.98 acres, includes a relatively recently disturbed, nearly level area which was graded and prepared for an approved two building industrial development, which was subsequently not constructed. The earthwork took place sometime between 2001 and 2003 (see Figures 3 and 4, attached). This level area is currently a mosaic of scrub shrub and meadow, including both uplands and wetlands, to be further described below. The site also includes a wooded strip along a steep slope located along the western property boundary, as well as young woods, and scrub shrub and vine tangles.

Plant species composition reflects the site’s fine to very fine textured sandy soil, and its history of past activities, as shown in reviewed on-line archival aerial photography (i.e., CTECO, UConn Magic, CT State Library) for the following flight years: 1934, 1951, 1965, 1970, 1986, 1990, 1995, and 2004 (see Figures 3 and 4, for example).

For this report, REMA reviewed plans prepared by Alford Associates, Inc., of Windsor, Connecticut. The set of plans (16 sheets) are entitled “*Site Plan, Prepared for LFF Commerce JV, LLC, 71 Commerce Road and 81 Commerce Road, Manchester, Connecticut,*” dated May 6, 2024.

This report is a *Summary of Findings* that provides a brief “*description of the ecological communities and functions of the wetlands or watercourses involved with the application and the effects of the proposed regulated activities on these communities and wetland functions,*” as required by Section 4.4(b) of the Town of Manchester Inland Wetland and Watercourses Regulations.



Wetlands were delineated and characterized by REMA, beginning on 10-27, and 11-30-2023. Additional site investigation to delineate wetland resources and compile baseline data was conducted on 2-12, 3-18, and 5-22-2024. Wetland boundaries were delineated by REMA Registered Soil Scientist George T. Logan during the first three of the aforementioned site visits. A REMA *On-Site Soil Investigation & Wetland Delineation Report* (the “Wetland Delineation Report”) dated May 24, 2024, supporting the wetland delineations, is being submitted separately.

We note that REMA reviewed secondary source data, including archival aerial photographs, previously mentioned, and also more recent aerial photography for flight years 1990 through 2023 (Google Earth). We also reviewed USGS topographic maps, including historic ones (e.g., 1954), CTECO Resource Maps, the State of Connecticut Soil Survey (USDA-NRCS) (attached to the Wetland Delineation Report), and several CT DEEP GIS-based resource maps (e.g., surficial and bedrock geology, etc.).

Attached to this *Summary of Findings* we provide several annotated photographs, primarily of the site’s regulated resources, as well as other pertinent features of the site (see Photos 1 through 18, attached).

## **2.0 Existing Conditions**

### **2.1 Wetland and Watershed Overview**

The site’s delineated regulated wetland/watercourse resources, Wetlands A through F (see Figure A of the Wetland Delineation Report), are mostly isolated, and do not discharge off site, with the exception of Wetland D, which may overflow to a constructed detention basin immediately to the east. This detention basin discharges to the Connecticut River via the Podunk River (Basin 4004-05-1).

### **2.2 Geology and Soils**

Based on State of Connecticut GIS data (i.e., CTECO), the subject site is underlain mainly by thick till deposits. Bedrock is mapped as Portland arkose (Jp) (i.e., reddish-brown arkose; a.k.a., brownstone).

The USDA/NRCS soils map (i.e., Web Soil Survey) shows the well-drained Wethersfield loam (Mapping Unit 87), occupying the majority of the site prior to the earthwork that took place in



the early 2000s. As a result, most of the “study area” (see Wetland Delineation Report) is now mapped as Udorthents (Mapping Unit 308) consisting of well drained to moderately well drained soils altered by cutting, filling, or grading. Prior to the earthwork, no wetlands occurred (or were mapped) on the subject site. However, the grading resulted in compacted materials, and several isolated wetlands were formed in microtopographical depressions. The soils that are forming in these newly created wetlands are mapped as Aquents (Mapping Unit 308w).

### **2.3 Wetland Characterizations**

Six distinct, isolated wetlands (i.e., Wetlands A through F), were delineated at the subject site. Wetlands A, B, C, and E, have resulted predominately from the trapping of rainwater on compacted, fine-grained reddish subsoils. Wetland D was likely created as a swale to trap and direct water easterly to an existing detention basin. Similarly, Wetland F is a constructed detention/sediment erosion basin.

Wetlands A through E, predominately poorly drained, emergent wetlands (i.e., wet meadows), supporting *seasonally flooded* and *seasonally saturated* hydrologic regimes. Figure A, attached to the aforementioned *On-Site Soil Investigation & Wetland Delineation Report*, graphically shows their approximate extents on a 2016 aerial photograph. Wetland F, the small detention basin may also be *semi-permanently flooded*. This wetland was investigated in March and May of 2024<sup>1</sup> for potential serving as habitat for the breeding of vernal pool obligate amphibians, such as wood frog and spotted salamander. Egg masses or individuals of such species were not detected.

All of the delineated wetlands are *palustrine* (i.e., freshwater), *emergent* wetlands, classified as PEM1, according to the National Wetlands Inventory (NWI) classification system, dominated herbaceous species, including sedges (i.e., fox, tussock, stipate, etc.), red tope, cattail, common reed, purple loosestrife, willowherbs, wool grass, swamp milkweed, goldenrods, and asters. Also, shrubs were observed growing within the delineated wetlands, such as at the western edge of Wetland E. These included such species as red maple (seedlings, saplings), multiflora rose, silky dogwood, and variety of willow species. Wetland C is characterized by a maturing stand of common reed (i.e., *Phragmites australis*).

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<sup>1</sup> A dip-net was utilized during the May survey. Many mosquito larvae were observed, but not amphibian larva (i.e., tadpoles).



## 2.4 Wetland Functions & Values

Wetland/watercourse functions and values<sup>2</sup> were assessed informally, using the rationales of a standardized evaluation methods [e.g., US Army Corps of Engineers’ *Descriptive Approach* (1995)], and best professional judgment. Wetland and upland baseline data provide the basis for the assessment, as well as the landscape setting of the site, as noted above. Table A (below) shows the results of the assessment.

Table A: Summary of Wetland/Watercourse Functions-Values Assessment

Function/Value	Wetlands A to F
<b>Groundwater Recharge/discharge</b>	N
<b>Floodflow alteration</b>	N
<b>Sediment/Shoreline Stabilization</b>	n/a
<b>Sediment/toxicant/pathogen retention</b>	N/Y <sup>3</sup>
<b>Nutrient Removal/Transformation</b>	Y
<b>Production Export</b>	Y
<b>Aquatic Habitat</b>	N
<b>Wildlife Habitat</b>	Y
<b>Endangered Species Habitat</b>	N
<b>Visual Quality/aesthetics</b>	Y
<b>Educational/Scientific Value</b>	Y
<b>Recreation (passive/active)</b>	N
<b>Uniqueness/heritage</b>	N

Notes: P = Primary/principal function; Y = secondary/function present; N = function not appreciably present or absent

Due to their isolation and their relatively recent formation, none of the site’s delineated wetlands confer any principal/primary functions. None are associated with a flowing watercourse, and the presence of invasive species within or along their perimeters, detract from their function. It should be noted that if these wetlands were left to continue to “mature,” they will be overtaken by woody species, including invasives such as multiflora rose. As the woody species become dominant, especially tree species, these wetlands will shrink or transition to uplands, by the sheer increase in evapotranspiration. With limited watersheds, and relying

<sup>2</sup> Functions are those provided by a given wetland/watercourse that are intrinsic to the resource. That is, they would present regardless of society (e.g. wildlife habitat, nutrient removal/transformation). Values are those services that society benefits from (e.g., floodflow alteration, recreation, educational/scientific value. Some “functions” also benefit society, such as sediment/toxicant/pathogen retention.

<sup>3</sup> Wetlands D and F, only, and to a minor extent.





much on direct precipitation for their hydrology, shrubs and trees will quickly use the limited supply of water, and many of these areas will dry up, and longer function as wetland habitats.

### **3.0 Overview of Potential Wetland/Watercourse Impacts**

#### **3.1 Direct Wetland/Watercourse Impacts**

Per the reviewed plans, *direct* impacts to wetlands shall be 33,600 square feet (i.e., 0.77 acres). All of the recently created isolated wetlands (i.e., Wetlands A to F), described in previous sections of this report, would be filled to provide for the development of the distribution warehouse. Reasonable development of the property, per its zoning designation, cannot take place without filling/disturbing these wetlands. Due to their very young age, low or negligible functions and values, and isolation, the disturbance of these wetlands is not considered a significant loss of regulated wetlands. Nevertheless, similar and potentially higher functioning wetlands will be created within the site's two proposed detention basin (Basins #1 and #2).

#### **3.2 Indirect Wetland/Watercourse Impacts**

*Indirect* or *secondary* impacts to a wetland or watercourse can occur as a result of activities *outside* of wetlands or watercourses. Such impacts can be *short-term* or *long-term*, and are typically associated with the potential for erosion and sedimentation, mostly during the construction period, the removal or disturbance of vegetation in upland areas but adjacent to wetlands or watercourses, the alteration of wetland hydrology or the flow regime of a watercourse, and the discharge of degraded surface water or groundwater, which may adversely impact the water quality of the regulated resources both on-site, but also, potentially off-site and downgradient.

The potential for any of these *indirect* impacts to occur at the site as a result of the proposal depends on the regulated resources themselves, the functions and values that they provide, their environmental sensitivity, and their ecological and physical characteristics. These potential impacts are discussed below.

##### **3.2.1 *Erosion and Sedimentation***

The potential for soil erosion and subsequent deposition in wetlands or watercourses exists at every development site that involves soil disturbance. At this site the risk or the potential for adverse impacts from erosion and sedimentation is considered to be *moderate*. The primary



reasons for this assessment are as follows: (1) appropriate erosion and sedimentation controls have been proposed, as seen on the submitted plans, conforming to CT DEEP’s 2002 *Guidelines for Soil Erosion and Sediment Control*, or as most recently amended<sup>4</sup>, (2) the area to be disturbed for the building and paved areas are on fine-textured subsoils, that are *moderately* erodible, and (3) slopes are generally gentle to nearly level throughout the area subject to soil disturbance. Nonetheless, diligent monitoring and maintenance of erosion and sedimentation controls is necessary to ensure that the regulated resources are protected during the construction phase.

### ***3.2.2 Removal of Native Vegetation and Habitat Loss***

Habitat loss associated with land clearing is an unavoidable consequence of land development, which has the potential of impacting wetlands and watercourses, especially when conducted in close proximity to such regulated resources, such as within the designated 100-foot wide upland review area (URA). At this is not an appropriate metric for assessing wetland impacts, since all of the newly created, isolated wetlands would be filled.

### ***3.2.3 Potential Impacts to Wetland Hydrology and Stream Flow***

Under existing conditions all of the wetlands are fed by direct precipitation and from surface flows from their relatively small watersheds. Since all of these newly created isolated wetlands would be filled, this is not a relevant category for impact assessment. Nevertheless, all of the runoff that will be generated from impervious surfaces at the site will be directed first to two on-site detention basins, which have been designed to retain water and promote wetland hydrology. Both of these basins will be plated with wetland species and provide similar or higher functions and values than the wetlands that are being filled. Also, the two basins will discharge to an off-site wetland which contains a large wetland habitat, thus maintaining its hydrology.

### ***3.2.4 Potential Water Quality Impacts***

Stormwater runoff from impervious surfaces of development (e.g., commercial, residential, industrial) sites has the potential of degrading the water quality (i.e., surface and groundwater) of regulated resources. Generation of potential pollutants on impervious surfaces typically

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<sup>4</sup> The 2024 Guidelines for Soil Erosion & Sediment Control amend the 2002 guidelines, with an effective date of March 30, 2024. However, since the design for the for the subject development proposal was more than 50% completed by March 30, 2024, the site is not subject to the updated guidance.



results from vehicular traffic over them. The more the “axle-miles” or the movements of vehicles over impervious surfaces, the higher is the potential loading of runoff constituents, including sediment, nutrients, heavy metals, and the like.

The newly revised 2024 CT Stormwater Quality Manual (“the Manual”), with an effective date of March 30, 2024, provides the applicable guidance for designing effective stormwater management that will provide for water quality control. Since the proposal was more than 50% designed by March 30, 2024 the revised guidance would not apply. Nevertheless, the design engineer, as seen in the Stormwater Management Report, dated May 6, 2024, utilizes some of the new guidance, such as the for the calculation of the water quality volume (WQV).

In reviewing the proposed stormwater management system, the aforementioned Stormwater Management Report, and the potential sensitivity of the receiving off-site surface waters, it is our professional opinion that there will not be any adverse impacts to these waters, which include downgradient wetland resources.

#### **4.0 Mitigation**

In an effort to replace lost functions and values from the filling or alteration of the site’s six, recently formed, isolated wetlands, the two proposed detention basins have been designed to provide appropriate hydrology as wetland habitats, with appropriate planting materials, as seen on the submitted plans (see Sheet C5.1). We note that typically creation of wetland habitats within stormwater wetland basins, is not considered as “in-kind” mitigation. However, in this case, where the wetlands taken are of low functional quality, are recently formed, and would likely “blink-out” or substantially be reduced in size as woody vegetation took over within them, this mitigation strategy is reasonable. In fact, while some functions and values would be similarly conferred, that is, not substantially enhanced (e.g., *wildlife habitat*), others would increase, such as *sediment/toxicant/pathogen retention, nutrient removal/transformation, and production export*. Moreover, the creation of wetland habitats are concentrated in two larger areas, instead of six isolated areas, which typically increases functions and values.

#### **5.0 Conclusion**

It is our professional opinion that while six, low-functioning, isolated, and newly formed wetlands will be impacted, their functions and values will more than be replaced by the proposed created wetland habitats. Moreover, short-term and long-term impacts to off-site



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wetland resources are not expected, which include the preservation of the water quality of downgradient receiving waters.

Please call us if you have any questions on the above or need further assistance.

Respectfully submitted,

**REMA ECOLOGICAL SERVICES, LLC**

A handwritten signature in black ink, appearing to read "George T. Logan". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

George T. Logan, MS, PWS, CSE  
Certified Senior Ecologist  
Professional Wetland Scientist  
Registered Soil Scientist

Attachments: Figures 1 through 4; Annotated Photographs (1-18)

**FIGURE 1**  
SITE LOCUS  
71 & 81 Commerce Road,  
Wallingford, CT



**SUBJECT SITE**

Golf Course

Picnic Area  
248  
WICKNAM PARK

Woodland Sch

**FIGURE 2:**

71 & 81 Commerce Road, Manchester, CT  
(as seen on a June 2022 aerial photograph)



**FIGURE 3: 71 & 81 Commerce Road,  
Manchester, Connecticut  
(as seen on a 1995 aerial photograph; UConn MAGIC)**



**SUBJECT  
SITE**

**FIGURE 4: 71 & 81 Commerce Road,  
Manchester, Connecticut  
(as seen on a 2004 aerial photograph; UConn MAGIC)**





**SUBJECT SITE**





	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b> November 30, 2023	<b>FACING:</b> NORTHEASTERLY	<b>PHOTO NO.:</b> 1	
		<i>Comments: Wetland A</i>	



<b>DATE:</b> November 30, 2023	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 2	
		<i>Comments: Wetland B</i>	

	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b> November 30, 2023	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 3	
			<i>Comments: Wetland C</i>



<b>DATE:</b> February 12, 2024	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 4	
			<i>Comments: Wetland D</i>


	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b> November 30, 2023	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 5	
			<b>Comments:</b> Wetland E (wet meadow portion)


<b>DATE:</b> February 12, 2024	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 6	
			<b>Comments:</b> Wetland E (internal scrub shrub portion)

	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b> February 12, 2024	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 7	
		<b>Comments:</b> Wetland F (will be surveyed as potential vernal pool habitat in late March/early April)	

<b>DATE:</b> February 12, 2024	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 8	
		<b>Comments:</b> Typical wetland soil profile (disturbed/man-made); within Wetland D	


	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> SOUTHWESTERLY	<b>PHOTO NO.:</b> 9	
			<i>Comments: Wetland F was investigated as a potential vernal pool habitat but no evidence of obligate amphibian breeding was observed</i>

<b>DATE:</b> March 18, 2024	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 10	
			<i>Comments: Wetland F</i>


	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 11	
			<i>Comments: Wetland A</i>

<b>DATE:</b> March 18, 2024	<b>FACING:</b> NORTHEASERLY	<b>PHOTO NO.:</b> 12	
			<i>Comments: Wetland A in foreground with uplands in background</i>



	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> NORTHEASTERLY	<b>PHOTO NO.:</b> 13	
		<i>Comments: Wetland B</i>	


<b>DATE:</b> March 18, 2024	<b>FACING:</b> EASTERLY	<b>PHOTO NO.:</b> 14	
		<i>Comments: Wetland C, expanding common reed (Phragmites) patch</i>	

	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 15	
			<i>Comments: Wetland D</i>

<b>DATE:</b> March 18, 2024	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 16	
			<i>Comments: Wetland E</i>



	<b>SITE/LOCATION:</b> Proposed Industrial Development 71 & 81 Commerce Road Manchester, CT	REMA JOB NO.: 23-2666-MAN44	<b>ANNOTATED PHOTO LOG</b>
	<b>INVESTIGATOR(S):</b> George T. Logan, MS, PWS, CSE		
<b>DATE:</b>	<b>FACING:</b> SOUTHERLY	<b>PHOTO NO.:</b> 17	
		<i>Comments: Wetland E in foreground, uplands in background</i>	

<b>DATE:</b> March 18, 2024	<b>FACING:</b> NORTHERLY	<b>PHOTO NO.:</b> 18	
		<i>Comments: Central uplands</i>	



REMA

REPORT DATE: May 24, 2024

PAGE 1 OF 3

**REMA ECOLOGICAL SERVICES, LLC**

43 Blue Ridge Drive, Vernon, CT 06066

860.649.REMA (7362) / 860.883.8690

## ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT

### PROJECT NAME & SITE LOCATION:

+/- 8.5 acres (study area)

71 & 81 Commerce Road

Manchester, CT

### REPORT PREPARED FOR:

TRAC Consulting

40 Rita Drive

New Fairfield, CT

Attn.: Tom Riley

REMA Job No.: 23-2666-MAN44

Field Investigation Date(s): February-April 2024

Field Investigation Method(s):

Spade and Auger

Backhoe Test Pits

Other: \_\_\_\_\_

### Field Conditions:

Weather: sunny to overcast, 30s to 50s

Soil Moisture: Moderate-High

Snow Depth: none

Frost Depth: none

### Purpose of Investigation:

Wetland Delineation/Flagging in Field

Wetland Mapping on Sketch Plan or Topographic Plan

High Intensity Soil Mapping by Soil Scientist

Medium Intensity Soil Mapping from *The Soil Survey of Connecticut Maps* (USDA-NRCS)

Other: \_\_\_\_\_

Base Map Source: CT Soil Survey web; USDA-NRCS) (attached), Figure A (attached)

Wetland Boundary Marker Series: RES-A-1 to RES-A-29, RES-B-1 to RES-B-9, RES-C-1 to RES-C-17, RES-D-1 to RES-D-8, RES-E-1 to RES-E-53, and RES-F-1 to RES-F-12 (closed lines)

**General Site Description/Comments:** The "study area" or "site" consists of roughly 8.5 acres of land of an overall 19.98 acre property, located in an industrially-zoned portion of Manchester, CT. The site was graded and filled sometime between 2001 and 2003 to prepare "pads" for two industrial buildings. This grading created very shallow depressional areas that have ponded a few inches of water for a significant enough time for several, isolated wetland areas to develop. The site's original soils were derived from glacial till (i.e., unstratified sand, silt, and rock) deposits. However, under existing conditions the great majority of the soils within the study area are disturbed and are derived from sandy/silty fill. The soils are classified as Aquepts (308w), which are poorly drained disturbed wetland soils, and as Udorthents (308) which are moderately well drained disturbed upland soils. Also, at the far northwestern portion of the site, in a forested area, the soils are identified as the well-drained Wethersfield (87) loam soil series. At the far southwestern section of the study area, a small shallow detention basin was investigated as a vernal pool, but no obligate species (e.g., mole salamanders, wood frogs) were observed. For the most part, the regulated wetlands within the study area are emergent (i.e., meadow/marsh), with some scrub shrub inclusions. Dominant species include willows, dogwoods, cattail, common reed, sedges, rushes, monkey flower, swamp milkweed, purple loosestrife, goldenrods, asters, red top, and others. We note that the study area does contain several, small and isolated "wet" areas with wetland vegetation but marginal upland soils, which were not delineated.

ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT (CONTINUED)

PROJECT NAME & SITE LOCATION: +/- 8.5 acres (Study Area)  
71 & 81 Commerce Road, Manchester, CT

SOIL MAP UNITSUpland Soils

**Udorthents (308).** This soil mapping unit consists of well drained to moderately well drained soils that have been altered by cutting, filling, or grading. The areas either have had two feet or more of the upper part of the original soil removed or have more than two feet of fill material on top of the original soil. Udorthents or Made Land soils can be found on any soil parent material but are typically fluvial on glacial till plains and outwash plains and stream terraces.

**Wethersfield loam (87).** The Wethersfield series consists of deep, well drained soils formed in a coarse-loamy mantle underlain by firm, compact glacial till from Triassic materials. They are nearly level to steeply sloping soils on till plains, low ridges and drumloidal landforms. The soils developed in glacial till derived mainly from reddish Triassic sandstone, conglomerate and shale with some basalt. Typically, these soils have a dark brown loam surface layer 8 inches thick. The subsoil from 8 to 25 inches is reddish brown loam. The substratum from 25 to 60 inches is reddish brown, firm fine sandy loam.

Wetland Soils

**Aquents (308w).** This soil map unit consists of poorly drained and very poorly drained, disturbed land areas. They are most often found on landscapes which have been subject to prior filling and/or excavation activities. In general, this soil map unit occurs where two or more feet of the original soil surface has been filled over, graded or excavated. The Aquents are characterized by a seasonal to prolonged high ground water table and either support or are capable of supporting wetland vegetation. Aquents are recently formed soils which have an aquic moisture regime. An aquic moisture regime is associated with a reducing soil environment that is virtually free of dissolved oxygen because the soil is saturated by groundwater or by water of the capillary fringe. The key feature is the presence of a ground water table at or very near to the soil surface for a period of fourteen days or longer during the growing season.

ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT (CONTINUED)

PROJECT NAME & SITE LOCATION: +/- 8.5 acres (Study Area)  
71 & 81 Commerce Road, Manchester, CT

SOIL MAP UNITS

See previous page

Any accompanying soil logs and soil maps, and the on-site soil investigation narrative are in accordance with the taxonomic classification of the National Cooperative Soil Survey of the USDA Natural Resource Conservation Service, and with the Connecticut Soil Legend (DEP Bulletin No.5, 1983), as amended by USDA-NRCS. Jurisdictional wetland boundaries were delineated pursuant to the Connecticut General Statutes (CGS Sections 22a-36 to 22a-45), as amended. The site investigation was conducted and/or reviewed by the undersigned Registered Soil Scientist(s) [registered with the Society of Soil Scientists of Southern New England (SSSSNE) in accordance with the standards of the Federal Office of Personnel Management].

Respectfully submitted,

**REMA ECOLOGICAL SERVICES, LLC**



George T. Logan, MS, PWS, CSE  
Registered Professional Soil Scientist  
Field Investigator/Senior Reviewer

**FIGURE A: WETLAND DELINEATIONS SKETCH MAP**

71 & 81 Commerce Road, Manchester, CT

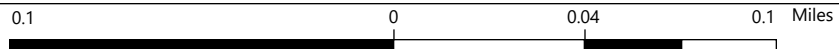


**Legend**

Light Gray Canvas Base

**ANNOTATED BY:** Rema Ecological Services, LLC  
**DATE:** 2/21/2024  
**BASE MAP:** Spring 2019 aerial with 2016 topography

1: 2,257



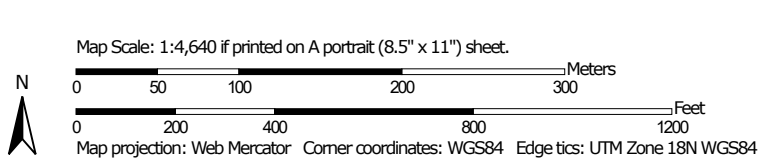
This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

Notes

Soil Map—State of Connecticut, Western Part  
(71 & 81 Commerce Road, Manchester, CT)




Soil Map may not be valid at this scale.




## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut, Western Part

Survey Area Data: Version 1, Sep 15, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Oct 6, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
9	Scitico, Shaker, and Maybid soils, 0 to 3 percent slopes	2.9	2.6%
12	Raypol silt loam, 0 to 3 percent slopes	2.1	1.9%
28A	Elmridge fine sandy loam, 0 to 3 percent slopes	1.0	0.9%
43B	Rainbow silt loam, 3 to 8 percent slopes	0.4	0.3%
82B	Broadbrook silt loam, 3 to 8 percent slopes	29.4	26.1%
82D	Broadbrook silt loam, 15 to 25 percent slopes	0.4	0.4%
87B	Wethersfield loam, 3 to 8 percent slopes	10.4	9.2%
87C	Wethersfield loam, 8 to 15 percent slopes	7.8	6.9%
87D	Wethersfield loam, 15 to 25 percent slopes	5.4	4.8%
306	Udorthents-Urban land complex	15.7	13.9%
702A	Tisbury silt loam, 0 to 3 percent slopes	7.0	6.2%
702B	Tisbury silt loam, 3 to 8 percent slopes	1.9	1.7%
704A	Enfield silt loam, 0 to 3 percent slopes	5.7	5.1%
704B	Enfield silt loam, 3 to 8 percent slopes	22.7	20.1%
<b>Totals for Area of Interest</b>		<b>112.9</b>	<b>100.0%</b>



**EXHIBIT B**

**INDUSTRIAL PARK  
REGULATIONS**

**BUCKLAND INDUSTRIAL PARK II**

**Manchester, Connecticut**

**November 1999**

**INDUSTRIAL PARK REGULATIONS  
FOR  
BUCKLAND INDUSTRIAL PARK II**

**TABLE OF CONTENTS**

1.	PERMITTED USES .....	1
2.	DEVELOPMENT CONTROLS .....	2
3.	UTILITIES .....	5
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5.	PARKING, DRIVES, AND LOADING AREAS .....	7
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7.	SIGNS .....	9
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9.	TERM, TERMINATION AND MODIFICATION OF REGULATIONS.....	11

Property located within the Buckland Industrial Park II shall be held, transferred, sold, leased, conveyed, and occupied subject to the regulations herein set forth, each and all of which is are for, and shall inure to, the benefit of and pass with each and every parcel of property and shall apply to and bind the heirs, assignees and successors in interest of any owner thereof.

The purpose of these regulations is to ensure proper development and use of the properties within the Park, to protect the owner of each parcel against such improper development and use of surrounding parcels as will depreciate the value of his parcel, to prevent the erection within the Park of structures built of improper design or materials, to encourage the erection of attractive improvements at appropriate locations, to prevent haphazard and inharmonious improvements, to secure and maintain proper setbacks from streets and adequate free spaces between structures, and in general to provide adequately for a high type and quality of improvement of the Park in accordance with a general plan.

1. **PERMITTED USES**

In the Park no building or land shall be used and no building erected or altered except in conformance with the permitted uses set forth in these regulations. No uses shall be allowed in the Park which are not allowed in the Zoning Regulations of the Town of Manchester in effect at that time. However, not all uses permitted by zoning are considered compatible with the intended development of the Park. Therefore, only those uses listed herein shall be permitted within the Park:

1. Commercial and technical uses with a principal character of:
  - a) Light manufacturing.
  - 2) Processing and assembly of materials.
  - 3) Wholesale trade and storage.
  - 4) Warehousing/distribution.
  - 5) Research and development.
  - 6) Education.
  - 7) Construction including building and special trade contractors.
  - 8) Business service offices such as advertising, credit reporting and collection, mailing, reproduction, and stenographic services, computer and data processing services.
  - 9) Engineering and management services such as engineering and architectural services, accounting and auditing, research, testing and management and public relations.
2. Public utility buildings, structures, and uses.

3. Restaurant - indoor service and seating only.
4. The following accessory uses are permitted if such are incidental to and subordinate to the principal use:
  - 1) Vehicle parking.
  - 2) Garages.
  - 3) Maintenance buildings.
  - 4) Radio antennae.
  - 5) Signs.
  - 6) Recreational facilities.
5. With the exception of a permitted restaurant as defined above no retail sales or service business shall be carried on unless the retail trade is customarily incidental to, and subordinate to, the principal use. There shall not be permitted any use which when conducted under proper and adequate conditions and safeguards will be offensive by reason of odor, fumes, dust, smoke, noise, glare, heat, vibration, electro-mechanical disturbances, electro-magnetic disturbances, radiation, air or water pollution, or which will be hazardous by reason of danger of fire or explosion. No rubbish or debris of any kind shall be placed, or permitted to accumulate, upon or adjacent to any site.
6. All permitted uses, other than parking and loading (and except outside storage which is described under Article IV hereof), whether principal, incidental or accessory, shall be carried on in buildings fully enclosed on all sides.

2. DEVELOPMENT CONTROLS

1. Design Objectives

The use of land in the Park will be subject to the regulations and controls specified herein to achieve high quality design in the Park. All development shall be guided by the following design objectives.

- a) Development within the Park shall be directed toward the creation of an area suitable for industry and architecturally suitable for the Town of Manchester.
- 2) Although not restricted to a specific architectural style new buildings shall be designed to provide a uniform appearance and blend harmoniously with other previous development in the Park. Exterior treatment of buildings shall be

homogeneous on all faces using aesthetically acceptable material as to color, permanence, and architectural conformity with other approved development in the Park.

- 3) The location and treatment of parking areas shall be such as to minimize the visual intrusion of parked cars, particularly as viewed from outside the Park boundaries and from public streets.
- 4) Existing trees shall be preserved where possible.
- 5) The design and use of signs shall be in keeping with the overall architectural character of the Park. Coordination and approval of the type, size and location of signs shall be required.

## 2. Maximum Density

The ratio of total gross floor area to site area shall not exceed 1.0.

## 3. Maximum Land Coverage

- 1) Structure shall not cover more than 33% of the site area.
- 2) Paved areas for parking, and loading areas shall not exceed 33% of the site area.
- 3) Areas designed for outside storage shall be included in the area of the structure for purposes of this section.

## 4. Maximum Height of Buildings and Structures

No structure shall exceed 75 feet in height as measured from the adjacent grade or first floor elevation, whichever is lower. This maximum height restriction shall not apply to chimneys, flagstaffs, and municipal or utility buildings or structures.

## 5. Maximum Height of Accessory Structures

No accessory structures shall exceed 18 feet in height as measured from the adjacent grade. This maximum height restriction for accessory structures shall not apply to chimneys, flagstaffs, and municipal or utility buildings or structures.

## 6. Minimum Setbacks

- 1) No structure shall be less than 50 feet from the Park boundary.
- 2) Front yards shall be at least 50 feet in depth.
- 3) Side yards shall each be at least 25 feet in width.

- 4) Rear yards shall be at least 50 feet in depth.
  - 5) In no case shall any yard be less than any buffering requirements outlined in these regulations nor less than one and one-half times the maximum height of the structure along that side of the structure.
  - 6) Setbacks along any property line of any property devoted, or zoned to be devoted, to residential use shall be not less than 50 feet. No structure subject to these setback requirements shall be erected which is within 150 feet of a residence in existence at the time the adoption of these regulations. Drives may occur within the required setback yards but shall not occur less than 25 feet from any property line except where connector drives to public streets are necessary.
  - 7) Exceptions to Setback Requirements: The following structures and improvements are specifically excluded from the setback requirements:
    - 1) Steps and walks.
    - 2) Fences, except that no fences shall be placed within a setback area along a public street.
    - 3) Landscaping.
    - 4) Planters, not to exceed three feet in height.
    - 5) Signs identifying the owner or occupant subject to written approval of the Commission and as regulated in Article IX of these regulations.
7. Minimum Lot area

The minimum area of site to be developed in the Park shall be two acres.

8. Outside Storage

No materials, supplies or equipment (including trash removal facilities) shall be stored in any area on a site except inside a closed building or behind a visually solid barrier, or within a chain-link fence enclosed with evergreen plantings sufficient to visually screen such areas so that the stored items are not visible to a person standing on any part of immediately adjacent sites or an adjacent public street at an elevation no greater than the elevation of the base of the items being viewed.

9. Roof Mounted Equipment

All roof-mounted mechanical equipment which projects vertically more than 22 feet above the roof parapet shall be screened by a visually solid barrier which is detailed consistent with the building design.

**III. UTILITIES**

1. All on-site utility transmission lines (including but not limited to electricity, telephone and gas) shall be placed underground. High-voltage power transmission lines which traverse the Park shall be exempted from this requirement.
2. The owner of each site upon which any drainage ditches and/or related facilities are located, or which may hereafter be located, shall keep and maintain same together with any improvements constructed thereon, or which may hereafter be constructed thereon, in a reasonable condition according to their design, purpose and/or function including, but not limited to, the removal of all obstructions which may or might reasonably cause redirection or impedance of the flow of the drainage thereon regardless of the source or cause of such obstruction or impedance.
3. All above ground utility structures (excluding area lighting poles) developed for the Park or by the owner of any site shall be screened by plantings to minimize the visual intrusion of the structure in the Park.

**IV. LANDSCAPING**

1. Every site on which a building is placed shall be landscaped in accordance with these guidelines. The intent of landscaping, screening and planting in this and other articles of these regulations is to provide for a park-like environment, aesthetically screening industrial uses from abutting sites and the requirements of this article shall be interpreted and any approvals given so as to permit flexibility and individuality in design rather than require rigid adherence to these specifications.
  - 1) Landscaping shall be installed within 90 days of occupancy or completion of the building, whichever occurs first. However, planting shall be permitted only during the periods of August 15<sup>th</sup> to November 15<sup>th</sup> and April 15<sup>th</sup> to June 15<sup>th</sup>.
  - 2) All walks, drives, lawns, and landscaping on each such site shall be maintained in good order, repair and condition. The entire street frontage (except drives) of any site shall be landscaped from the property line to the setback line if such area is not a part of a designated buffer or open space area.
2. Landscape treatment shall consist of ground cover and shrubs or trees. Existing trees shall be conserved and integrated into the landscape plan wherever possible. Planting shall be designed to complement site areas such as pedestrian access, service areas, parking areas, the building perimeter, etc. On large sites the use of knolls, berms, etc. to visually break up large flat areas is encouraged.

- 1) All new deciduous trees shall be a minimum of 2 to 22 inch caliper measured one foot above the root crown when planted and all evergreen trees shall be not less than 6 feet in height when planted. All plant materials shall be selected on the basis of hardiness and appropriateness to its intended use.
  - 2) Any portion of a parking area not used for parking spaces or circulation shall be landscaped. Any landscaped island greater than 200 square feet within a parking area shall contain at least one tree. Large parking areas shall be divided by landscaped buffer strips into smaller parking areas wherever possible.
  - 3) Not less than 2% of the automobile parking area of any site shall contain landscaped islands. Trees shall be planted along those strips and along the perimeter of any parking area at intervals of not more than 75 feet. Variations in this spacing are allowed provided that the number of trees intended by this article are planted. In parking areas, loading areas and along drives, trees within five feet of the edge of paving shall be protected by the provision of curbing, wheel stops or other devices.
  - 4) A landscape border shall be provided around the perimeter of buildings except at paved areas. This border shall contain a combination of ground cover and shrubs or trees including a fully landscaped border of not less than five feet in width adjacent and parallel to the front yard elevations of all buildings.
  - 5) All other portions of a developed site and not covered by buildings, structures, paving or landscaping as previously required shall be established with ground cover and shrubs or trees or may be left as undisturbed natural terrain. A fully landscaped border of not less than five feet in width adjacent and parallel to the front yard elevations of all buildings.
3. Any necessary grading shall be done in such a way that drainage to or from adjacent property is not adversely affected and existing trees are retained where possible.
  4. Necessary steps shall be taken by the owner of each site to ensure that erosion control measures are observed. Reasonable precautions shall be followed (such as the provision of hay bales, temporary seeding, and sedimentation basins) to reduce the amount of erosion and siltation during construction and prior to establishment of permanent landscaping. Temporary seeding, watering, the use of chemical agents, or other methods shall be employed to reduce the amount of dust during the construction stage.
  5. All landscaping and planting as required herein will be completed with respect to each lot before a certificate of occupancy will be issued for such lot. If requested by the Town, developer will provide adequate security so as to ensure completion of said landscaping and planting. On the posting of such security by the Developer and the satisfactory completion of other applicable improvements, the Town will issue a certificate of occupancy.



22. PARKING, DRIVES, AND LOADING AREAS

1. All parking areas, drives, and loading areas shall be paved with a hard, durable, dust-free, all-weather surface.
2. Parking of vehicles shall be permitted only on paved areas off public streets. Sufficient parking spaces shall be provided on each site to accommodate all employees and visitors using the premises and company vehicles.
3. At a minimum, there shall be on each site an area for parking which contains at least one space for each 1.75 employees present during the largest daily work shift period. Parking and loading spaces shall be provided with driveway access off the public street. If parking requirements increase as a result of a change in the use or number of employees, additional off-street parking shall be provided to satisfy the intent of this section.
4. There shall be maintained on each site facilities for loading and unloading to serve the business conducted thereon without using the adjacent street. Loading areas shall not encroach into setback areas. Loading areas shall be screened to minimize their appearance from the street or from adjoining property. Loading areas shall not be closer than seventy (70) feet to the street property line.
5. Vehicular and pedestrian traffic shall be separated on each site thorough the use of sidewalks and marked pedestrian crossings, except as may otherwise be shown on an approved site plan filed a condition for special exception approval with the Planning and Zoning Commission of the Town of Manchester.

VI. LIGHTING

1. All types of lighting which are intended to illuminate the building or yards shall be designed or arranged as specified herein and as otherwise necessary to ensure that the lights will not shine into the eyes of any person external to the premises and that the lights will not cause a nuisance from excessive glare.
  - 1) It is the intent that lighting will blend with the architectural treatment of each building and with the overall design of the Park, and that no light source will be visible off the site and that the levels of lighting necessary on any site for the purpose of security, safety and design will not cause excessive levels of illumination beyond the Park boundaries.
  - 2) Exterior lighting shall include but shall not be limited to all lights mounted outside of a building including freestanding area lighting and ground lights.

- 3) No flashing, intermittent, or other mechanically operated illumination creating the illusion of movement shall be permitted. Lights producing varying intensities or changing colors are prohibited.
  - 4) The maximum height of any lighting fixture shall not exceed thirty (30) feet above the adjacent grade.
2. Shielding
    - 1) All lighting fixtures shall be shielded so that the filament or light source is not visible off the site.
    - 2) When all interior and exterior lighting is fully illuminated the intensity of lighting (as measured by a light-meter) shall not exceed 0.5 foot-candles at any point along a property line of the site, except that an intensity not to exceed 1.5 foot-candles shall be permitted at points of vehicular ingress and egress to the site.
3. Area/Roadway Lighting
    - 1) Lighting fixtures shall be of the high pressure sodium vapor type, metal halide type, or an approved equivalent. Lighting shall be provided in parking areas, loading areas, and drives for security and safety.
    - 2) Lighting levels shall not be greater than normal engineering practice requires for a particular application. Where possible only that lighting necessary for security and safety purposes shall be maintained during night hours.
4. Building Illumination
    - 1) Any type of lighting of the building shall be directed down against the building at such an angle that the building, trees, shrubs or site surfaces are illuminated and not any surface off the site.
    - 2) Flood or spotlights mounted on the building to illuminate adjacent site areas, such as loading or parking, shall not be permitted.
5. Sign Lighting

Signs may be illuminated if the illumination is confined within, or directed only to, the surface of the signs.

## **VII. SIGNS**

1. No advertising signs shall be permitted other than those identifying the name and business products of the person or firm occupying the site, Park directory signs

- identifying the park and including a directory of its occupants, and signs offering the site for sale or lease.
2. The following types of signs shall be permitted when solely for the purpose of identification of a permitted occupancy on the site:
    - 1) One freestanding sign along each side of the property abutting a street (maximum of two per site) not exceeding a total of 30 square feet each for every 100 feet of street frontage or fraction thereof and not to exceed an absolute maximum of 200 square feet each.
    - 2) One sign affixed to the front and each side of a building. Each sign shall have a maximum area (in square feet) equal to the linear length (in feet) of the wall on which the sign is located. The sign shall not project more than 18 inches from the face of the wall and shall not project above the parapet of the wall on which it is mounted. This wall sign shall contain only the name of the business in open characters and the logo of the business. The area of the sign shall be determined by the area of the smallest rectangle which will enclose all of the characters and symbols.
  3. A freestanding sign shall have a setback of not less than 25 feet from any street property line. The Park directory signs shall not exceed an area of 450 square feet each.

#### **VIII. APPROVAL AND ENFORCEMENT**

1. No building, outbuilding, parking area, loading area, trackage road, fence, wall, pole, sign or any other structure shall be erected, placed, altered, maintained or permitted to remain on any land subject to these regulations until plans and specifications showing plot layout and all exterior elevations, with materials and colors therefor, and signs and landscaping shall have been submitted to and approved in writing by the Town of Manchester Economic Development Commission.
2. Town of Manchester Economic Development approval shall be based, among other considerations, on adequacy of site dimensions; conformity and harmony of exterior design with neighboring structures; effect of location and use of improvements on neighboring sites, improvements, operations and uses; relation of topography, grading and finish grade elevations of the site being improved to that of neighboring sites; proper orientation of the building to nearby streets; and conformity of the plans and specifications to the purpose and general plan and intent of these regulations.
  - a) The Commission shall not arbitrarily or unreasonably withhold its approval of such plans and specifications.
  - b) If the Commission fails to either approve or disapprove such plans and specifications within sixty (60) days after the same have been submitted to it, it shall be

conclusively presumed that the Commission has approved said plans and specifications subject, however, to the requirement and restrictions contained in these regulations.

- c) Neither the Commission nor its successors or assigns shall be liable in damage to anyone submitting plans to them for approval, or to any owner or lessee of land affected by these regulations, by reason of mistake in judgment, negligence, or nonfeasance arising out of or in connection with the approval or disapproval or failure to approve any such plans. Every person who submits plans to the Commission for approval agrees, by submission of such plans, and every owner or lessee of any of said property agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against the Commission to recover any such damages.
  - d) Should there cease to be a Commission, the owners of record of the land within the park abutting upon each site shall have the exclusive right to grant approvals required by these regulations. Any constructions, other than exterior signs, driveways, parking areas, grading, landscaping, fences and screens, completed for more than three (3) months shall be deemed approved, unless prior to the expiration of such three month period a suit for enforcement has been commenced and notice thereof duly recorded.
  - e) No owner of any site shall be responsible except for violations occurring while owner.
3. All of the provisions herein contained shall run with the land and shall be enforceable at law and in equity.
- a) Violation or breach of any regulation herein contained shall give to the Commission and, should the Commission cease to exist, every owner of property subject to these regulations the right to prosecute a proceeding at law or in equity against the person or persons who have violated or are attempting to violate any of these restrictions to enjoin or prevent them from doing so, to cause said violation to be remedied or to recover damages for said violation.
  - b) So long as there is a Commission it shall have the exclusive right to enforce the provisions hereof, without liability for failure so to do, except that each owner of record of land in the Park shall have the right to enforce the provisions hereof then applicable to any site if the Commission shall fail so to do within thirty (30) days after written request from any such owner.
  - c) In any legal or equitable proceeding for the enforcement or to restrain the violation of these regulations or any provision hereof, the losing party or parties shall pay the attorney's fees of the prevailing party or parties, in such amount as may be fixed by

the court in such proceedings. All remedies provided herein or at law or in equity shall be cumulative and not exclusive.

4. The Commission or its agents may from time to time at any reasonable hour or hours, enter and inspect any property subject to these regulations to ascertain compliance therewith. The agent of the Commission shall be the Zoning Enforcement Officer of the Town of Manchester and/or such other person(s) so designated by the chief administrative official of the Town and approved by the Commission.

**IX. TERM, TERMINATION AND MODIFICATION OF REGULATIONS**

1. These regulations, every provision hereof and every covenant, condition and restriction contained herein shall continue in full force and effect for a period commencing on the date of recording of these regulations on the land records of the Town of Manchester for a term of thirty (30) years.
2. These Park Regulations and any termination, extension, modification, waiver or amendment shall become effective when a proper instrument in writing has been executed, acknowledged and recorded on the land records of the Town of Manchester.

**PROJECT ANALYSIS –**

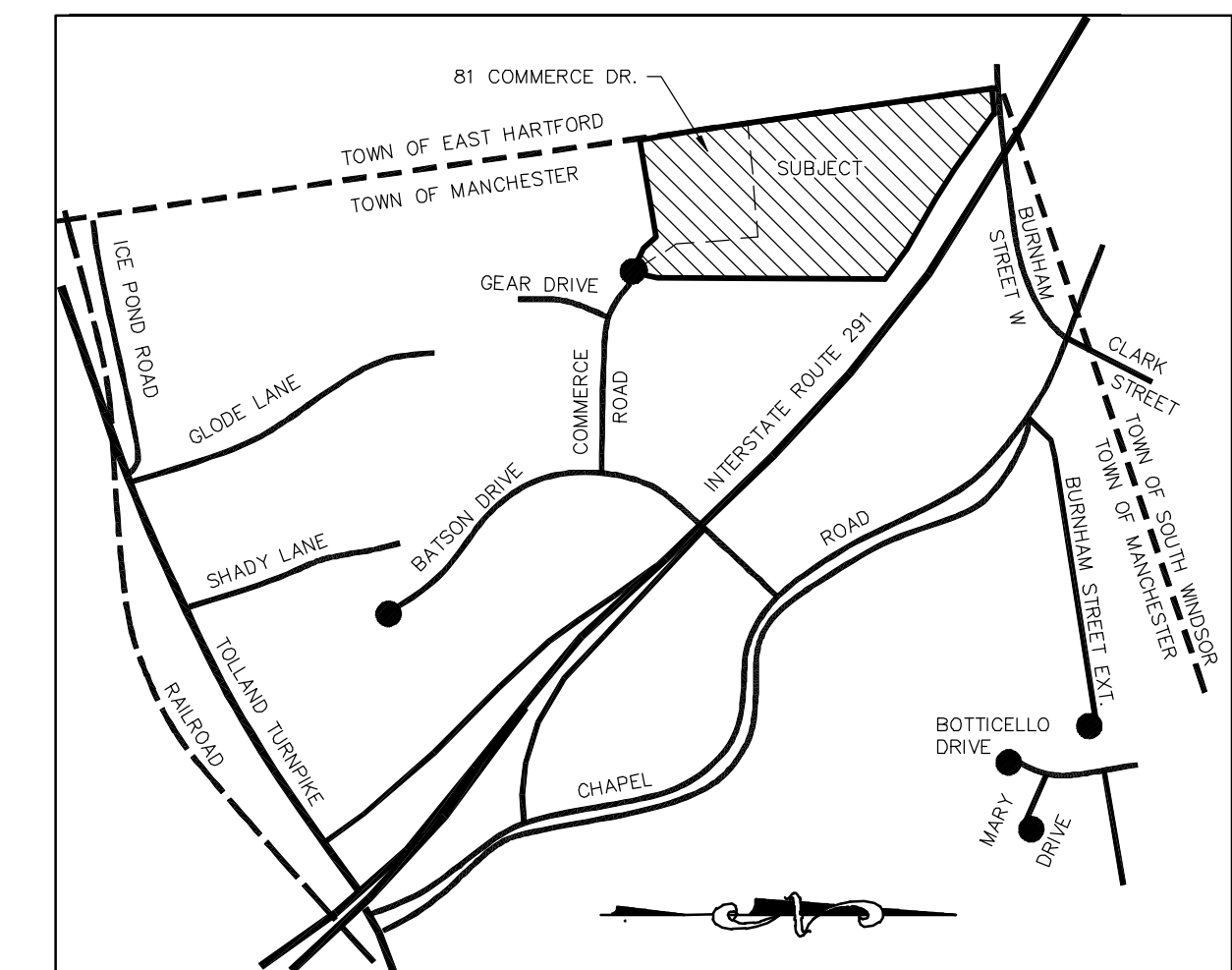
**ZONE OF SUBJECT PROPERTY:** INDUSTRIAL ZONE  
**NOTE:** THE SUBJECT PROPERTY IS WITHIN THE "BUCKLAND INDUSTRIAL PARK II" WHICH HAS ITS OWN SET OF "INDUSTRIAL PARK REGULATIONS", DATED NOVEMBER, 1999.  
**PROPOSED USE:** 144,300 SQUARE FOOT BUILDING TO BE USED FOR A DISTRIBUTION WAREHOUSE AND/OR LIGHT INDUSTRIAL/MANUFACTURING  
**(PROPOSED USES ARE PERMITTED IN BOTH THE TOWN ZONING REGULATIONS AND "PARK" REGULATIONS)**  
**INCLUDED IN THE PROPOSAL:** 127 PARKING SPACES (122 REGULAR SPACES & 5 ACCESSIBLE SPACES)  
 28 LOADING SPACES  
 2 DRIVE IN DELIVERY BAYS  
 15 TRUCK TRAILER SPACES  
**SPECIAL EXCEPTION USES:** PER SECTION 16.15.02 OF THE MANCHESTER ZONING REGULATIONS USES SHALL REQUIRE APPROVAL FROM THE PLANNING AND ZONING COMMISSION AFTER A PUBLIC HEARING  
 (a) ALL USES WHICH INCLUDE DEVELOPMENT ON A SITE WHICH IS FOUR (4) ACRES OR LARGER IN SIZE  
 (b) ALL USES WHICH REQUIRE AUTOMOBILE PARKING SPACES IN EXCESS OF 60 SPACES  
 (c) ALL USES WHICH REQUIRE LOADING DOCKS OR BAYS IN EXCESS OF SEVEN (7)

**ZONING COMPLIANCE TABLE:**

ITEM	REQUIRED / PERMITTED		PROPOSED
	TOWN ZONING REGULATIONS	"PARK" REGULATIONS	
LOT AREA	NR	2 ACRES MINIMUM	870,318 SQ. FT. = 19.980 ACRES
LOT FRONTAGE	NR	NR	83.1'
BUILDING HEIGHT	75' MAXIMUM	75' MAXIMUM	45'
LOT COVERAGE (BUILDING)	60% MAXIMUM	33% MAXIMUM	16.6%
LOT COVERAGE (PAVEMENT)	NR	33% MAXIMUM	17.0%
FRONT YARD	40' MINIMUM	50' MINIMUM	198.7'
SIDE YARD	15' MINIMUM	25' MINIMUM	91.6' (ALONG SOUTH SIDE)
REAR YARD	30' MINIMUM	50' MINIMUM	141.4' (ALONG WEST SIDE)
DENSITY RATIO OF TOTAL GROSS FLOOR AREA TO SITE AREA	NR	1.0 MAXIMUM	0.17
PARKING	THE NUMBER OF SPACES SHALL BE SUFFICIENT TO ACCOMMODATE PERSONNEL AND CUSTOMERS	NR	VEHICLE SPACES: 127 SPACES TOTAL (INCLUDES 122 REGULAR SPACES & 5 ACCESSIBLE SPACES)
EV PARKING	10% OF PARKING SPACES 127 x 10% = 12.7 OR 13 SPACES	NR	13 SPACES (INCLUDES 12 REGULAR SPACES & 1 ACCESSIBLE SPACES)
SETBACK ALONG ANY PROPERTY LINE OF RESIDENTIAL USE PROPERTY	NR	50' MINIMUM	156' SETBACK FROM THE WEST PROPERTY LINE
SETBACK OF A STRUCTURE FROM A RESIDENCE	NR	150' MINIMUM	280'± FROM NEAREST RESIDENCE (ALONG THE WEST SIDE)
BUFFER ALONG A RESIDENTIAL ZONED PROPERTY	EIGHT (8') WIDE BERMED LANDSCAPED BORDER (MINIMUM)	NO LESS THAN ONE AND ONE HALF (1 1/2) TIMES THE MAXIMUM HEIGHT OF THE STRUCTURE  THE WEST SIDE OF THE BUILDING WILL BE 48" HIGH 48 x 1.5 = 69' MINIMUM	156'± WIDE AREA, ALONG THE WEST SIDE OF THE PROPERTY, WILL HAVE A BERM, A RETAINING WALL AND NEW EVERGREENS PLANTED ALONG WITH EXISTING TREES AND VEGETATION

NR = NO REQUIREMENT

**LOCATION MAP**  
 SCALE: 1 INCH = 800 FEET



**SHEET INDEX**

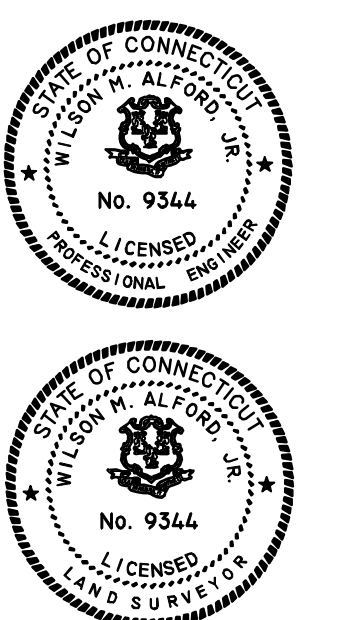
SHEET TITLE	SHEET NUMBER
COVER SHEET	C1.1
EXISTING CONDITIONS SURVEY	C2.1 & C2.2
LAYOUT PLAN	C3.1
LANDSCAPING PLAN	C4.1 & C4.2
WETLANDS CREATION PLAN	C5.1
GRADING AND UTILITIES PLAN	C6.1 & C6.2
PLAN / PROFILE	C6.3, C6.4, C6.5, C6.6 & C6.7
EROSION & SEDIMENTATION CONTROL PLAN	C7.1 & C7.2
NOTES AND DETAILS	C8.1
STORM DRAINAGE NOTES AND DETAILS	C8.2
STORM DRAINAGE DETAILS	C8.3
WATER SERVICE NOTES AND DETAILS	C8.4
PAVEMENT DETAILS AND SANITARY SEWER DETAILS	C8.4
EXTERIOR LIGHTING PHOTOMETRIC PLAN	1 OF 1

**PROPOSED DISTRIBUTION CENTER / WAREHOUSE**  
**71 COMMERCE ROAD**  
**(FORMERLY KNOWN AS 71 AND 81 COMMERCE ROAD)**  
**MANCHESTER, CONNECTICUT**

APPROVED  
 PLANNING & ZONING COMMISSION  
 MANCHESTER, CT.  
 DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

Sheet  
 C1.1

REVISION	DATE	REVISED PER TOWN STAFF COMMENTS
7-B-24		



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

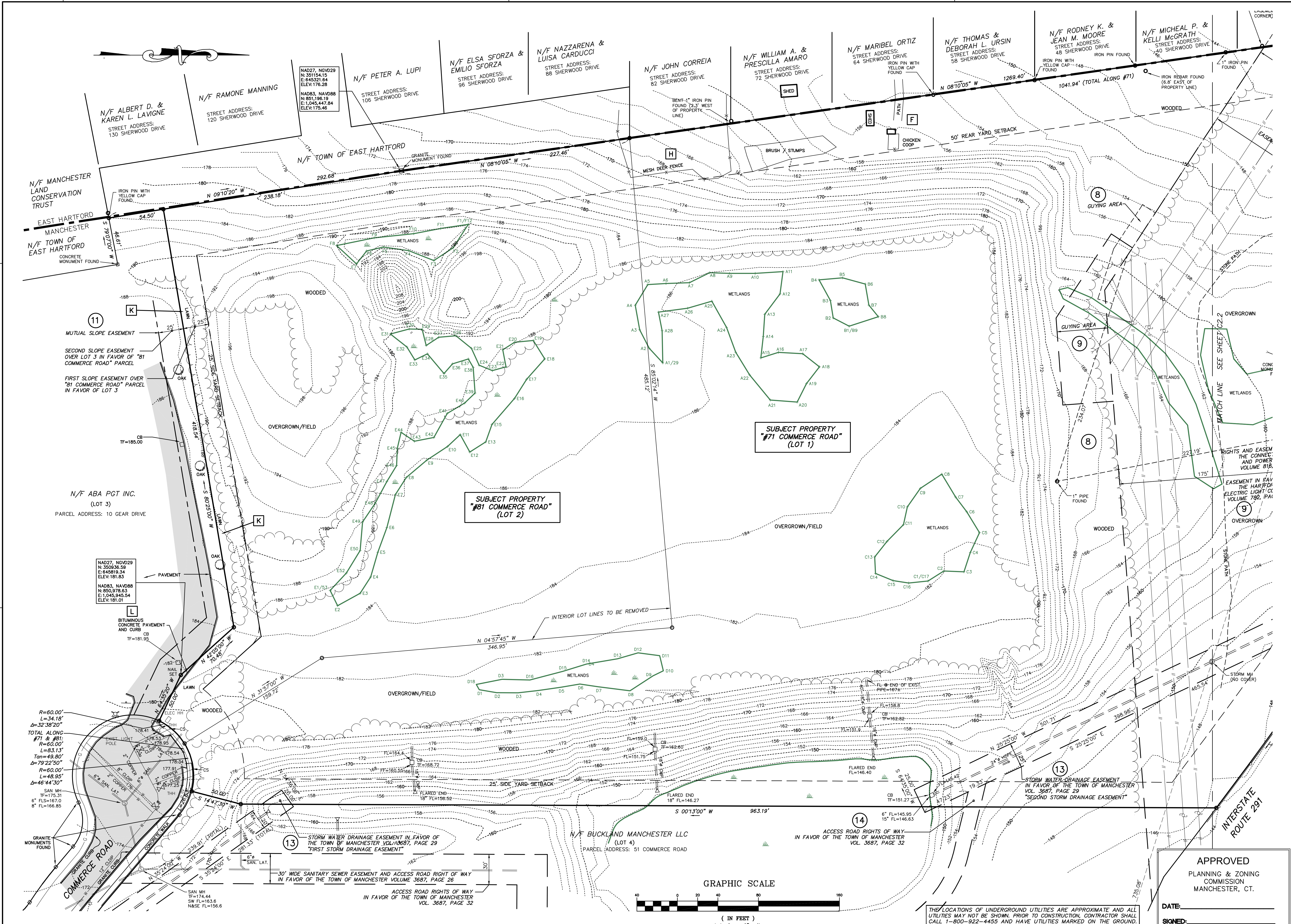


CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

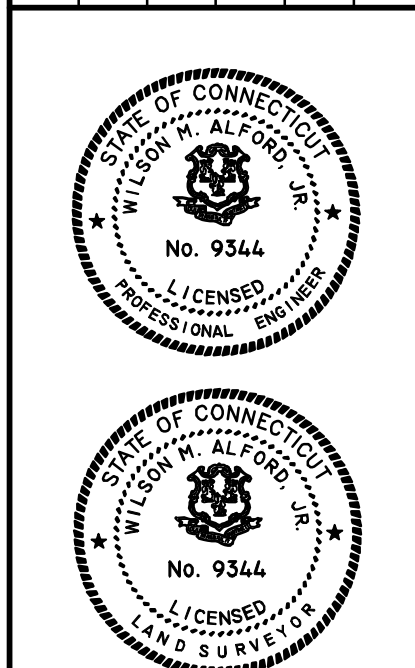
DATE: MAY 6, 2024

SCALE: 1 IN. = - FT.

SITE PLAN  
 PREPARED FOR  
**LFF COMMERCE JV LLC**  
 COVER SHEET  
 71 COMMERCE ROAD  
 (FORMERLY KNOWN AS  
 71 AND 81 COMMERCE ROAD)  
 MANCHESTER, CONNECTICUT



NO.	DATE	REVISION
7-B-24		REVISED PER TOWN STAFF COMMENTS



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

**Alford**  
ASSOCIATES, INC.

CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024  
SCALE: 1 IN. = 40 FT.

**SITE PLAN**  
PREPARED FOR  
**LFF COMMERCE JV LLC**  
EXISTING CONDITIONS PLAN  
71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)  
MANCHESTER, CONNECTICUT

**Sheet**  
**C2.1**

**APPROVED**  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

**SCHEDULE B, PART II EXCEPTIONS**

THE FOLLOWING ARE ITEMS LISTED AS EXCEPTIONS IN SCHEDULE B, PART II IN THE ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: CT6472466, COMMITMENT DATE: SEPTEMBER 18, 2023, PROPERTY ADDRESS: 71 COMMERCE ROAD AND 81 COMMERCE ROAD, MANCHESTER, CONN.

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.  
**NOT A SURVEY ITEM.**
2. Rights or claims of parties other than the insured in actual possession or under unrecorded leases of any or all of the land.  
**NOT A SURVEY ITEM.**
3. Easements or claims of easements not shown by the public records, encroachments, violations, variations or adverse circumstances affecting the Title that would be disclosed by an accurate survey of the Land. **EASEMENTS OF PUBLIC RECORD AND ENCROACHMENTS ARE SHOWN ON THE SURVEY.**
4. Any lien or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.  
**NOT A SURVEY ITEM.**
5. Liens for taxes and assessments which become due and payable subsequent to date of policy.  
**NOT A SURVEY ITEM.**
6. Sewer and water use charges may be due and payable.  
**NOT A SURVEY ITEM.**
7. Second Half Taxes to the City/Town of Manchester on the list of October 1, 2022, not yet payable.

List No. 124500071 Map 2 Block 1245 Lot 71 Assessment: \$277,100.00 Taxes: \$10,308.12 (71 Commerce Road)

List No. 124500081 Map 2 Block 1245 Lot 81 Assessment: \$250,900.00 Taxes: \$5,613.48 (81 Commerce Road)  
**NOT A SURVEY ITEM.**

8. Easement in favor of The Connecticut Power Company dated July 3, 1956 and recorded in volume 305 at page 443.  
**See Partial Release, volume 917, page 242.** (as to 71 Commerce Road only)
9. Easement in favor of The Hartford Electric Light Company dated May 28, 1981 and recorded in volume 782 at page 184. (as to 71 Commerce Road only)  
**MAP REFERRED TO IN EASEMENT DOCUMENT WAS NOT PROVIDED TO THE SURVEYOR. EASEMENT IS AS SHOWN ON REFERENCE PLAN #1.**
10. Certificate of Condemnation in favor of The Connecticut Light and Power Company dated July 29, 1982 and recorded in volume 816 at page 147. (as to 71 Commerce Road only)  
**THE LOCATION IS SHOWN.**
11. Mutual Slope Rights by and between 291 Development LLC, and AGA-PGT Inc. dated February 5, 2001 and recorded in volume 2242 at page 139 (as to 81 Commerce Road only)  
**THE LOCATIONS ARE SHOWN.**
12. Sanitary Sewer and Access Road Right of Way in favor of the Town of Manchester dated May 15, 2009 and recorded in volume 3687 at page 28. (as to 71 Commerce Road only)  
**IS NOT LOCATED ON THE SUBJECT PROPERTIES.**
13. Storm Drainage Easement in favor of the Town of Manchester dated May 15, 2009 and recorded in volume 3687 at page 29 (as to 71 Commerce Road).  
**THE LOCATIONS ARE SHOWN.**
14. Access Road Rights of Way in favor of the Town of Manchester dated May 15, 2009 and recorded in volume 3687 at page 32 (as to 71 Commerce Road only)  
**THE LOCATION IS SHOWN.**

**SIGNIFICANT OBSERVATIONS:**

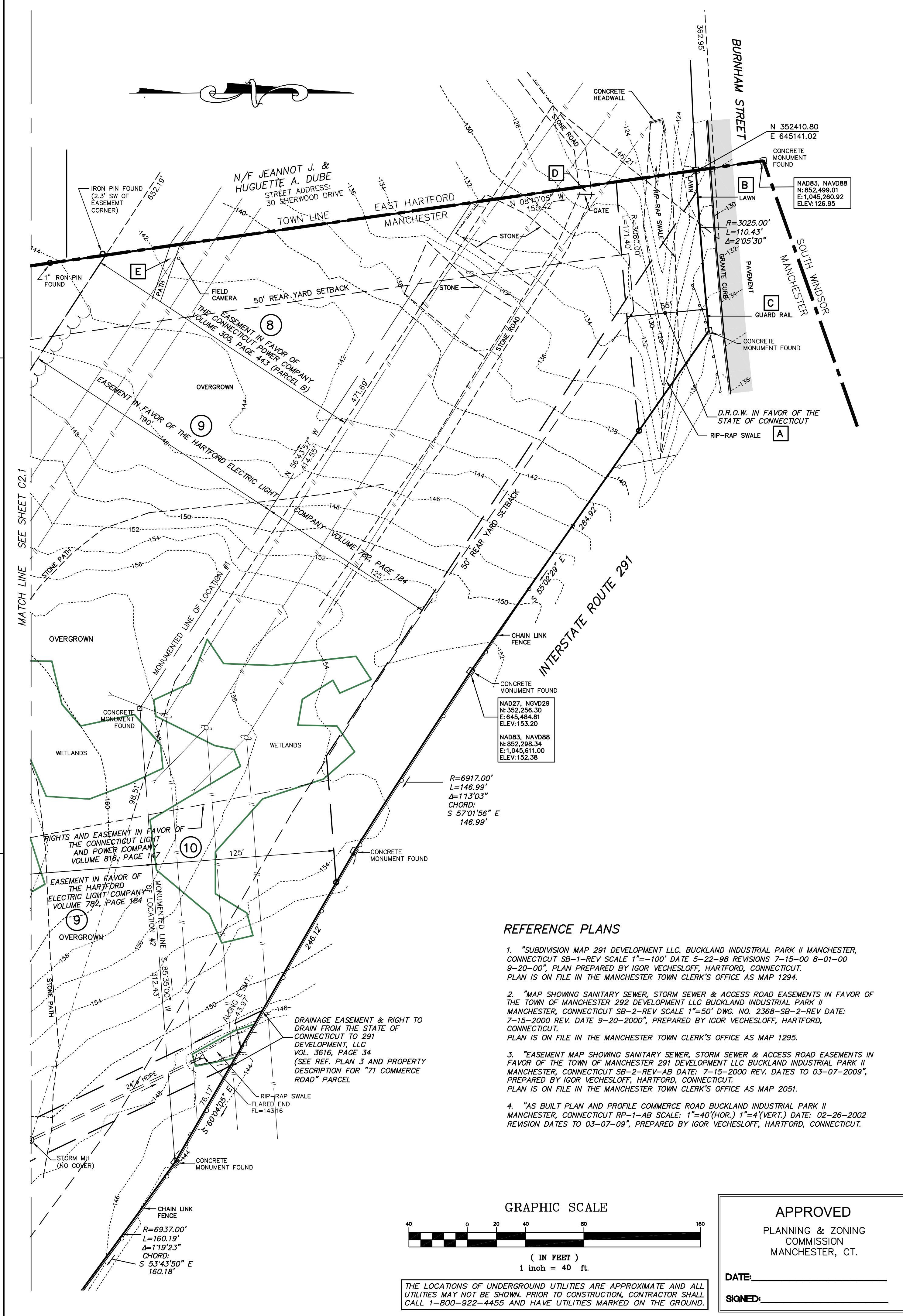
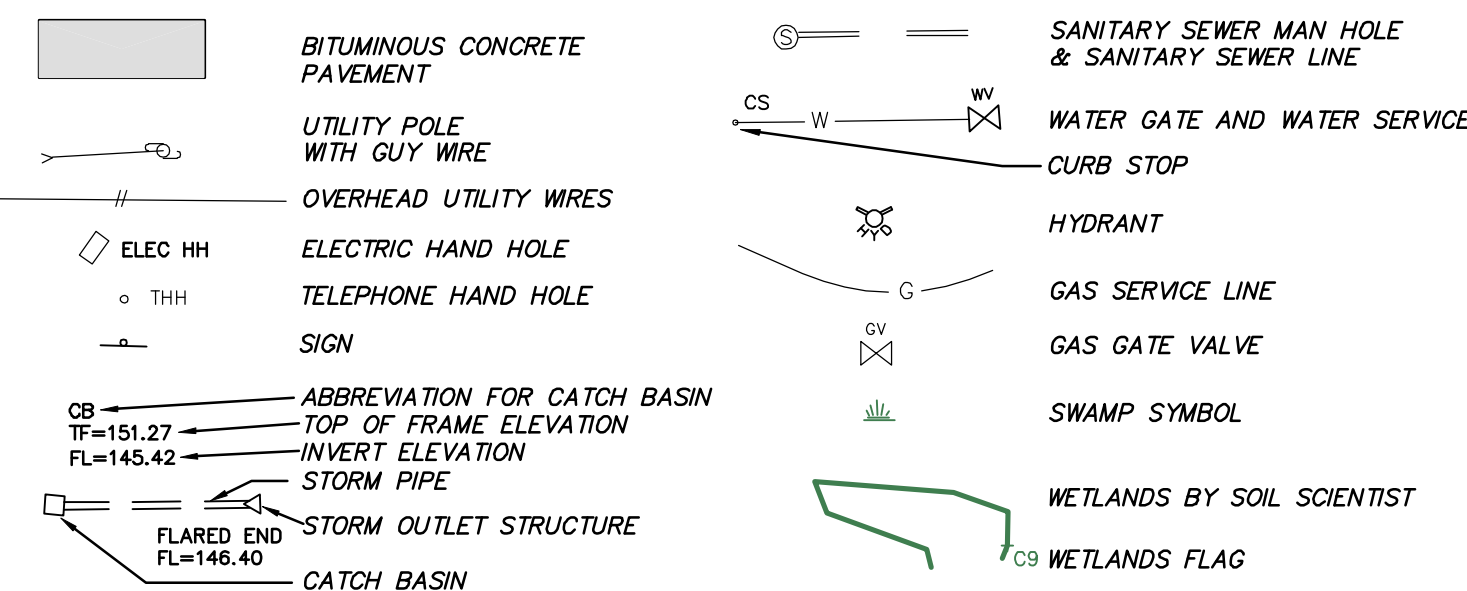
**PERTAINING TO "#71 COMMERCE ROAD" PARCEL**

- A. REFERENCE PLAN 1, SHOWS A D.R.O.W. IN FAVOR OF THE STATE OF CONNECTICUT LOCATED AT THE NORTHERLY CORNER OF "#71 COMMERCE ROAD" PARCEL. THERE IS A RIP-RAP SWALE WITHIN THE D.R.O.W. SWALE PICKS UP SURFACE WATER FROM THE ADJUTING EAST PROPERTY AND DRAINING TO THE ADJUTING WEST PROPERTY.
- B. A LAWN, BEING MAINTAINED BY THE ADJUTING PROPERTY, ENCLOSES ON TO THE NORTHERLY CORNER OF THE SUBJECT PROPERTY.
- C. A GUARD RAIL, AT BURNHAM STREET, ENCLOSES ON TO THE NORTHERLY CORNER OF THE SUBJECT PROPERTY.
- D. A STONE ROAD LIES ON THE SUBJECT PROPERTY AND RUNS OVER THE WEST PROPERTY LINE OF THE SUBJECT PROPERTY AND ON TO THE ADJUTING PROPERTY.
- E. A PATH RUNS OVER THE WEST PROPERTY LINE OF THE SUBJECT PROPERTY AND ON TO THE ADJUTING PROPERTY. ADDITIONALLY, THERE IS A FIELD CAMERA WITHIN THE SAME AREA AS THE PATH.
- F. A SHED, CHICKEN COOP AND PATH, LOCATED ON THE WEST SIDE OF THE SUBJECT PROPERTY, IS BEING USED BY THE ADJUTING PROPERTY.
- G. DELETED
- H. A FENCED AREA, LOCATED ON THE WEST SIDE OF THE SUBJECT PROPERTY, IS BEING USED BY THE ADJUTING PROPERTY. THIS AFFECTS BOTH #71 & #81 COMMERCE ROAD PARCELS.
- J. EASEMENT LISTED AS "ITEM 8" IN SCHEDULE B, PART II EXCEPTIONS, IS NOT SHOWN ON REFERENCE PLAN #1.

**PERTAINING TO "#81 COMMERCE ROAD" PARCEL**

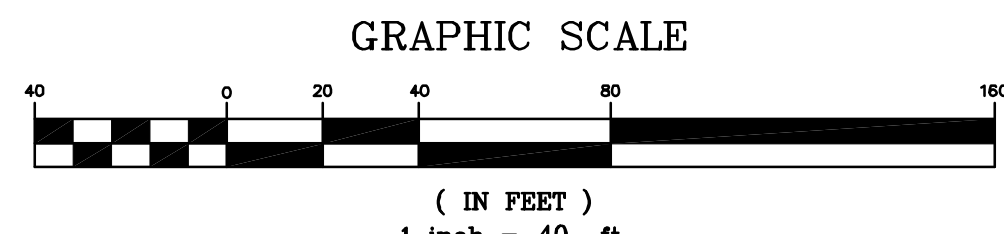
- K. A LAWN, BEING MAINTAINED BY THE ADJUTING PROPERTY, ENCLOSES ON TO THE SOUTH SIDE OF THE SUBJECT PROPERTY.
- L. A PORTION OF A BITUMINOUS CONCRETE DRIVEWAY, BEING USED BY THE ADJUTING PROPERTY, ENCLOSES ON TO THE SOUTH SIDE OF THE SUBJECT PROPERTY.

**LEGEND**



**REFERENCE PLANS**

1. "SUBDIVISION MAP 291 DEVELOPMENT LLC BUCKLAND INDUSTRIAL PARK II MANCHESTER, CONNECTICUT SB-1-REV SCALE 1"=100' DATE 5-22-98 REVISIONS 7-15-00 8-01-00 9-20-00", PLAN PREPARED BY IGOR VECHESLOFF, HARTFORD, CONNECTICUT. PLAN IS ON FILE IN THE MANCHESTER TOWN CLERK'S OFFICE AS MAP 1294.
2. "MAP SHOWING SANITARY SEWER, STORM SEWER & ACCESS ROAD EASEMENTS IN FAVOR OF THE TOWN OF MANCHESTER 291 DEVELOPMENT LLC BUCKLAND INDUSTRIAL PARK II MANCHESTER, CONNECTICUT SB-2-REV SCALE 1"=50' DWG. NO. 2368-SB-2-REV DATE: 7-15-2000 REV. DATE 9-20-2000", PREPARED BY IGOR VECHESLOFF, HARTFORD, CONNECTICUT. PLAN IS ON FILE IN THE MANCHESTER TOWN CLERK'S OFFICE AS MAP 1295.
3. "EASEMENT MAP SHOWING SANITARY SEWER, STORM SEWER & ACCESS ROAD EASEMENTS IN FAVOR OF THE TOWN OF MANCHESTER 291 DEVELOPMENT LLC BUCKLAND INDUSTRIAL PARK II MANCHESTER, CONNECTICUT SB-2-REV-AB DATE: 7-15-2000 REV. DATES TO 03-07-2009", PREPARED BY IGOR VECHESLOFF, HARTFORD, CONNECTICUT. PLAN IS ON FILE IN THE MANCHESTER TOWN CLERK'S OFFICE AS MAP 2051.
4. "AS BUILT PLAN AND PROFILE COMMERCE ROAD BUCKLAND INDUSTRIAL PARK II MANCHESTER, CONNECTICUT RP-1-AB SCALE: 1"=40'(HOR.), 1"=4'(VERT.) DATE: 02-26-2002 REVISION DATES TO 03-07-09", PREPARED BY IGOR VECHESLOFF, HARTFORD, CONNECTICUT.



**APPROVED**  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

**SURVEYOR'S NOTES**

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A LIMITED PROPERTY/BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO VERTICAL ACCURACY CLASS 1-2.
2. BEARINGS FOR THIS SURVEY ARE BASED ON REFERENCE PLAN #1. BEARINGS AND COORDINATES ARE BASED ON NAD83 HORIZONTAL DATUM. ELEVATIONS ARE BASED ON NGVD29 DATUM. TOPOGRAPHY WAS FIELD VERIFIED BY ALFORD ASSOCIATES, INC. IN NOVEMBER, 2023.
3. PER REFERENCE PLAN #1, THE BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE CONNECTICUT GEODETIC SURVEY SYSTEM HOLDING STATIONS 22A, 23, 24 & 25 (HORIZONTAL CONTROLS FOR 1-291 PROJ. NO 132-97 SHEET 4 OF 288) PNT. 22A N 352532.4 E 645838.70 PNT. 23 N 352636.96 E 646573.81 PNT. 24 N 351923.2 E 647113.11 PNT. 25 N 351336.37 E 647751.06 N.A.D. 27.
4. THE SURVEYOR DID NOT ABSTRACT PROPERTY. THE ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER: CT6472466, COMMITMENT DATE: SEPTEMBER 18, 2023 FOR PROPERTY ADDRESS: 71 COMMERCE ROAD AND 81 COMMERCE ROAD, MANCHESTER, CONN. WAS USED TO PREPARE THIS SURVEY.
5. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
6. CURRENT DEEDS:  
"71 COMMERCE ROAD": VOLUME 4009, PAGE 42  
"81 COMMERCE ROAD": VOLUME 4672, PAGE 1173  
AS RECORDED IN THE MANCHESTER LAND RECORDS
7. "71 COMMERCE ROAD" IS SHOWN ON TOWN OF MANCHESTER TAX ASSESSOR'S MAP 2, BLOCK 1245, LOT 71.  
"81 COMMERCE ROAD" IS SHOWN ON TOWN OF MANCHESTER TAX ASSESSOR'S MAP 2, BLOCK 1245, LOT 81.
8. THE SUBJECT PROPERTIES ARE ZONED "INDUSTRIAL" AS SHOWN ON THE CURRENT ZONING MAP FOR MANCHESTER, CONNECTICUT.
9. THE SUBJECT PROPERTIES ARE NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON A PLAN ENTITLED "NATIONAL FLOOD HAZARD LAYER FIRMETTE 0900300387" EFFECTIVE DATE 9-26-2008".
10. FOR BOTH SUBJECT PROPERTIES, THERE ARE NO BUILDINGS OBSERVED.
11. FOR BOTH SUBJECT PROPERTIES, THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
12. FOR BOTH SUBJECT PROPERTIES, BASED ON INFORMATION FROM THE TOWN OF MANCHESTER ENGINEERING DEPARTMENT, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. ADDITIONALLY, THERE IS NO EVIDENCE OF ANY RECENT STREET AND SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
13. WETLANDS WERE FLAGGED BY GEORGE LOGAN, SOIL SCIENTIST, FROM REMA ECOLOGICAL SERVICES, LLC IN NOVEMBER, 2023. FLAGS WERE FIELD LOCATED BY ALFORD ASSOCIATES, INC.

**PROPERTY DESCRIPTIONS**

THE PROPERTY DESCRIPTIONS ARE AS SHOWN IN SCHEDULE "A" IN THE ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: CT6472466, COMMITMENT DATE: SEPTEMBER 18, 2023, PROPERTY ADDRESS: 71 COMMERCE ROAD AND 81 COMMERCE ROAD, MANCHESTER, CONN.

**71 Commerce Road**

All that certain piece or parcel of land situated in the Town of Manchester, County of Hartford and State of Connecticut known as 71 Commerce Road and being shown as Lot No. 1 on a map entitled "Subdivision Map 291 Development LLC Buckland Industrial Park II Manchester, Connecticut Igor Veschesloff Professional Engineer & Land Surveyor 51 Lorraine Street, Hartford, Connecticut Scale 1"=100' Date 5-22-98 Drawing No. 2368SB-1 Revised 7-15-00 Update 8-01-00 Per Town's Comments 9-20-00 Per Town's Comments" which map is on file in the Manchester Land Records.

Together with a drainage easement from the State of Connecticut dated November 3, 2008 and recorded in volume 3616 at page 64\*. (as to 71 Commerce Road)

\* Volume 3616 at Page 64 is a scrivener's error and should be Volume 3616 at Page 34.

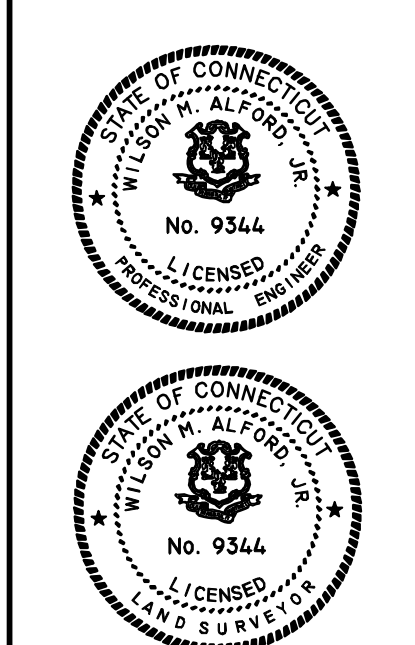
**81 Commerce Road**

All that certain piece or parcel of land situated in the Town of Manchester, County of Hartford and State of Connecticut known as 81 Commerce Road and being shown as Lot No. 2 on a map entitled "Subdivision Map 291 Development LLC Buckland Industrial Park II Manchester, Connecticut Igor Veschesloff Professional Engineer & Land Surveyor 51 Lorraine Street, Hartford, Connecticut Scale 1"=100' Date 5-22-98 Drawing No. 2368SB-1 Revised 7-15-00 Update 8-01-00 Per Town's Comments 9-20-00 Per Town's Comments" which map is on file in the Manchester Land Records.

Together with a right of way in common with others as set forth in a quit claim deed in favor of Henry G. Glode dated April 30, 1947 and recorded in volume 164 at page 224. (as may benefit both parcels)\*\*

\*\* Current deed for "81 Commerce Road" parcel, Volume 4672, Page 1173, does not include statement "Together with a right of way in common with others as set forth in a quit claim deed in favor of Henry G. Glode dated April 30, 1947 and recorded in volume 164 at page 224." Based on quit claim deed Vol. 164, Page 224 and referenced map in the quit claim deed, the right of way does not abut #71 and #81 Commerce Road parcels.

REVISION	DATE	REVISED PER TOWN STAFF COMMENTS
7-B-24		



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

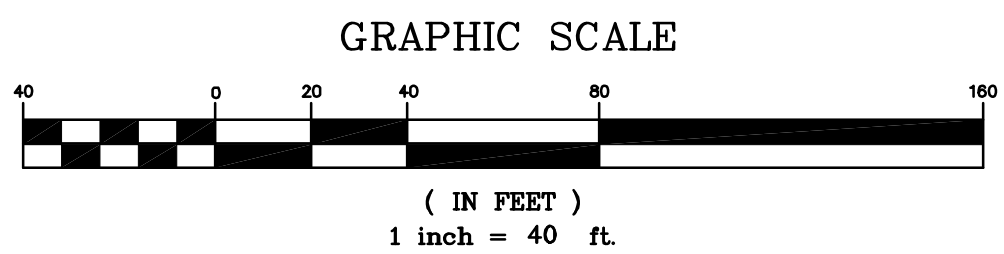
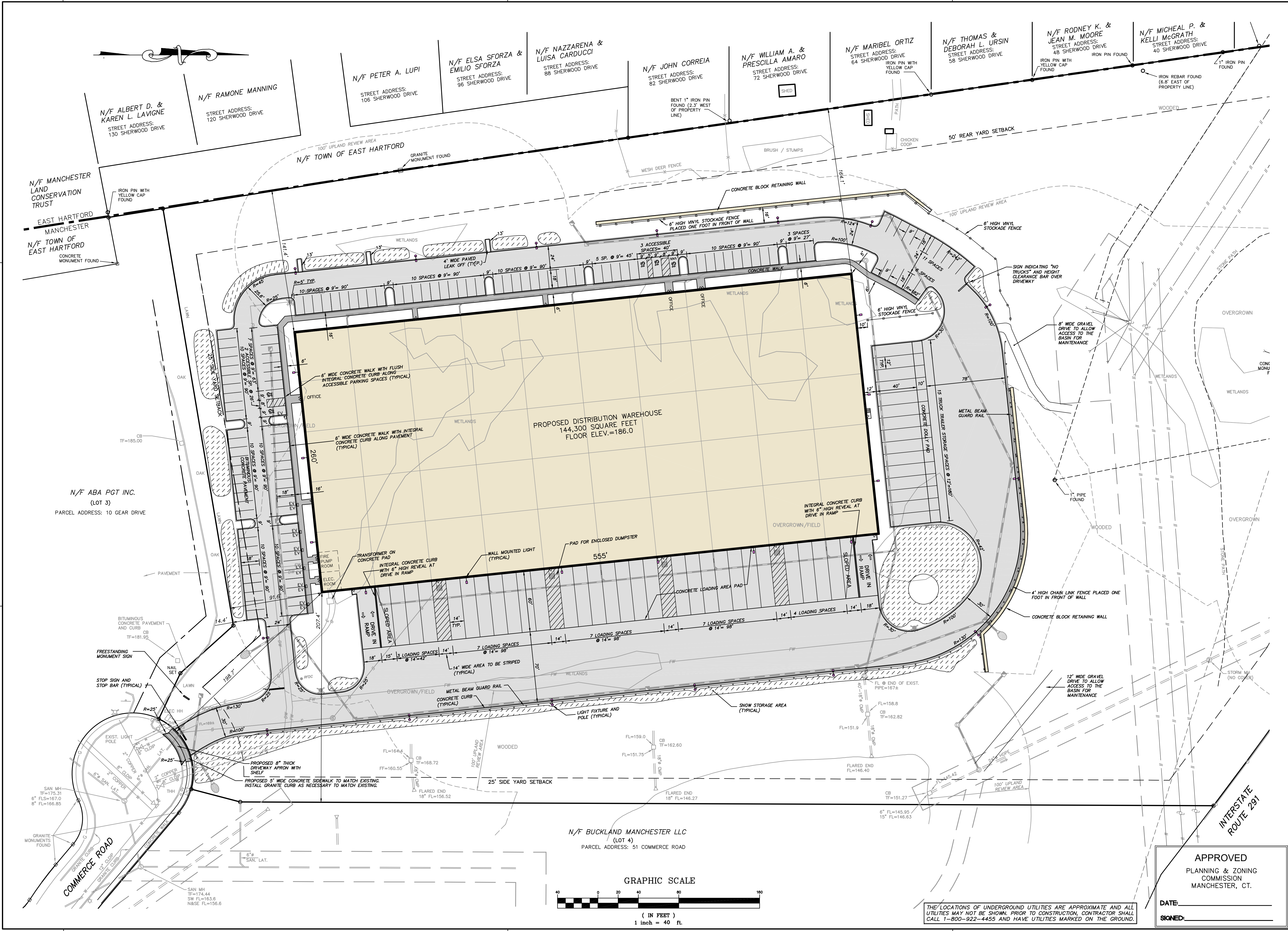
DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
EXISTING CONDITIONS PLAN  
MANCHESTER, CONNECTICUT  
(FORMERLY KNOWN AS 71 AND 81 COMMERCE ROAD)

Sheet  
C2.2





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APPROVED  
 PLANNING & ZONING  
 COMMISSION  
 MANCHESTER, CT.

DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

NO.	DATE	REVISION
7-8-24		REVISED PER TOWN STAFF COMMENTS

STATE OF CONNECTICUT  
 WILSON H. ALFORD, JR.  
 No. 9344  
 LICENSED PROFESSIONAL ENGINEER

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 WILSON H. ALFORD, JR.  
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**Alford**  
 ASSOCIATES, INC.

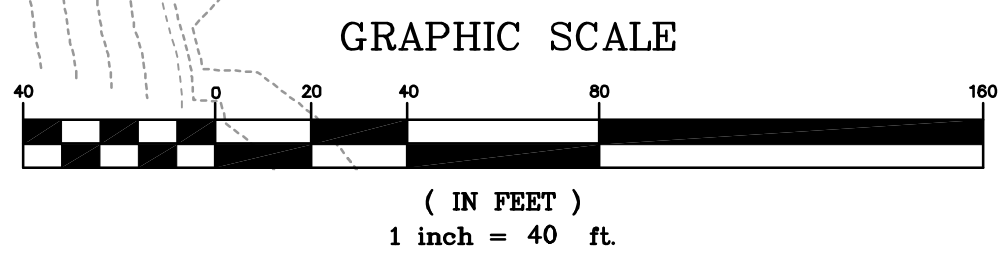
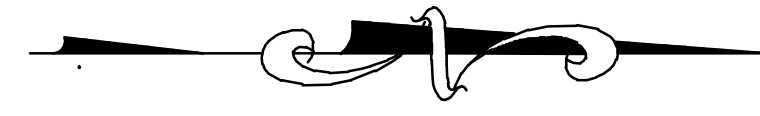
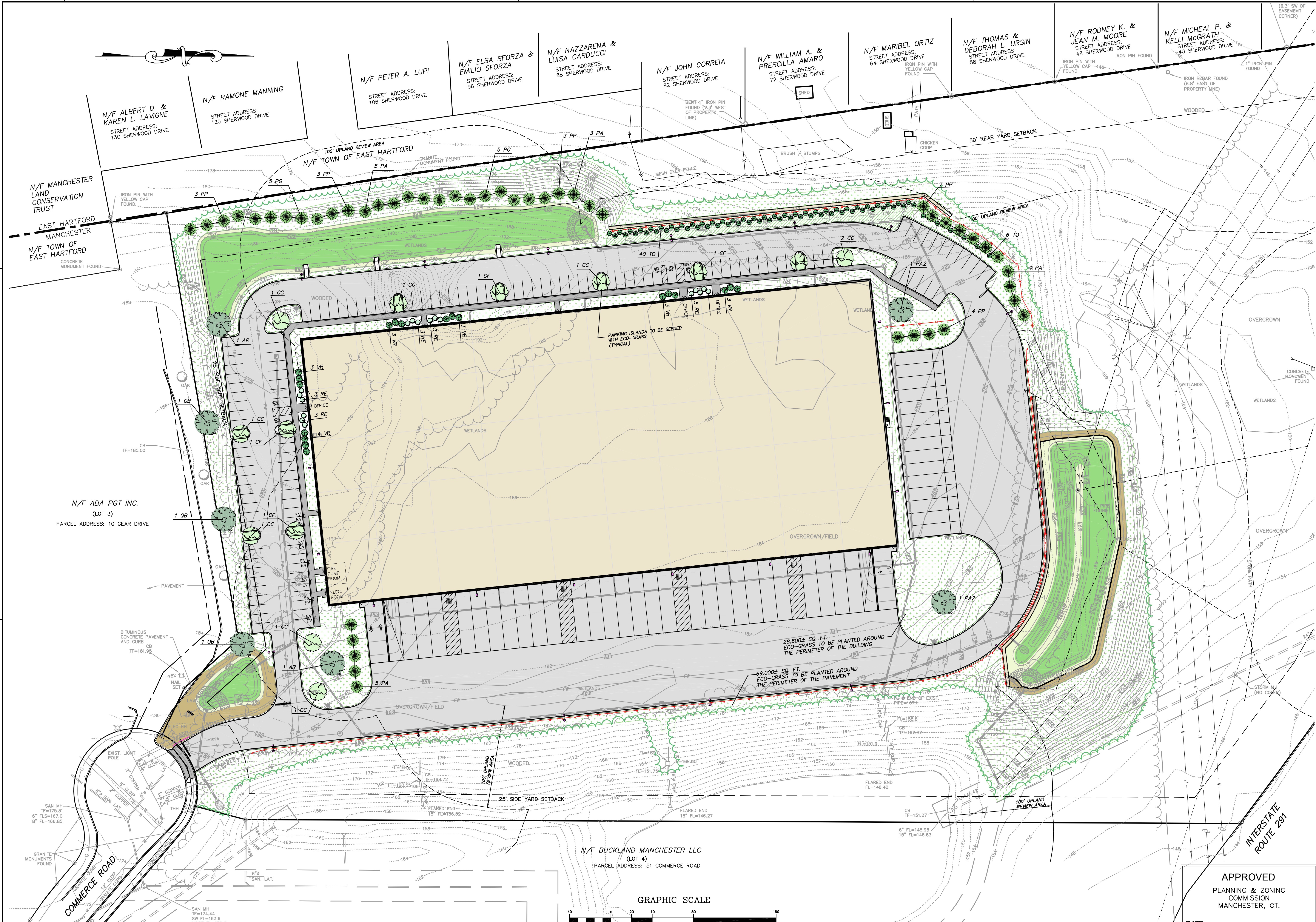
CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON H. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024  
 SCALE: 1 IN. = 40 FT.

SITE PLAN  
 PREPARED FOR  
**LFF COMMERCE JV LLC**  
 LA YOUT PLAN  
 MANCHESTER, CONNECTICUT

71 COMMERCE ROAD  
 (FORMERLY KNOWN AS  
 71 AND 81 COMMERCE ROAD)

Sheet  
**C3.1**

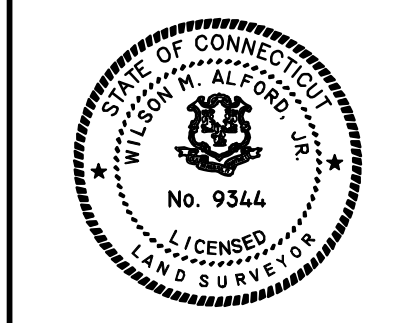
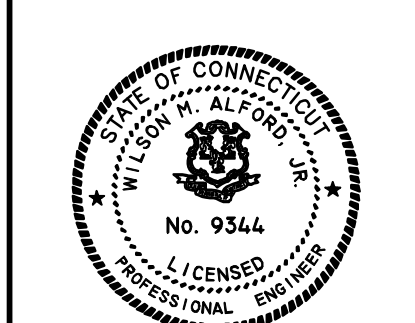


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APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	REVISION	DATE
7-B-24	REVISED PER TOWN STAFF COMMENTS	



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L.S. NO. 9344

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CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, P.E. & L.S.

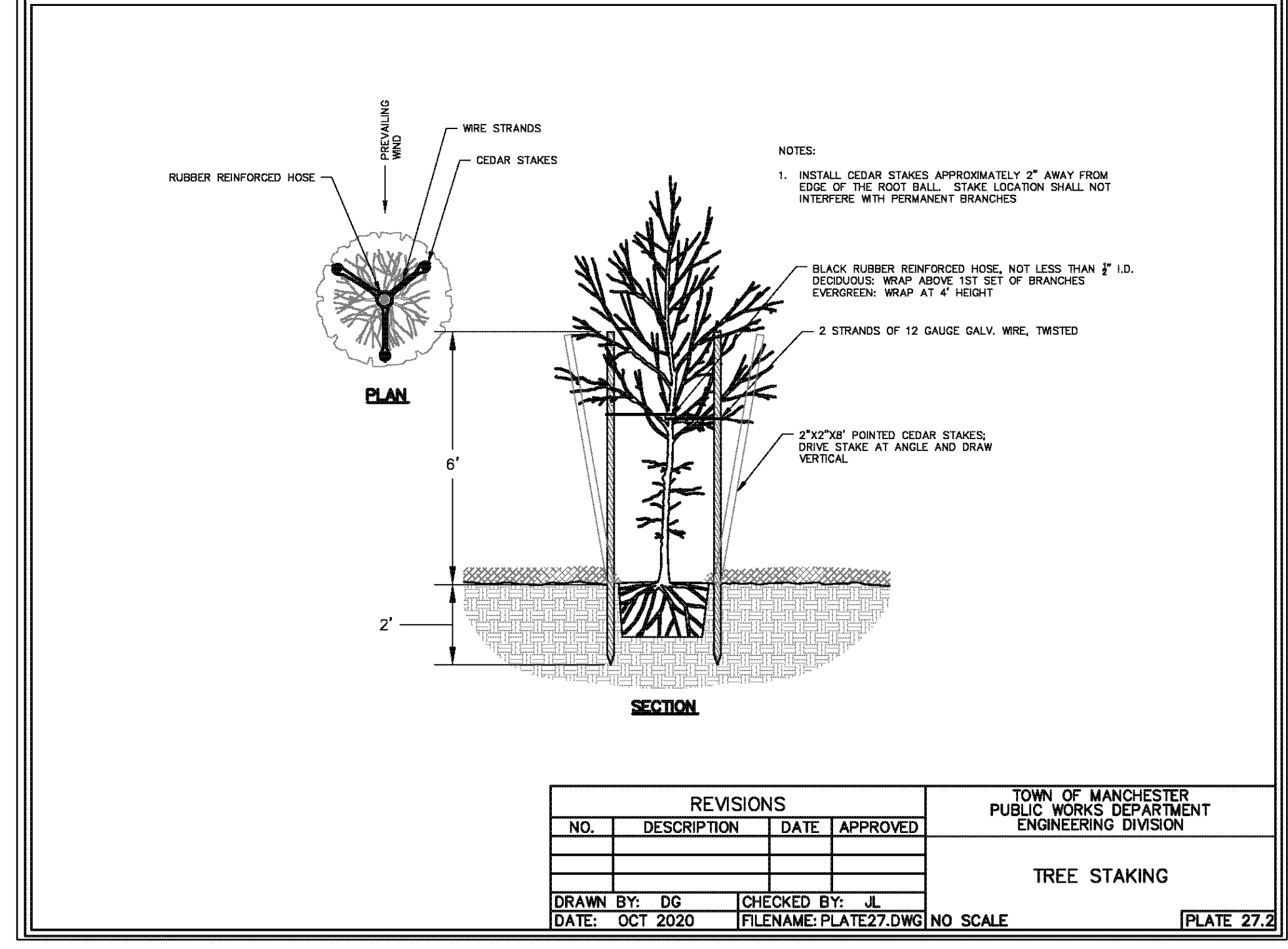
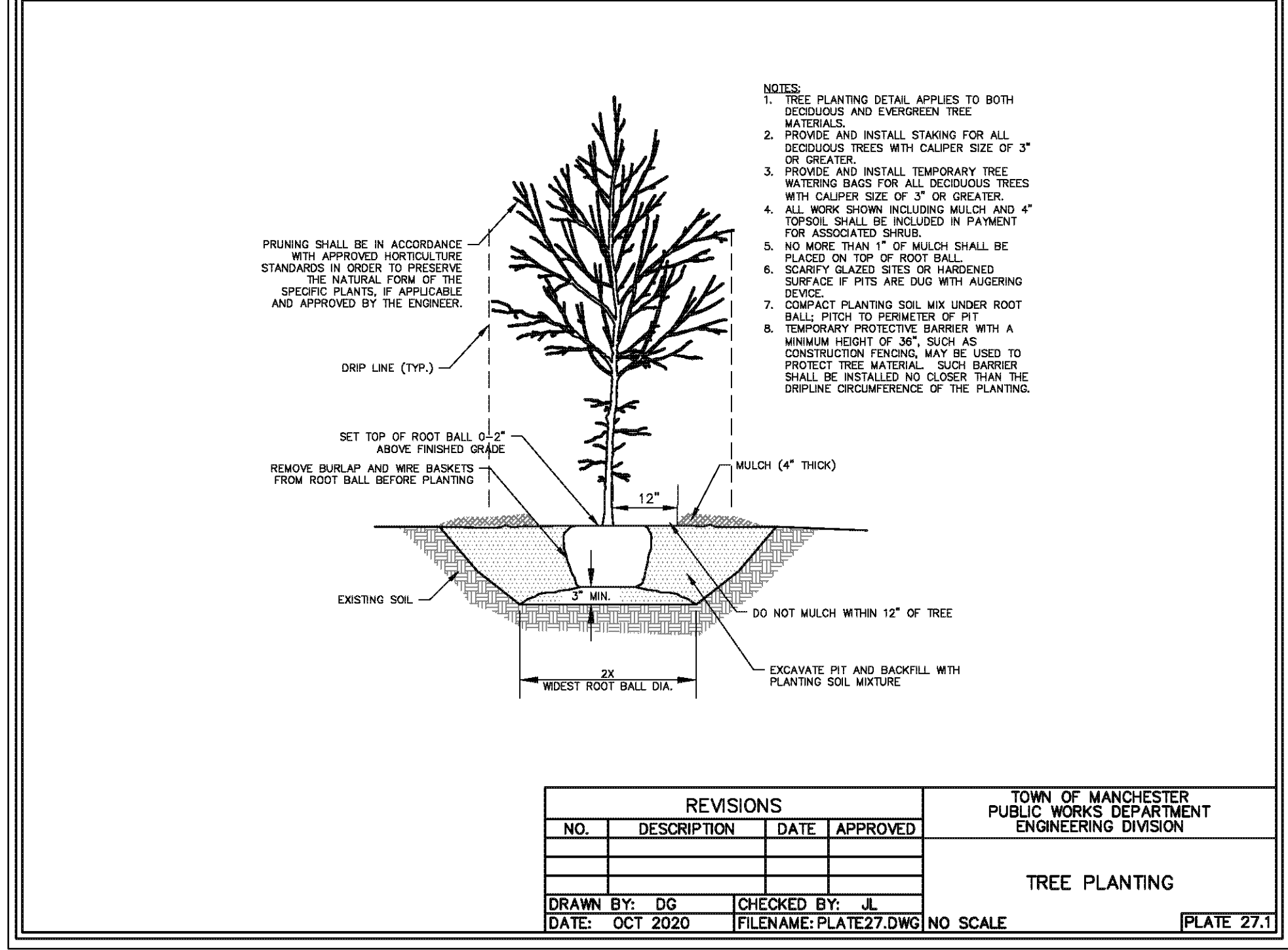
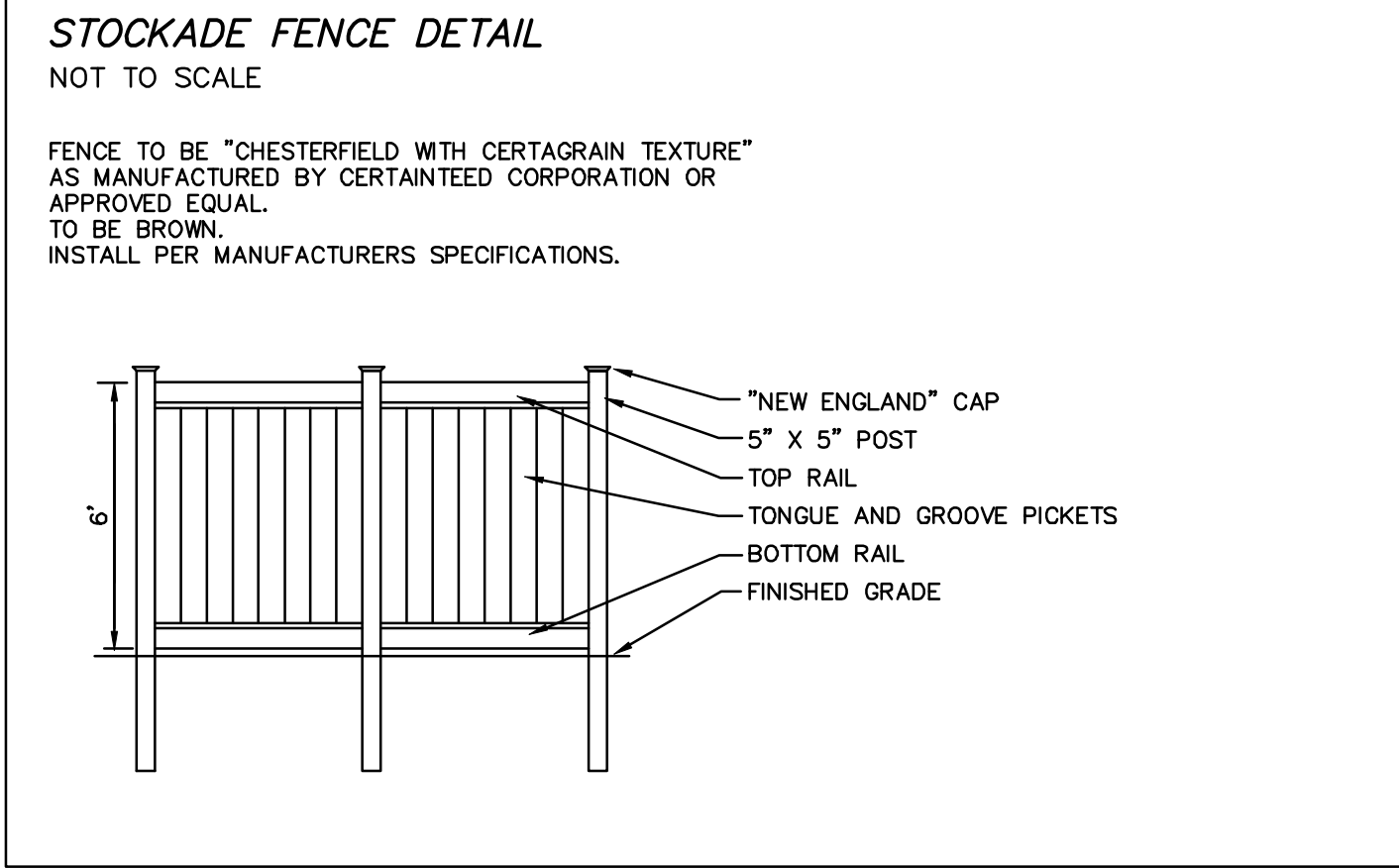
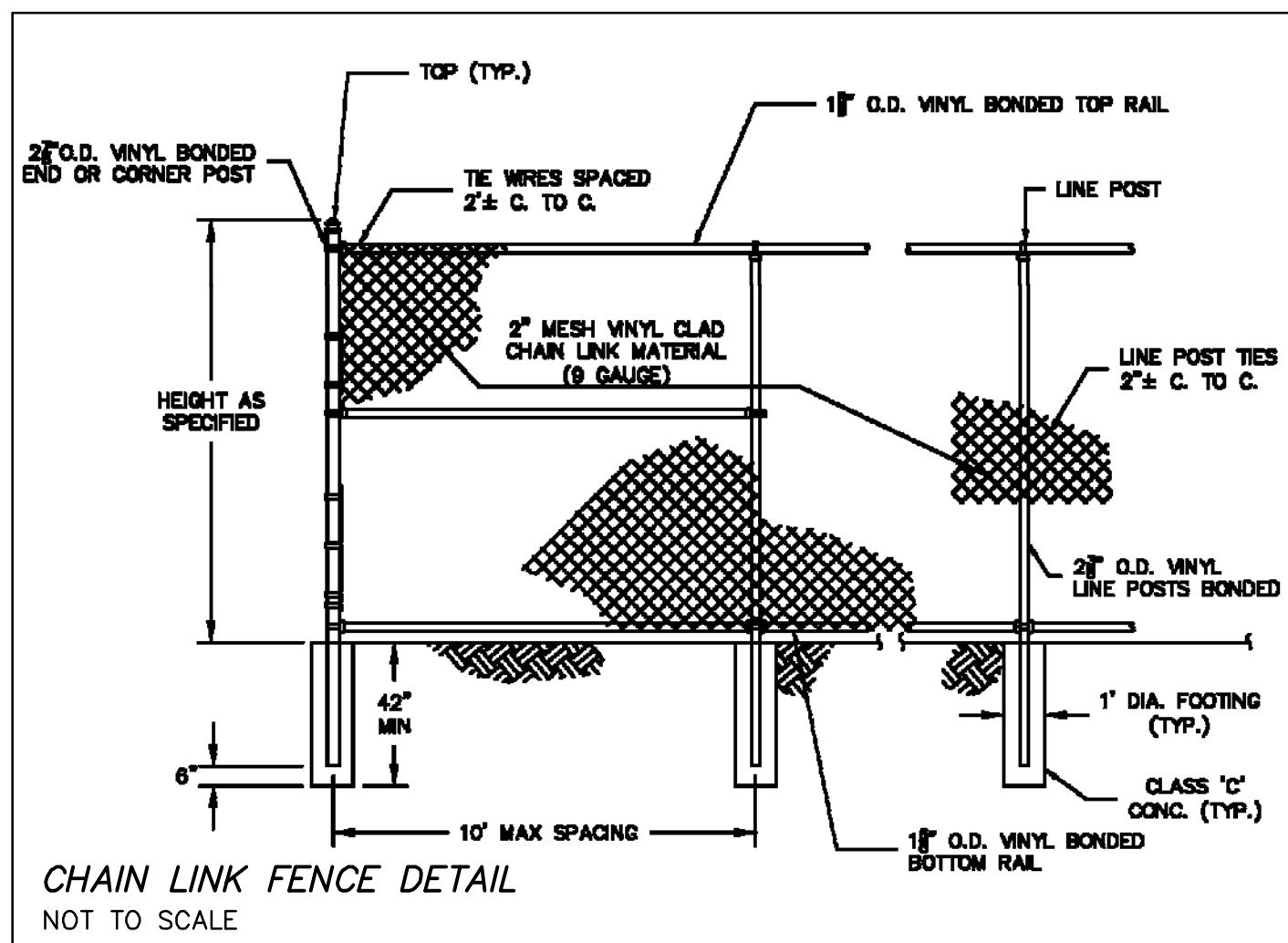
DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
LANDSCAPING PLAN  
MANCHESTER, CONNECTICUT

71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)

Sheet  
C4.1



**PLANTING SCHEDULE**

- NOTES:
- IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN ON THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
  - PROPOSED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 12 INCHES AND FILLED WITH A MIXTURE OF 80% TOPSOIL AND 20% PEAT MOSS. ALL PLANTING BEDS SHALL BE MULCHED WITH 4 INCHES OF 3/4" STONE, WOOD CHIPS OR PINE BARK MULCH.
  - ADJUSTMENTS IN THE LOCATION AND/OR NUMBER OF PROPOSED PLANTS MAY BE NECESSARY DUE TO FIELD CONDITIONS. SUCH ADJUSTMENTS SHALL BE APPROVED BY THE DESIGN ENGINEER AND THE TOWN PLANNER.
  - SUBSTITUTIONS ARE ALLOWED DUE TO AVAILABILITY AND HEALTH OF PLANTS. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE DESIGN ENGINEER AND THE TOWN PLANNER.
  - ALL PLANTS TO BE NURSERY STOCK.
  - ALL MATERIALS, PLANTS, SOIL AND GROWING MEDIUM MUST BE FREE OF INVASIVE SPECIES.

TREES				
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE (MINIMUM)	QUANTITY
	AR	ACER RUBRUM 'FRANKSRED' / RED SUNSET MAPLE	3" - 3 1/2" CAL. (B & B)	2
	CC	CORNUS FLORIDA 'CHEROKEE BRAVE' / CHEROKEE BRAVE DOGWOOD	3" - 3 1/2" CAL. (B & B)	9
	CF	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD	2 1/2" CAL. (B & B)	4
	PA	PICEA ABIES / NORWAY SPRUCE	6'-8" HT. (B & B)	17
	PG	PICEA GLAUCA / WHITE SPRUCE	6'-8" HT. (B & B)	10
	PP	PICEA PUNGENS GLAUCA / BLUE SPRUCE	6'-8" HT. (B & B)	20
	PA2	PLATANUS X ACERIFOLIA / LONDON PLANE TREE	3" - 3 1/2" CAL. (B & B)	2
	QB	QUERCUS BICOLOR / SWAMP WHITE OAK	3" - 3 1/2" CAL. (B & B)	3
	TO	THUJA OCCIDENTALIS 'NIGRA' / DARK AMERICAN ARBORVITAE	6'-8" HT. (B & B)	46
SHRUBS				
	RE	RHODODENDRON X 'PJM' / PJM RHODODENDRON	5 GALLON CONT.	17
	VR	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY' / ALLEGHANY LANTANAPHYLLUM VIBURNUM	5 GALLON CONT.	16
GROUND COVER				
		ECO-GRASS SEED MIXTURE (MANUFACTURED BY PRAIRIE MOON)	SEED TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS	97,800± SQ. FT.
		SCHIZACHYRIUM / LITTLE BLUESTEM	SEED TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS	4,800± SQ. FT.

**VEGETATIVE COVER SCHEDULE**

ALL DISTURBED AREAS NOT PAVED OR LANDSCAPED SHALL BE LOAMED WITH 4 INCHES MINIMUM OF TOPSOIL. SEED AS INDICATED BELOW. BOTTOM OF WATER QUALITY BASIN TO BE LOAMED WITH 4" OF TOPSOIL. CONDITION SOIL WITH FERTILIZER AND LIMESTONE AS INDICATED BY SOIL TEST.

PERMANENT VEGETATIVE COVER:  
PERMANENT SEEDING IS TO BE USED ON DISTURBED OR ERODIBLE SOILS THAT HAVE BEEN BROUGHT TO FINAL GRADE OR WHERE THE SUSPENSION OF WORK IS EXPECTED TO EXCEED ONE (1) YEAR.

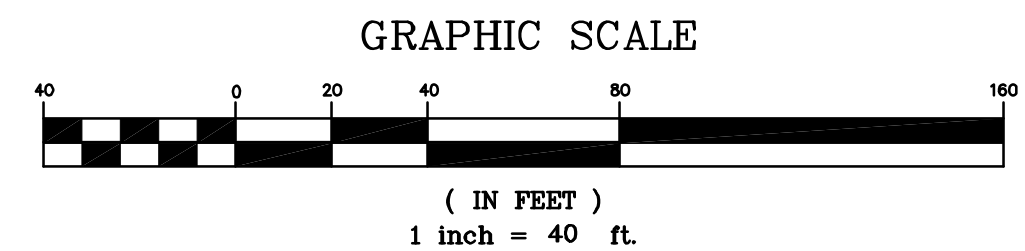
SEEDING DATES: APRIL 1 TO JUNE 15 & SEPTEMBER 1 TO OCTOBER 15

LAWN AREAS:  
REFER TO "PLANTING SCHEDULE" FOR GROUND COVER

TEMPORARY VEGETATIVE COVER:  
TEMPORARY SEEDING SHALL BE USED WHEN SOILS WILL BE EXPOSED FOR A PERIOD OF GREATER THAN ONE (1) MONTH BUT LESS THAN TWELVE (12) MONTHS.  
SEEDING DATES: MARCH 1 TO JUNE 15 & AUGUST 1 TO OCTOBER 15  
USE THE FOLLOWING SEED OR EQUAL AS APPROVED BY DESIGN ENGINEER -  
ANNUAL RYEGRASS 100%  
APPLY 1 LB./1000 S.F.

IF FINAL GRADING IS FINISHED TOO LATE IN THE SEASON FOR ESTABLISHMENT OF VEGETATIVE COVER, AREAS DISTURBED TO BE ROUGH GRADED, COVERED WITH HAY MULCH, THEN EROSION CONTROL FABRIC OR BLANKET TO BE PLACED ON TOP OF THE HAY. EROSION CONTROL FABRIC OR BLANKET TO BE PLACED PER MANUFACTURER'S SPECIFICATIONS.

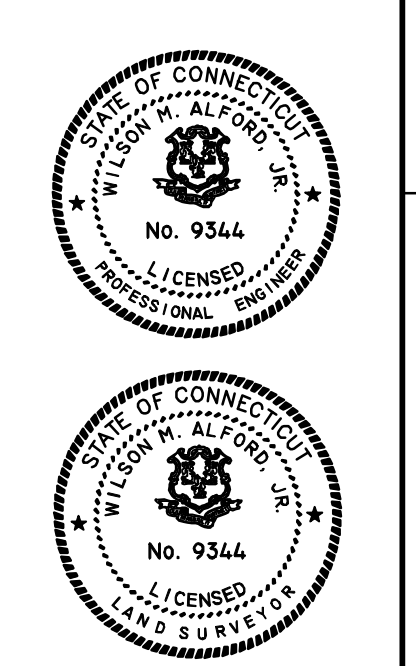
ALL 3:1 SLOPES AND STEEPER ARE TO BE STABILIZED WITH NETTING OR OTHER DIRECT STABILIZATION METHOD, IN ADDITION TO TEMPORARY OR PERMANENT SEEDING.



THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

REVISION	DATE	COMMENTS
7-B-24		REVISED PER TOWN STAFF COMMENTS



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



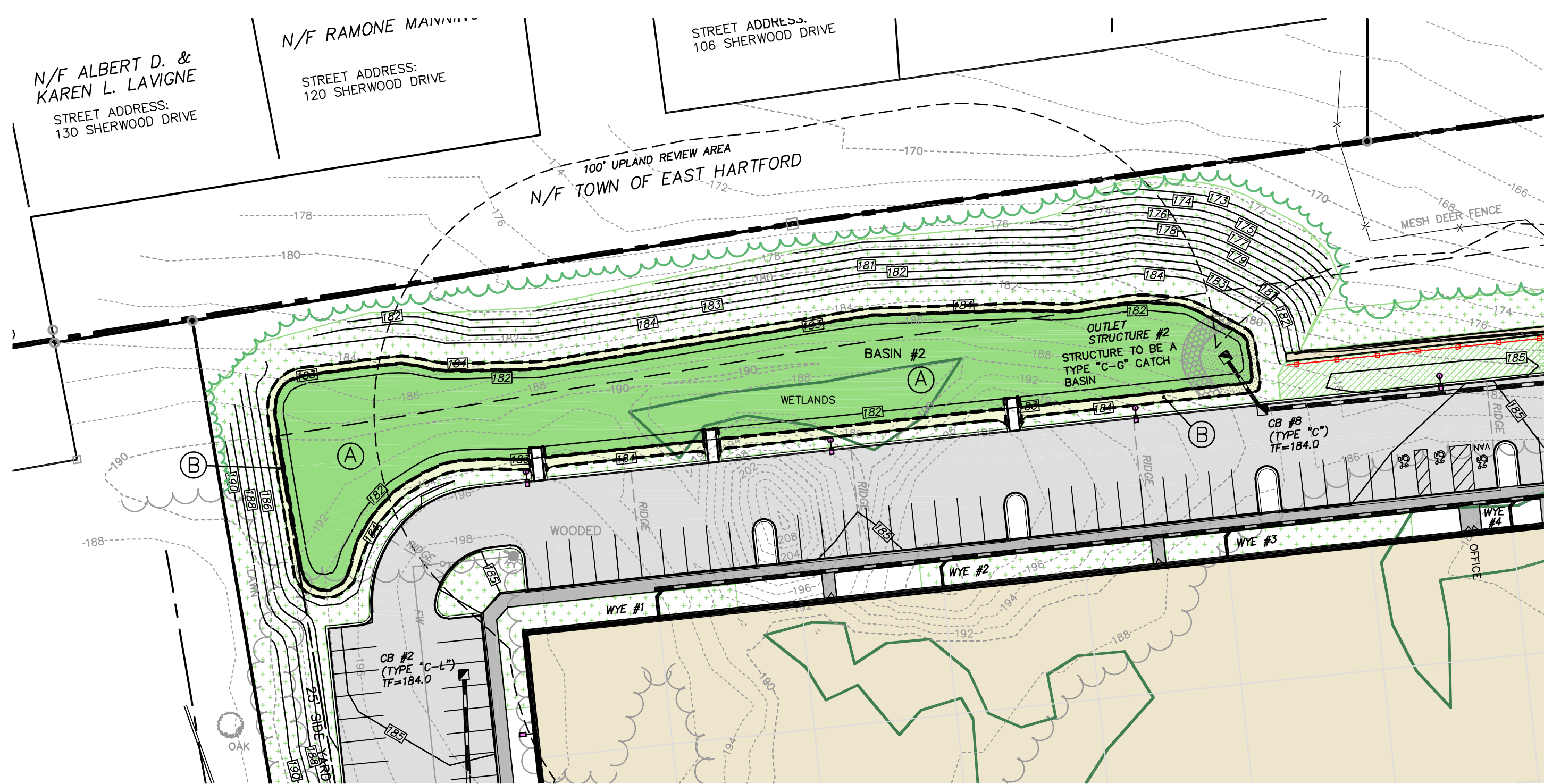
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
LANDSCAPING PLAN  
MANCHESTER, CONNECTICUT  
71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)

Sheet  
C4.2

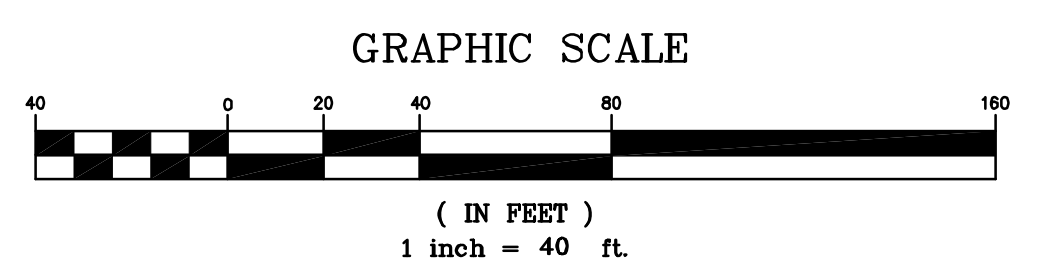


WATER QUALITY BASIN #3



WATER QUALITY BASIN #2

AREA OF WETLANDS DISTURBANCE = 33,600 SQ. FT. = 0.77 ACRES  
 WETLANDS CREATED = 42,400 SQ. FT. = 0.97 ACRES



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WATER QUALITY BASIN #1

SEED MIXES FOR WETLANDS CREATION AREAS

SEED MIX	COMMENT
<b>AREA A</b>	
NEW ENGLAND WETMIX 1 LB/2500 SF	USE IN WETLANDS CREATION AREAS
<b>AREA B</b>	
NEW ENGLAND EROSION CONTROL/RESTORATION 1 LB/1250 SF	USE AROUND EDGES OF WETLANDS CREATION AREAS
<b>AREA C</b>	
NEW ENGLAND ROADSIDE MATRIX FOR WETLANDS 1 LB/1250 SF	USE IN WETLAND BUFFER AREAS UP TO THE EDGE OF CREATED WETLANDS

- NOTES:
- SOURCE: NEW ENGLAND WETLAND PLANTS, 14 PEARL LANE, SOUTH HADLEY, MA 01075, PHONE: 413-548-8000, info@nepw.com
  - MIXING 1:1 WITH FILLER (SAND OR KITTY LITTER) HELPS WITH CORRECTLY DIVIDING SEED PACKAGES AND WITH EVEN SPREADING.
  - MIXES CONTAIN SEEDS WITH A RANGE OF HYDROLOGICAL TOLERANCES, SO THAT SOME WILL BE ADAPTED TO ANY ONE SET OF CONDITIONS.
  - PLANTS WILL BE SETTING SEED AND SPREADING FURTHER, INCREASING IN DENSITY, BECOMING CONCENTRATED IN MOST SITUATIONS.
  - AREAS UNDER AND AROUND PLUG SHRUB CLUSTERS ARE MULCHED TO FOSTER SHRUB ESTABLISHMENT, AND CREATE A NATURAL LAYER, WHICH REDUCES THE AREA THAT NEEDS TO BE SEEDED.
  - A LATE FALL SEEDING WILL REQUIRE 20% MORE SEED, BECAUSE SOME SEED WILL BE LOST TO WASH OFF AND HERBIVORY, BUT GERMINATION RATES WILL ACTUALLY BE HIGHER, DUE TO THE COLD WINTER STRATIFICATION OF THE SEED.

PLANTING MATERIALS FOR WETLANDS CREATION AREAS

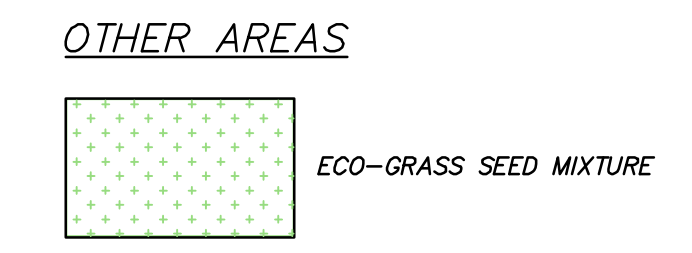
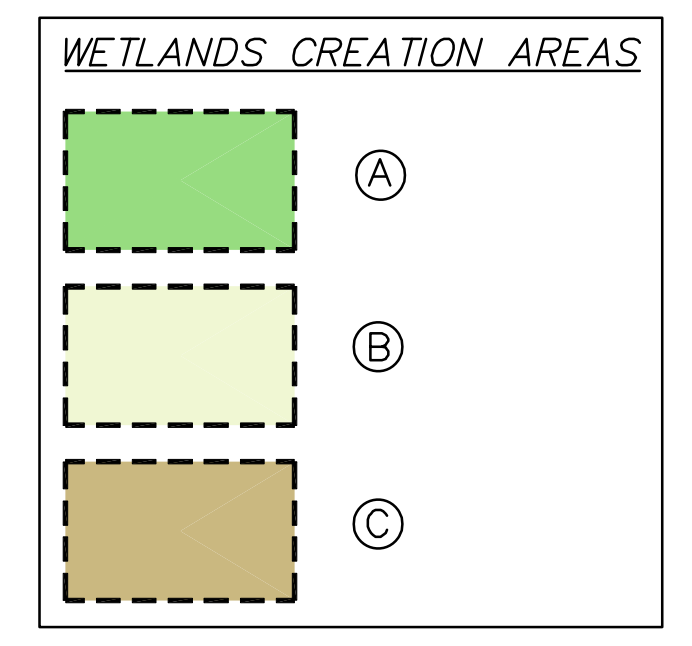
BOTANICAL / COMMON NAME	HEIGHT (MINIMUM)	QUANTITY			
		WATER QUALITY BASIN			
		#1	#2	#3	TOTAL
<b>SHRUBS:</b>					
<b>AREA A</b>					
ARONIS ARBUTIFOLIA / RED CHOKEBERRY	18"	14	2	21	47
CLETHRA ALNIFOLIA / SWEET PEPPERBUSH	18"	14	2	18	34
SMIDA AMOMUM / SILKY DOGWOOD	18"	12	-	18	30
SAMBUCUS AMERICANA / COMMON ELDERBERRY	18"	12	-	18	30
SPIREA LATIFOLIA / MEADOWSWEET	18"	21	6	24	51
SPIREA TOMENTOSA / STEEPLE BUSH	18"	21	6	24	51

<b>AREA B</b>					
CLETHRA ALNIFOLIA / SWEET PEPPERBUSH	18"	10	-	14	24
SMIDA RACEMOSA / GRAY DOGWOOD	18"	10	4	18	32
MORELLA CAROLINIENSIS / BAYBERRY	18"	18	3	18	39
SPIREA LATIFOLIA / MEADOWSWEET	18"	18	3	18	39
VACCINIUM CORYMBOSUM / Highbush Blueberry	18"	10	3	14	27
VIBURNUM DENTATUM / ARROWWOOD	18"	10	-	18	28

<b>AREA C</b>					
CRATAEGUS SPP. / HAWTHORN SPP.	24"	10	3	-	13
SMIDA RACEMOSA / GRAY DOGWOOD	18"	10	3	-	13
MORELLA CAROLINIENSIS / BAYBERRY	18"	10	-	-	10
HAMELIS VIRGINIANA / WITCH HAZEL	24"	10	3	-	13
VIBURNUM LENTAGO / NANNYBERRY	18"	10	-	-	10

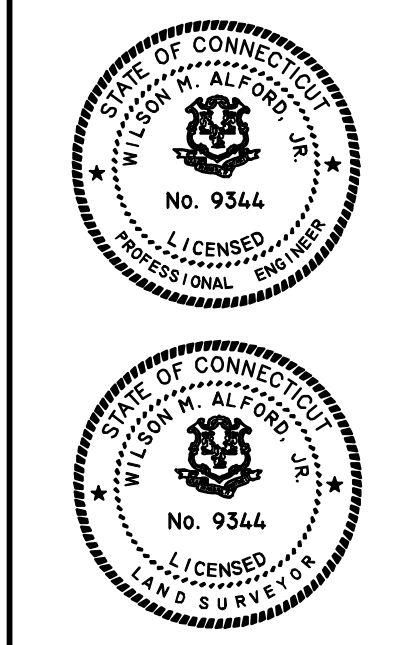
HERBACEOUS PLANTS:					
<b>AREA A</b>					
ASCLEPIAS INCARNATA / SWAMP MILKWEED	PLUG	500	100	700	1300
<b>AREA B</b>					
CAREX STRICTA / TUSSOCK SEDGE	PLUG	75	25	100	200
EUPATOREUM MACULATUM / JOE PYE	PLUG	75	25	100	200
OSMUNDA CINNAMONEA / CINNAMON FERN	6" POT	45	10	50	105
VERNONIA NOVAEANGIAE / NEW YORK IRONWEED	PLUG	75	25	100	200

- NOTES -
- SHRUBS AND HERBACEOUS PLANTS TO BE PLANTED RANDOMLY THROUGHOUT EACH AREA.
  - SOURCES BELOW ARE REASONABLE WITH GENETICS NOT ALTERED BY BREEDING FOR HORTICULTURAL TRAITS.
  - PERENNIAL WILDFLOWER AND GRASS PLUGS MAY BE PURCHASED IN FLATS OF 50 (MINIMUM SIZE) FROM NEW ENGLAND WETLAND PLANTS, FLATS OF 36 OR 6-PACKS FROM LINPL.
  - SOURCES:  
 LINPL (LONG ISLAND NATIVE PLANT INITIATIVE)  
 SUFFOLK COUNTY SOIL AND WATER CONSERVATION DISTRICT, RIVERHEAD, NY (631) 727-2315  
 NEW ENGLAND WETLANDS PLANTS, 14 PEARL LANE, SOUTH HADLEY, MA 01075 (413) 548-8000  
 SUMMER HILL NURSERIES, MADISON, CT 06443 (203) 421-3055



APPROVED  
 PLANNING & ZONING COMMISSION  
 MANCHESTER, CT.  
 DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

REVISION	DATE	REVISED PER TOWN STAFF COMMENTS
7-B-24		



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



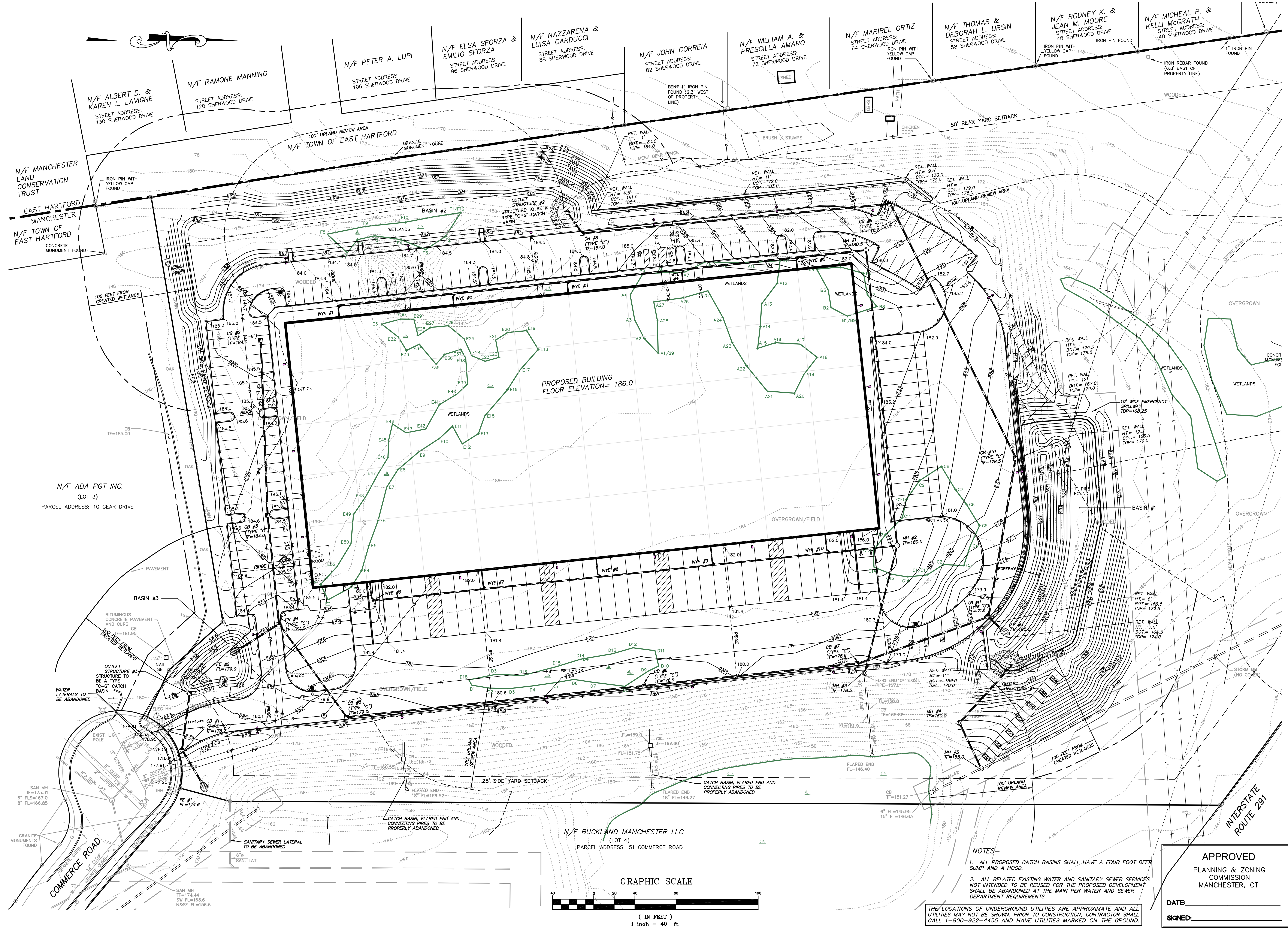
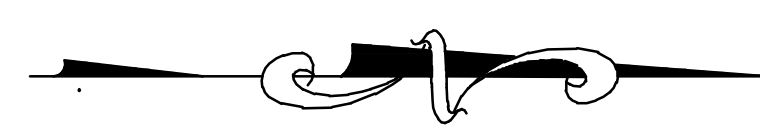
CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024  
 SCALE: 1 IN. = 40 FT.

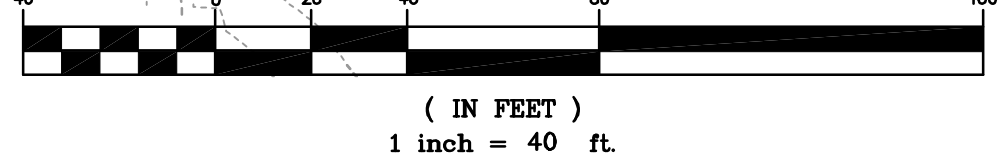
SITE PLAN  
 PREPARED FOR  
 LFF COMMERCE JV LLC  
 WETLANDS CREATION PLAN  
 MANCHESTER, CONNECTICUT

71 COMMERCE ROAD  
 (FORMERLY KNOWN AS  
 71 AND 81 COMMERCE ROAD)

Sheet  
 C5.1



GRAPHIC SCALE



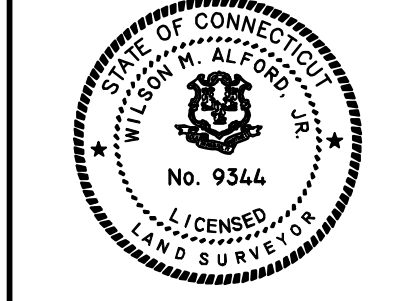
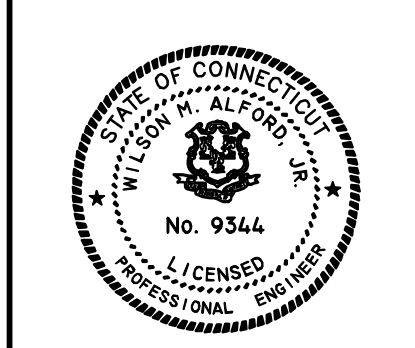
- NOTES-
1. ALL PROPOSED CATCH BASINS SHALL HAVE A FOUR FOOT DEEP SUMP AND A HOOD.
  2. ALL RELATED EXISTING WATER AND SANITARY SEWER SERVICES NOT INTENDED TO BE REUSED FOR THE PROPOSED DEVELOPMENT SHALL BE ABANDONED AT THE MAIN PER WATER AND SEWER DEPARTMENT REQUIREMENTS.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	DATE	REVISION
7-B-24		REVISED PER TOWN STAFF COMMENTS



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON H. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

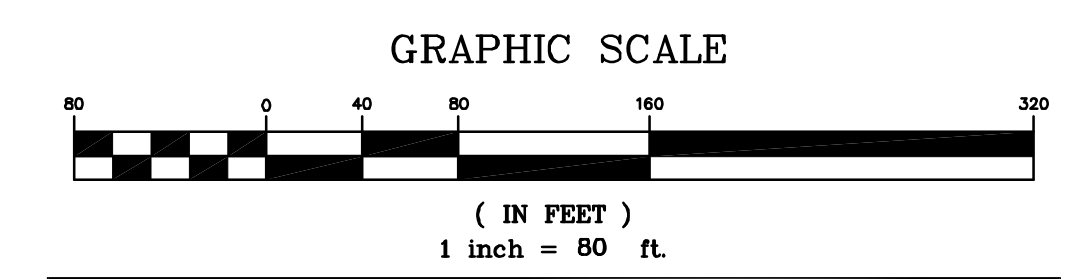
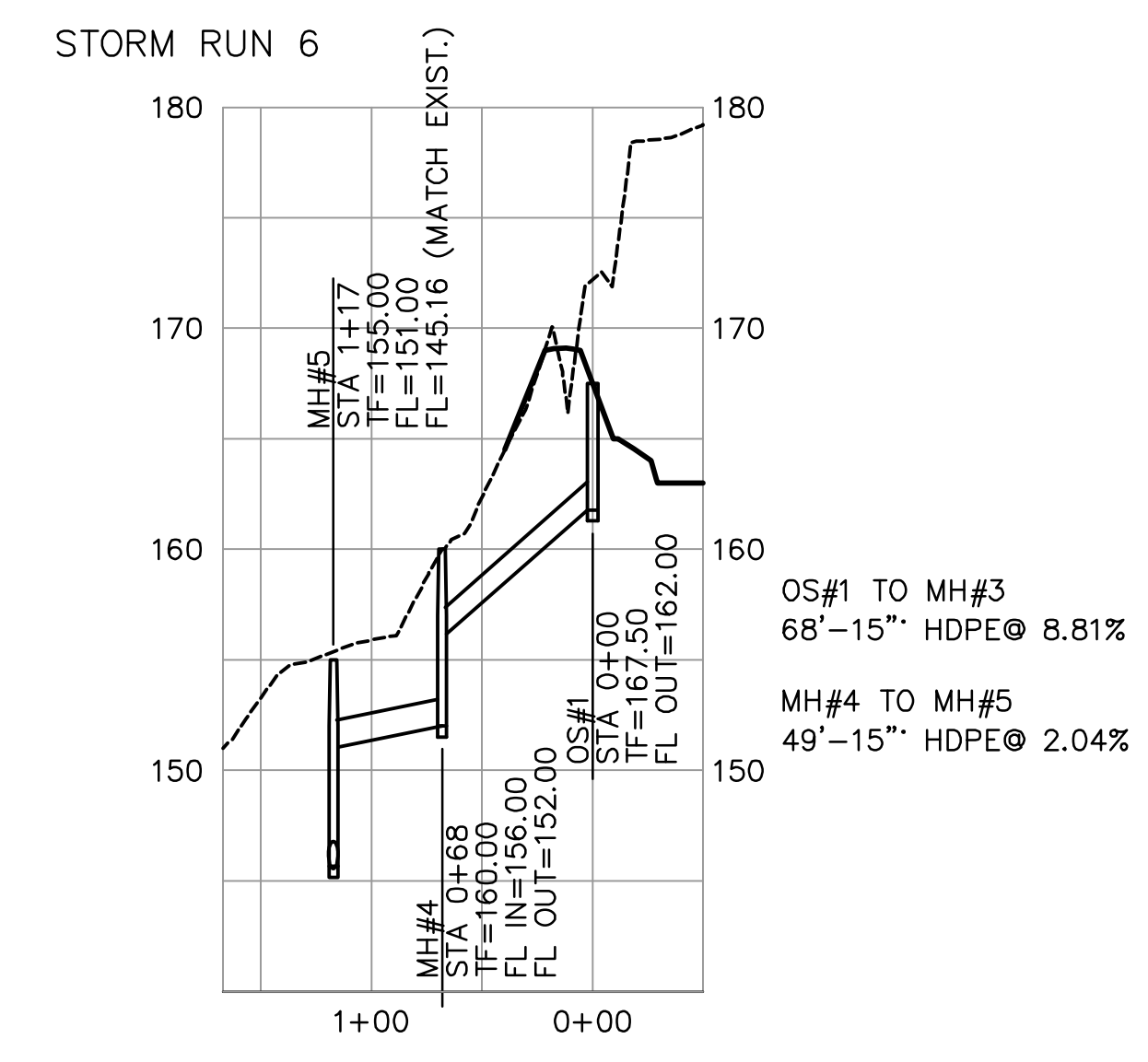
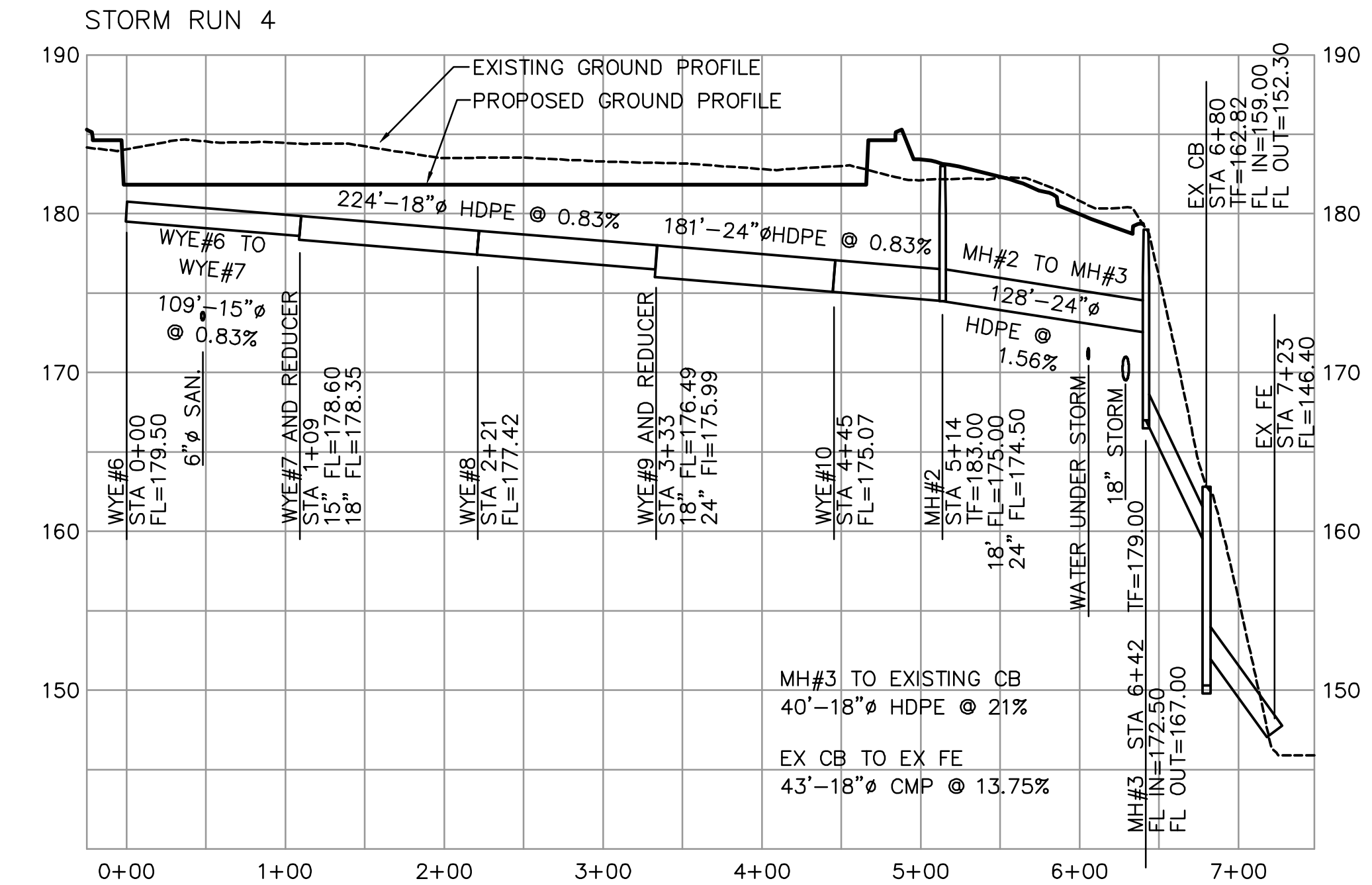
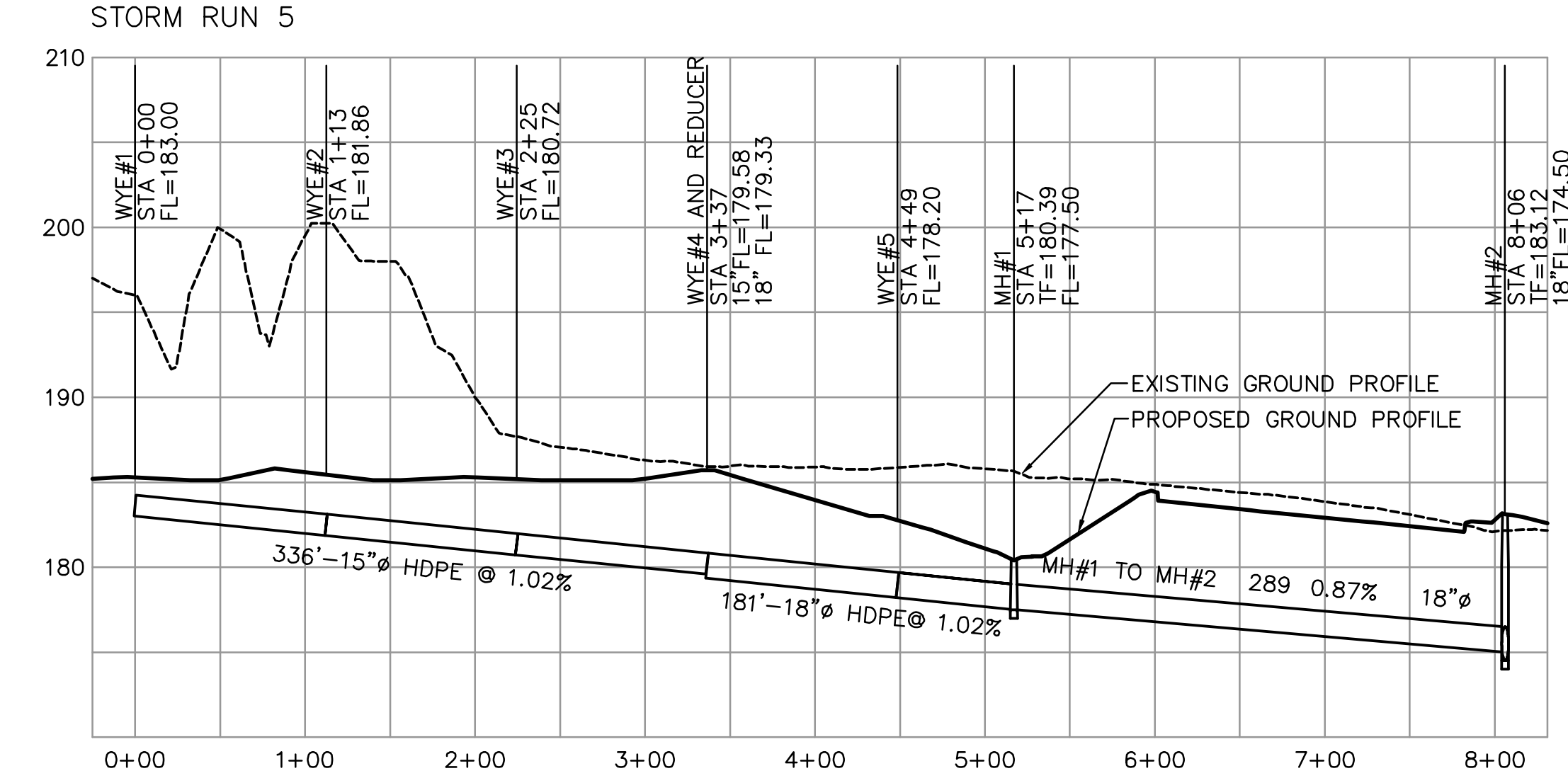
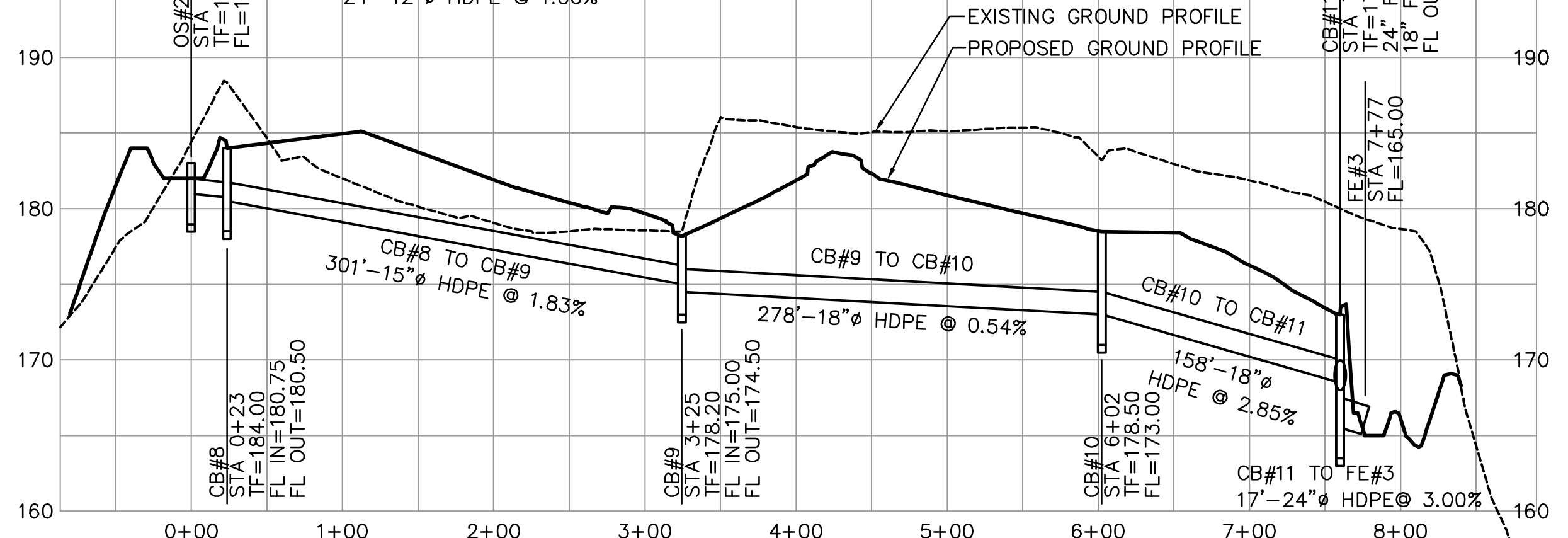
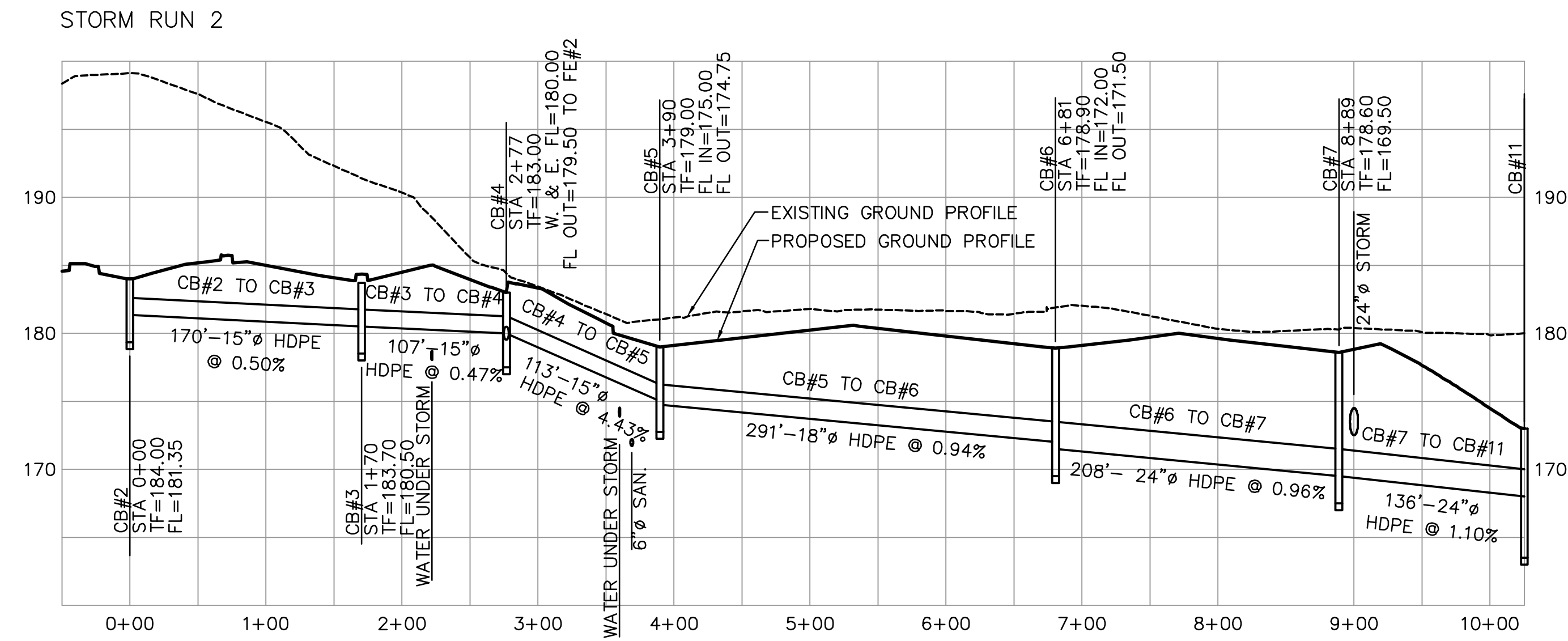
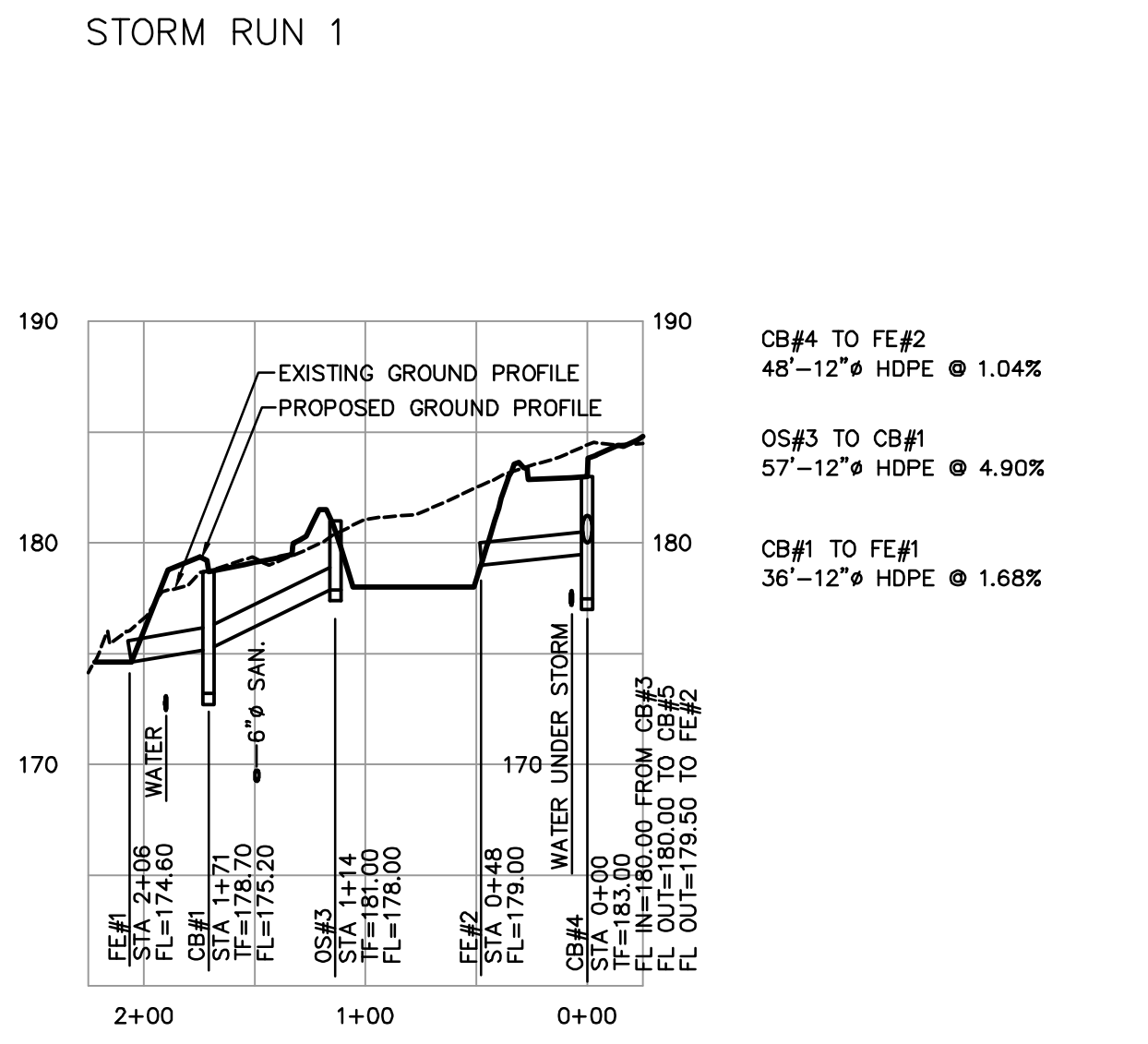
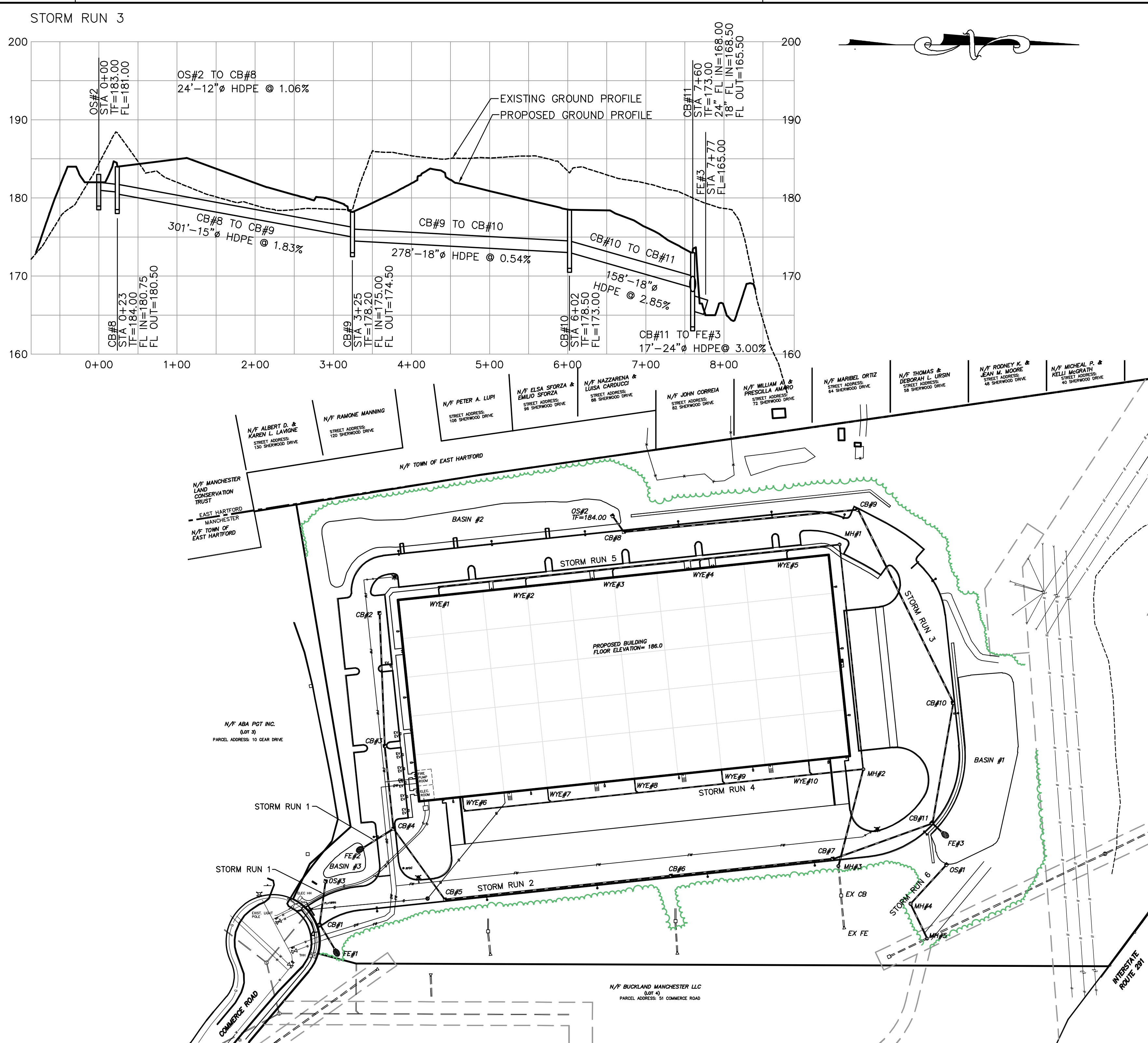
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**LFF COMMERCE JV LLC**  
GRADING AND UTILITIES PLAN

71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)

MANCHESTER, CONNECTICUT

Sheet  
C6.1



**APPROVED**  
 PLANNING & ZONING  
 COMMISSION  
 MANCHESTER, CT.  
 DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

STATE OF CONNECTICUT  
 WILSON M. ALFORD, JR.  
 No. 9344  
 LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT  
 WILSON M. ALFORD, JR.  
 No. 9344  
 LICENSED PROFESSIONAL SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
 L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

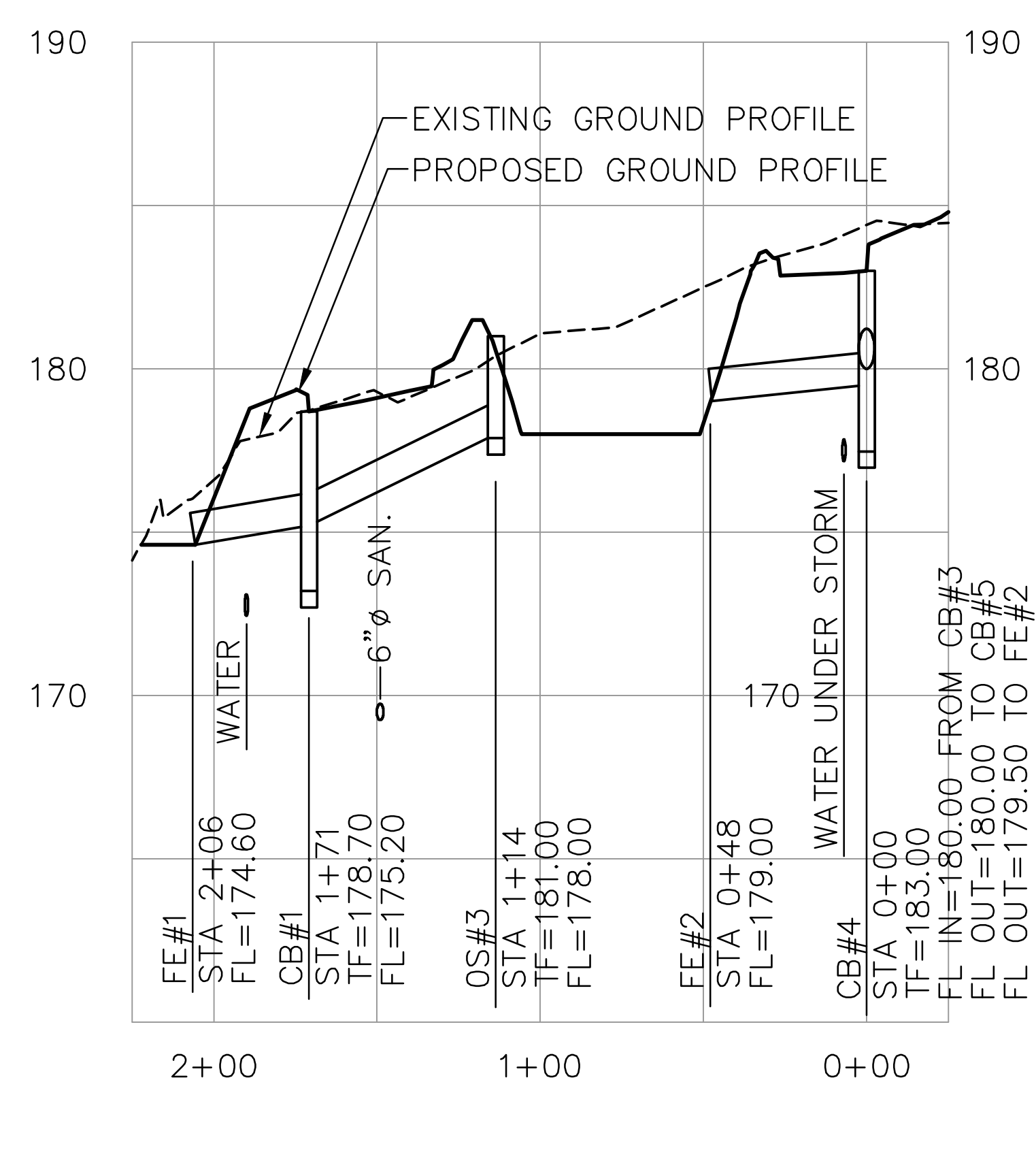
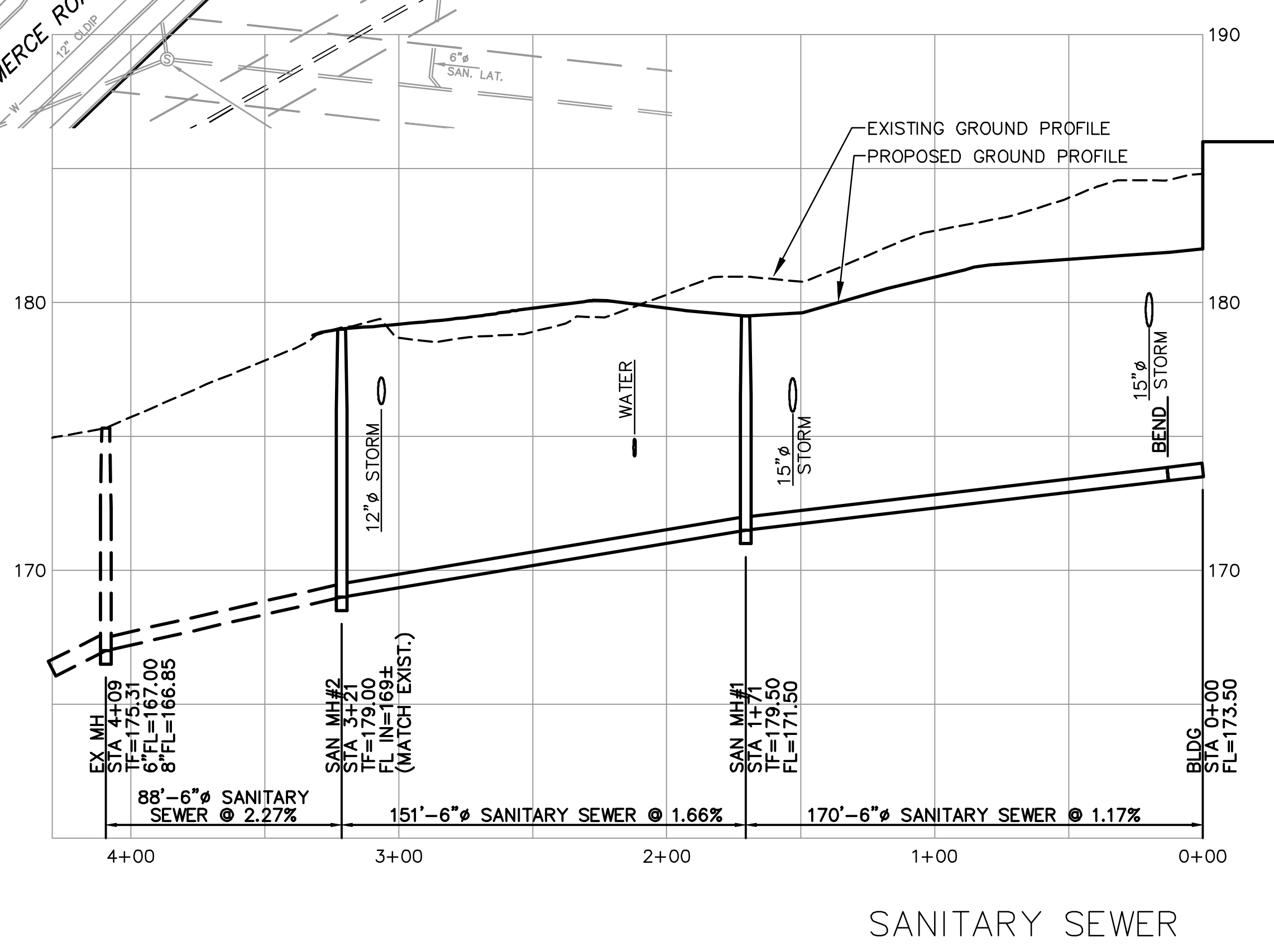
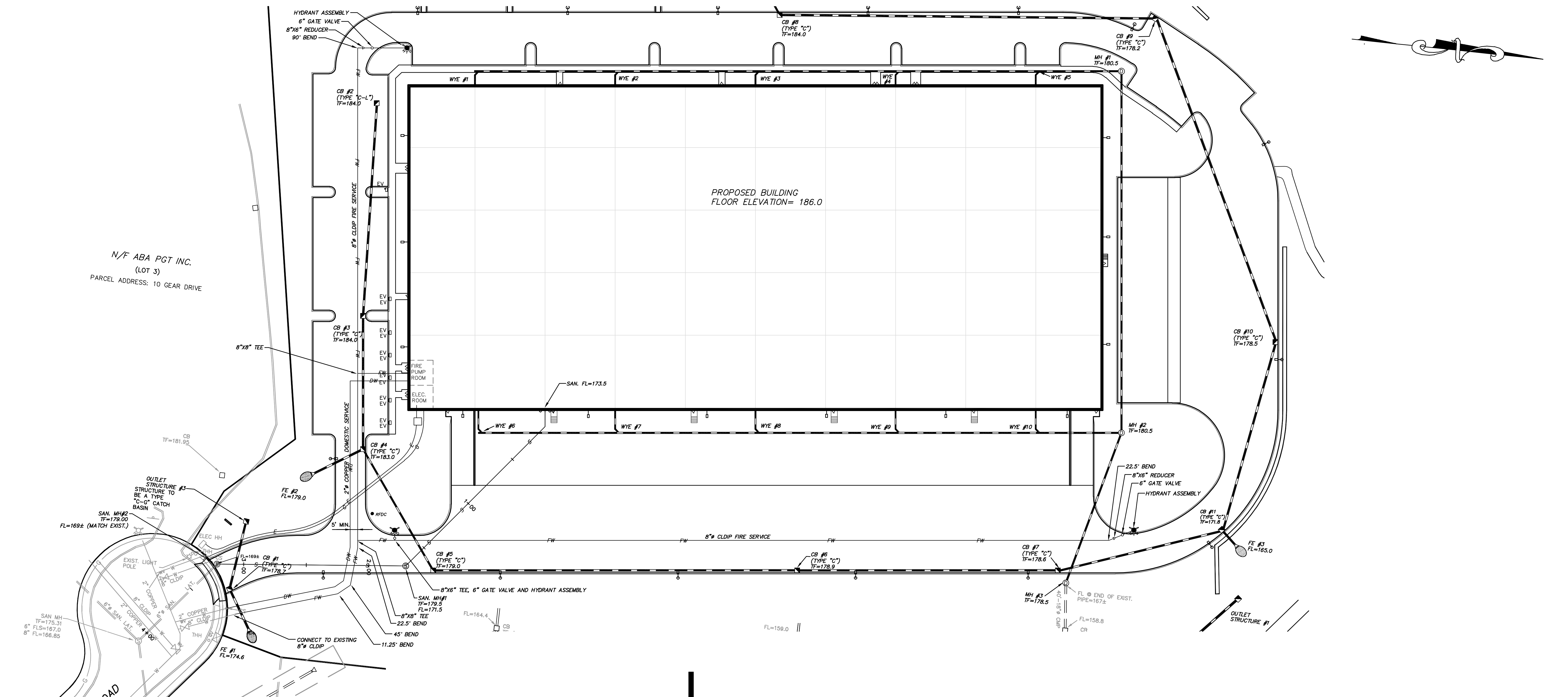
**Alford**  
 ASSOCIATES, INC.  
 CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024  
 SCALE: 1 IN. = 80 FT.

SITE PLAN  
 PREPARED FOR  
**LFF COMMERCE JV LLC**  
 UTILITIES PLAN  
 MANCHESTER, CONNECTICUT  
 71 COMMERCE ROAD  
 (FORMERLY KNOWN AS  
 71 AND 81 COMMERCE ROAD)

SHEET  
**C6.2**

SS: PR-GRADING  
 P: C23047  
 D: C23047SP  
 FOLDER: CAMPOFRANCO-MANCHESTER

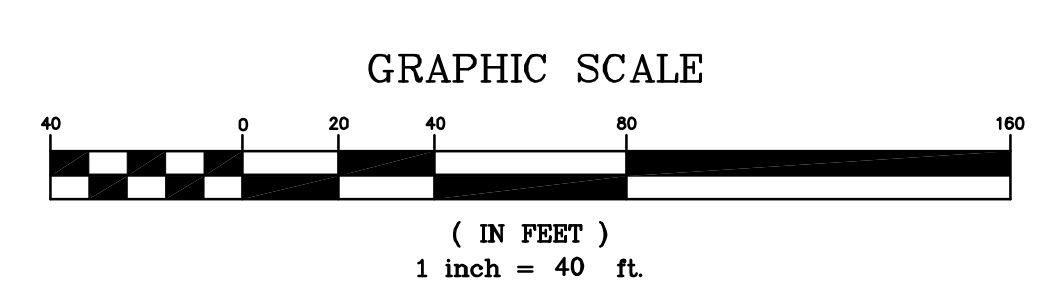


CB#4 TO FE#2  
48'-12"  $\phi$  HDPE @ 1.04%

OS#3 TO CB#1  
57'-12"  $\phi$  HDPE @ 4.90%

CB#1 TO FE#1  
36'-12"  $\phi$  HDPE @ 1.68%

STORM RUN 1



APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	DATE	REVISION

STATE OF CONNECTICUT  
WILSON M. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT  
WILSON M. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL SURVEYOR

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L.S. NO. 9344

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**Alford**  
ASSOCIATES, INC.

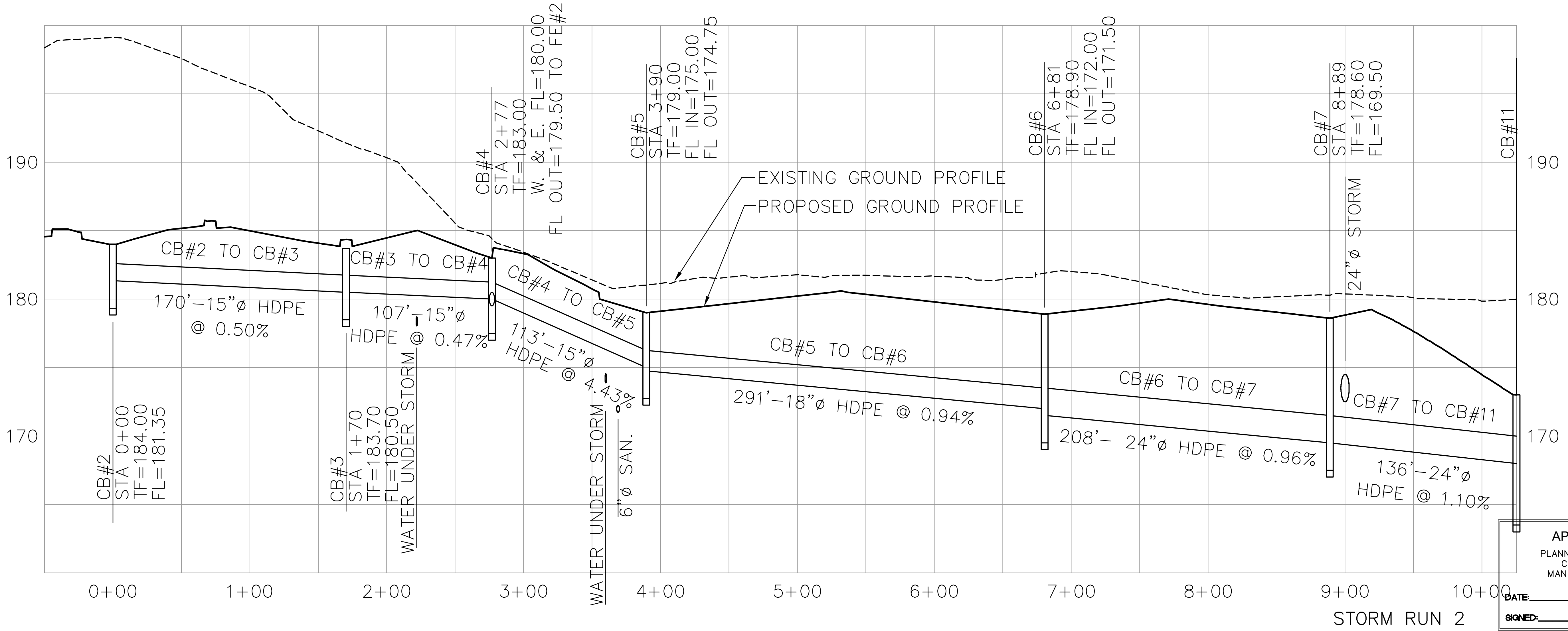
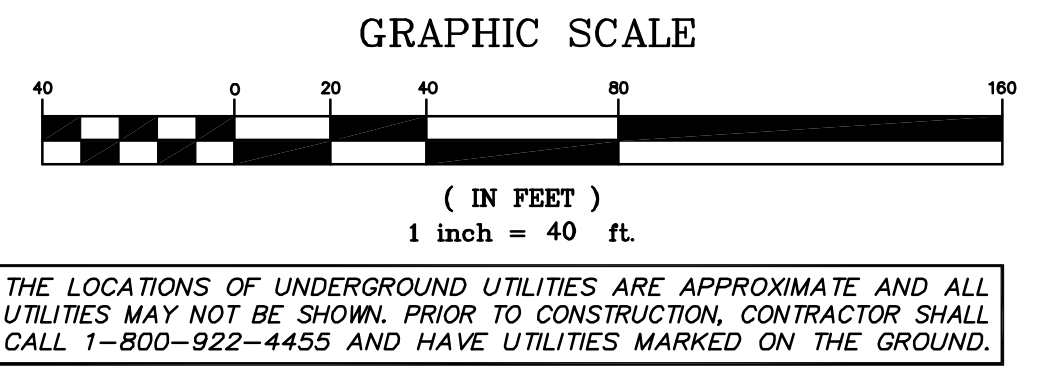
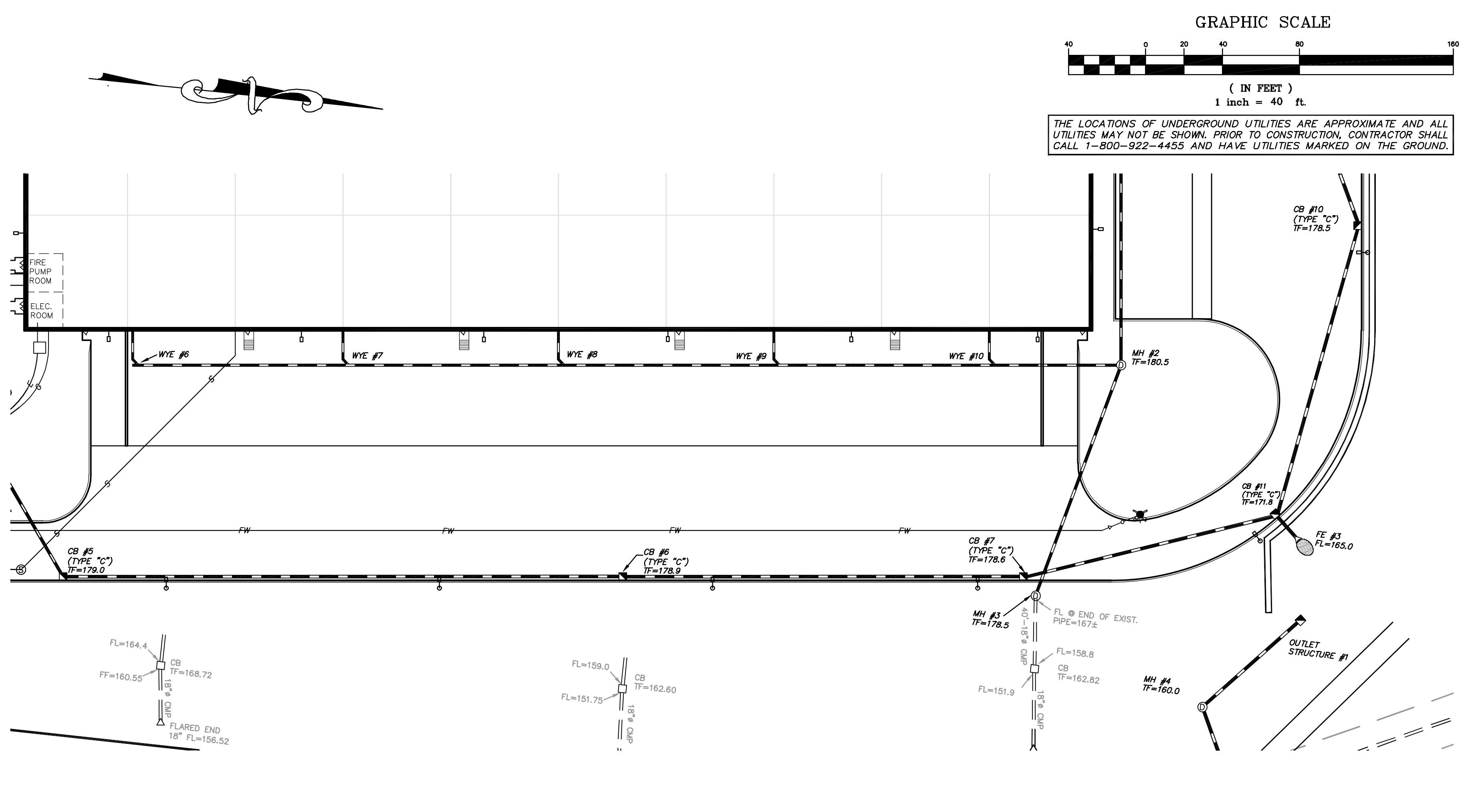
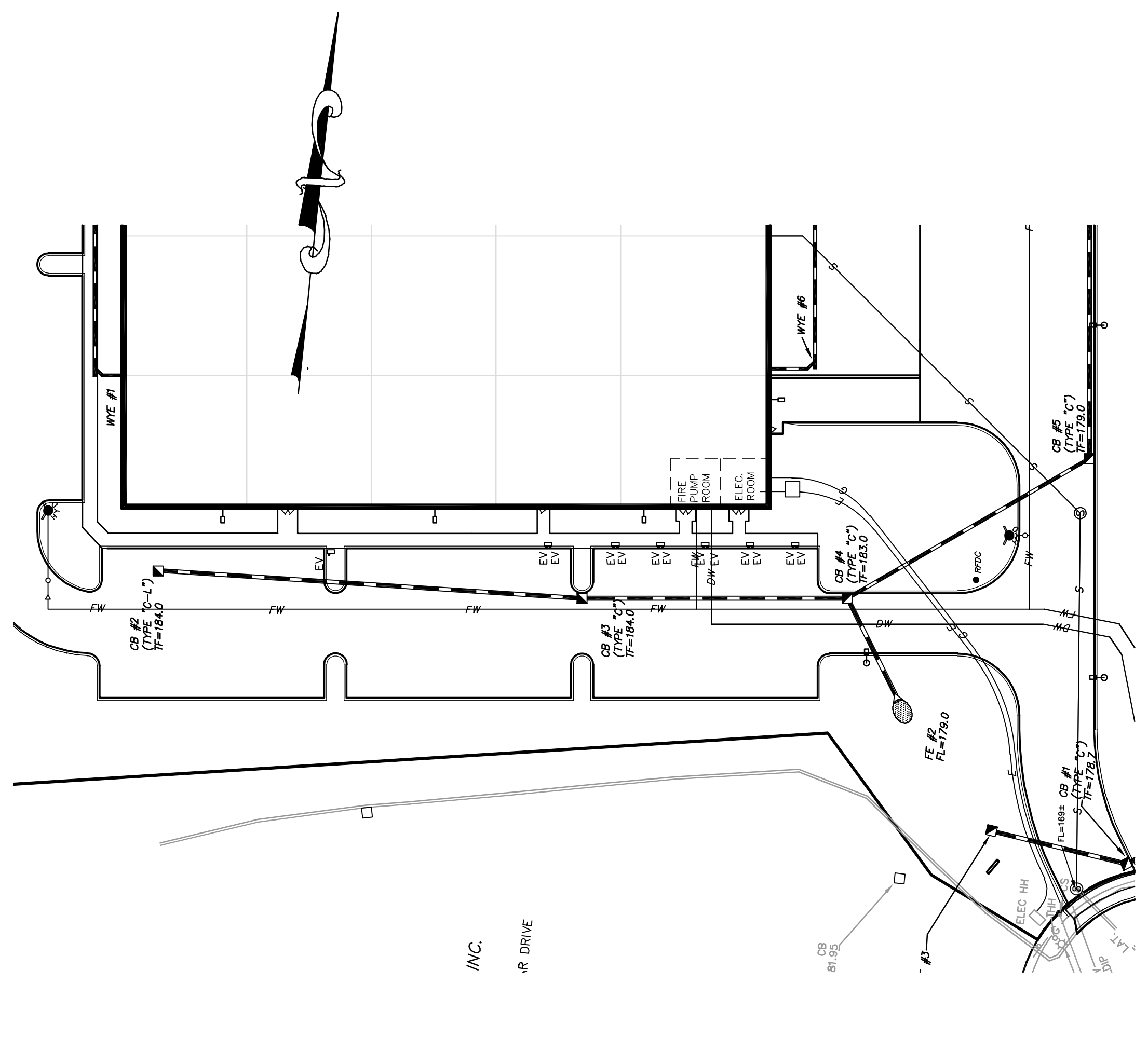
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: JULY 8, 2024  
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**LFF COMMERCE JV LLC**  
PLAN / PROFILE

MANCHESTER, CONNECTICUT  
71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)

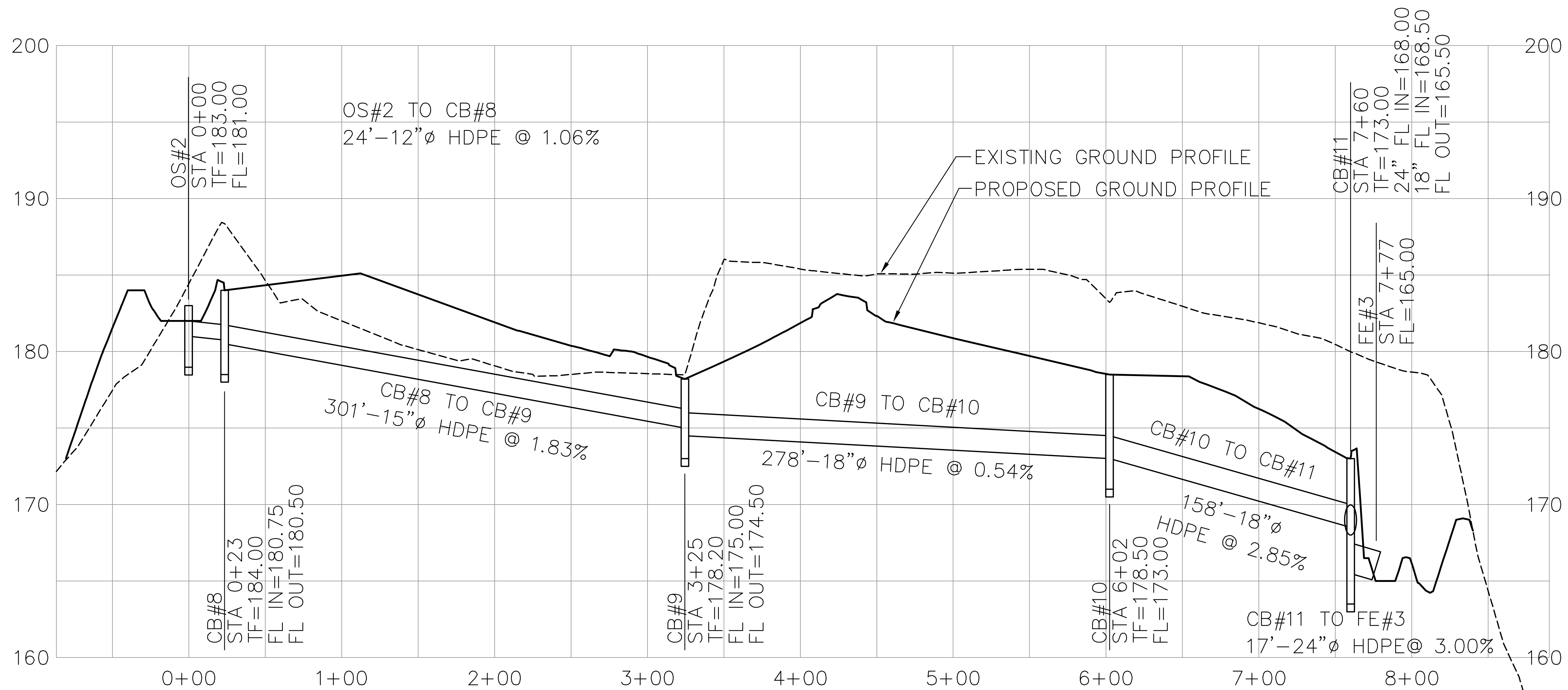
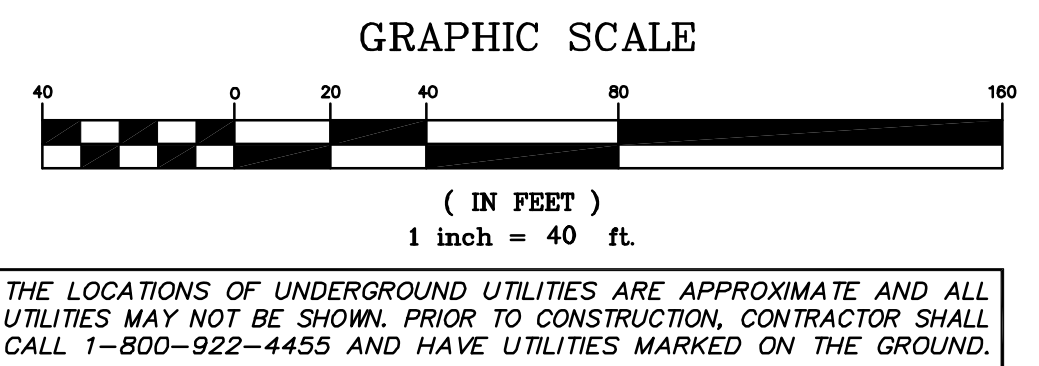
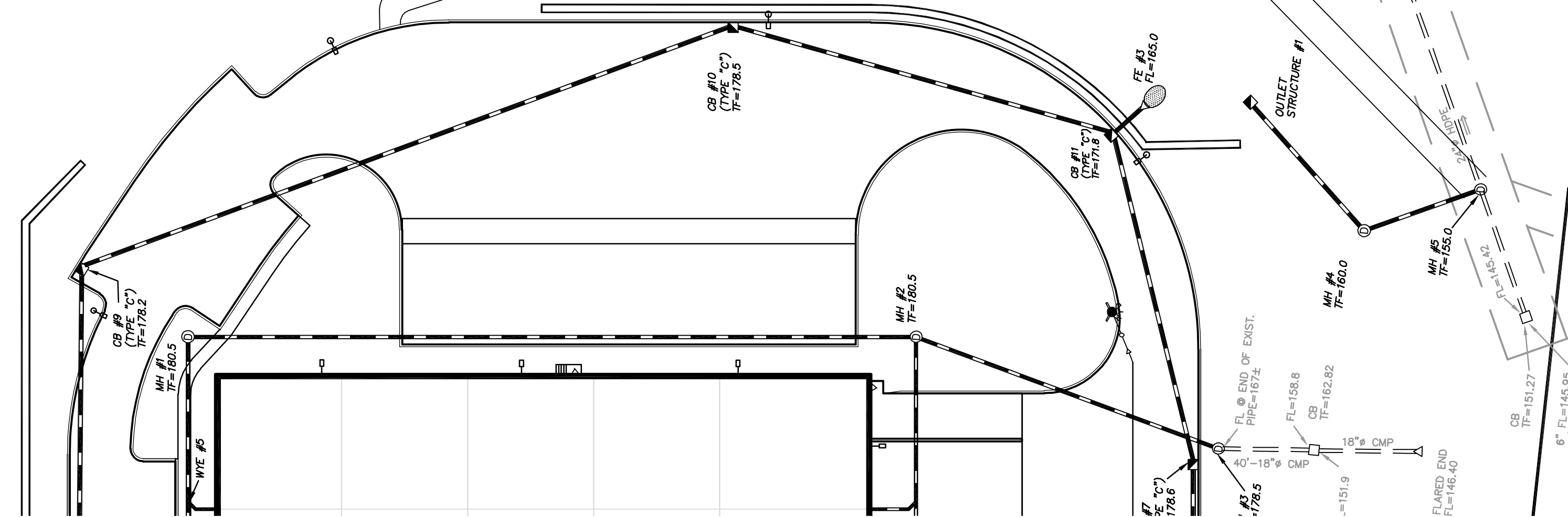
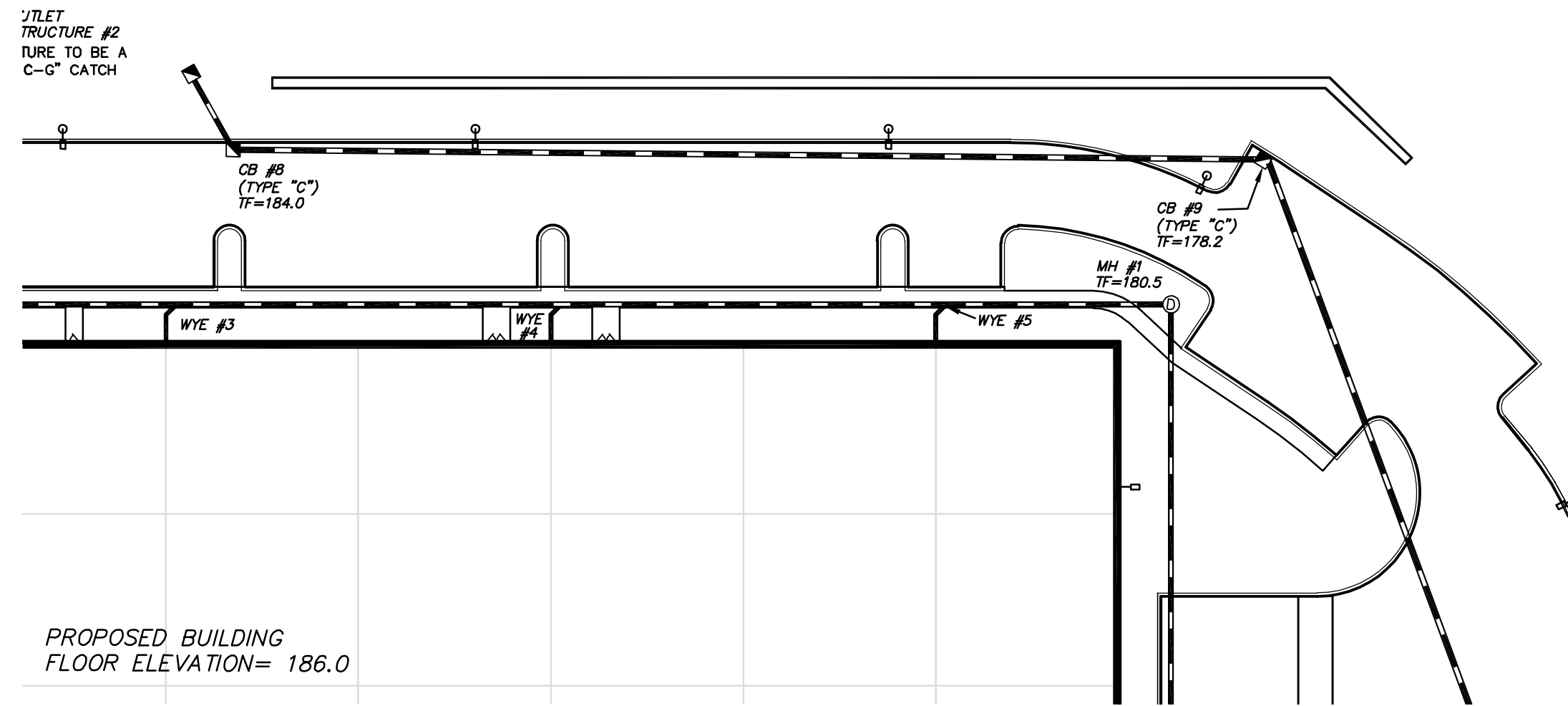
Sheet  
C6.3



APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

REVISION	DATE
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. L.S. NO. 9344	
NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL	
CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, R.P.E. & L.S.	
DATE: JULY 8, 2024 SCALE: 1 IN. = 40 FT.	
SITE PLAN PREPARED FOR LFF COMMERCE JV LLC PLAN / PROFILE	MANCHESTER, CONNECTICUT 71 COMMERCE ROAD (FORMERLY KNOWN AS 71 AND 81 COMMERCE ROAD)
<b>Sheet</b> <b>C6.4</b>	





STORM RUN 3

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

REVISION	DATE

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: JULY 8, 2024  
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
PLAN / PROFILE  
MANCHESTER, CONNECTICUT  
71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)

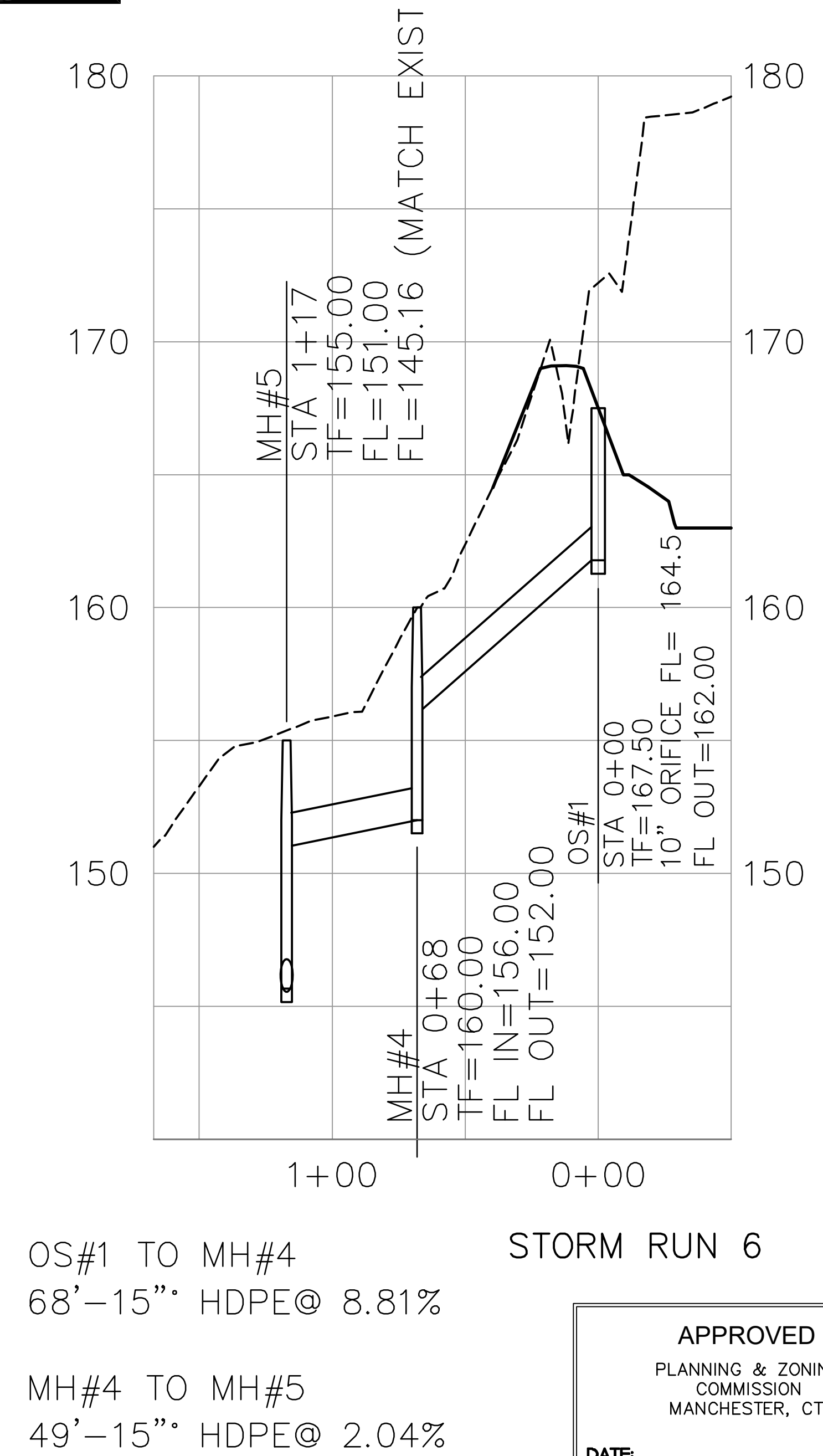
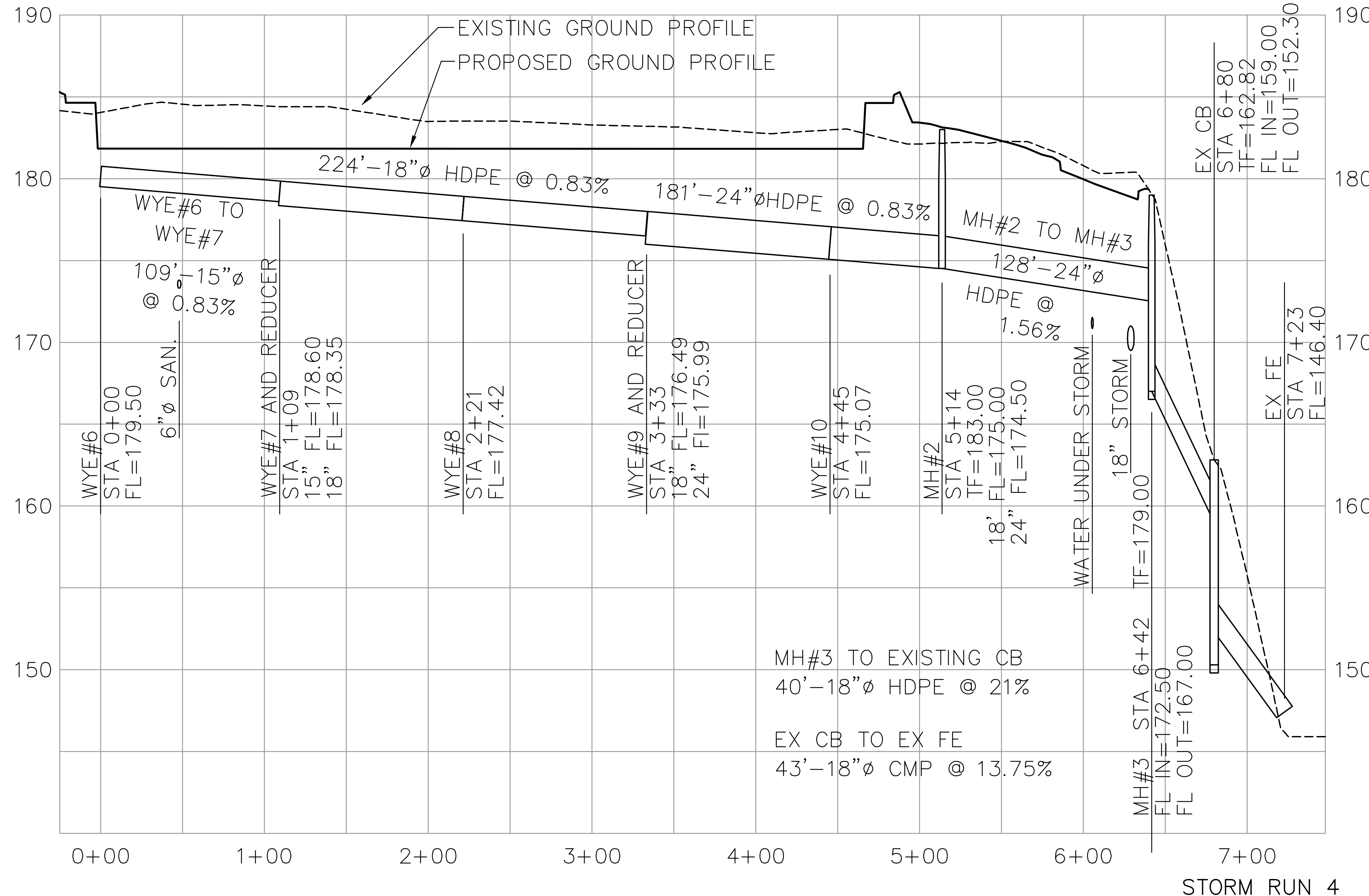
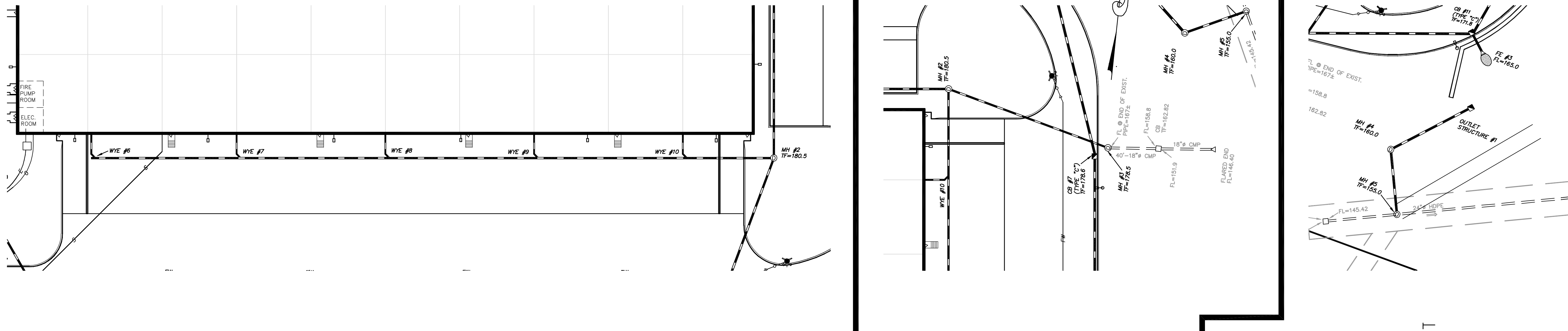
Sheet  
C6.5

GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.



APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

REVISION	DATE

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L.S. No. 9344

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CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

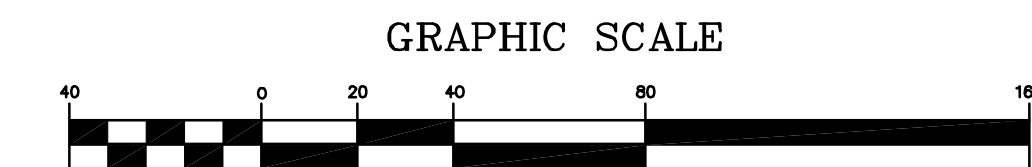
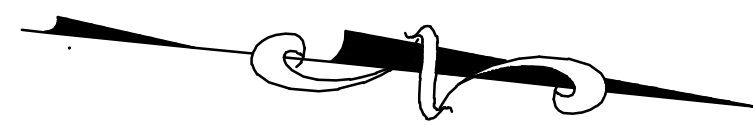
DATE: JULY 8, 2024  
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
PLAN / PROFILE

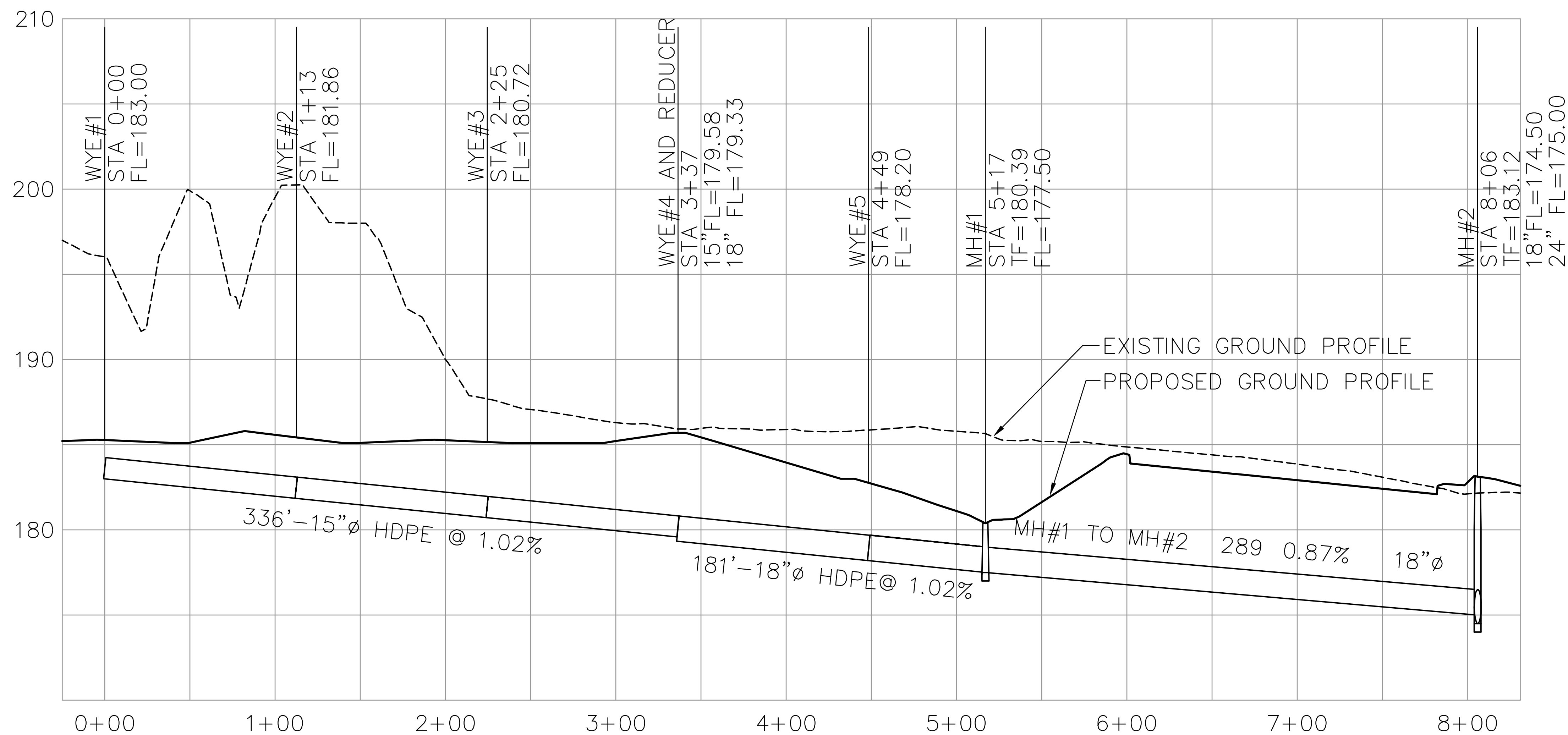
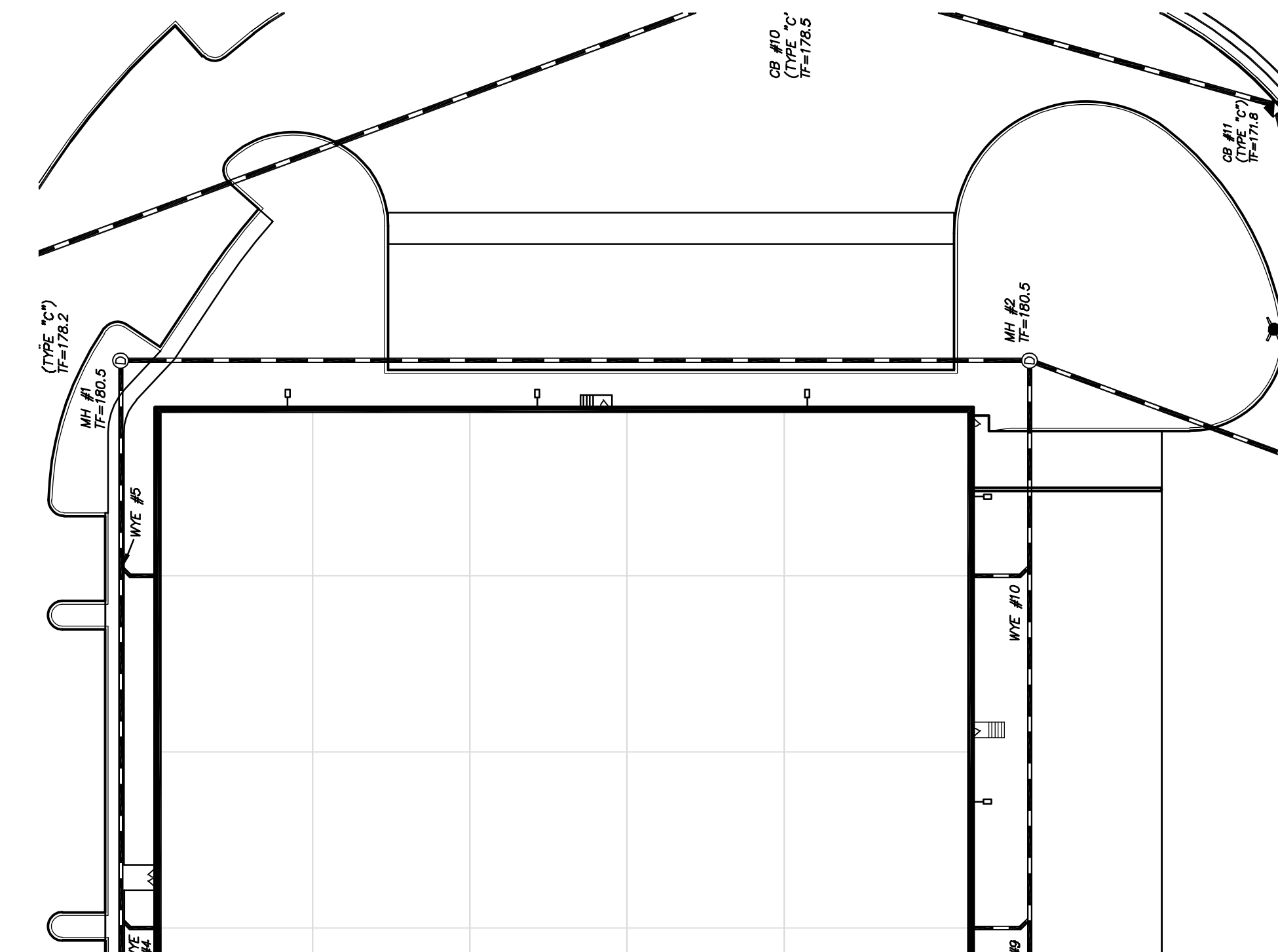
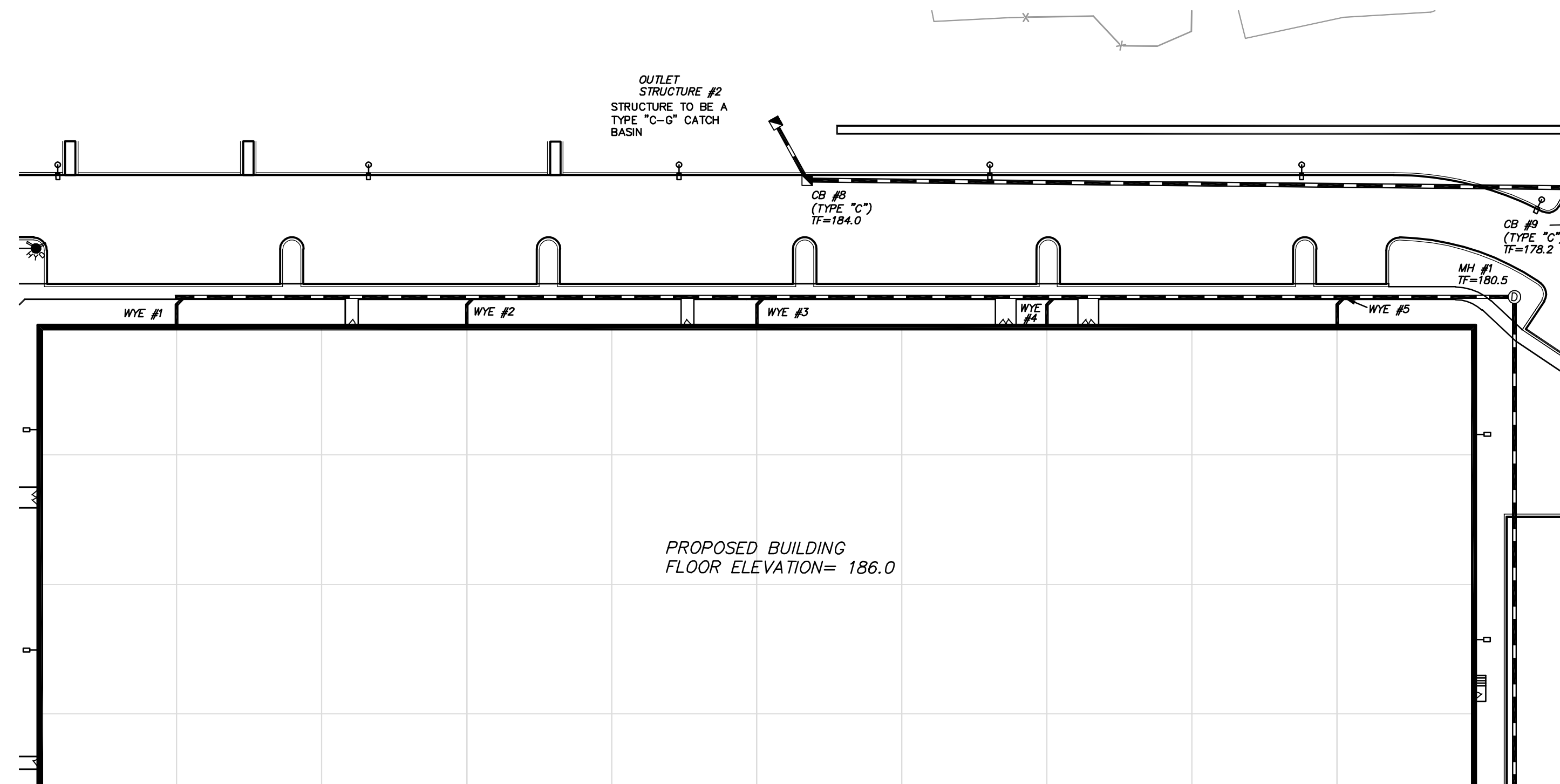
71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)

MANCHESTER, CONNECTICUT

Sheet  
C6.6



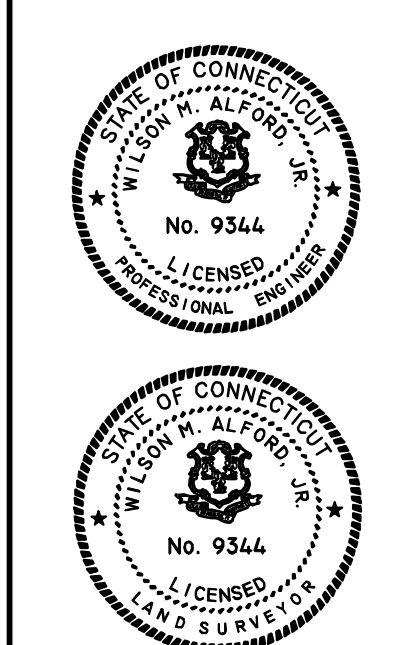
THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.



STORM RUN 5

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	REVISION	DATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

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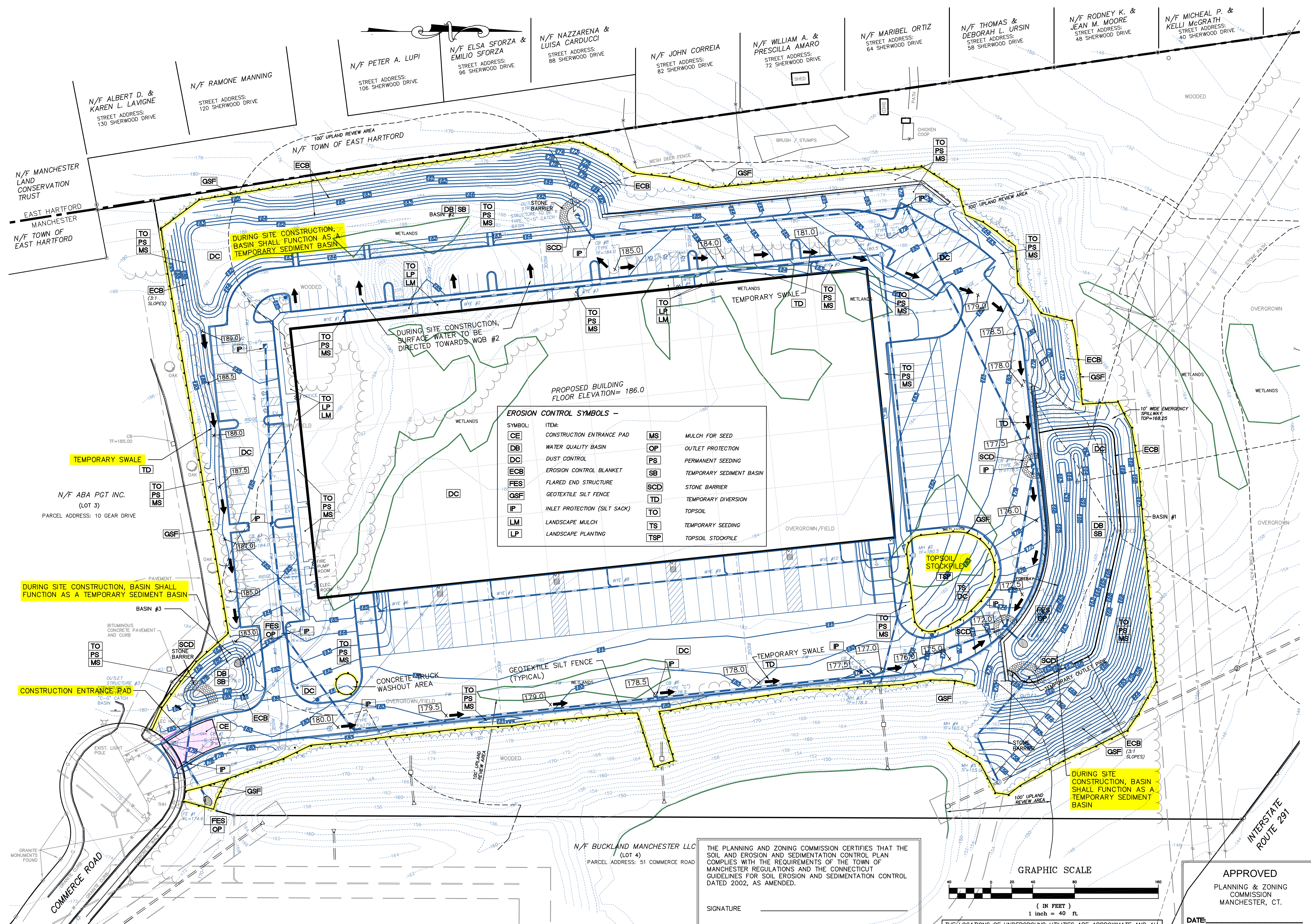
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, R.P.E. & L.S.

DATE: JULY 8, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
PLAN / PROFILE  
71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)  
MANCHESTER, CONNECTICUT

Sheet  
C6.7



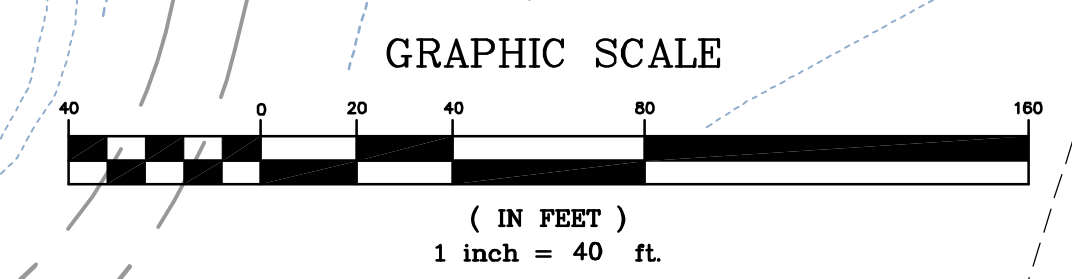
**EROSION CONTROL SYMBOLS -**

SYMBOL:	ITEM:	SYMBOL:	ITEM:
CE	CONSTRUCTION ENTRANCE PAD	MS	MULCH FOR SEED
DB	WATER QUALITY BASIN	OP	OUTLET PROTECTION
DC	DUST CONTROL	PS	PERMANENT SEEDING
ECB	EROSION CONTROL BLANKET	SB	TEMPORARY SEDIMENT BASIN
FES	FLARED END STRUCTURE	SCD	STONE BARRIER
GSF	GEOTEXTILE SILT FENCE	TD	TEMPORARY DIVERSION
IP	INLET PROTECTION (SILT SACK)	TO	TOPSOIL
LM	LANDSCAPE MULCH	TS	TEMPORARY SEEDING
LP	LANDSCAPE PLANTING	TSP	TOPSOIL STOCKPILE

THE PLANNING AND ZONING COMMISSION CERTIFIES THAT THE SOIL AND EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE TOWN OF MANCHESTER REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL DATED 2002, AS AMENDED.

SIGNATURE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_



APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_

SIGNED: \_\_\_\_\_

NO.	DATE	REVISION
7-B-24		REVISED PER TOWN STAFF COMMENTS

STATE OF CONNECTICUT  
WILSON H. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT  
WILSON H. ALFORD, JR.  
No. 9344  
LICENSED LAND SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

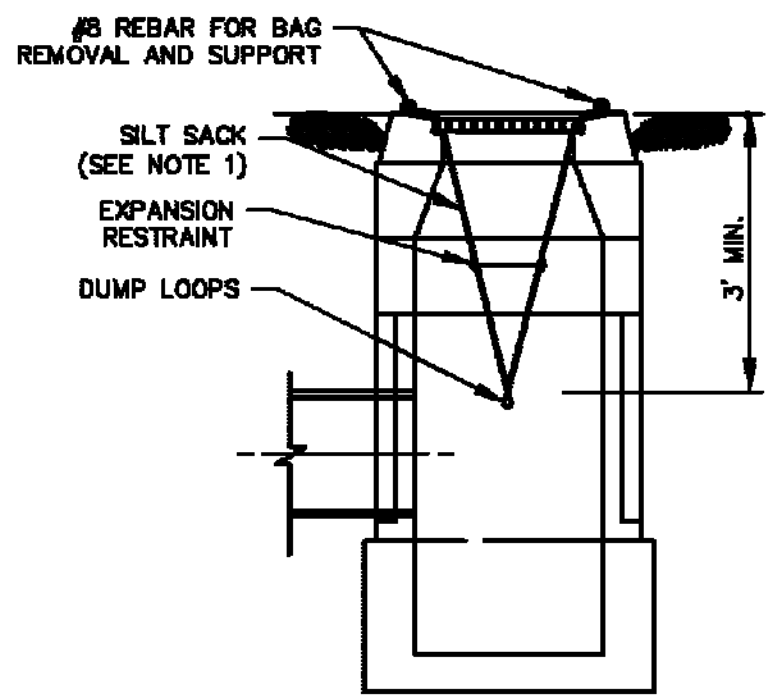
**Alford**  
ASSOCIATES, INC.

CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON H. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024  
SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**LFF COMMERCE JV LLC**  
EROSION & SEDIMENTATION CONTROL PLAN  
71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)  
MANCHESTER, CONNECTICUT

Sheet  
C7.1



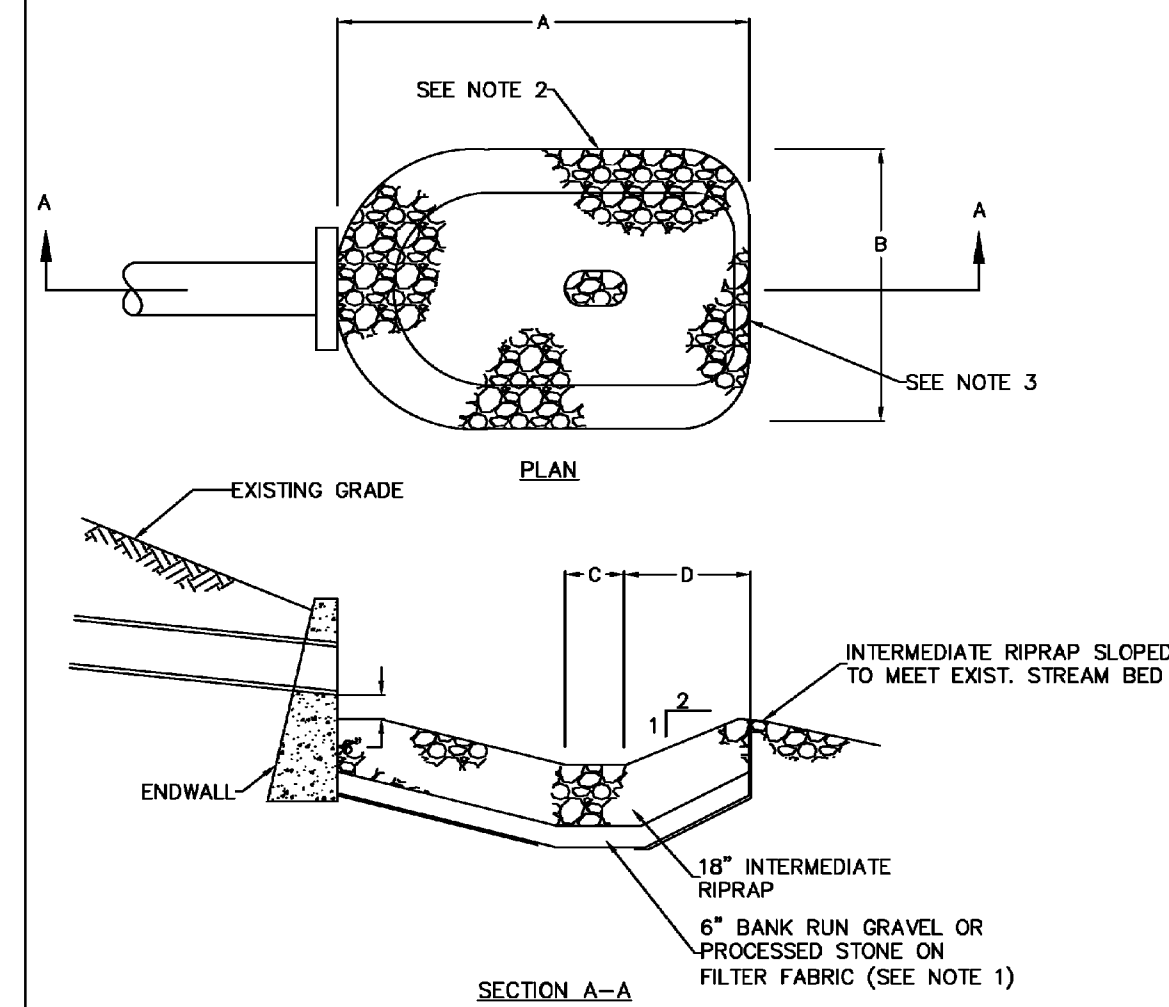
- NOTES:**
- SILT SACKS SHALL BE HI-FLOW SILTSACK® TYPE 'A' FOR TYPE 'C'-L' CB TOPS AND TYPE 'B' WITH CURB DEFLECTORS FOR TYPE 'C' CB TOPS OR OTHER STRUCTURES WITH CURB INLETS AS MANUFACTURED BY ACF ENVIRONMENTAL, INC OR APPROVED EQUAL.
  - SILT SACKS SHALL BE PROVIDED WITH INTERNAL OVERFLOWS.
  - SILT SACKS SHALL BE EMPTIED WHEN THEY HAVE COLLECTED 8" TO 12" OF SEDIMENT. INSPECT EVERY 1 TO 2 WEEKS AND AFTER EVERY MAJOR RAINFALL EVENT.

REVISIONS				TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION
NO.	DESCRIPTION	DATE	APPROVED	

DRAWN BY: DG    CHECKED BY: JL  
DATE: OCT 2020    FILENAME: PLATE26.DWG    NO SCALE    **SILT SACK**    **PLATE 26.3**

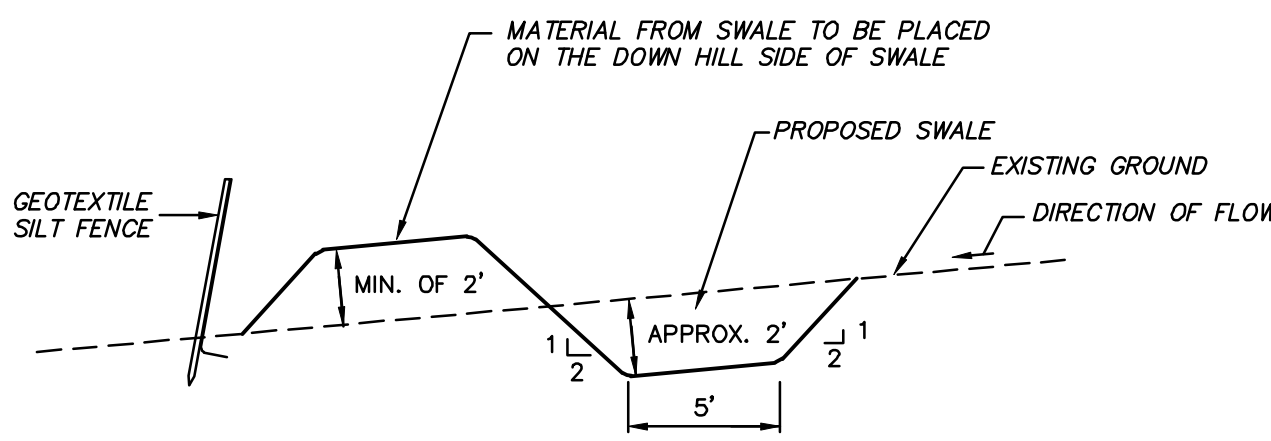
**RIP RAP PLUNGE POOL**  
NOT TO SCALE

PIPE SIZE	A	B	C	D
UNDER 18"	10'	7'	2'	3'
18"-24"	16'	10'	3'	4'
30"-36"	22'	16'	3'	5'

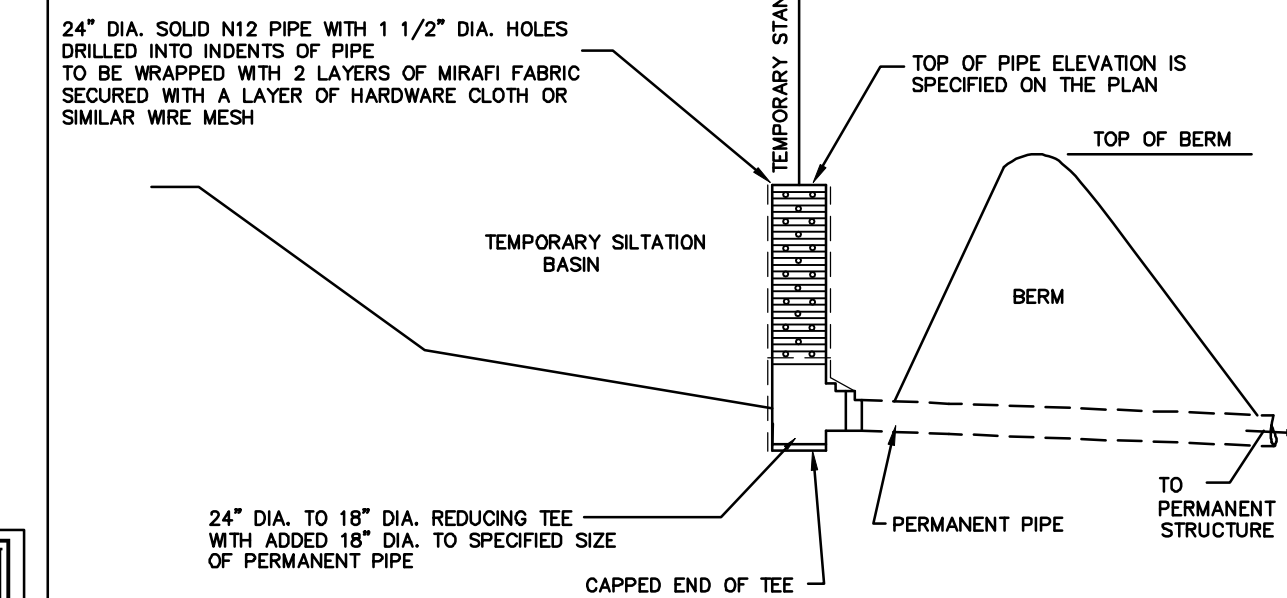


- NOTES:**
- FILTER FABRIC SHALL BE NONWOVEN CLASS 2, WITH PERMITTIVITY OF 0.5 TO 0.1 SEC AND AOS OF 0.43mm TO 0.22mm AND SHALL MEET AASHTO M288-96.
  - SIDE ELEVATIONS TO BE AT OR ABOVE PIPE FLOW LINE.
  - DOWNSTREAM ELEVATION TO BE 1"-2" LOWER THAN UPSTREAM ELEVATION.

**TEMPORARY SWALE DURING CONSTRUCTION**  
NOT TO SCALE



**DETAIL OF TEMPORARY SILTATION BASIN OUTLET**  
NOT TO SCALE



**PERMANENT EROSION CONTROL BLANKETS**  
TO BE USED WHERE SLOPES ARE 3:1 AND STEEPER

WHEN INSTALLING, ENSURE THAT THE LAP JOINTS ARE SECURE, ALL EDGES ARE PROPERLY ANCHORED AND ALL STAKING/STAPLING PATTERNS FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.



**GENERAL NOTES FOR NARRATIVE -**

- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- A STOCKPILE OF CRUSHED STONE, GEOTEXTILE SILT FENCE AND HAY BALES IS TO BE MAINTAINED ON SITE FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
- GEOTEXTILE SILT FENCE SHALL BE KEPT ON-SITE IN THE EVENT OF AN EMERGENCY OR TOWN REQUEST FOR ADDITIONAL EROSION PROTECTION DURING CONSTRUCTION.
- MAINTAIN DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS OF ANY DEBRIS AND SEDIMENTS FROM THE CONSTRUCTION ACTIVITIES.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP SILT FENCE FUNCTIONAL. IN ALL CASES, DEPOSITS SHALL BE REMOVED WHEN THE ACCUMULATED SEDIMENT HAS REACHED ONE-HALF ABOVE THE GROUND HEIGHT OF THE FENCE.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", CONNECTICUT DEP BULLETIN 34.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE TOWN RESERVES THE RIGHT TO AMEND THE EROSION AND SEDIMENTATION CONTROL MEASURES AS FIELD CONDITIONS WARRANT.
- ALL CONSTRUCTION, STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROLS SHALL COMPLY WITH THE TOWN OF MANCHESTER SPECIFICATIONS AND REGULATIONS.
- THE CONTRACTOR AND/OR OWNER SHALL BE CONTACTED IN THE EVENT OF EMERGENCY EROSION OR SEDIMENTATION FAILURE.
- AFTER A RAIN STORM, HAY BALES, GEOTEXTILE SILT FENCE AND VEGETATIVE COVER SHALL BE INSPECTED FOR POSSIBLE DAMAGE OR WASHOUT. REPAIR AS NECESSARY.
- NO STUMPS SHALL BE BURIED ON THE SUBJECT PROPERTY.
- ALL CONSTRUCTION TRAFFIC MUST EXIST THE SITE OVER THE CONSTRUCTION ENTRANCE PROPOSED TO PREVENT TRACKING OF THE SEDIMENT ONTO THE ROAD.

**STORM DRAINAGE MAINTENANCE SCHEDULE -**

MAINTENANCE OF THE ON-SITE STORM DRAINAGE IS THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY.

**MAINTENANCE SCHEDULE:**

- PARKING AREA SURFACE CLEANING; ALL PAVED AREAS SHALL BE SWEEPED ANNUALLY BETWEEN APRIL 1st AND JULY 1st.
- CATCH BASINS; ALL BASIN RIM AREAS AND SUMPS SHALL BE KEPT CLEAR OF SEDIMENT, TRASH AND DEBRIS. ALL CATCH BASINS SHALL BE INSPECTED ANNUALLY BETWEEN MAY 1st AND SEPTEMBER 15th AND SUMPS SHALL BE CLEANED WHEN THE DEPTH OF ACCUMULATED MATERIAL EXCEEDS 1 FOOT. ACCUMULATED SAND, DIRT AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN A PROPER MANNER.
- SILT SACKS; SILT SACKS SHALL BE EMPTIED WHEN 6 INCHES TO 12 INCHES OF SEDIMENT HAS COLLECTED, BE INSPECTED EVERY 1 TO 2 WEEKS AND AFTER EVERY MAJOR RAIN EVENT.
- STORM DRAINAGE PIPES AND STRUCTURES; ALL STORM DRAINAGE STRUCTURES AND PIPES SHALL BE KEPT IN PROPER WORKING CONDITION. RIP-RAP OUTLET SHOULD BE INSPECTED AT LEAST SEMI-ANNUALLY AND AFTER SUBSTANTIAL RAINFALL EVENTS. THE AREA SHALL BE CLEARED OF ALL SEDIMENT DEPOSITS AND INVASIVE PLANT SPECIES. DAMAGE AND DETERIORATION OF THE AREA SHALL BE REPAIRED IMMEDIATELY. OUTLET CONTROL STRUCTURE SHALL BE INSPECTED MONTHLY. DEBRIS AND SEDIMENT WITHIN THE STRUCTURE SHALL BE REMOVED AS NEEDED OR AT LEAST ONCE PER YEAR BETWEEN MAY 1ST AND SEPTEMBER 15TH.
- BASINS; BASINS SHALL BE INSPECTED MONTHLY FOR EVIDENCE OF SILTATION, DEBRIS, AND EROSION. UNDERCUT OR ERODED AREAS SHALL BE REPAIRED WITHIN 30 DAYS OF DOCUMENTATIONS. BASINS SHALL BE INSPECTED FOR INVASIVE VEGETATION AT LEAST ONCE EVERY SIX MONTHS. FOREBAYS AND DETENTION BASINS SHALL BE MOWED ONCE PER YEAR AT THE END OF THE GROWING SEASON NO LATER THAN OCTOBER 15TH.
- REFER TO THE LATEST EDITION OF THE CONNECTICUT GUIDELINES FOR STORMWATER QUALITY MANAGEMENT, AS WELL AS THE TOWN'S ENGINEERING STANDARDS AND SPECIFICATIONS AS AMENDED, FOR THE PROPER IMPLEMENTATION OF STORMWATER MANAGEMENT.

**SUMMARY OF CONSERVATION PRACTICES -**

**TEMPORARY MEASURES DURING CONSTRUCTION**

- CONSTRUCTION ENTRANCE PAD
- GEOTEXTILE SILT FENCE TO BE PLACED IN AREAS AS SHOWN ON THE PLAN
- DUST CONTROL BY USE OF CALCIUM CHLORIDE AND/OR WATER
- ALL LITTER AND DEBRIS TO BE PICKED UP ON A DAILY BASIS
- ANY DISCARDED CONSTRUCTION MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER
- DISTURBED SURFACE WATER WILL BE COLLECTED IN A TEMPORARY SEDIMENT BASIN

**PERMANENT MEASURES ONCE SITE IS DEVELOPED**

- ALL DISTURBED AREAS WITHOUT PAVEMENT SHALL BE LOAMED AND SEEDED TO ESTABLISH PERMANENT GRASS COVER.
- ALL LITTER AND DEBRIS TO BE PICKED UP ON A REGULAR BASIS
- BASINS WILL SERVE THE SITE STORM DRAINAGE.

**CONCRETE TRUCK WASHOUT NOTES:**

- A SIGN IS TO BE INSTALLED ADJACENT TO THE WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
- TEMPORARY WASHOUT AREA SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
- WEEKLY INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
- CONCRETE SPOILS ARE TO BE REMOVED AFTER CURED.
- WHEN THE CONCRETE WASHOUT AREA IS NO LONGER NEEDED, THE AREA IS TO BE RESTORED TO ORIGINAL EXISTING GRADE. PLACE A MINIMUM OF 4 INCHES OF TOPSOIL AND SEED PER VEGETATIVE COVER SCHEDULE.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE UTILITIES MARKED ON THE GROUND.

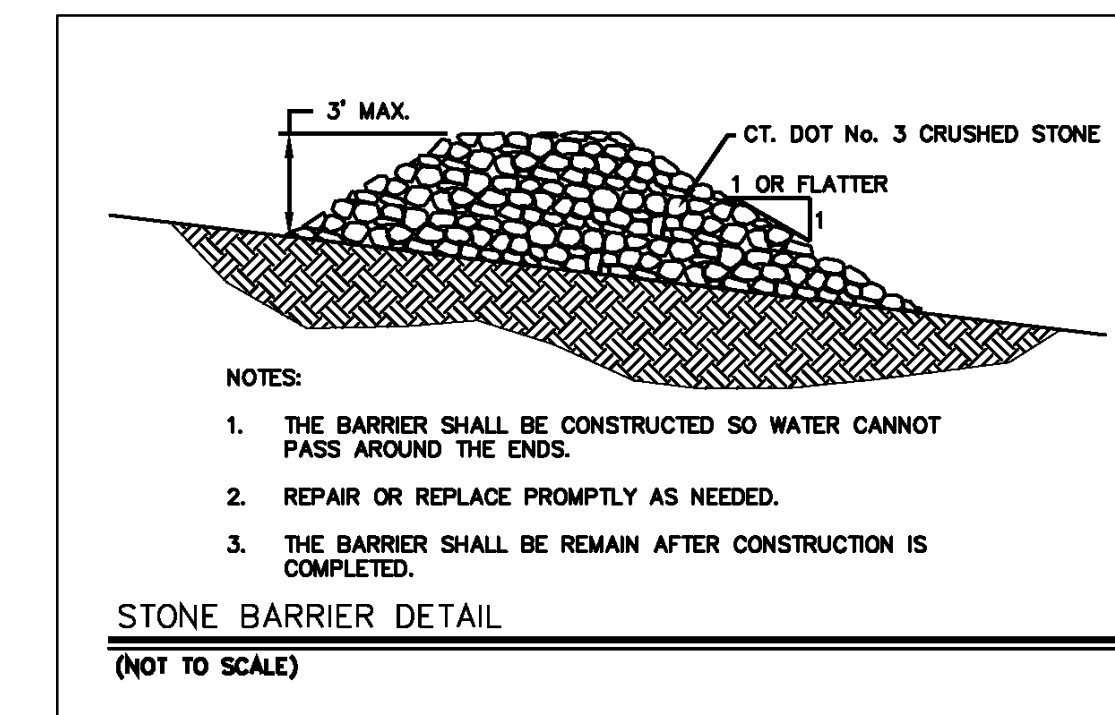
**EROSION AND SEDIMENTATION CONTROL NARRATIVE -**

- THE PROPERTY IS A 19.98 ACRE PARCEL LOCATED AT THE END OF COMMERCE ROAD IN MANCHESTER, CONNECTICUT. THE PROPERTY CONSISTS OF TWO (2) PARCELS KNOWN AS #71 AND #81 COMMERCE ROAD. BOTH PARCELS ARE ZONED "INDUSTRIAL" AND ARE WITHIN THE "BUCKLAND INDUSTRIAL PARK II". THE WEST SIDE OF THE PROPERTY ABUTS THE TOWN OF EAST HARTFORD, THE NORTH SIDE ABUTS INTERSTATE 291 AND BURHAM STREET, THE EAST SIDE ABUTS A VACANT INDUSTRIAL ZONED PROPERTY, ALSO BEING WITHIN THE "BUCKLAND INDUSTRIAL PARK II" AND THE SOUTH SIDE ABUTS A DEVELOPED INDUSTRIAL FACILITY. THE SUBJECT PROPERTY IS VACANT AND HAS SOME WETLANDS LOCATED ON THE PROPERTY.
- THE PROPOSAL IS TO CONSTRUCT A 144,300 SQUARE FOOT BUILDING DISTRIBUTION WAREHOUSE WITH ASSOCIATED PARKING, TRUCK LOADING, TRAILER PARKING AND UTILITIES.
- THE ANTICIPATED START OF CONSTRUCTION IS PLANNED FOR THE FALL OF 2024 WITH FINAL COMPLETION IN APPROXIMATELY ONE YEAR.

**CONSTRUCTION SEQUENCE -**

- CUT TREES AND REMOVE BRUSH WITHIN THE AREA OF CONSTRUCTION AND REMOVE OFF SITE.
  - INSTALL CONSTRUCTION ENTRANCE.
  - INSTALL GEOTEXTILE SILT FENCES.
- CONSTRUCT BASINS #1, #2 AND #3.
  - FOR EACH BASIN:
    - STUMP AREA OF BASIN. STUMPS TO BE REMOVED FROM SITE. STUMPS ARE NOT TO BE BURIED ON THE PROPERTY.
    - STRIP AND STOCKPILE TOPSOIL.
    - EXCAVATE, GRADE (INCLUDING FOREBAY IN BASIN #1), TOPSOIL AND SEED BASIN.
  - CONSTRUCT RETAINING WALL ADJACENT TO BASIN #1.
- FOR BASIN #1, INSTALL PERMANENT STORM DRAINAGE OUTLET STRUCTURE ALONG WITH ASSOCIATED MANHOLES AND PIPES TO CONNECT INTO THE EXISTING OUTLET PIPE.
  - FOR BASIN #2, INSTALL PERMANENT STORM DRAINAGE OUTLET STRUCTURE #2 ALONG WITH ASSOCIATED STORM DRAINAGE STRUCTURES AND CONNECTING PIPE TO FLARED END #3 THAT DISCHARGES INTO BASIN #1 PLACE RIP-RAP PLUNGE POOL AT FLARED END.
  - FOR BASIN #3, INSTALL PERMANENT STORM DRAINAGE OUTLET STRUCTURE ALONG WITH ASSOCIATED STORM DRAINAGE STRUCTURES AND CONNECTING PIPE TO FLARED END #1. PLACE RIP-RAP PLUNGE POOL AT FLARED END.
- FOR BASIN #1, INSTALL TEMPORARY OUTLET PIPE INTO STORM DRAINAGE OUTLET STRUCTURE #1.
- INSTALL A STONE BARRIER AT EACH OF THE BASIN OUTLET DRAINAGE STRUCTURES. EACH OF THE STONE BARRIERS ARE TO BE MAINTAINED AND FUNCTION PROPERLY DURING CONSTRUCTION. AT THE END OF CONSTRUCTION, STONE BARRIERS ARE TO BE CLEANED AND OR REPAIRED, AS NECESSARY, AND TO REMAIN AS PERMANENT.

- DURING SITE CONSTRUCTION, THE THREE (3) BASINS WILL EACH FUNCTION AS A TEMPORARY SEDIMENT BASIN. AS NEEDED, TEMPORARY SEDIMENT BASIN SHALL BE CLEANED OF ACCUMULATED SILT AND SEDIMENT SO THAT BASIN WILL FUNCTION PROPERLY THROUGHOUT THE DEVELOPMENT.
- CONSTRUCT TEMPORARY SWALES AND DIRECT TOWARDS BASIN, AS SHOWN. PLACE TEMPORARY STONE BARRIERS AT CATCHBASINS #10 AND #11. SWALES TO BE MAINTAINED AND FUNCTION PROPERLY UNTIL STORM WATER CAN BE CARRIED IN PROPOSED DRAINAGE STRUCTURES.
  - CONSTRUCT RETAINING WALL ON THE WEST SIDE OF THE PROPERTY.
  - STUMP, STRIP AND STOCKPILE TOPSOIL FROM THE AREA OF THE BUILDING AND THE PROPOSED IMPROVEMENTS. PLACE GEOTEXTILE SILT FENCE AROUND STOCKPILES AREAS. PILES ARE TO BE SEEDED FOR TEMPORARY VEGETATION IF PILE IS TO REMAIN FOR AN EXTENDED PERIOD OF TIME. STUMPS ARE TO BE REMOVED FROM THE PROPERTY.
  - GRADE THE AREAS OF THE PROPOSED IMPROVEMENTS.
  - BEGIN CONSTRUCTION OF BUILDING.
  - INSTALL STORM DRAINAGE.
    - PLACE SILT SACK IN THE TOP OF NEW CATCH BASINS. AREAS AROUND NEW CATCH BASIN TOPS ARE TO BE DEPRESSED. THROUGHOUT CONSTRUCTION, CARE SHALL BE TAKEN TO KEEP DISTURBED SURFACE WATER FROM ENTERING THE CATCH BASIN.
  - CONSTRUCT UTILITIES, PAVEMENT AREAS AND OTHER SITE IMPROVEMENTS.
  - INSTALL PLANT MATERIAL.
  - LOAM AND SEED FOR PERMANENT COVER. IF PERMANENT COVER IS NOT DESIRED AT THE TIME OF THE SEEDING, USE TEMPORARY SEEDING PER VEGETATIVE COVER SCHEDULE.
  - WHEN ALL CONTRIBUTING AREAS HAVE STABILIZED, ACCUMULATED SEDIMENT TO BE REMOVED FROM BASINS, REMOVE TEMPORARY OUTLET STRUCTURE AND PIPE. BLOCK AND SEAL PENETRATION INTO STRUCTURE. CORE PERMANENT ORIFICE. PLACE TOPSOIL AND SEED.
  - THROUGHOUT CONSTRUCTION AND AT LEAST ONCE A WEEK, INSPECT GEOTEXTILE SILT FENCE AND/OR TEMPORARY VEGETATIVE COVER. IF REQUIRED, PERFORM MAINTENANCE AND REPAIRS TO INSURE PROPER WORKING ORDER. GEOTEXTILE SILT FENCE IS TO REMAIN IN PROPER WORKING ORDER UNTIL ALL VEGETATIVE COVER HAS BEEN ESTABLISHED. BEFORE REMOVAL OF ANY SILT FENCE, EXISTING ACCUMULATED SILT IS TO BE REMOVED AND DISPOSED OF PROPERLY. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED TO ESTABLISH PERMANENT COVER.
  - THE OWNER OF THE PROPERTY AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION/MAINTENANCE/REPAIR/REPLACEMENT OF ALL EROSION CONTROL MEASURES UNTIL ALL CONTRIBUTING SURFACES HAVE BEEN ESTABLISHED.



THE PLANNING AND ZONING COMMISSION CERTIFIES THAT THE SOIL AND EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE TOWN OF MANCHESTER REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL DATED 2002, AS AMENDED.

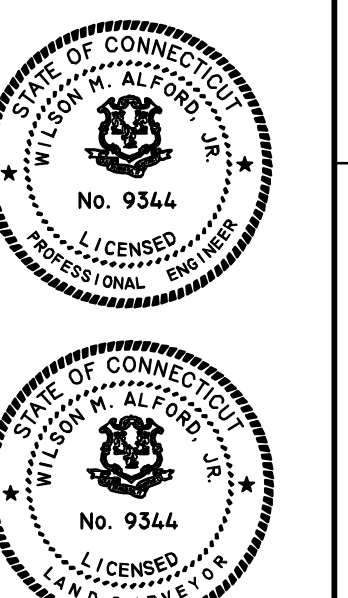
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DATE OF APPROVAL \_\_\_\_\_

**APPROVED**  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_

NO.	DESCRIPTION	DATE	APPROVED

7-8-24  
DATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



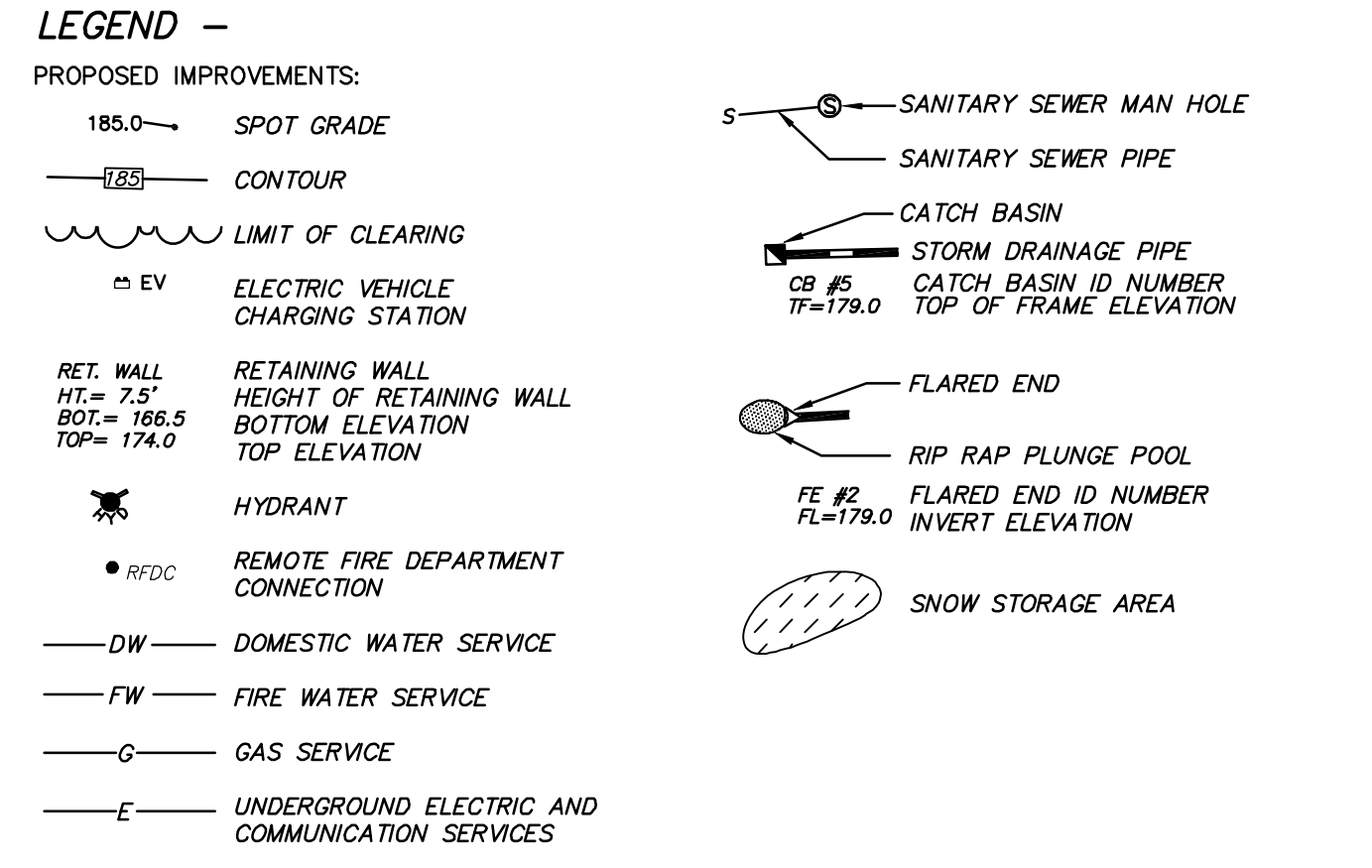
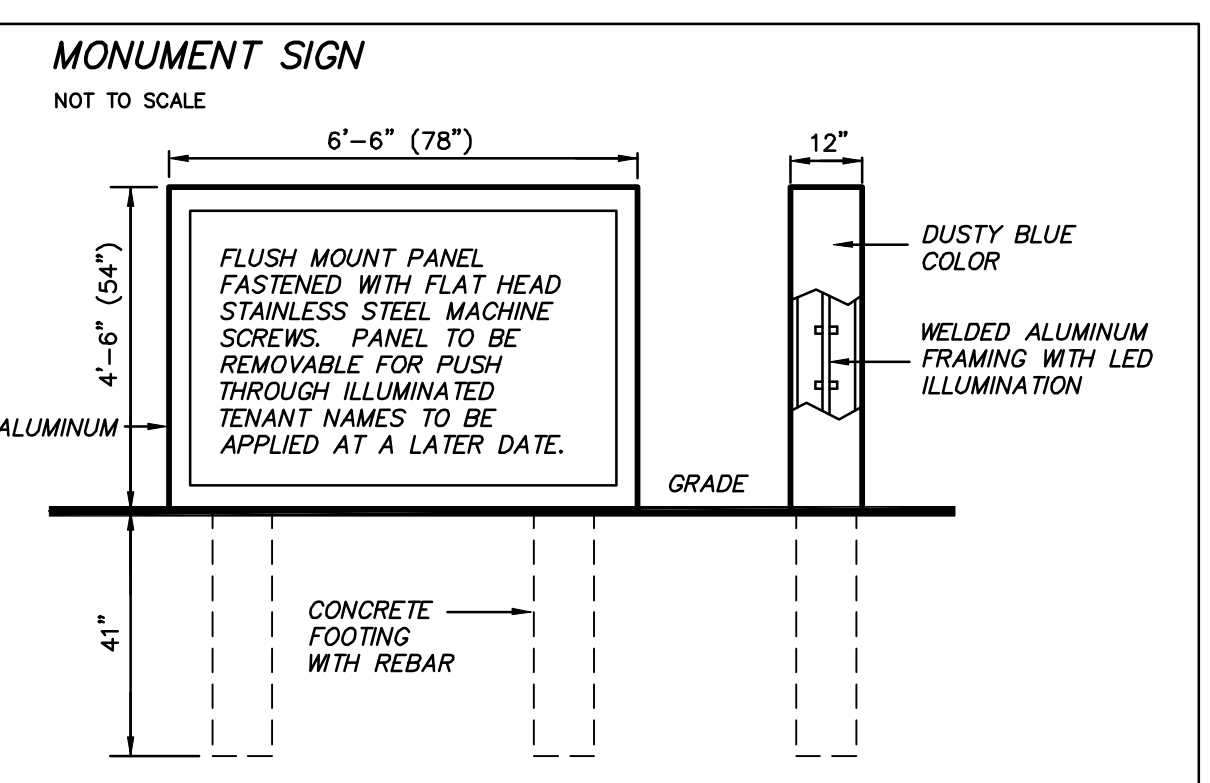
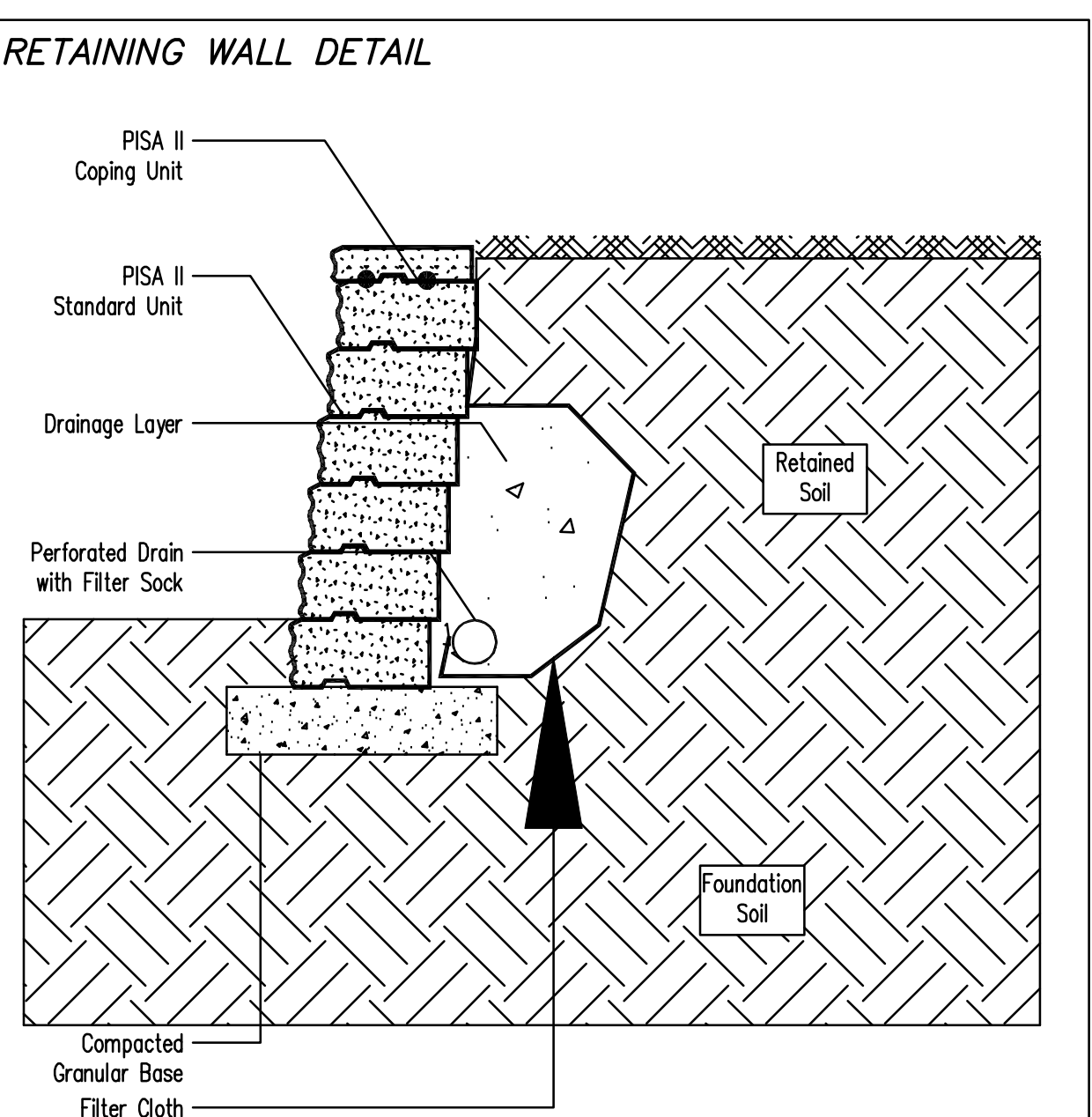
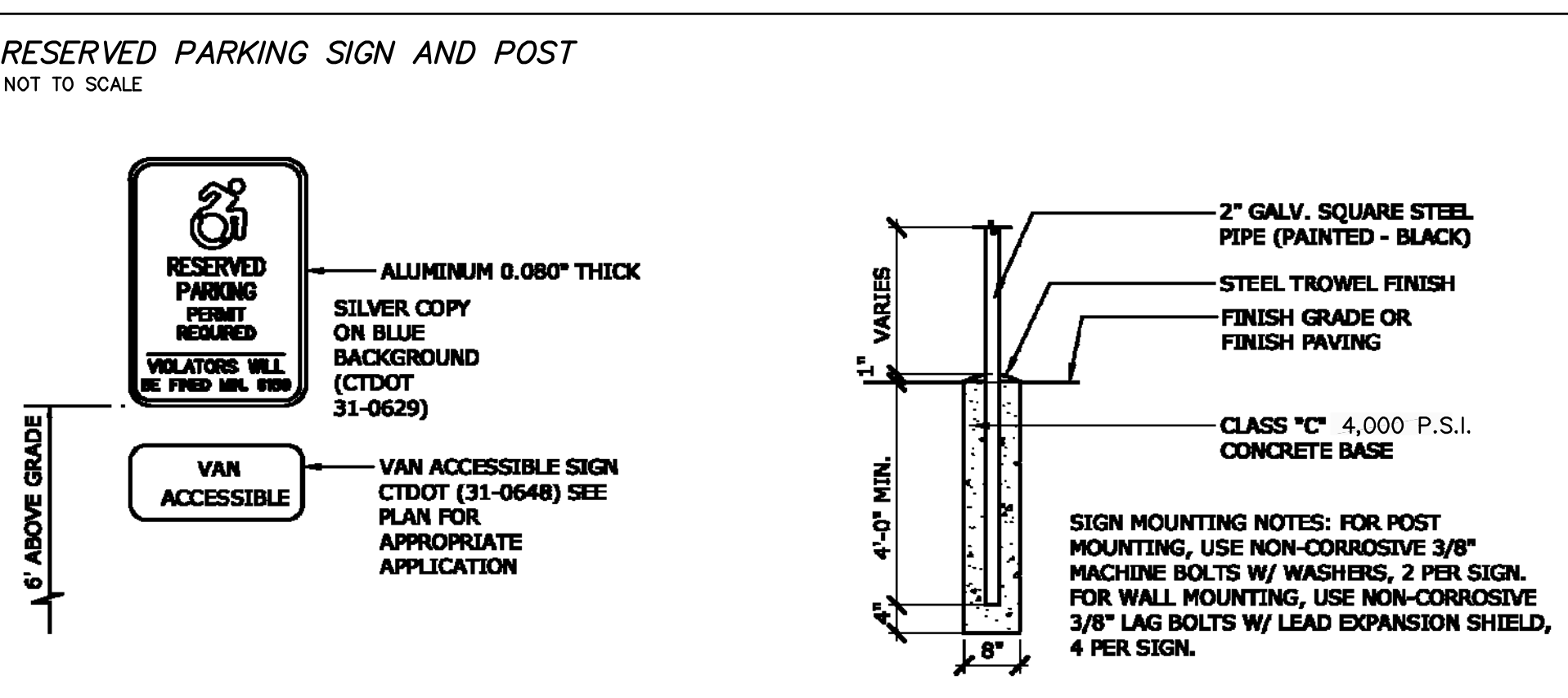
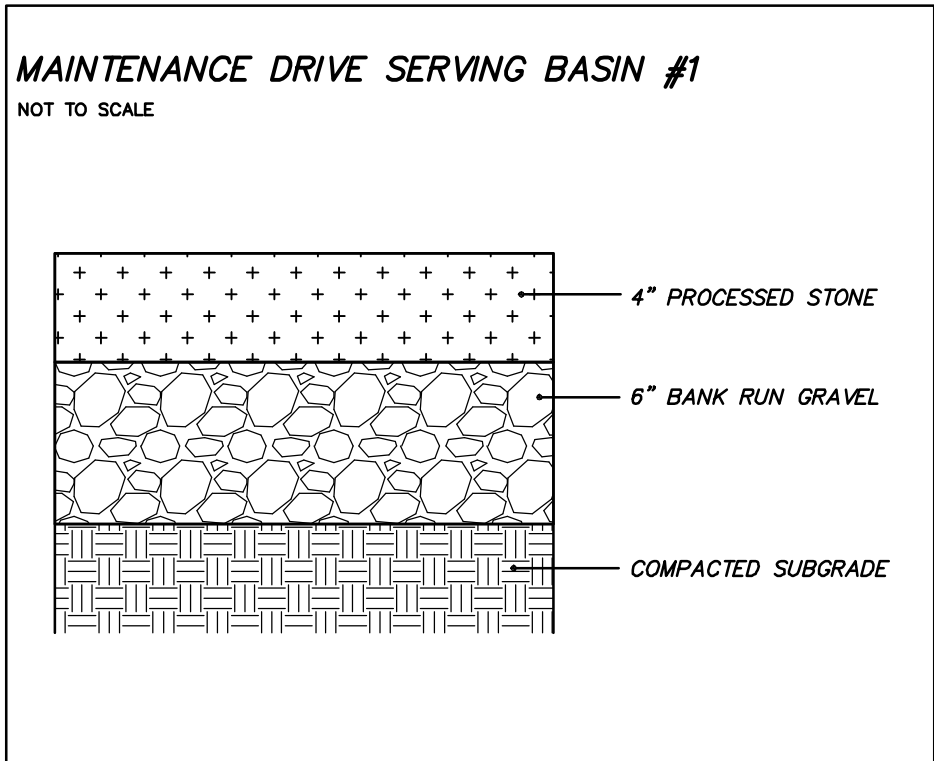
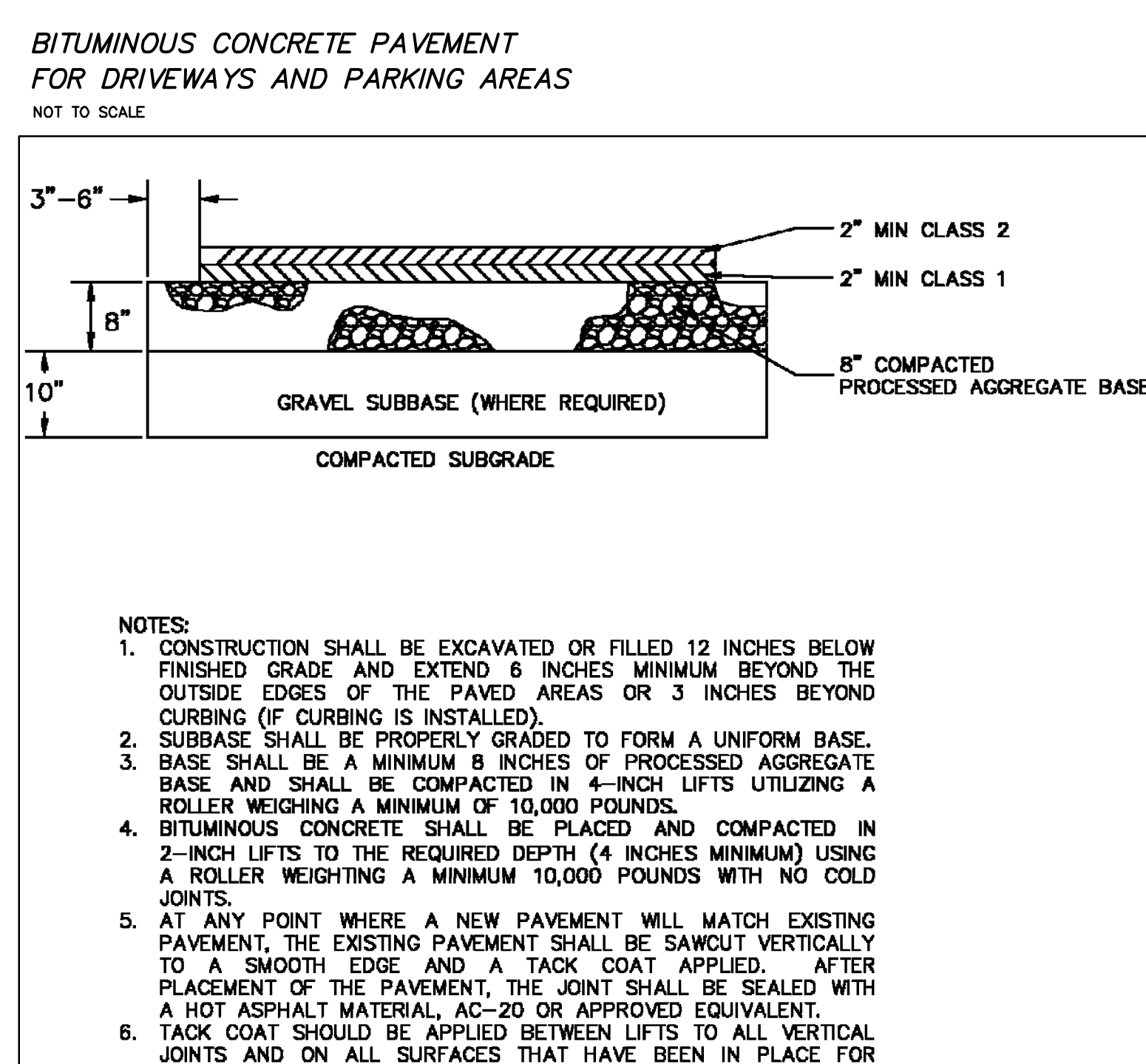
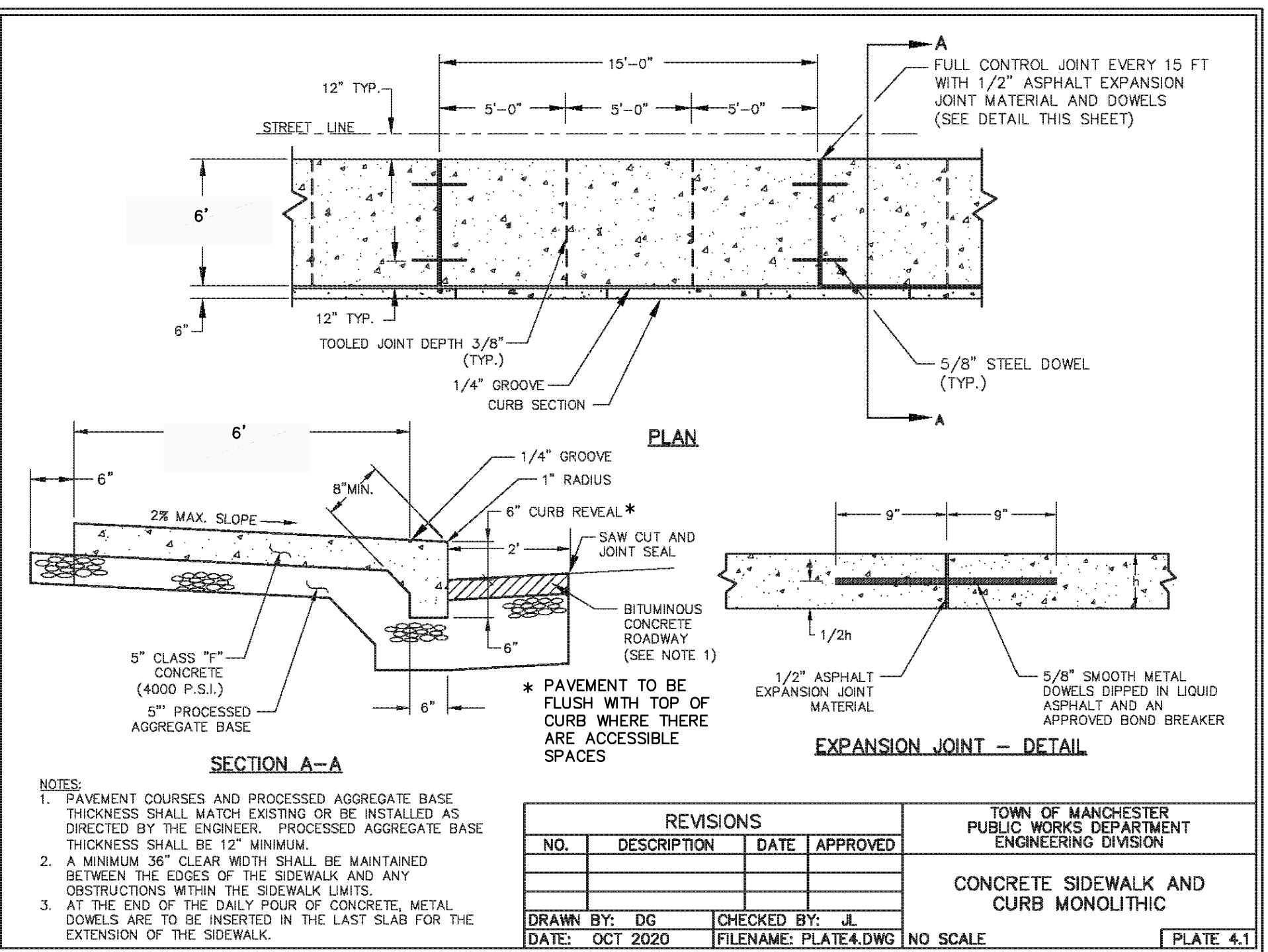
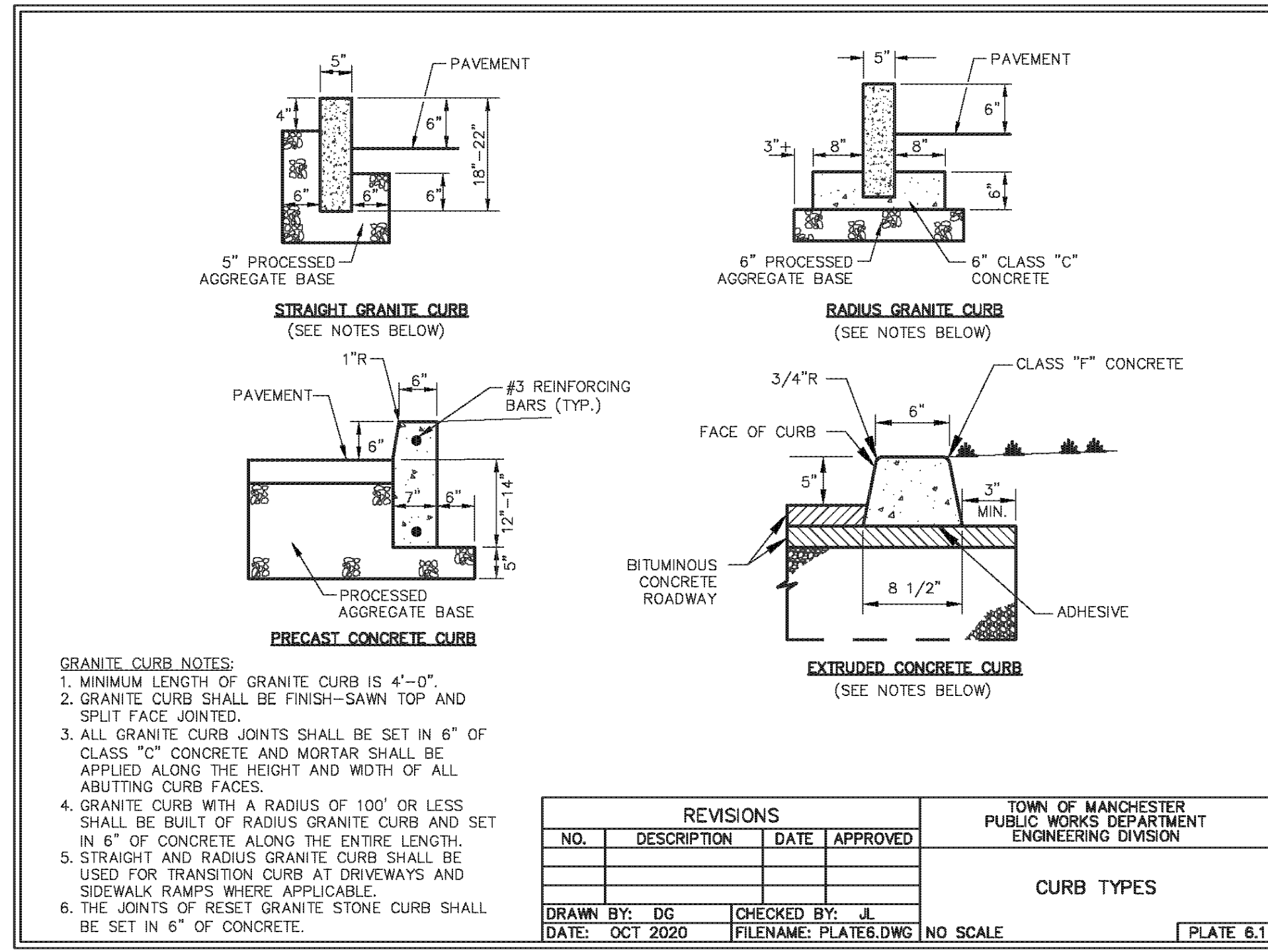
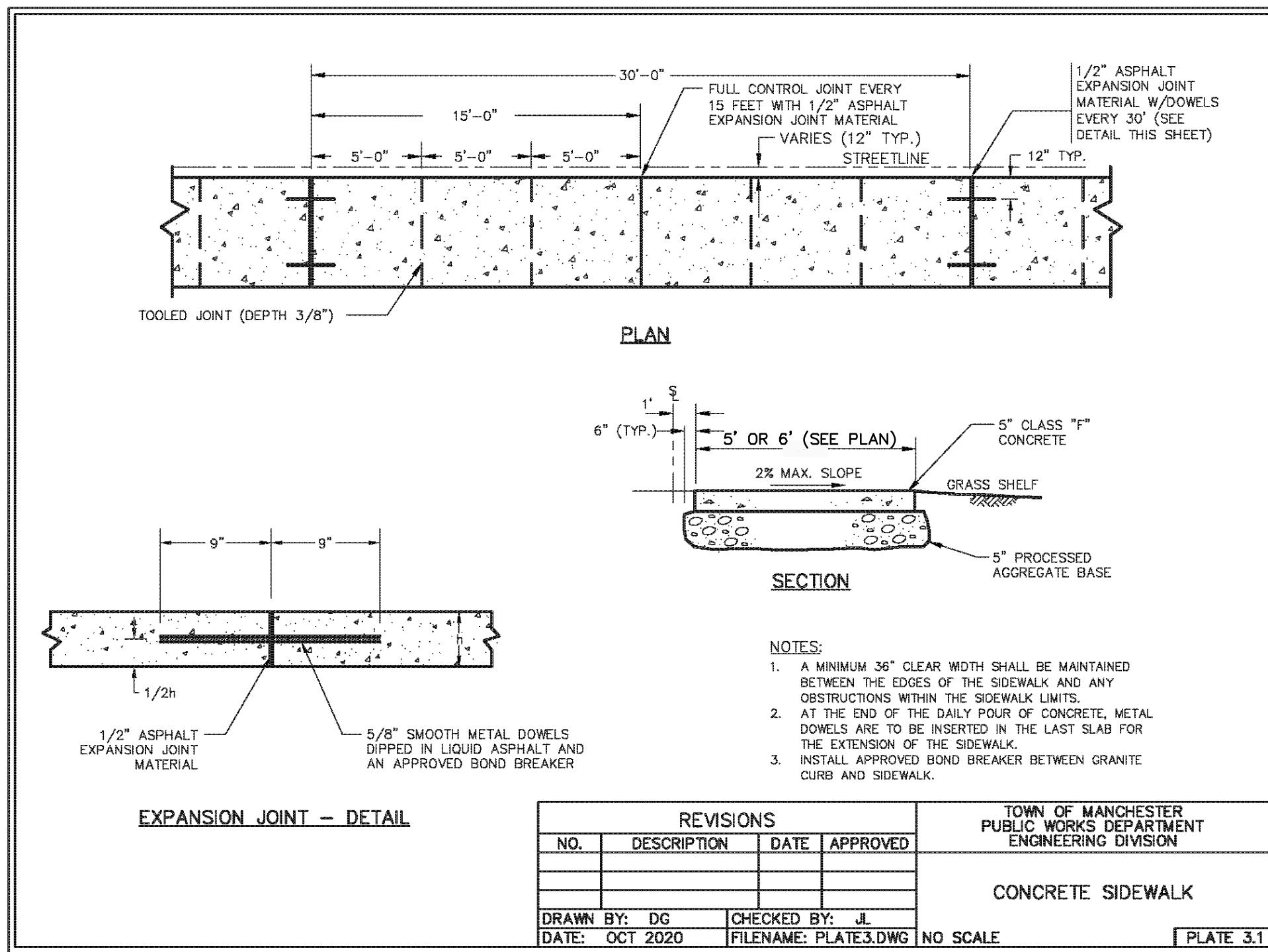
CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

SCALE: 1 IN. = 40 FT.

SITE PLAN  
PREPARED FOR  
**LFF COMMERCE JV LLC**  
EROSION & SEDIMENTATION CONTROL PLAN  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)  
MANCHESTER, CONNECTICUT

Sheet  
C7.2



**APPROVED**  
 PLANNING & ZONING COMMISSION  
 MANCHESTER, CT.  
 DATE: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_

- GENERAL SITE DEVELOPMENT NOTES**
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS.
  - CONTRACTOR SHALL VERIFY LAYOUT DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
  - MATERIAL THICKNESSES SPECIFIED ARE COMPACTED THICKNESSES.
  - PROPOSED PAVEMENT SHALL MAKE A SMOOTH TRANSITION WITH THE EXISTING PAVEMENT.
  - ROUND TOPS AND TOES OF ALL PAVED AND PLANTED SLOPES.
  - UNSPECIFIED CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MANCHESTER PUBLIC IMPROVEMENT STANDARDS, THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 818, AMENDED, AND WITH MANUFACTURER'S SPECIFICATIONS.
  - WASTE CONTROL IS TO BE MAINTAINED ON THE SITE AT ALL TIMES. THIS INCLUDES ACCUMULATED SEDIMENT AND LITTER. SPECIFICALLY, ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP ON A REGULAR BASIS.
  - THE DEVELOPER SHALL PRACTICE EFFECTIVE DUST CONTROL PER THE SOIL CONSERVATION SERVICE HANDBOOK DURING CONSTRUCTION AND UNTIL ALL AREAS ARE STABILIZED OR SURFACE TREATED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.
  - THE TOPSOIL IS THE PROPERTY OF THE OWNER.
  - THE INTENTION OF THIS PLAN IS NOT TO POND SURFACE WATER WITHIN THE PAVED AREAS.
  - PROPOSED LIGHTS SHALL BE SHIELDED TO CONFINE ILLUMINATION TO THE SUBJECT SITE.
  - REQUIRED LANDSCAPING SHOWN ON THE APPROVED SITE PLAN SHALL BE MAINTAINED IN A MANNER REASONABLY ASSURING ITS SURVIVAL. ANY REQUIRED PLANTING FOUND DEAD BY THE ZONING ENFORCEMENT OFFICER SHALL BE REPLACED IN-KIND DURING THE NEXT AVAILABLE PLANTING SEASON.
  - AREAS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT SHOULD BE SAW CUT. TACK COAT EDGE AND SEAL JOINT WITH HOT ASPHALT AC-20 OR APPROVED EQUAL.
  - PROPOSED PARKING SPACES SHALL BE DELINEATED WITH 4" WIDE STRIPES OF WHITE TRAFFIC PAINT.
  - ALL PROPOSED UTILITIES ARE TO BE UNDERGROUND.
  - THERE ARE NO ZONING VIOLATIONS WITH RESPECT TO LOCATION OF THE PROPOSED BUILDING, IF ERRECTED AS SHOWN.
  - IN ACCORDANCE WITH TOWN OF MANCHESTER ORDINANCE 14-57, THE CONTRACTOR SHALL REPLACE ALL BROKEN OR DAMAGED SIDEWALK AND CURBS ALONG THE FRONTAGE OF THE PROPERTY AS DIRECTED BY THE TOWN.
  - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY THE PERMITTING AUTHORITIES.
  - PLACE A BIODEGRADABLE EROSION CONTROL BLANKET ON SLOPES 3:1 AND STEEPER.

**TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION**

**STANDARD NOTES FOR SITE DEVELOPMENT APPLICATIONS**

- ALL MATERIALS AND METHODS OF CONSTRUCTION WITHIN THE RIGHT-OF-WAY AND FOR PROPOSED UTILITIES SHALL CONFORM TO THE MANCHESTER PUBLIC IMPROVEMENT STANDARDS, EFFECTIVE OCTOBER 31, 2020, AS AMENDED.
- A PRE-CONSTRUCTION MEETING WITH TOWN STAFF IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- RECORD DRAWINGS SHALL BE SUBMITTED TO THE TOWN OF MANCHESTER ENGINEERING DIVISION IN ACCORDANCE WITH SECTION 5.01 OF THE MANCHESTER PUBLIC IMPROVEMENT STANDARDS UPON COMPLETION OF THE WORK. THE DRAWINGS SHALL BE IN A FORM ACCEPTABLE TO THE ENGINEERING DIVISION AND SHALL BE APPROVED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL INFORMATION NECESSARY TO GENERATE DRAWINGS AND FOR PROVIDING THE ACTUAL DRAWINGS TO THE TOWN.
- THE CONTRACTOR MUST CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- IN ACCORDANCE WITH TOWN OF MANCHESTER ORDINANCE 14-57, THE CONTRACTOR SHALL REPLACE ALL BROKEN OR DAMAGED SIDEWALK AND CURBS ALONG THE FRONTAGE OF THE PROPERTY AS DIRECTED BY THE TOWN.
- DRAFT COPIES OF ALL EASEMENTS AS SHOWN ON THE FINAL APPROVED PLANS MUST BE SUBMITTED TO THE TOWN OF MANCHESTER ENGINEERING DIVISION FOR REVIEW AND APPROVAL, AND BE EXECUTED AND FILED, PRIOR TO THE POSTING OF THE PUBLIC IMPROVEMENTS BOND.
- ACTUAL LOCATIONS OF ALL PROPOSED UNDERGROUND UTILITIES (I.E. WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE, ELECTRIC, ETC.) SHALL BE APPROVED BY THE TOWN PRIOR TO CONSTRUCTION.
- AN APPROVED EROSION CONTROL BOND IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- PRIOR TO ANY TREE REMOVAL WITHIN THE TOWN OF MANCHESTER RIGHT-OF-WAY, THE CONTRACTOR MUST CONTACT THE TOWN TREE WARDEN FOR POSTING OF TREE REMOVAL NOTICES. FAILURE TO COMPLY WILL RESULT IN A FINE.

REVISION

DATE

7-8-24

NO. 9344

NO. 9344

NO. 9344

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. NO. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

**Alford ASSOCIATES, INC.**  
 CIVIL ENGINEERS  
 WINDSOR, CONNECTICUT  
 WILSON M. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

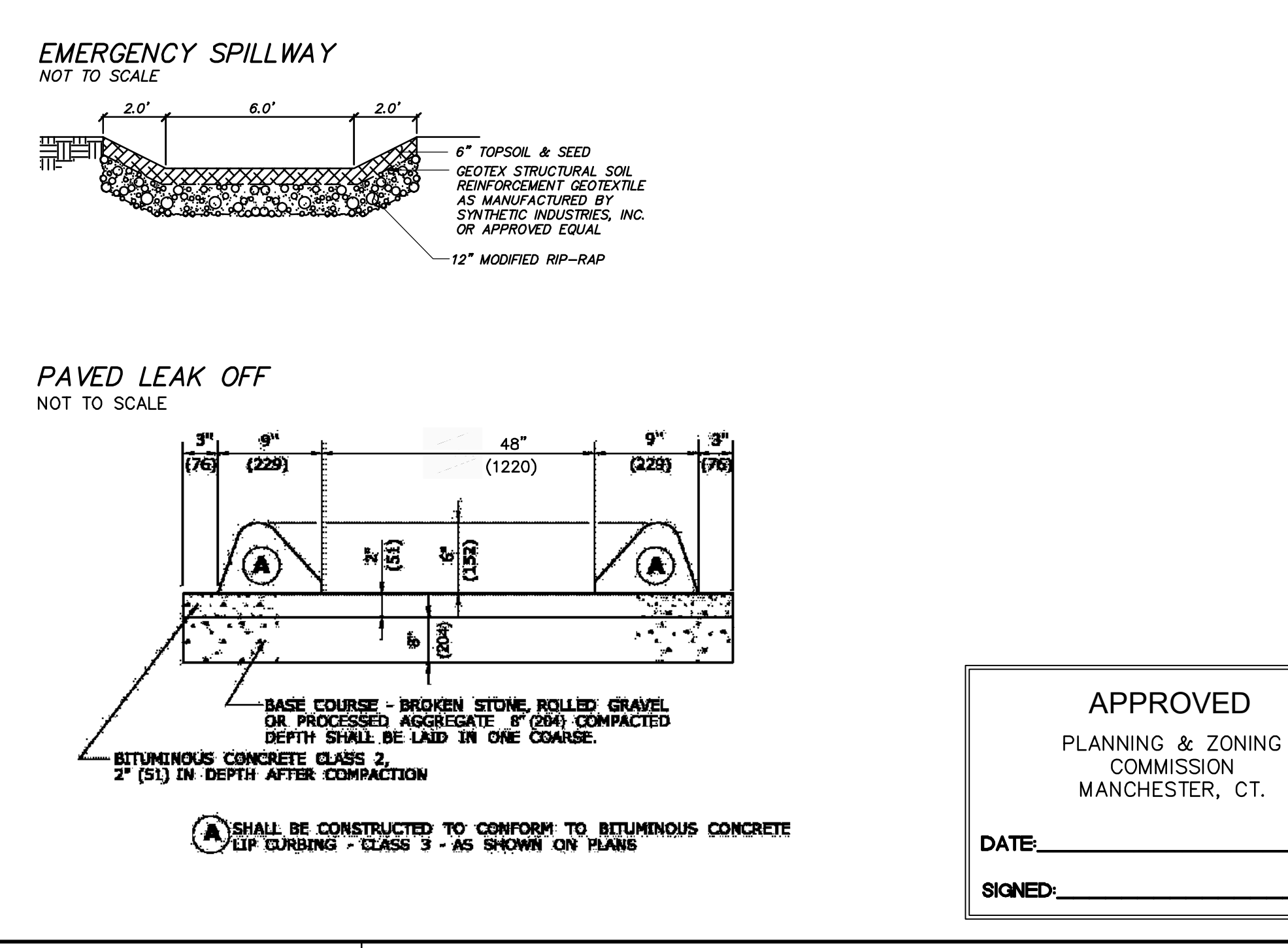
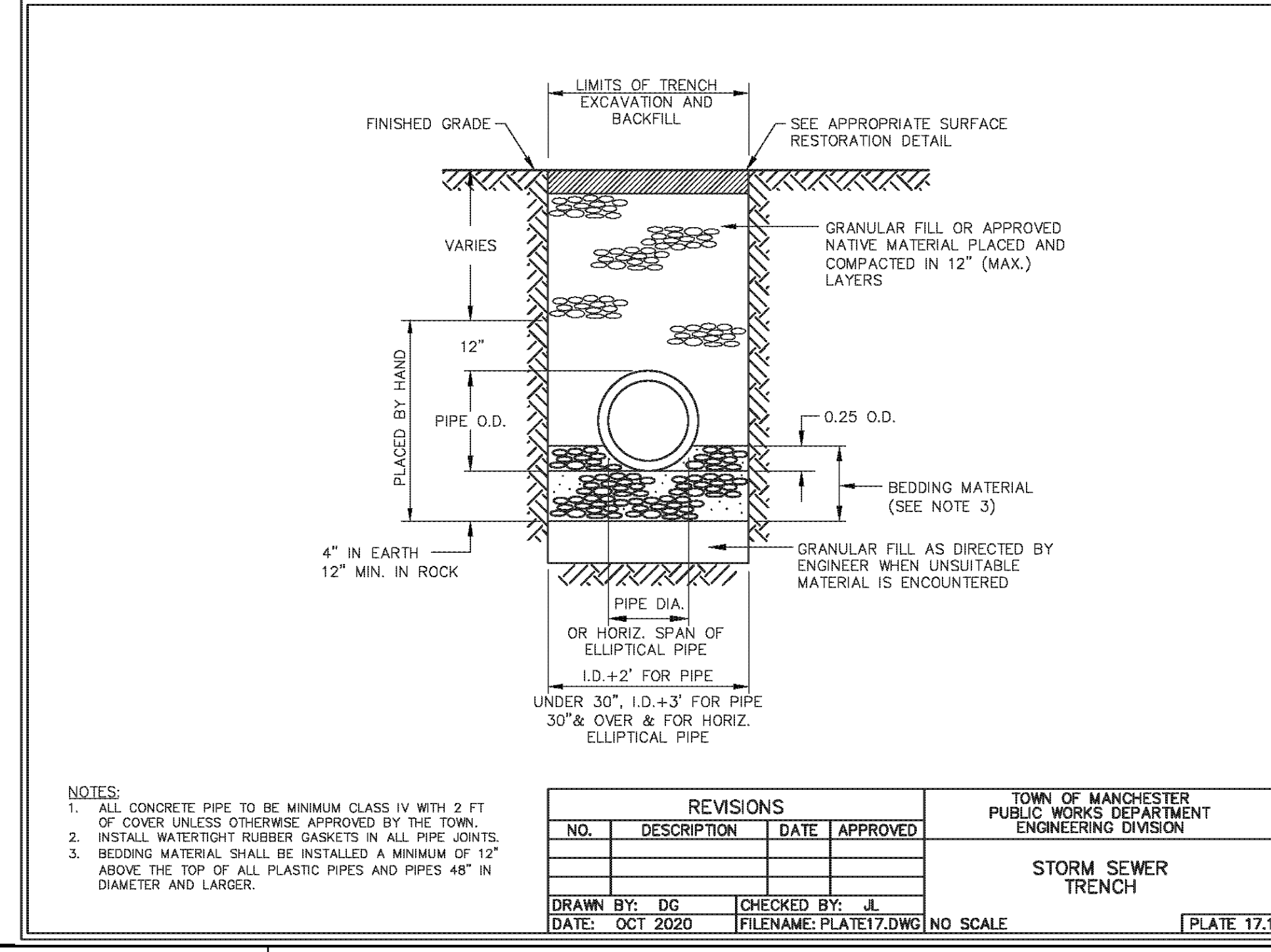
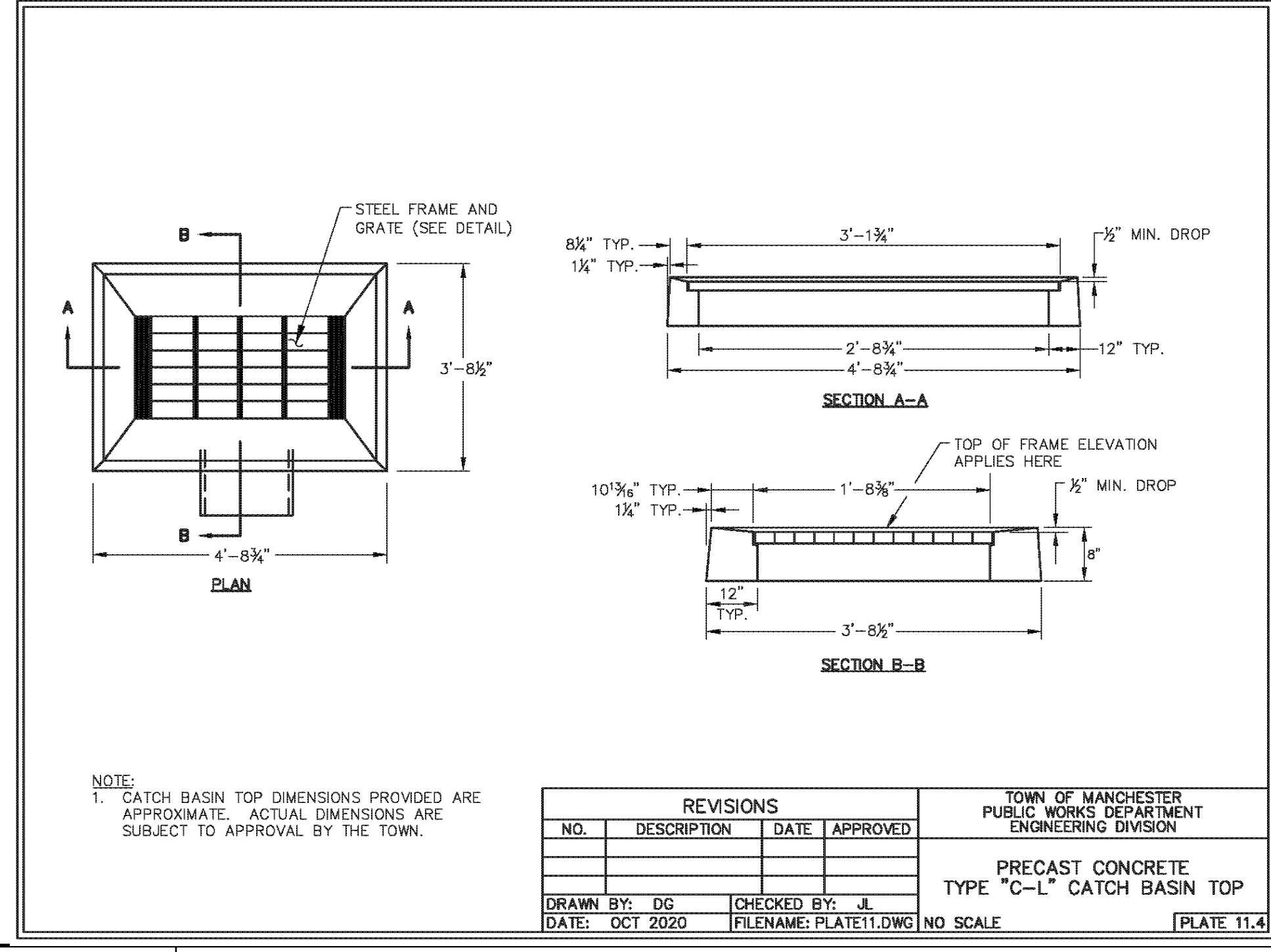
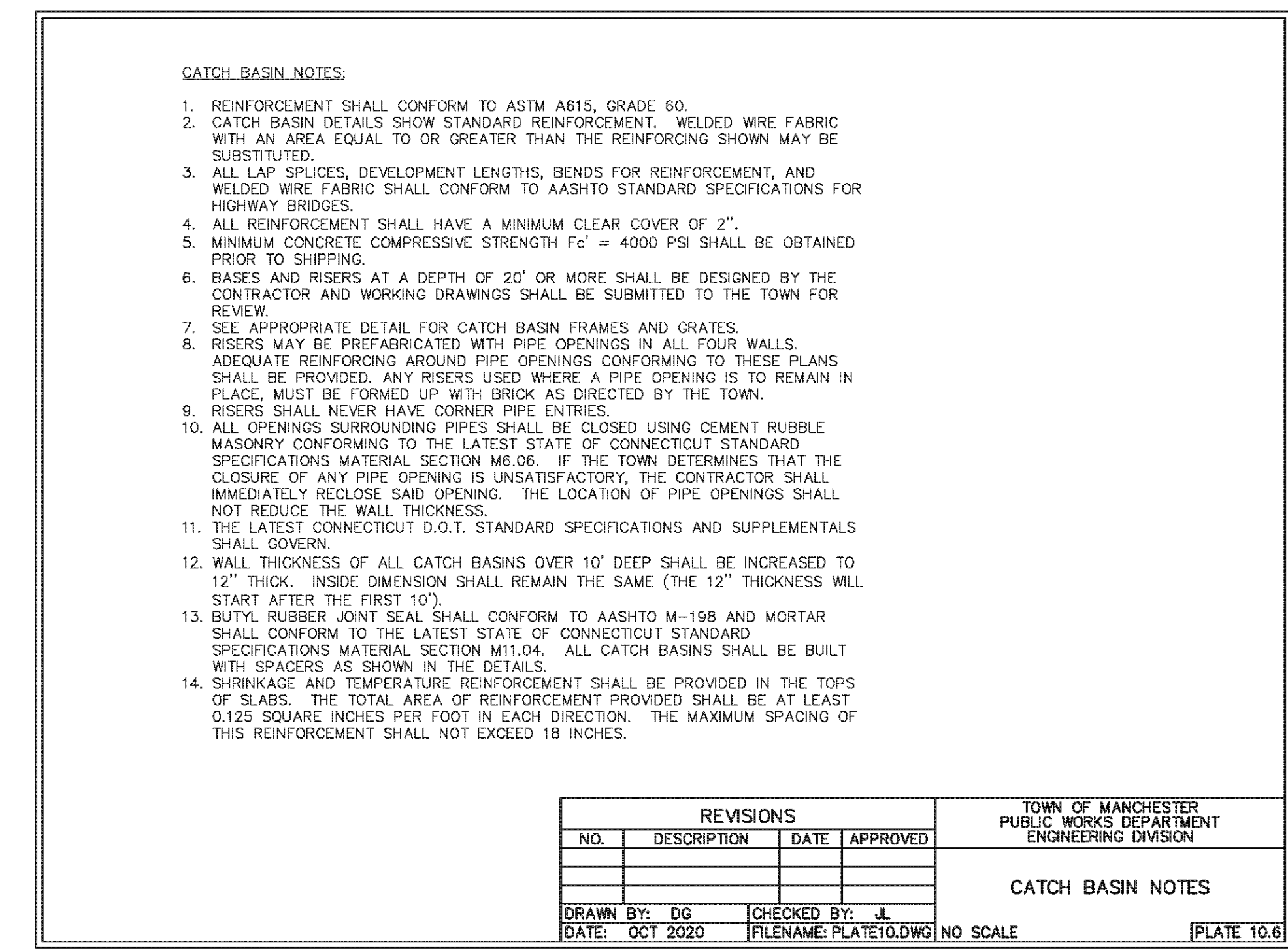
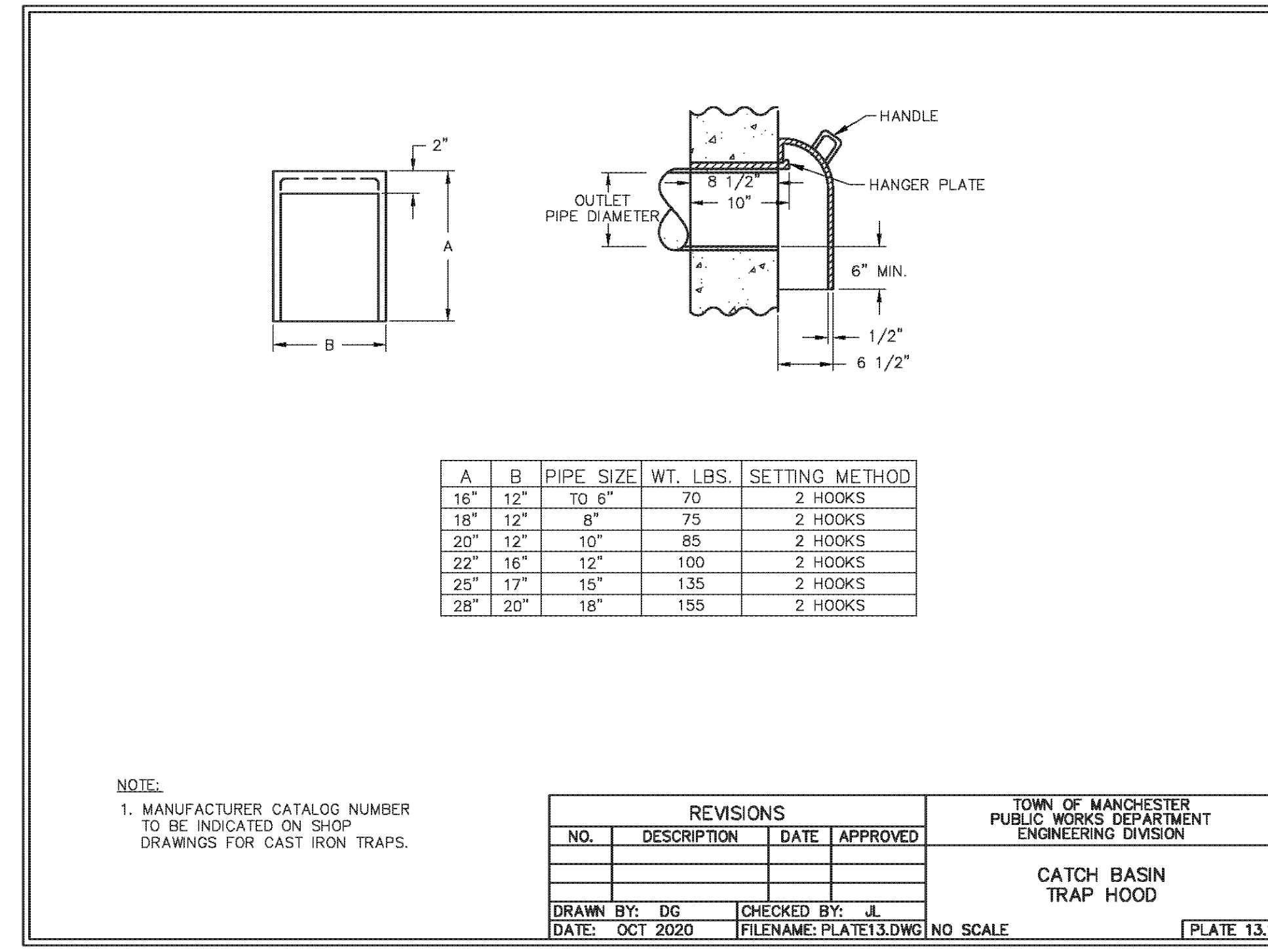
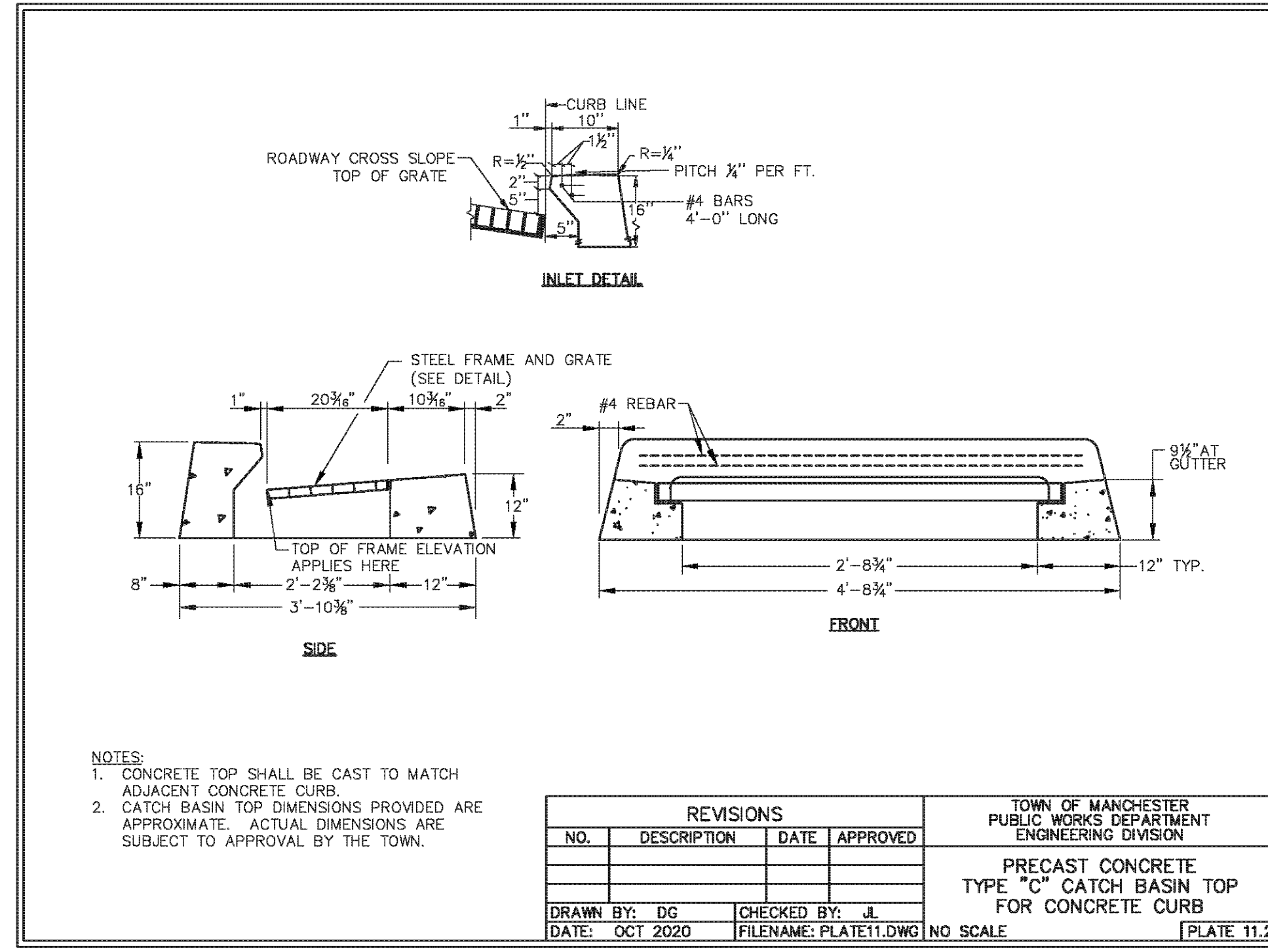
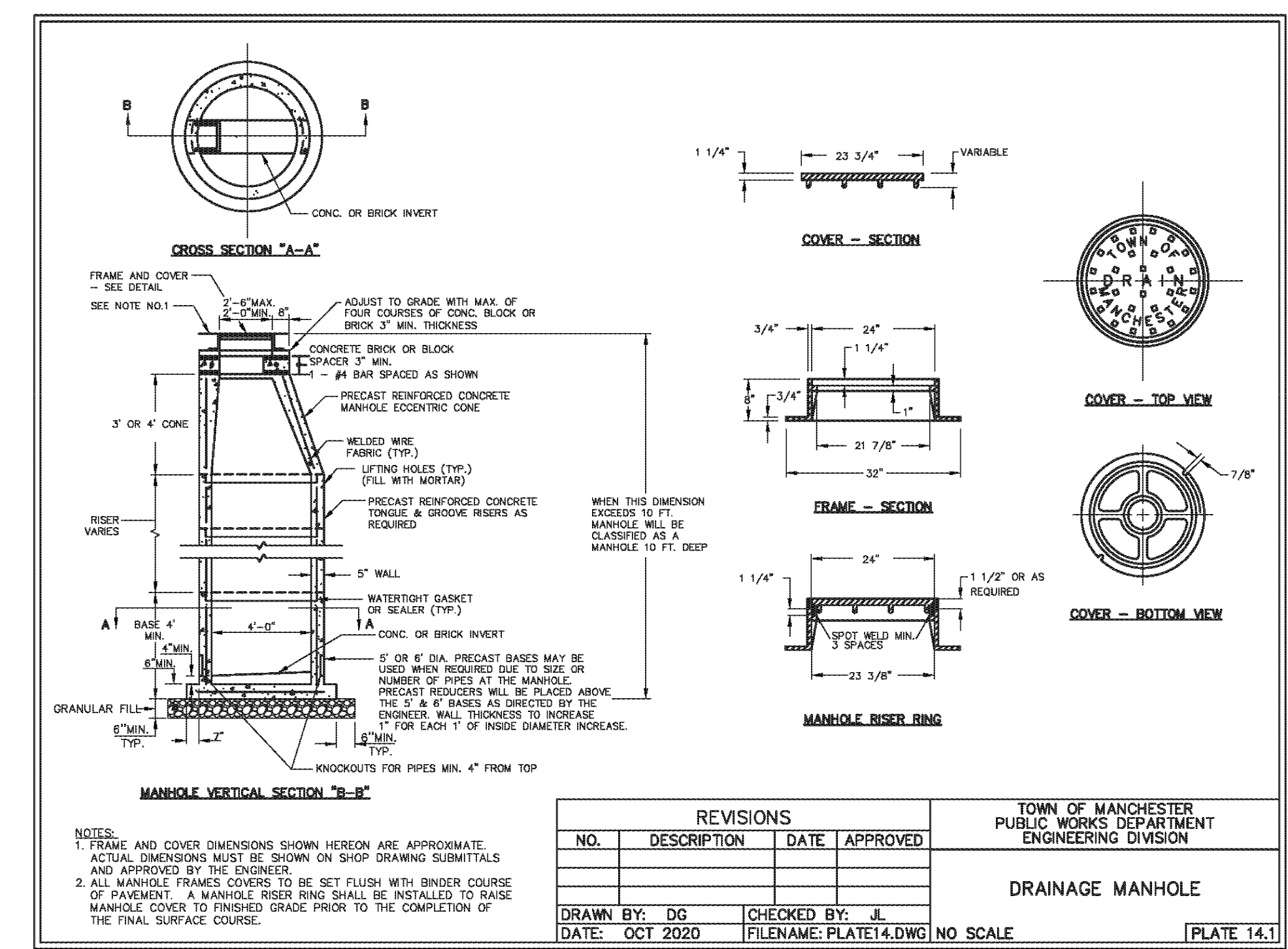
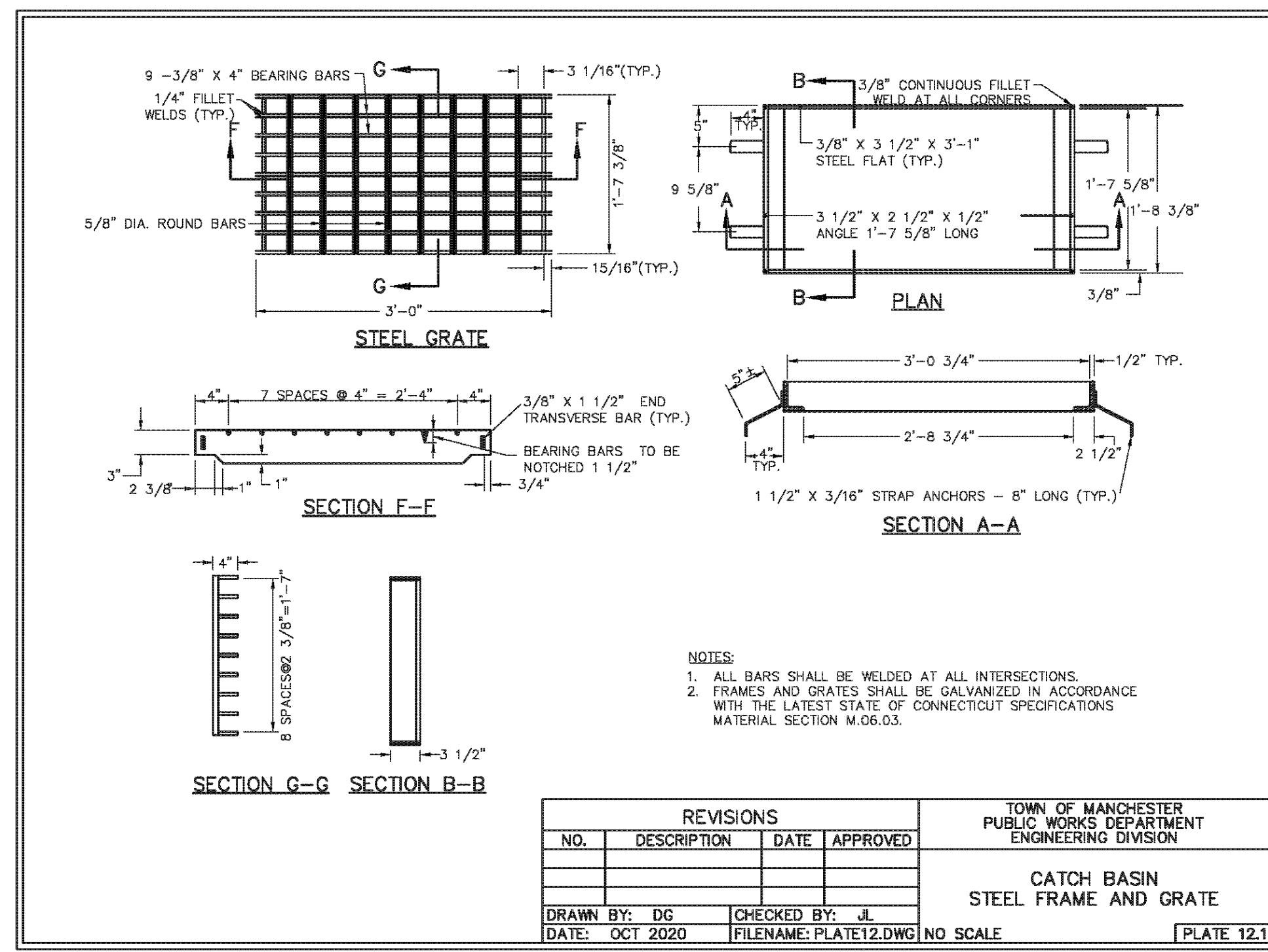
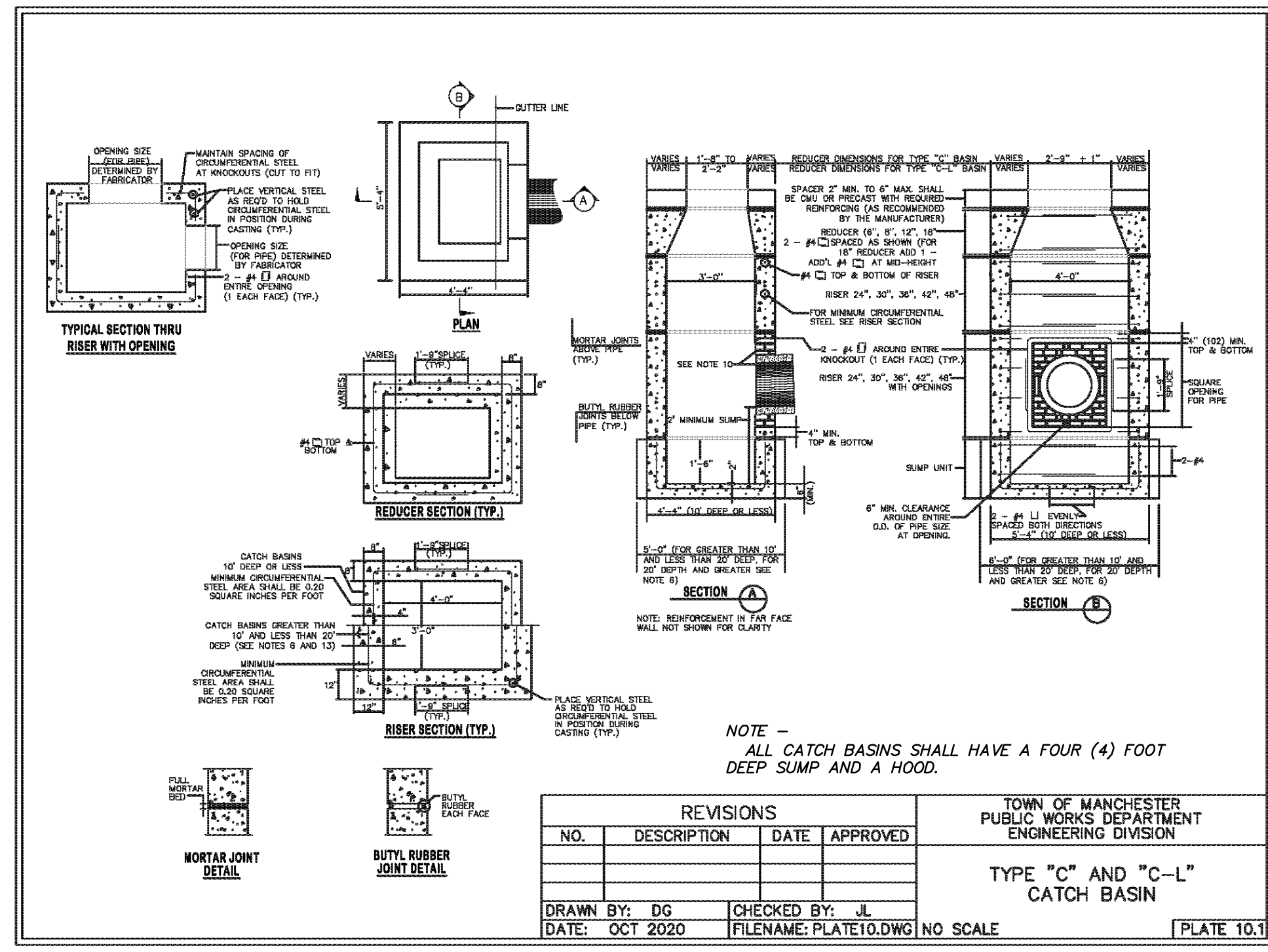
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SITE PLAN PREPARED FOR LFF COMMERCE JV LLC NOTES AND DETAILS

MANCHESTER, CONNECTICUT

71 COMMERCE ROAD (FORMERLY KNOWN AS 71 AND 81 COMMERCE ROAD)

Sheet C8.1



REVISION

REVISED PER TOWN STAFF COMMENTS

DATE

7-8-24

STATE OF CONNECTICUT  
WILSON H. ALFORD, JR.  
No. 9344  
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT  
WILSON H. ALFORD, JR.  
No. 9344  
LICENSED LAND SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

**Alford ASSOCIATES, INC.**

CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON H. ALFORD, JR., P.E. & L.S.

DATE: MAY 6, 2024

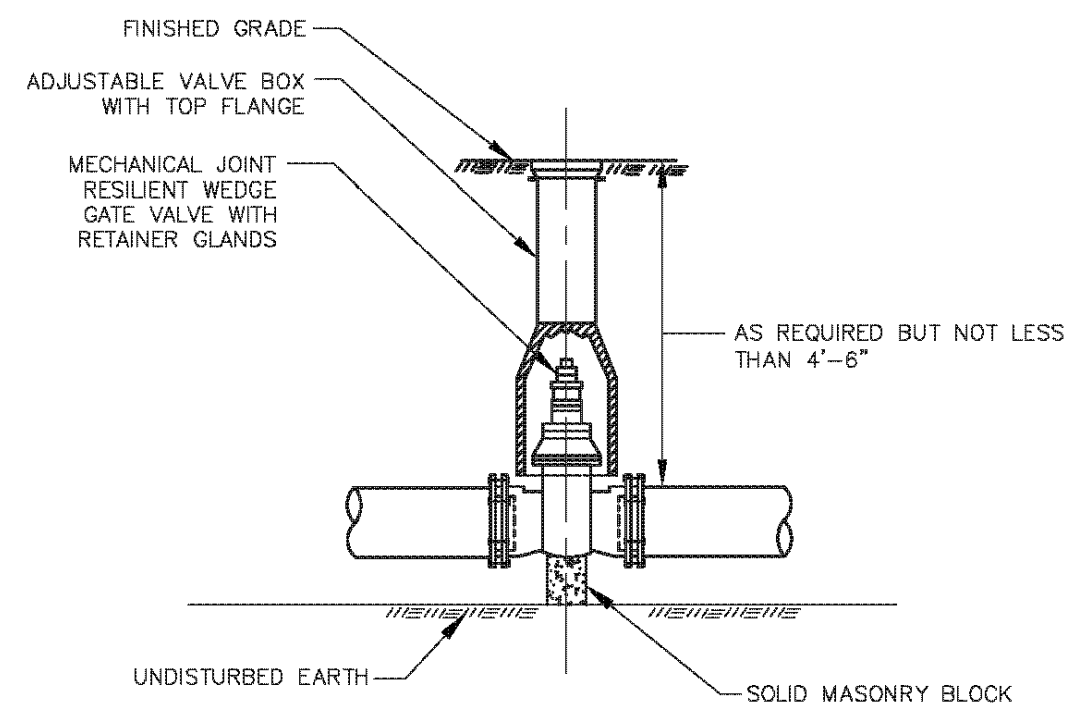
SCALE: 1 IN. = - FT.

SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
STORM DRAINAGE NOTES AND DETAILS  
MANCHESTER, CONNECTICUT

71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)

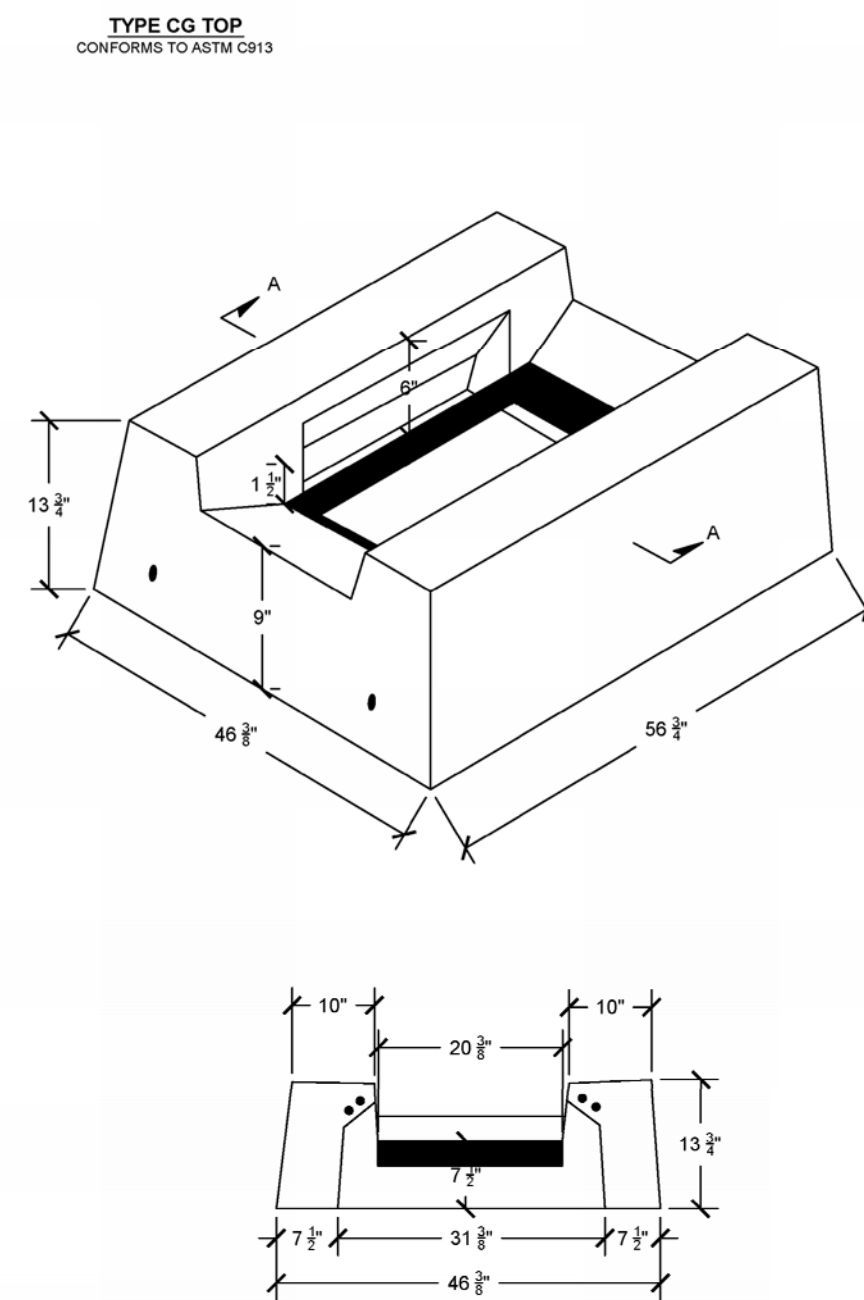
Sheet  
C8.2

SS: PR-GRADING  
P: C23047  
D: C23047SP-M  
FOLDER: CAMPOFRANCO-MANCHESTER



REVISIONS				TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION
NO.	DESCRIPTION	DATE	APPROVED	
				WATER GATE VALVE
DRAWN BY: DG		CHECKED BY: JL		PLATE 19.4
DATE: OCT 2020		FILENAME: PLATE19.DWG		

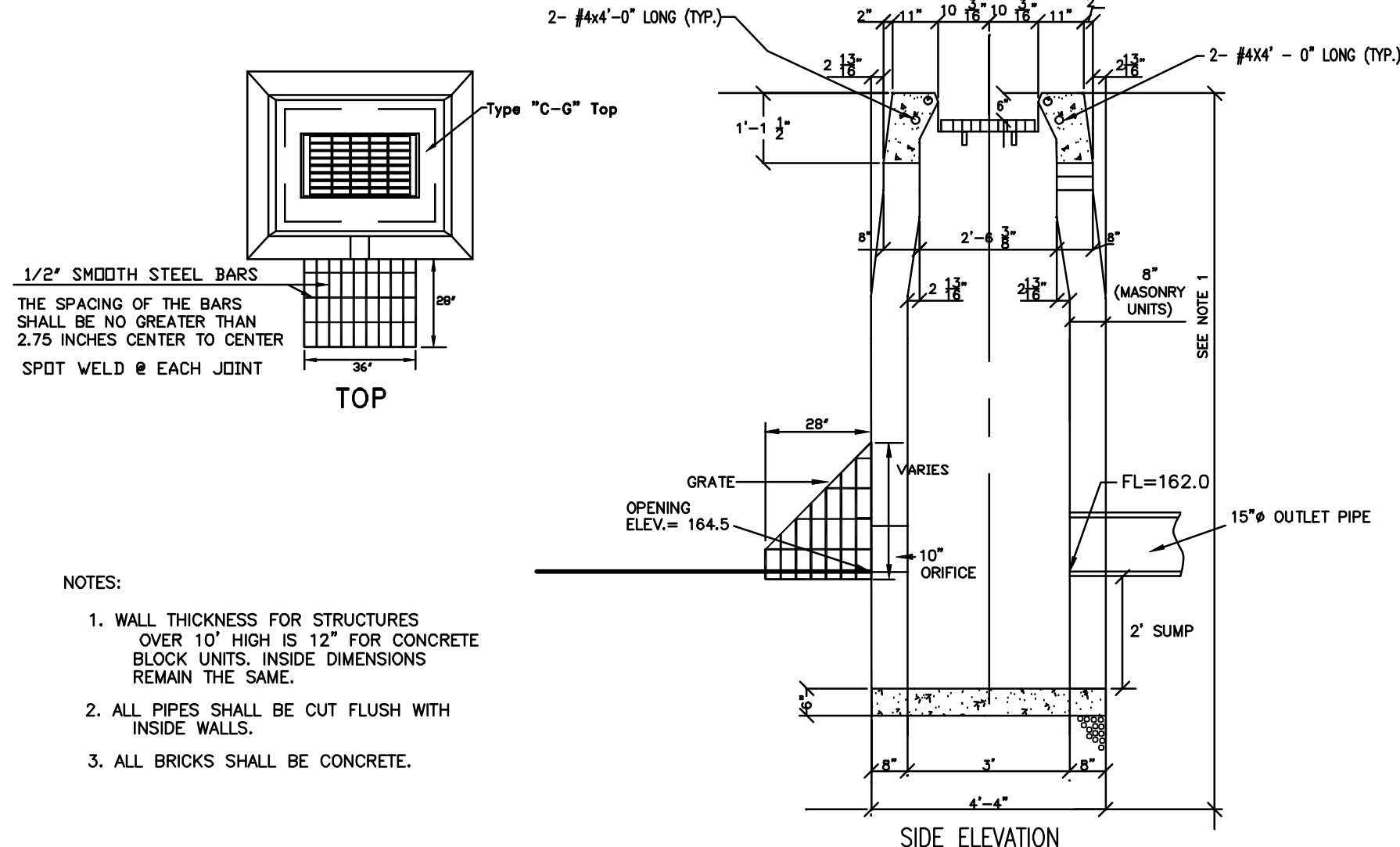
**TYPE "CG" TOP FOR OUTLET STRUCTURES #2 & #3**  
NOT TO SCALE



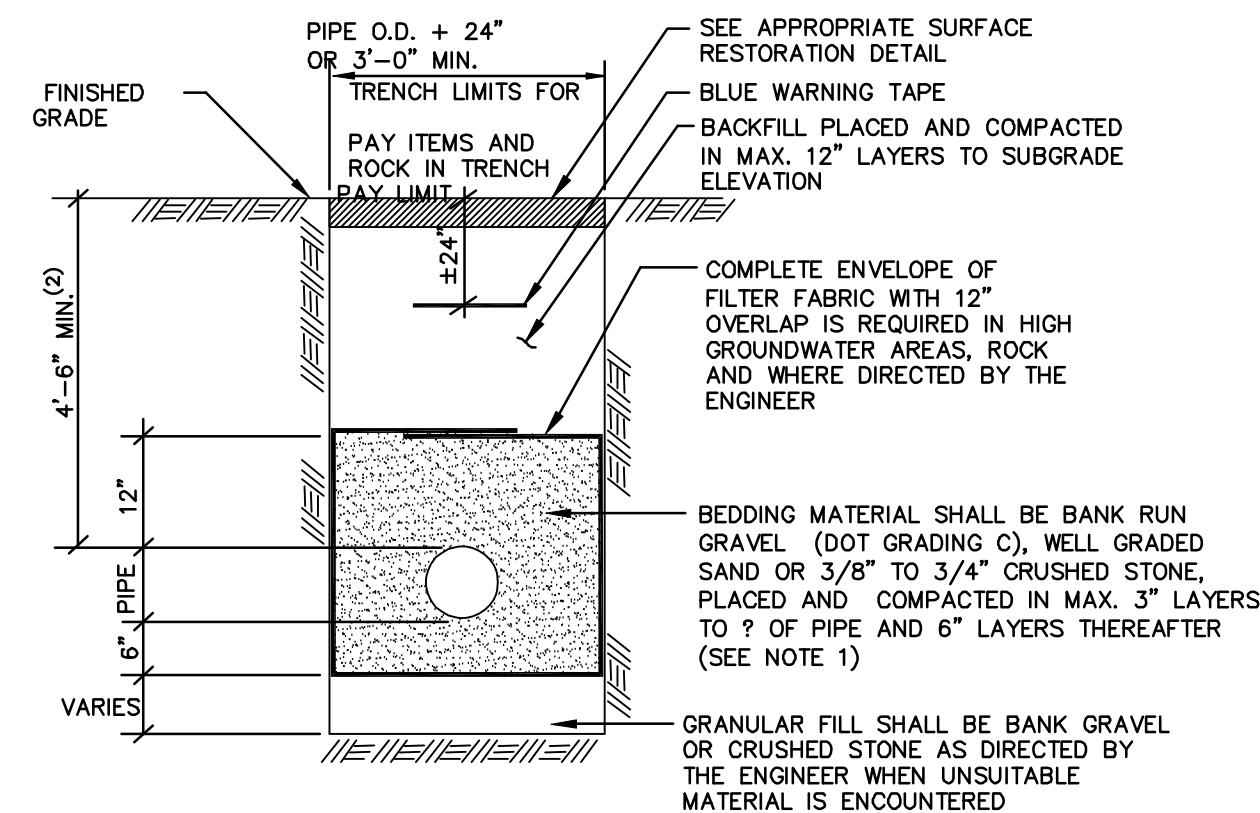
CLASS "F3C" SELF-CONSOLIDATING CONCRETE  
4,000 PSI

**BASIN OUTLET STRUCTURE #1**  
NOT TO SCALE

NOTE - FRAME AND GRATE SHALL BE GALVANIZED



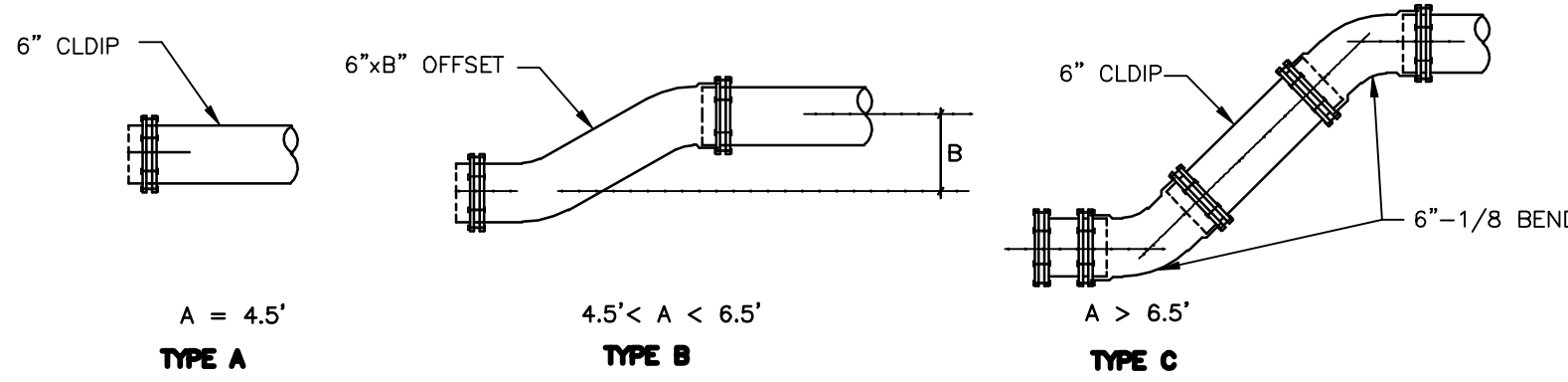
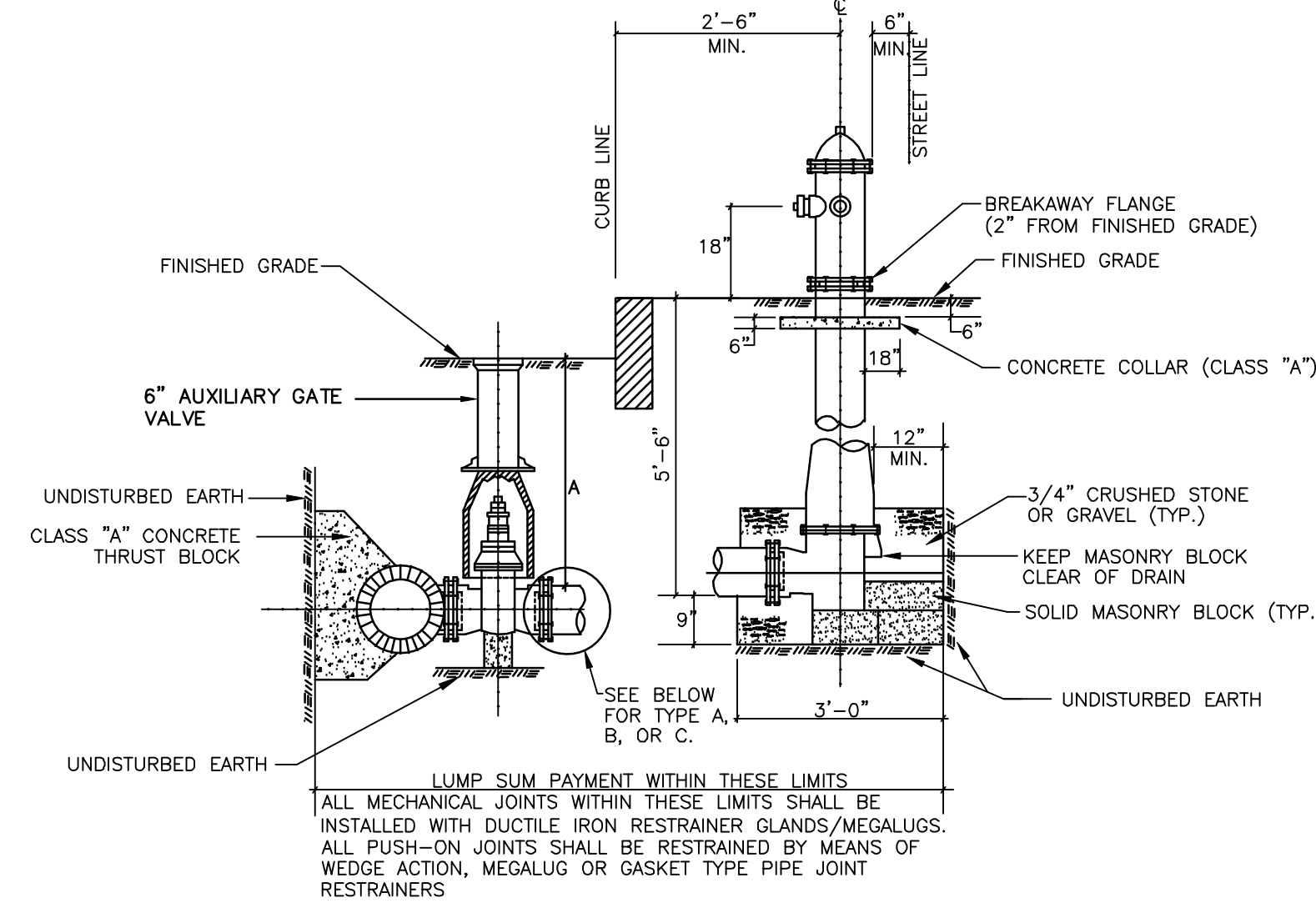
- NOTES:
1. WALL THICKNESS FOR STRUCTURES OVER 10' HIGH IS 12" FOR CONCRETE BLOCK UNITS. INSIDE DIMENSIONS REMAIN THE SAME.
  2. ALL PIPES SHALL BE CUT FLUSH WITH INSIDE WALLS.
  3. ALL BRICKS SHALL BE CONCRETE.



- NOTES:
1. CRUSHED STONE SHALL ONLY BE USED IN HIGH GROUNDWATER CONDITIONS AS DIRECTED BY THE ENGINEER.
  2. ALL WATER MAIN WITH LESS THAN 4'-6" OF COVER SHALL BE INSULATED UNLESS APPROVED OTHERWISE BY THE ENGINEER.
- SEE TYPICAL TRENCH DETAIL (INSULATED WATER) FOR ADDITIONAL INFORMATION.

**TYPICAL TRENCH DETAIL  
(WATER)**

NOT TO SCALE



- NOTES:
1. TYPE "A" HYDRANT HAS NO OFFSETS OR BENDS BETWEEN THE AUXILIARY VALVE AND THE HYDRANT.
  2. THE REQUIRED TYPE SHALL BE DETERMINED IN THE FIELD BY THE ENGINEER.

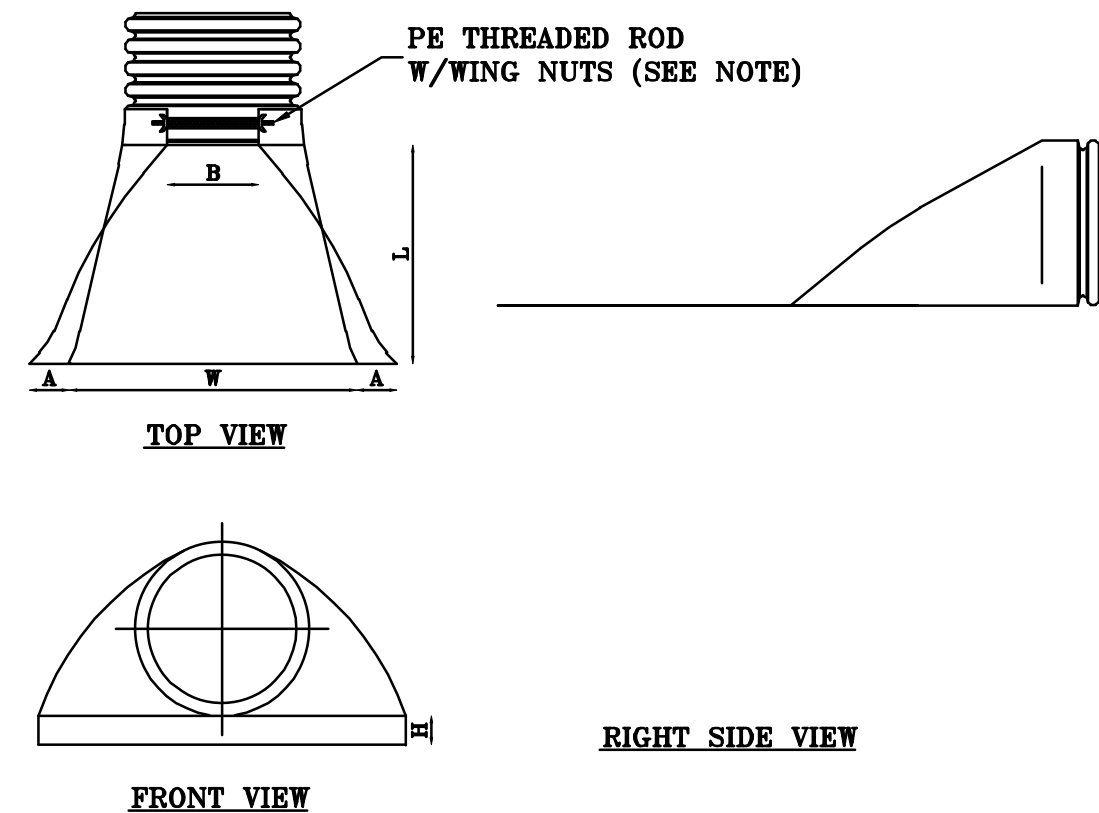
**HYDRANT ASSEMBLY**

NOT TO SCALE

**FLARED END SECTION**

NOT TO SCALE

AS MANUFACTURED BY ADS ADVANCE DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL



PART NO	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	8.5"	10"	6.5"	25"	29"
300	300 mm	185 mm	254 mm	165 mm	635 mm	735 mm
1210-NP	15"	8.5"	10"	6.5"	25"	29"
375	375 mm	185 mm	254 mm	165 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	35"
450	450 mm	190 mm	380 mm	165 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	36"	45"
600	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3012-NP	30"	10.5"	7.0"	53"	68"	
750	750 mm	266 mm	N/A	178 mm	1345 mm	1725 mm
3612-NP	36"	10.5"	N/A	7.0"	53"	68"
900	900 mm	266 mm	N/A	178 mm	1345 mm	1725 mm

NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS TO BE WELDED TO PIPE PER MANUFACTURER'S RECOMMENDATIONS.

NOTE: ALL DIMENSIONS ARE NOMINAL.

**TOWN OF MANCHESTER  
WATER AND SANITARY SEWER CONSTRUCTION NOTES -**

1. A PRECONSTRUCTION MEETING WITH TOWN STAFF IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES DEPICTED ON THESE DRAWINGS ARE FROM THE BEST AVAILABLE SOURCES. SUCH INFORMATION IS FURNISHED ONLY FOR THE INFORMATION OF THE CONTRACTOR AND IS NOT GUARANTEED.
4. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
5. THE LOCATIONS OF ALL PROPOSED UNDERGROUND UTILITIES (I.E. GAS, TELEPHONE, CABLE TV, ELECTRIC, ETC.) SHALL BE APPROVED BY THE TOWN PRIOR TO CONSTRUCTION.
6. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST REVISION OF THE TOWN OF MANCHESTER "PUBLIC IMPROVEMENT STANDARDS".
7. AT ALL UTILITY CROSSINGS A MINIMUM 18" VERTICAL SEPARATION DISTANCE SHALL BE PROVIDED FROM WATER OR SEWER UTILITIES UNLESS INDICATED OTHERWISE ON THE PLANS OR AS APPROVED BY THE TOWN. A CONCRETE CRADLE SHALL BE UTILIZED IF A MINIMUM VERTICAL SEPARATION DISTANCE OF LESS THAN 12" IS ALLOWED BY THE TOWN. A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10" SHALL BE PROVIDED BETWEEN WATER AND SEWER UTILITIES. PROVIDE 5" MINIMUM SEPARATION DISTANCE BETWEEN WATER OR SEWER UTILITIES AND GAS MAINS. PROVIDE 5" MINIMUM SEPARATION DISTANCE BETWEEN WATER OR SEWER UTILITIES AND STORM DRAIN LINES. PROVIDE 2" MINIMUM SEPARATION DISTANCE BETWEEN WATER MAINS AND CATCH BASINS.
8. THRUST RESTRAINT FOR ALL MECHANICAL JOINTS AT VALVES AND FITTINGS SHALL BE PROVIDED BY MEANS OF DUCTILE IRON RESTRAINER GLANDS. WEDGE-ACTION JOINT RESTRAINERS OR GASKET-TYPE JOINT RESTRAINT SHALL BE USED TO RESTRAIN ALL DUCTILE IRON PIPE JOINTS FOR A DISTANCE OF AT LEAST 27 FEET ON EACH SIDE OF ALL VALVES OR FITTINGS. NO MORE THAN ONE PIPE JOINT SHALL BE ALLOWED WITHIN THAT 27 FEET OF PIPE.
9. ALL VALVE BOXES AND CURB BOXES SHALL BE ADJUSTED TO THE FINAL GRADES. ALL CURB BOXES SHALL BE LOCATED IN GRASSED AREAS AT THE STREET LINE FRONTING THE PROPERTY UNLESS INDICATED OTHERWISE ON THE PLANS.
10. ALL VALVES AND HYDRANTS SHALL BE EITHER RIGHT-OPENING (CLOCKWISE) OR LEFT-OPENING (COUNTER CLOCKWISE) BASED ON THEIR LOCATION IN TOWN. THE CONTRACTOR SHALL VERIFY THE DIRECTION OF OPENING PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION. ALL MAIN LINE AND AUXILIARY VALVES (4" TO AND INCLUDING 12") SHALL BE RESILIENT WEDGE GATE VALVES.

11. ALL WATER MAINS SHALL HAVE 4 1/2 FEET OF COVER UNLESS OTHERWISE INDICATED ON THE PLANS. COVER LESS THAN OR IN EXCESS OF 4 1/2 FEET SHALL BE ALLOWED ONLY AS INDICATED ON THE PLANS OR APPROVED BY THE TOWN. WATER MAINS HAVING COVER LESS THAN 4 1/2 FEET SHALL BE INSULATED.

12. ALL EXISTING WATER OR SANITARY SEWER SERVICES THAT WILL NOT BE REUSED AS PART OF THE FUTURE DEVELOPMENT SHALL BE ABANDONED AT THE MAIN IN ACCORDANCE WITH PROCEDURES SET FORTH BY THE TOWN.

13. ALL WELLS SHALL BE ABANDONED IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN THE RULES OF PRACTICE AND REGULATIONS MANUAL PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF CONSUMER PROTECTION, WELL DRILLING BOARD. THE TOWN SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY SUCH ABANDONMENT.

14. ALL PROPOSED WATER AND SEWER EASEMENTS SHALL BE DESCRIBED BY METES AND BOUNDS. PROPOSED EASEMENTS SHALL BE APPROVED BY THE TOWN AND FILED WITH THE TOWN CLERK PRIOR TO MAKING A REQUEST FOR A CERTIFICATE OF OCCUPANCY. PROVIDE VOLUME AND PAGE REFERENCES FOR ALL EXISTING WATER AND SEWER EASEMENTS.

15. IF THE PROJECT IS WITHIN AN AQUIFER PROTECTION ZONE A BEST MANAGEMENT PLAN FOR THE STORAGE OR USE OF ANY POTENTIALLY HAZARDOUS MATERIALS SHALL BE SUBMITTED TO AND APPROVED BY THE TOWN PRIOR TO MAKING A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY HANDLING OF SANITARY SEWAGE FLOWS DURING CONSTRUCTION. METHODS OF HANDLING SEWAGE FLOWS SHALL BE APPROVED BY THE TOWN.

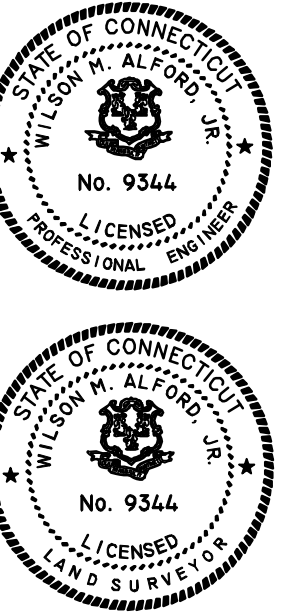
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY THRUST RESTRAINT THAT MAY BE REQUIRED.

18. ALL EXISTING HYDRANTS TO BE REMOVED OR REPLACED SHALL BE SALVAGED WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE TOWN. ALL OTHER MATERIALS WHICH ARE REMOVED FROM THE ROADWAY SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF PROPERLY, UNLESS INDICATED OTHERWISE ON THE PLANS.

19. WHEN DOMESTIC OR FIRE WATER SERVICES GREATER THAN OR EQUAL TO 4" IN DIAMETER ARE PROPOSED TO BE CONNECTED TO THE WATER MAIN USING A TAPPING SLEEVE AND VALVE A WET TAP CONTRACTOR PREAPPROVED BY THE TOWN SHALL BE USED.

APPROVED  
PLANNING & ZONING  
COMMISSION  
MANCHESTER, CT.

DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

L.S. No. 9344

NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL



CIVIL ENGINEERS  
WINDSOR, CONNECTICUT  
WILSON M. ALFORD, JR., P.E. & L.S.

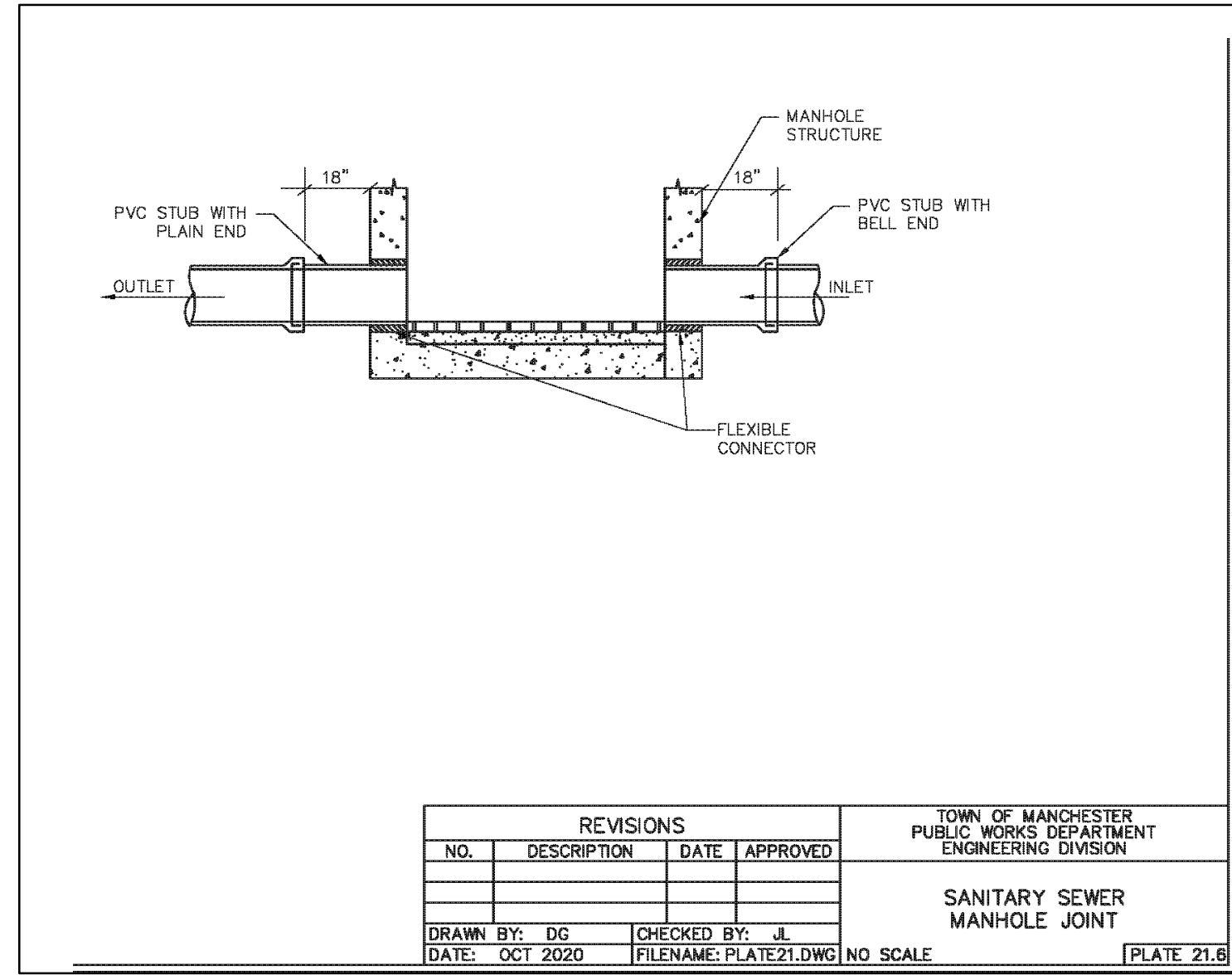
DATE: MAY 6, 2024

SCALE: 1 IN. = - FT.

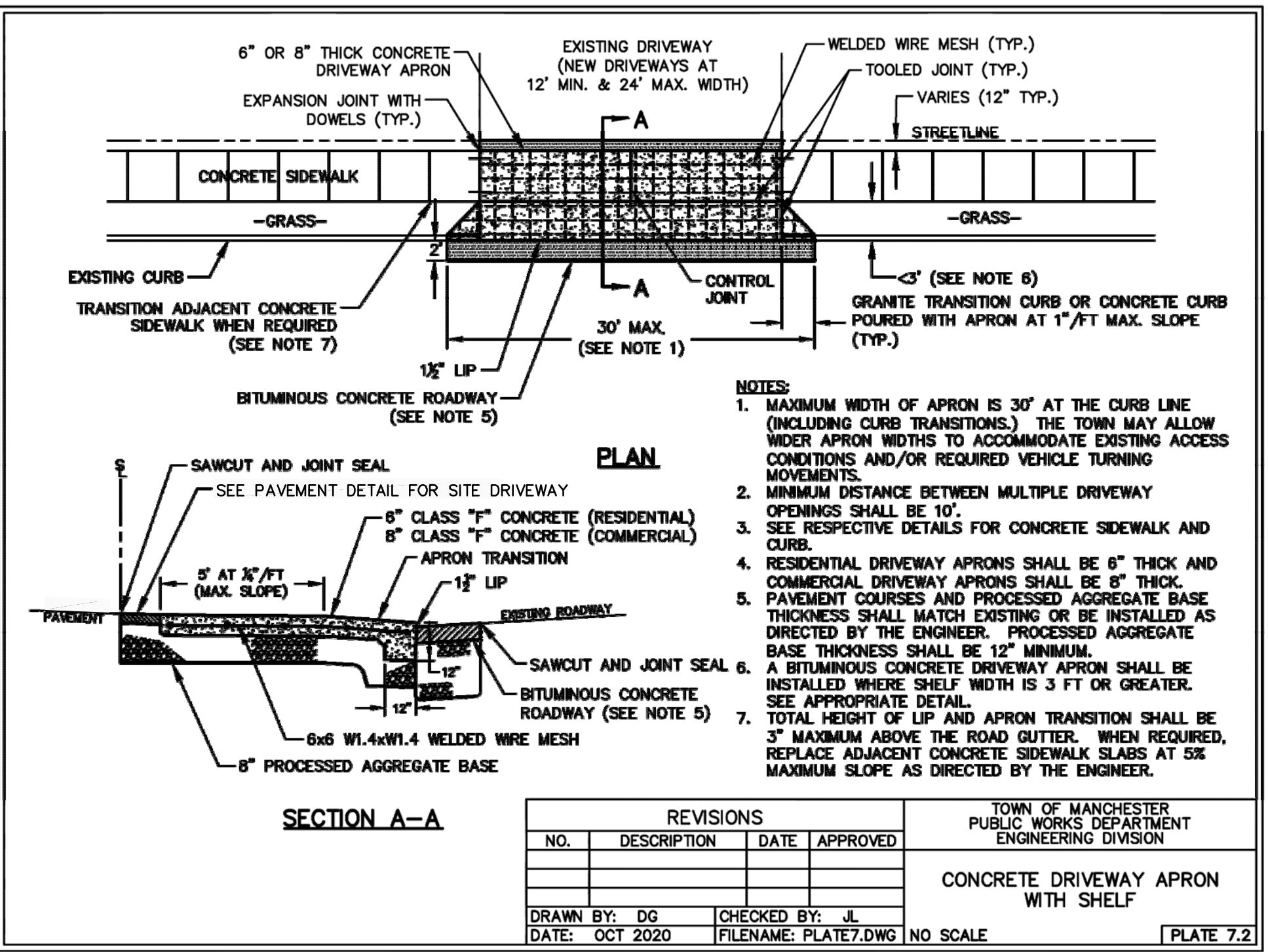
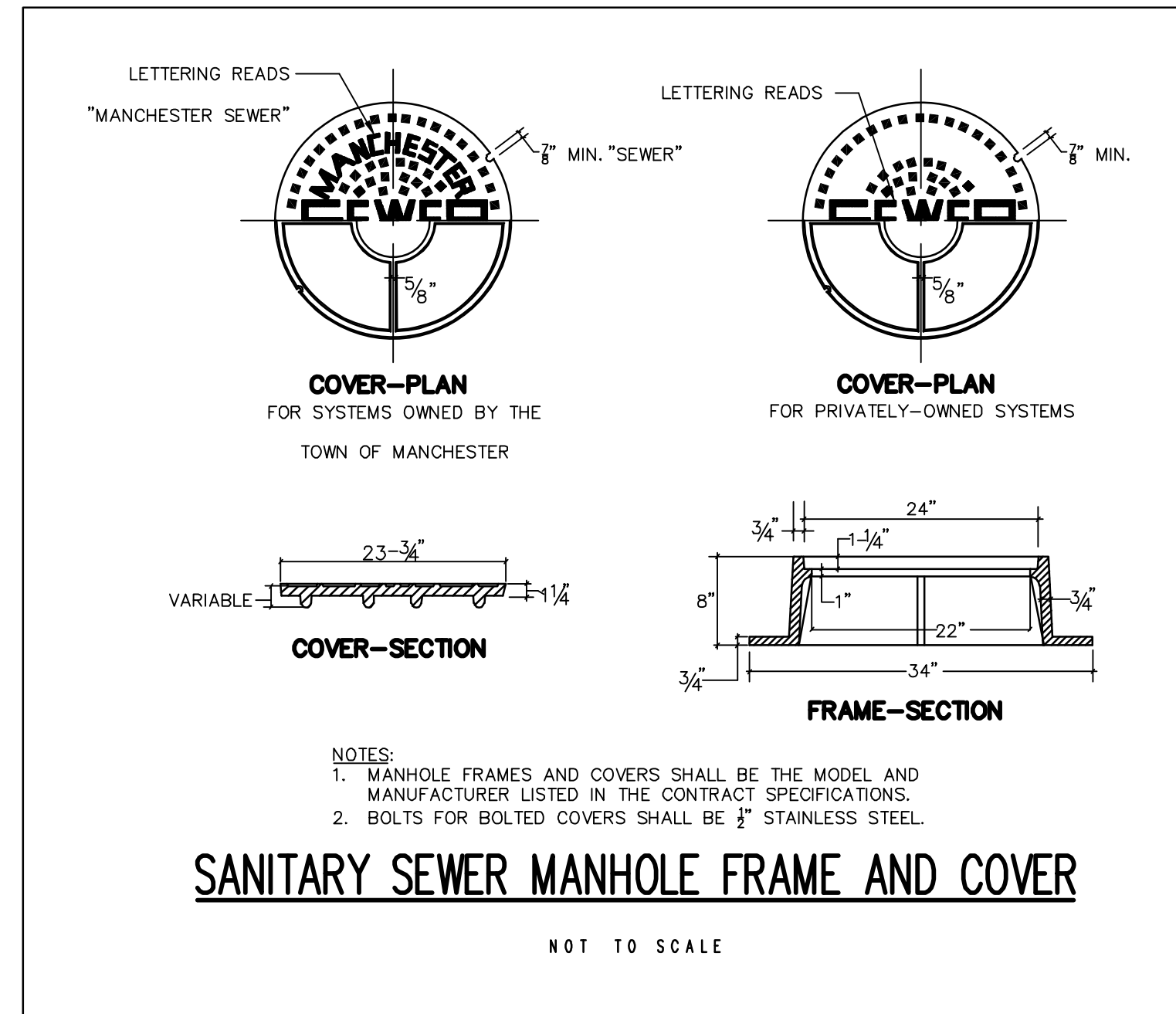
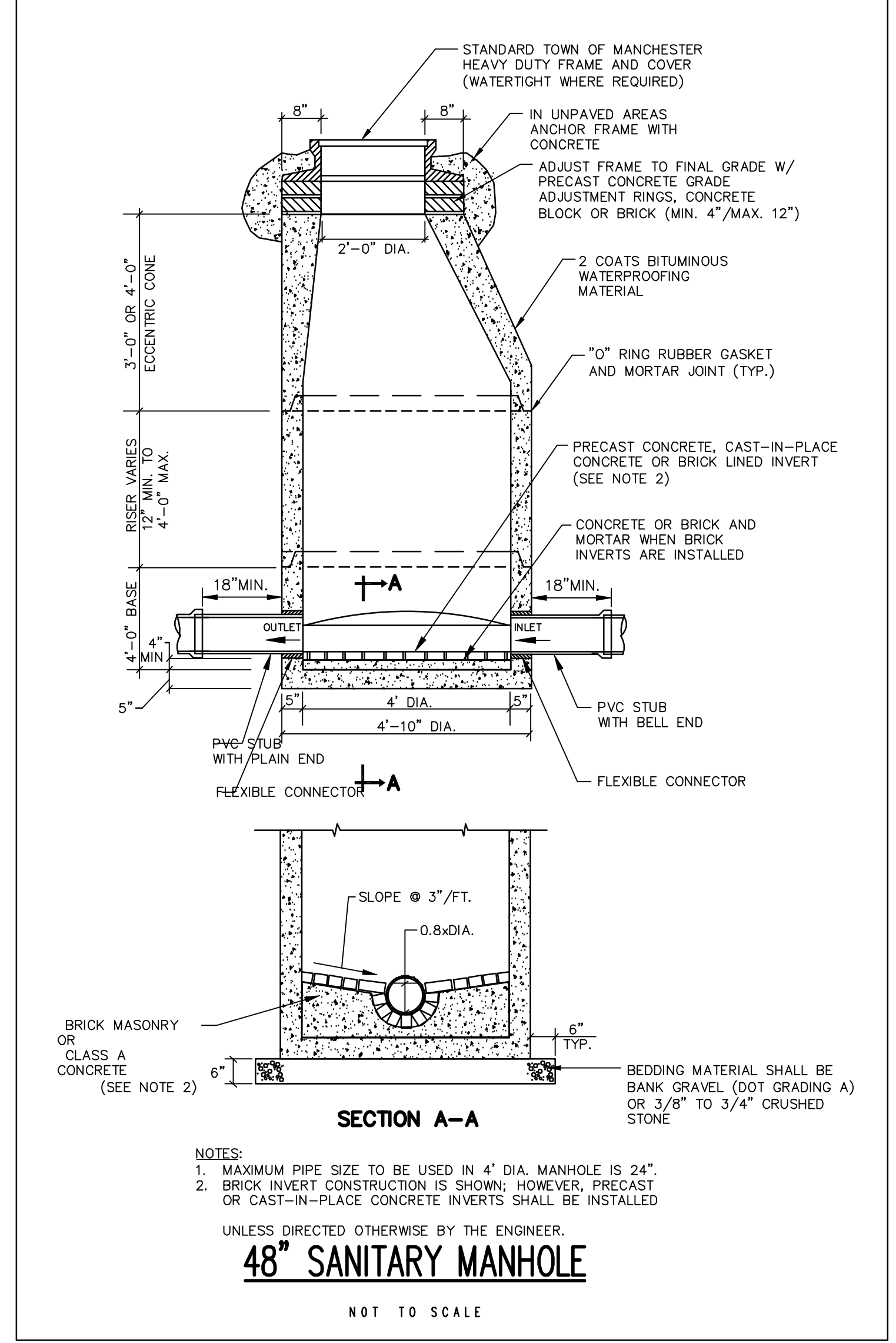
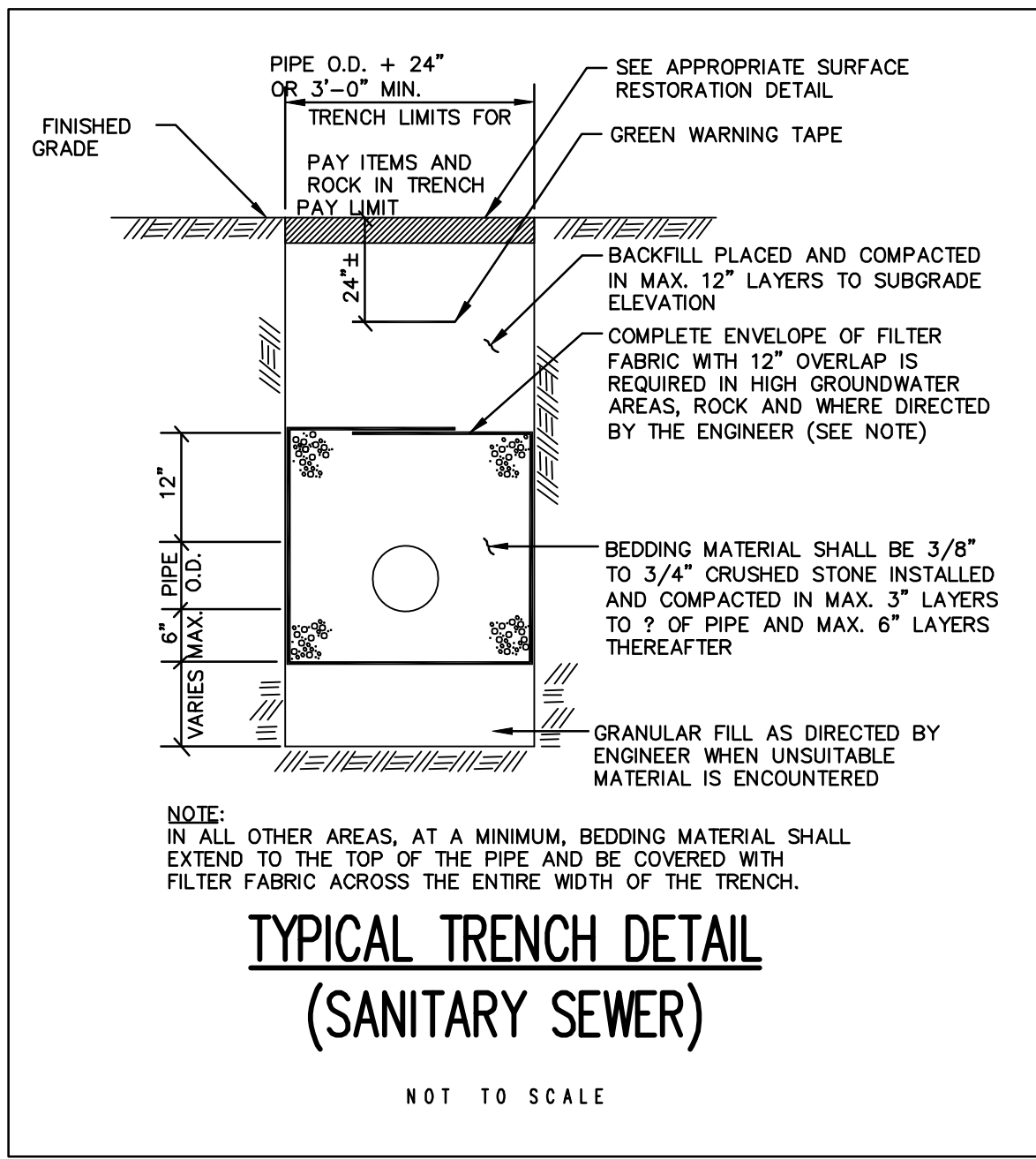
SITE PLAN  
PREPARED FOR  
LFF COMMERCE JV LLC  
STORM DRAINAGE DETAILS  
WATER SERVICE NOTES AND DETAILS  
71 COMMERCE ROAD  
(FORMERLY KNOWN AS  
71 AND 81 COMMERCE ROAD)  
MANCHESTER, CONNECTICUT

Sheet  
C8.3





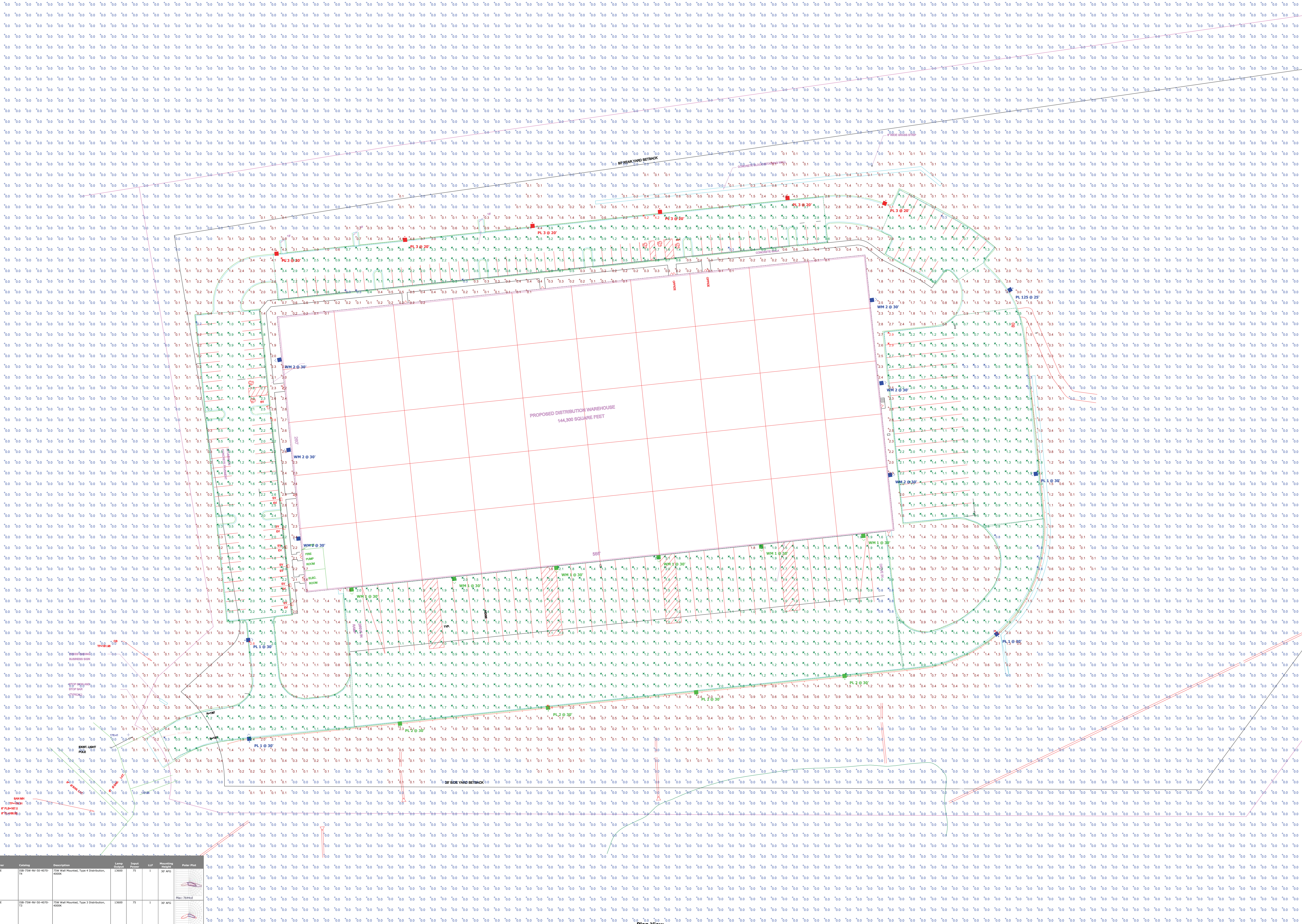
REVISIONS				TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION	
NO.	DESCRIPTION	DATE	APPROVED		
				SANITARY SEWER MANHOLE JOINT	
DRAWN BY: DG		CHECKED BY: JL		DATE: OCT 2020 FILENAME: PLATE21.DWG NO SCALE	
				PLATE 21.6	



REVISIONS				TOWN OF MANCHESTER PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION	
NO.	DESCRIPTION	DATE	APPROVED		
DRAWN BY: DG		CHECKED BY: JL		DATE: OCT 2020 FILENAME: PLATE7.DWG NO SCALE	
				PLATE 7.2	

REVISION	DATE	7-5-24	REVISED PER TOWN STAFF COMMENTS
<p>TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.</p> <p>L.S. No. 9344</p> <p>NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL</p>			
<p>CIVIL ENGINEERS WINDSOR, CONNECTICUT WILSON M. ALFORD, P.E. &amp; L.S.</p> <p>DATE: MAY 6, 2024</p> <p>SCALE: 1 IN. = - FT.</p> <p>SITE PLAN PREPARED FOR LFF COMMERCE JV LLC PAVEMENT DETAILS AND SANITARY SEWER DETAILS MANCHESTER, CONNECTICUT 71 COMMERCE ROAD (FORMERLY KNOWN AS 71 AND 81 COMMERCE ROAD)</p>			
<p>APPROVED PLANNING &amp; ZONING COMMISSION MANCHESTER, CT.</p> <p>DATE: _____</p> <p>SIGNED: _____</p>			
<p>Sheet C8.4</p>			

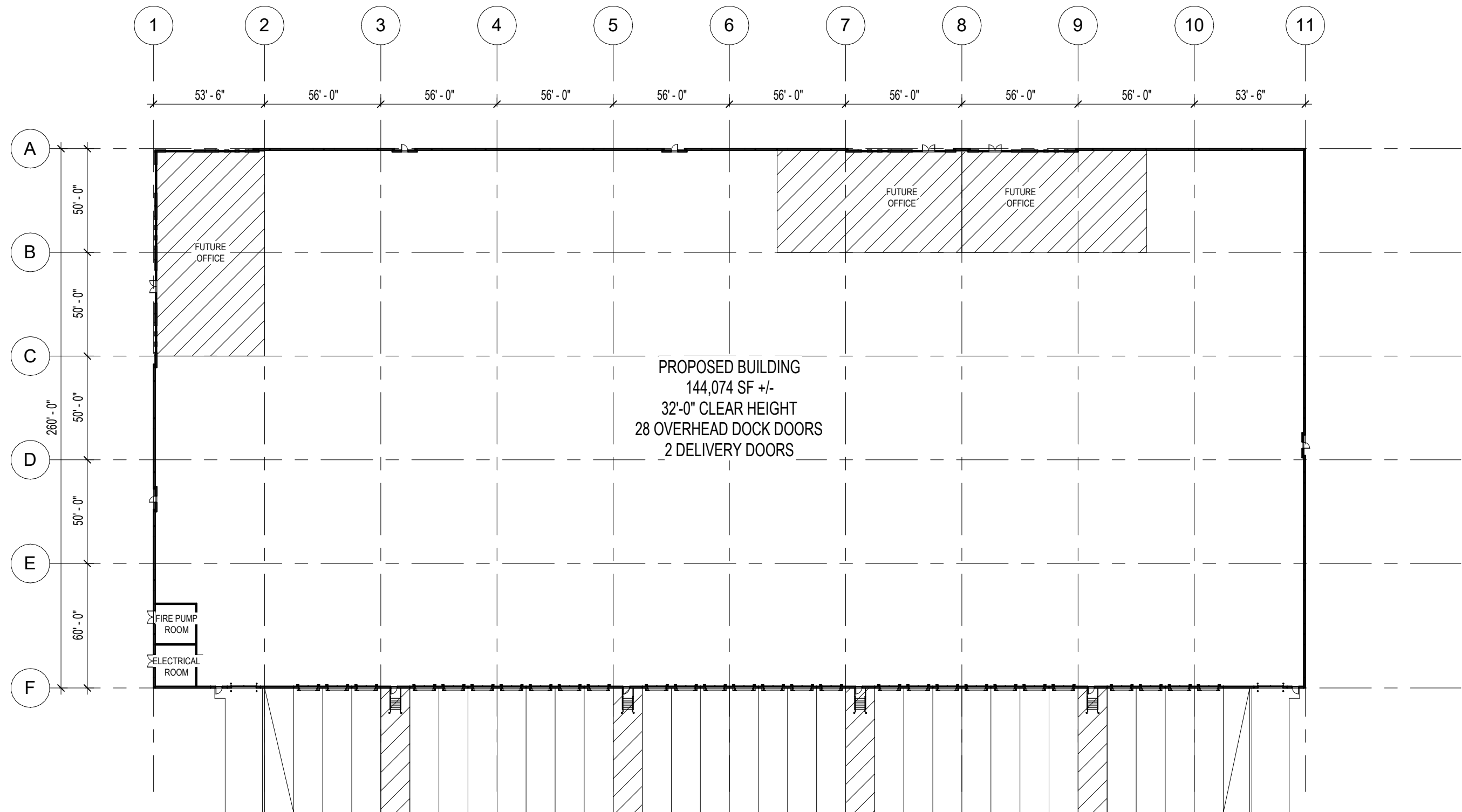
SEE SHEET C8.3 FOR "TOWN OF MANCHESTER WATER AND SANITARY SEWER NOTES"



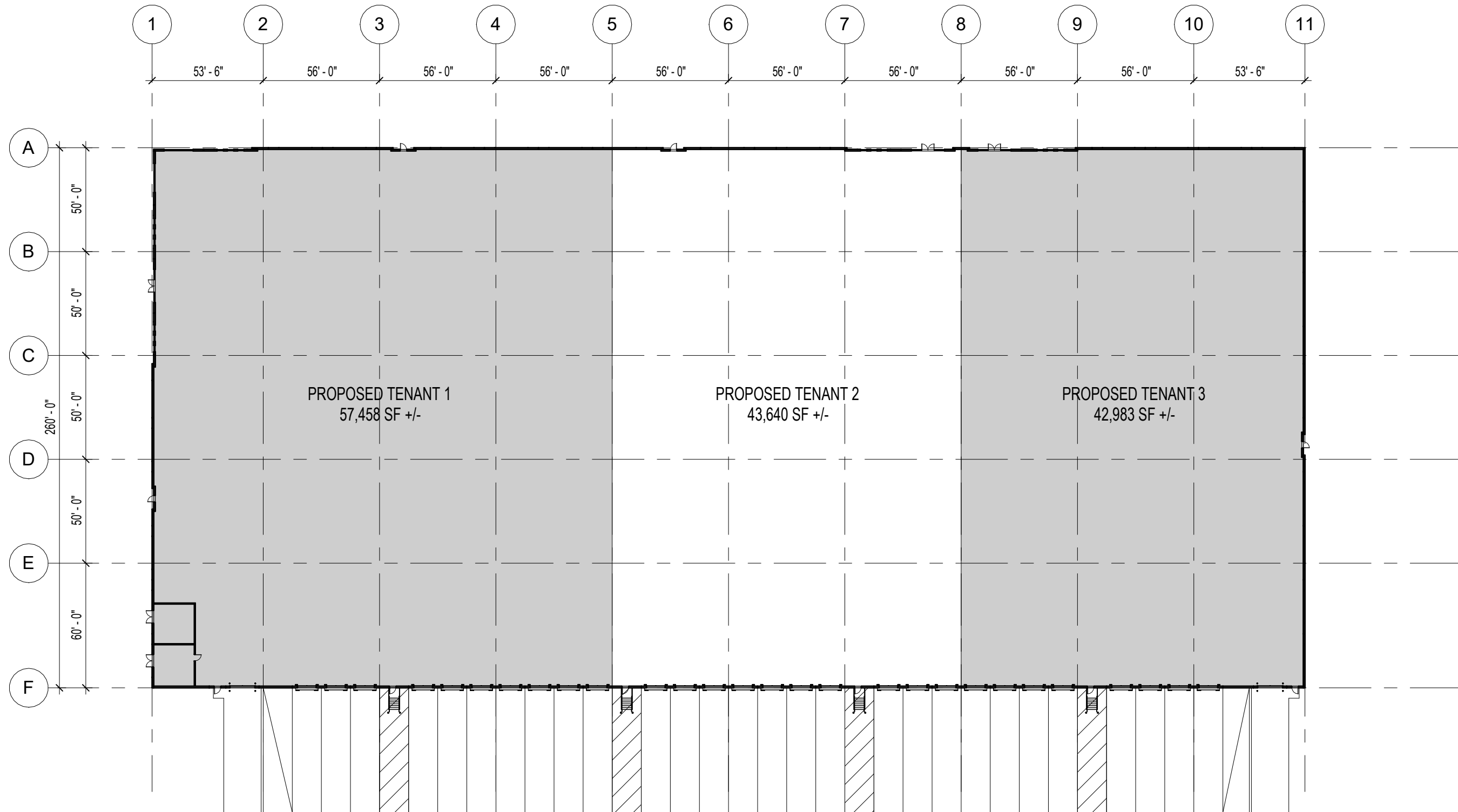
Symbol	Level	Qty	Manufacturer	Color	Description	Height	Beam	LF	Beam	Beam
WM 1	1	4	ILLUMADYNE	02-75W-WR-50-4070-11	250 Watt Mounted, Type 3 Distribution, 6000K, External Glass Shield	13000	75	1	30' AFG	Max: 10557cd
WM 2	2	4	ILLUMADYNE	02-75W-WR-50-4070-11	250 Watt Mounted, Type 3 Distribution, 6000K, External Glass Shield	13000	75	1	30' AFG	Max: 10557cd
PL 1	1	1	ILLUMADYNE	02-75W-WR-50-4070-11	250 Watt Mounted, Type 3 Distribution, 6000K, External Glass Shield	13000	75	1	30' AFG	Max: 10557cd
PL 125	1	1	ILLUMADYNE	02-75W-WR-50-4070-11	250 Watt Mounted, Type 3 Distribution, 6000K, External Glass Shield	13000	75	1	30' AFG	Max: 10557cd
PL 2	2	1	ILLUMADYNE	02-75W-WR-50-4070-11	250 Watt Mounted, Type 3 Distribution, 6000K, External Glass Shield	13000	75	1	30' AFG	Max: 10557cd
PL 3	3	1	ILLUMADYNE	02-75W-WR-50-4070-11	250 Watt Mounted, Type 3 Distribution, 6000K, External Glass Shield	13000	75	1	30' AFG	Max: 10557cd

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Corner Auto Parking Area	✕	1.6 fc	4.1 fc	0.3 fc	13.7:1	5.3:1
Entry Drive Lanes	✕	1.6 fc	2.6 fc	0.3 fc	8.7:1	5.3:1
Front Auto Parking	✕	1.4 fc	2.8 fc	0.2 fc	14.0:1	7.0:1
Side Auto Parking	✕	1.8 fc	4.2 fc	0.3 fc	14.0:1	6.0:1
Trailer Parking Area	✕	1.2 fc	2.9 fc	0.3 fc	9.7:1	4.0:1
Truck Court	✕	1.4 fc	2.4 fc	0.8 fc	3.0:1	1.8:1
Back Corner Drive Lane (NE)	✕	1.3 fc	2.2 fc	0.8 fc	2.8:1	1.6:1

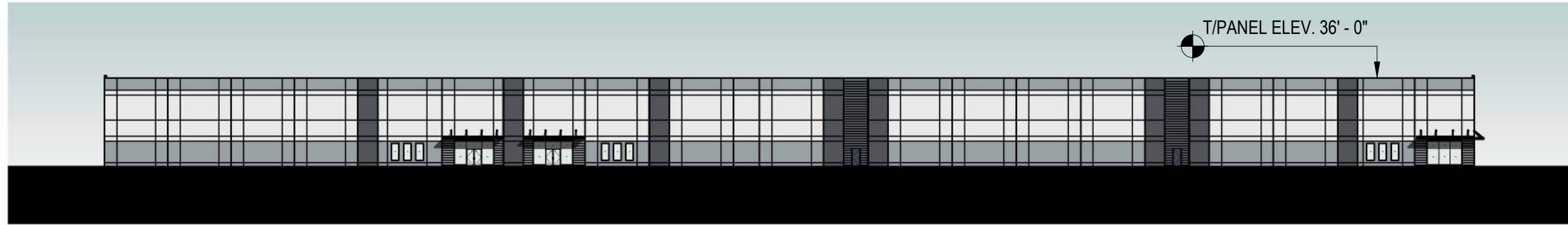
The Visual Simulation ("Lighting Design") provided here by Illumadyne, Inc. represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others has not been field verified and therefore actual measured results may vary from the actual field conditions. Illumadyne, Inc. neither warrants, either implied or stated, the actual measured light levels or energy consumption as compared to those illustrated by the Lighting Design. Illumadyne, Inc. neither warrants, either implied or stated, nor represents the appropriateness, completeness, or suitability of the Lighting Design insofar as it complies with any applicable regulatory code requirements except for those specifically stated on the drawings created and submitted by Illumadyne, Inc. The Lighting Design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction.



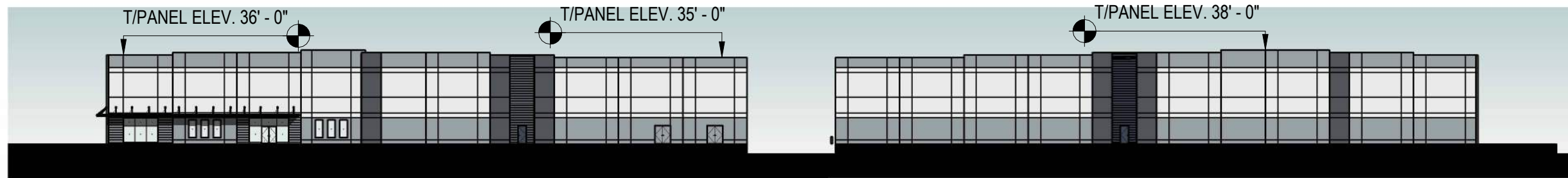
# A1.0 | PROPOSED FLOOR PLAN



# A1.1 | PROPOSED TENANT PLAN

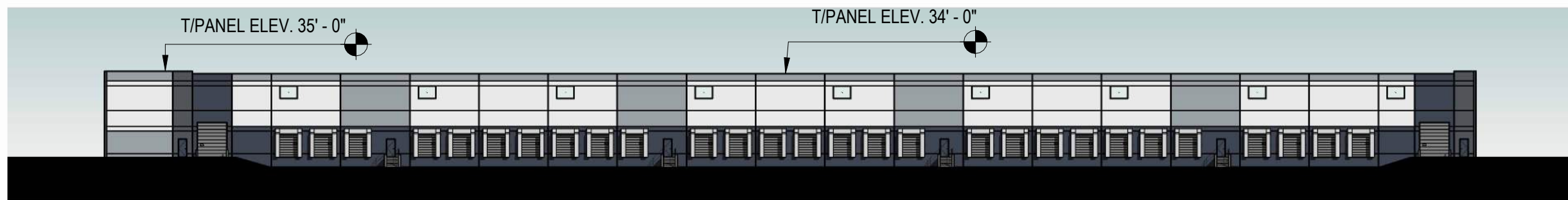


1 WEST ELEVATION  
A2.0 1" = 50'-0"



2 SOUTH ELEVATION  
A2.0 1" = 50'-0"

3 NORTH ELEVATION  
A2.0 1" = 50'-0"



4 EAST ELEVATION  
A2.0 1" = 50'-0"



A3.0 | CORNER RENDER DRAFT


CONCEPTUAL DRAFT ONLY  
THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF GMA ARCHITECTS, LLC. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM GMA ARCHITECTS, LLC.



A4.0 | CORNER RENDER DRAFT

**TOWN OF MANCHESTER  
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

**TO:** Planning & Zoning Commission

**FROM:** Megan Pilla, Principal Development Planner 

**DATE:** July 11, 2024

**RE:** DWRE East Center, LLC – 25 East Center Street and 443 & 463 Main Street  
Zone Change (ZC-0001-2024)

***Introduction***

---

The applicant is requesting approval of a zone change from Residence B (RB) to Business III (B3) for the rear portion of each of the subject parcels so that the lots will be entirely within a single zone.

***Project Description***

---

The three existing parcels are zoned B3 with the exception of a small rear portion of each lot which falls within the RB zone. This condition exists because, when the B3 zoning was established in this area, its boundary was based on a 125-foot setback from the street line, rather than following the side and rear property lines of the lots. The applicant seeks to simplify the zoning so that these parcels fall entirely within one zone.

These parcels are also located within the Design Overlay zone. This is not proposed to change.

***For the Commission's Consideration***

---

In order to approve a zone change, the Commission must consider whether the proposal is in line with the goals and recommendations of the current Plan of Conservation & Development (POCD), ManchesterNEXT.

***Staff Review***

---

Town staff has reviewed the plans and documents submitted with the application and there are no comments or objections.

mp

R:\Users\Planning\PZC\2024\07 - July 15\Packet\ZC-0001-2024 (25 E Center) - Memo.docx

Attach.



# Town of Manchester, CT



## Geographic Information Systems

25 E CENTER ST,  
443 & 463 MAIN ST

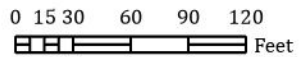
### Legend

#### Zoning

- B3 - Business III
- RB - Residence B

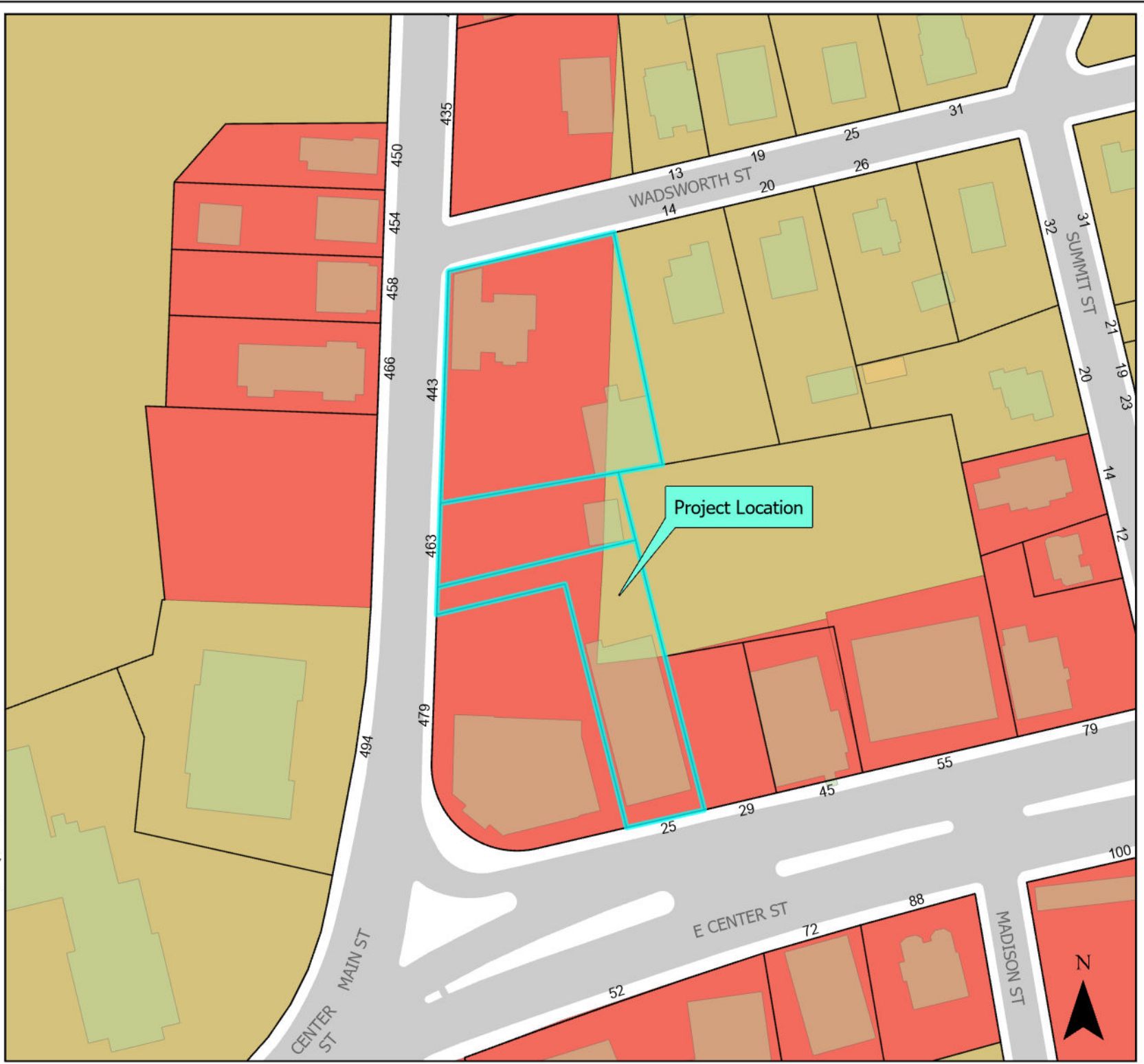
**DISCLAIMER:**  
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

**NOTES:**  
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.



1 inch = 100 ft

Date: 7/9/2024





**ARCHITECTURE &  
PLANNING, INC.**

**FLB Architecture & Planning, Inc.**

**860-568-4030**

**Fax: 860-568-5129**

**112 Spencer St, Suite 1B**

**email: [flb@flbarch.com](mailto:flb@flbarch.com)**

**Manchester, CT 06040**

**[www.flbarch.com](http://www.flbarch.com)**

TO: Planning and Zoning Commission  
Town of Manchester

FROM: Alan F. Lamson, AIA

DATE: June 24, 2024

RE: Zone Change Application  
443 Main St, 463 Main St, 25 East Center St  
Narrative

The applicant has assembled these three parcels for future development. The zoning designation on the parcels are dictated by action of the Commission back in 1938. At that time the Commission determined the depth of zones along the streets of Town by an established distance off the street line regardless of the configuration of adjacent parcels.

For Business 3 zones in this particular location, the limit of the Business III zone was 100 feet from the street line (Zoning Regulations, Article I, Section 3.03.01) although the GIS mapping of the Town seems to show the depth of the Business III zone on these three parcels as approximately 125 feet deep.

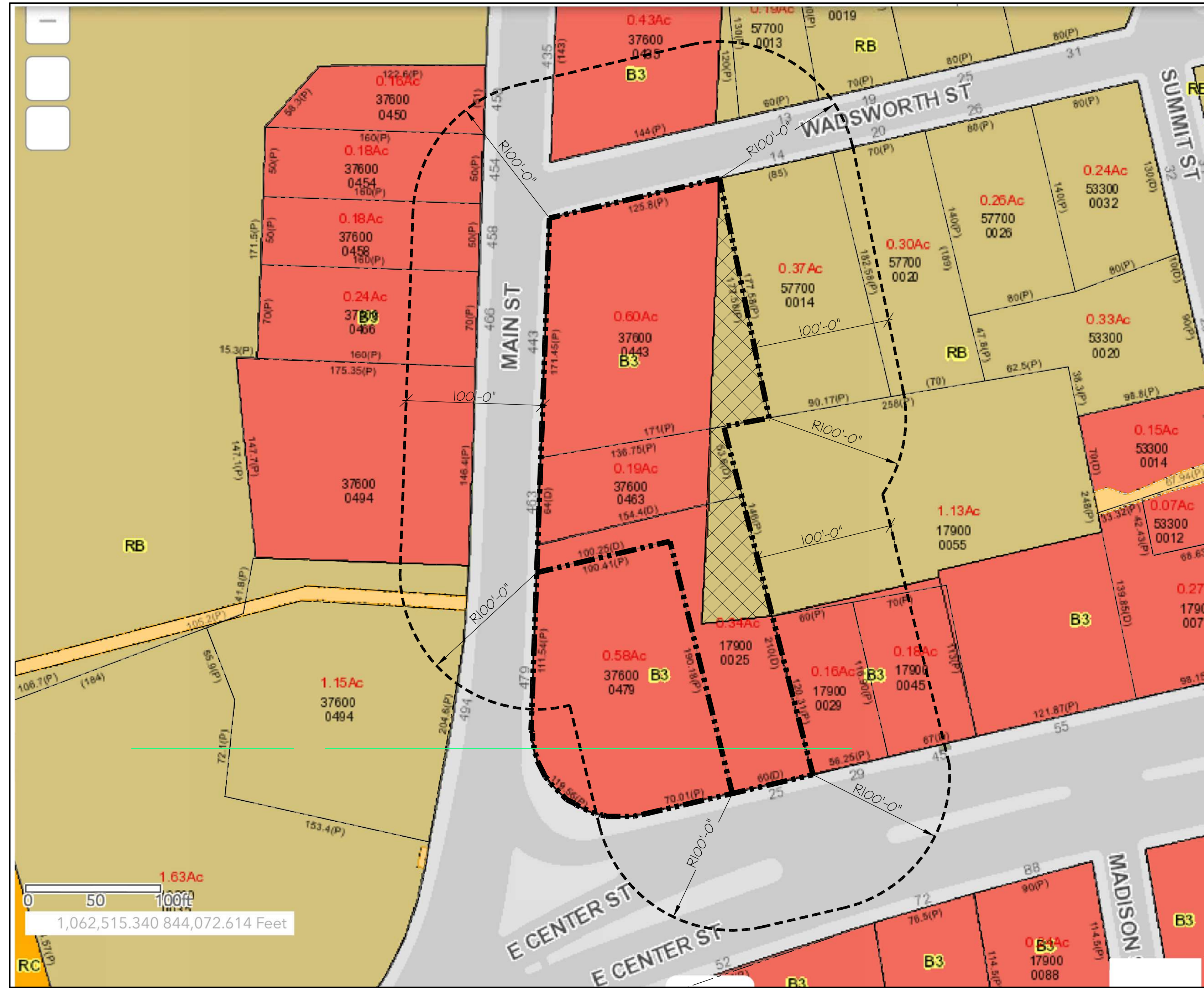
The impact on these parcels is that the rear portions of each parcel are zoned residential although in most cases it is currently being used for business use or accessory use to a business use (parking). This will make reuse of the properties more difficult.

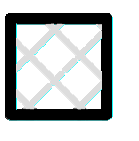


The intent of this application is to apply the zoning designation to each of the three parcels over their entire area to facilitate economic growth in the midtown area of Manchester.

The Plan of Conservation and Development indicates this area as an urban growth area which is consistent with the requested zone change.

x

cc: x




 PROPOSED CHANGE TO B-3 AND DESIGN OVERLAY ZONES  
 EXISTING B-3 ZONE  
 EXISTING RB ZONE  
 AREA OF ZONE CHANGE: 0.19 ACRES

ABUTTERS LIST						
Property Address	Owner		Mailing Address			
No. Street	Last Name	First Name	Address	Town	State	Zip
29 East Center Street	29 East Center LLC		95 South Farms Dr	Manchester	CT	06040
45 East Center Street	45 East Center LLC		95 South Farms Dr	Manchester	CT	06040
55 East Center Street	L&M Partners LLC		P.O. Box 23	Redding Ridge	CT	06876
13 Wadsworth Street	Kauffman	Paul	33 Homestead St	Manchester	CT	06042
14 Wadsworth Street	River East Properties LLC		59 Two Mile Rd	Farmington	CT	06032
19 Wadsworth Street	Owusu	Kofi	19-21 Wadsworth St	Manchester	CT	06040
20 Wadsworth Street	Dai	Thanh	136 Beacon Hill St	East Hartford	CT	06108
435 Main Street	K Brothers LLC		2138 Silas Deane Hwy	Rocky Hill	CT	06067
450 Main Street	Manchester Area Conference of Churches, Inc.		466 Main Street	Manchester	CT	06040
454 Main Street	Manchester Area Conference of Churches, Inc.		466 Main Street	Manchester	CT	06040
458 Main Street	Manchester Area Conference of Churches, Inc.		466 Main Street	Manchester	CT	06040
466 Main Street	Manchester Area Conference of Churches, Inc.		466 Main Street	Manchester	CT	06040
479 Main Street	Town of Manchester		41 Center Street	Manchester	CT	06040
494 Main Street	Town of Manchester		41 Center Street	Manchester	CT	06040

THIS DOCUMENT, THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF FLB ARCHITECTURE & PLANNING, INC. AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT OR IN CONNECTION WITH ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF FLB ARCHITECTURE & PLANNING, INC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND THE RESPONSIBILITY OF THE USER.

**TOWN OF MANCHESTER  
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

**TO:** Planning & Zoning Commission

**FROM:** Megan Pilla, Principal Development Planner 

**DATE:** July 11, 2024

**RE:** Highland Park Market of Manchester RE LLC – 307 Highland Street  
Special Exception Modification (PSE-0005-2024)

***Introduction***

---

The applicant is seeking approval of a special exception modification in accordance with Art. II, Sec. 9.14.02(b) for building additions and parking modifications to Highland Park Market at 307 Highland Street. The parcel is in the Business I zone.

***Project Description***

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The 2.97-acre parcel, which is the home of the Highland Park Market, is bounded by Highland Street and I-384 to the south and Wyllys Street to the east. Adjacent uses are residential (primarily single-family homes). The existing supermarket facility is approximately 19,880 sq. ft. and has existed since the 1960's, with the most recent significant addition constructed in 1982.

The applicant proposes several new additions totaling about 5,997 sq. ft. These additions would accommodate a new bottle return area, expansion of refrigerated storage, new meeting and break rooms, expansion of sales area, enclosure of the existing open loading dock into an interior receiving area, and a prep/kitchen area. The front canopy and sidewalk would also be extended. The proposed additions are highlighted on the attached site plan. The exterior materials and finishes would match the existing building.

Along with the building additions, site improvements are proposed, including a new concrete pad for a trash compactor and a compost bin to the north of the building. A new concrete pad for the transformer and generator is also shown at the northeast corner of the building.

**Traffic & Parking**

Vehicular access to the site is provided by two (2) existing access drives, one off of Highland Street and one off of Wyllys Street. No change to access is proposed, and the applicant states that no increase in customer traffic is expected.

Modifications to the parking lot are necessary to accommodate the building additions, resulting in a net loss of 22 parking spaces; however, minimum parking requirements would still be exceeded. The existing electric vehicle charging stations on the west side of the building would be relocated.

#### Stormwater Management

In the existing condition, stormwater from the easterly portion of the site is collected by a series of drains and conveyed to the municipal storm system at Wyllys Street, while that from the westerly portion of the site is conveyed to two (2) detention areas that were created when the parking lot was expanded in 2016. No changes to the stormwater system are proposed. Because the area of the proposed building additions is currently paved, there is no increase in impervious area.

#### Utilities

The site is served by Town water and sewer. The anticipated utility demand of the proposed project is not expected to have any adverse impact on these systems.

#### ***For the Commission's Consideration***

---

The Commission should consider whether the proposed development meets the special exception criteria outlined in Art. IV, Sec. 20 of the Zoning Regulations.

#### ***Staff Review***

---

Town staff has reviewed the plans and documents submitted with the application and the status of any outstanding comments will be provided at the July 15, 2024 meeting.

mp

R:\Planning\PZC\2024\07 - July 15\Packet\PSE-0005-2024 (307 Highland) - Memo.docx

Attach.

# Town of Manchester, CT



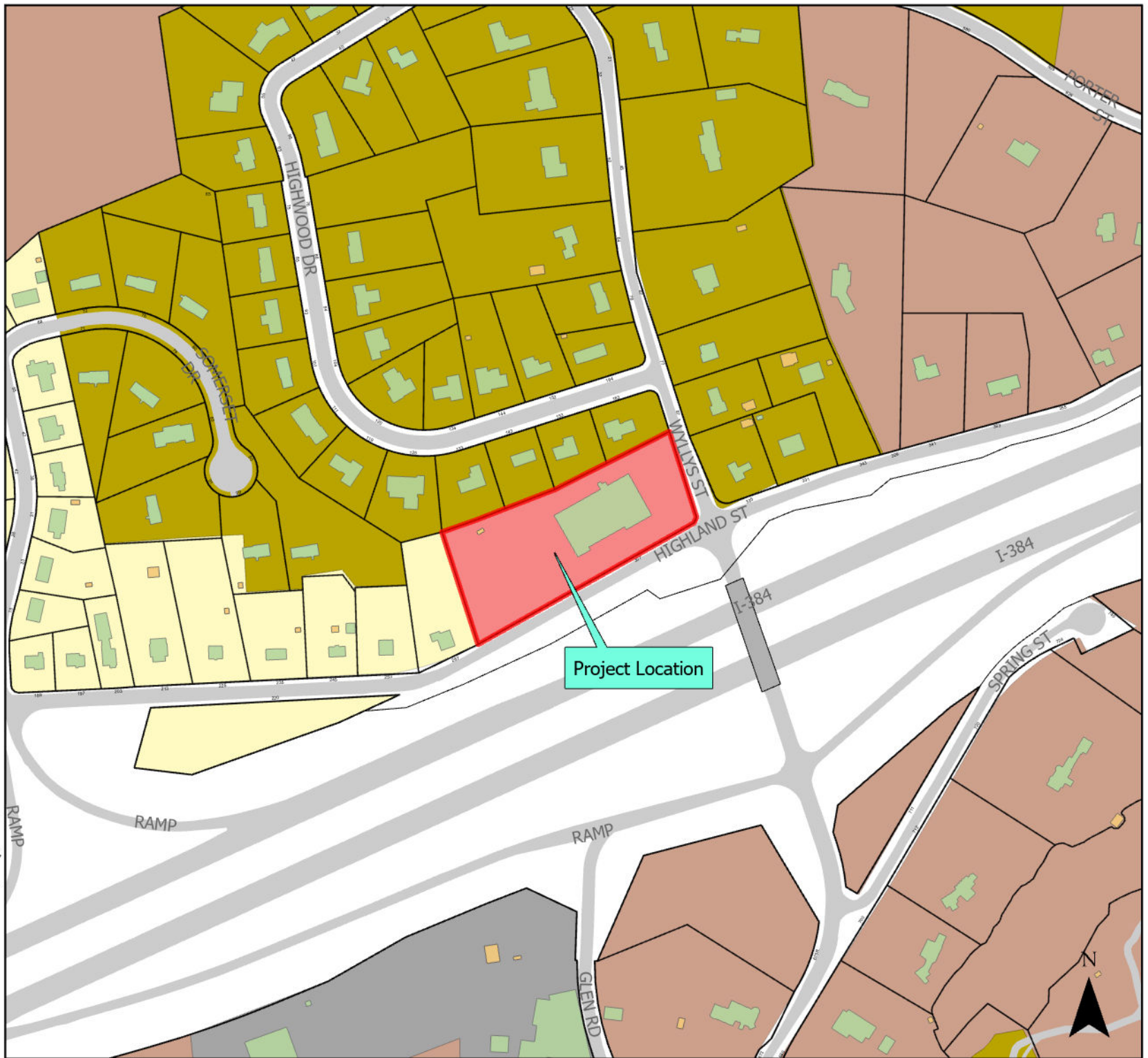
Geographic Information  
Systems

## 307 HIGHLAND ST

### Legend

Zoning

- AA - Residence AA
- B1 - Business I
- IND - Industrial
- RA - Residence A
- RR - Rural Residence



**DISCLAIMER:**  
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

**NOTES:**  
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.

0 50 100 200 300 400  
Feet

1 inch = 300 ft

Date: 7/11/2024



13 June 2024

### **SPECIAL EXCEPTION PROJECT NARRATIVE**

Proposed Alterations+Additions to the Existing Highland Park Market  
317 Highland Street  
Manchester, CT 06040

The Highland Park Market is an existing and operating supermarket facility located in a stand-alone masonry and steel structure on a parcel located at the northwest corner of Highland Street and Wyllys Street. A market has existed at this site since the late 1800's. The present structure dates back to the 60's with the last significant addition constructed in 1982.

Several new additions are proposed, with exterior materials and finishes similar to the existing building. Additions would total about 5,997sf, constructed in phases as follows:

1. Addition 1: Expansion of front canopy to the west.
2. Addition 2: Bottle-return area (260sf) at the location of an existing patio at southeast corner of the market.
3. Addition 3: (912sf) at the northeast corner to accommodate expansion of refrigerated storage, new meeting and breakrooms.
3. Addition 4: (3327sf) along the rear (north) of the market from a stair tower to primary receiving at the northwest corner of the market, providing backroom storage and allowing for expansion of the sales area.. An existing open dock would be enclosed as a part of this expansion.

Additions 3 + 4 would cause the loss of 15 parking spaces along the rear property line.

4. Additions 5a+5b (1498sf) including proposed prep/kitchen area and connection to proposed new receiving addition, located at the west facade.

Total existing building footprint is presently 19,880sf. Basement area totals 2,300sf, second level totals 5,000sf, yielding a total floor area of 28,080sf served by 165 parking spaces. Total required parking at 250sf per car = 112 spaces. representing a parking excess of 32 cars.

These additions add 24 cars to the parking required for a new required total of 136. With the loss of 15 spaces at additions 3+4, and a further 7 spaces at additions 5a+b, the new net total of parking available would be 143 spaces. This is 7 spaces more than is required.

In general, traffic flow would remain as existing. No significant grade changes are proposed.

END OF NARRATIVE

# GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.  
ERIC R. PETERSON, P.E., L.S.  
MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808  
info@GardnerPeterson.com  
www.GardnerPeterson.com

## Stormwater Management Narrative

Highland Park Market of Manchester RE, LLC  
307 Highland Street  
Manchester, Connecticut

Highland Park Market of Manchester RE, LLC is requesting a modification to a special exception related to the permitting of numerous small additions to the existing market. There are two stormwater management systems present on this site. The first collects stormwater runoff from the parking lot surrounding the building and discharges the water to a catch basin in Wyllys Street. The second system collect stormwater runoff from the parking lot located to the west of the building. This system was installed in 2016 when the parking lot was expanded westerly.

The new building additions all fall on areas which are currently paved. An island will be created around the perimeter of the southwest most addition that will be surfaced with crushed stone thereby slightly decreasing the impervious coverage of this parcel by approximately 500 square feet.

This application is not proposing any changes to the stormwater management systems except to relocate one drainage culvert around the building addition located on the rear (north) side of the building. The new culvert will traverse around the new addition with the same pipe size and slope so that the same amount of runoff can be conveyed through the system.

It is our expectation that the construction of the proposed improvements will not result in an increase of stormwater runoff and will not adversely affect the stormwater drainage systems on or off site.



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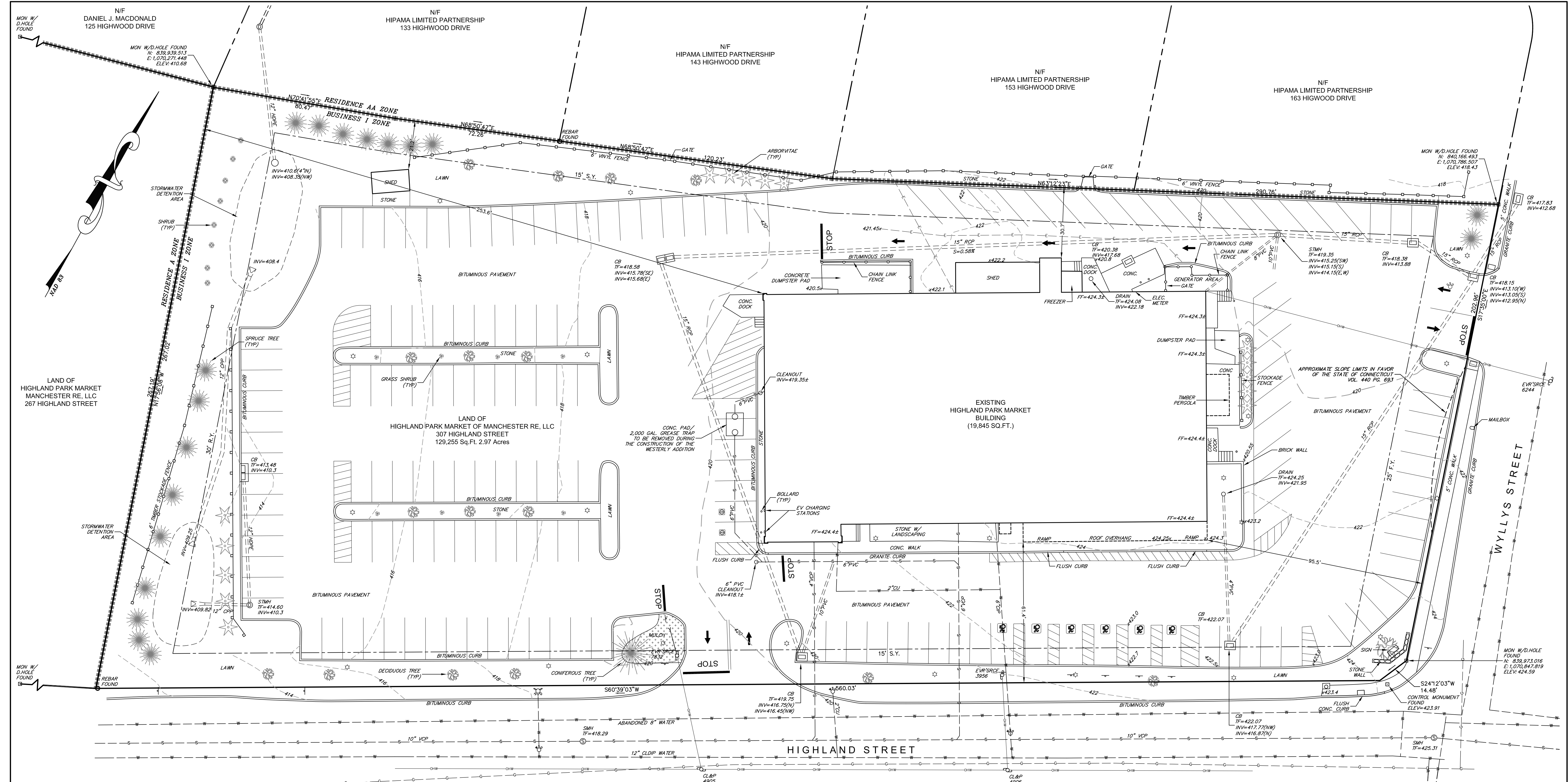
## **Traffic Impact Statement**

Highland Park Market of Manchester RE, LLC  
307 Highland Street  
Manchester, Connecticut

Highland Park Market of Manchester RE, LLC is requesting a modification to a special exception related to the permitting of numerous small additions to the existing market. The purpose of these additions is to increase the working functionality of the building and update the loading dock area. The owner does not expect that these improvements will result in an increase in customers or customer traffic.

This application does result in a reduction of parking spaces from 165 to 143, but the number of future parking spaces will still exceed the number of parking spaces required by the Town of Manchester Zoning Regulations (136).

In conclusion, we do not expect that the construction of the proposed improvements will result in an adverse effect on traffic patterns on site or on the Town roadway network.

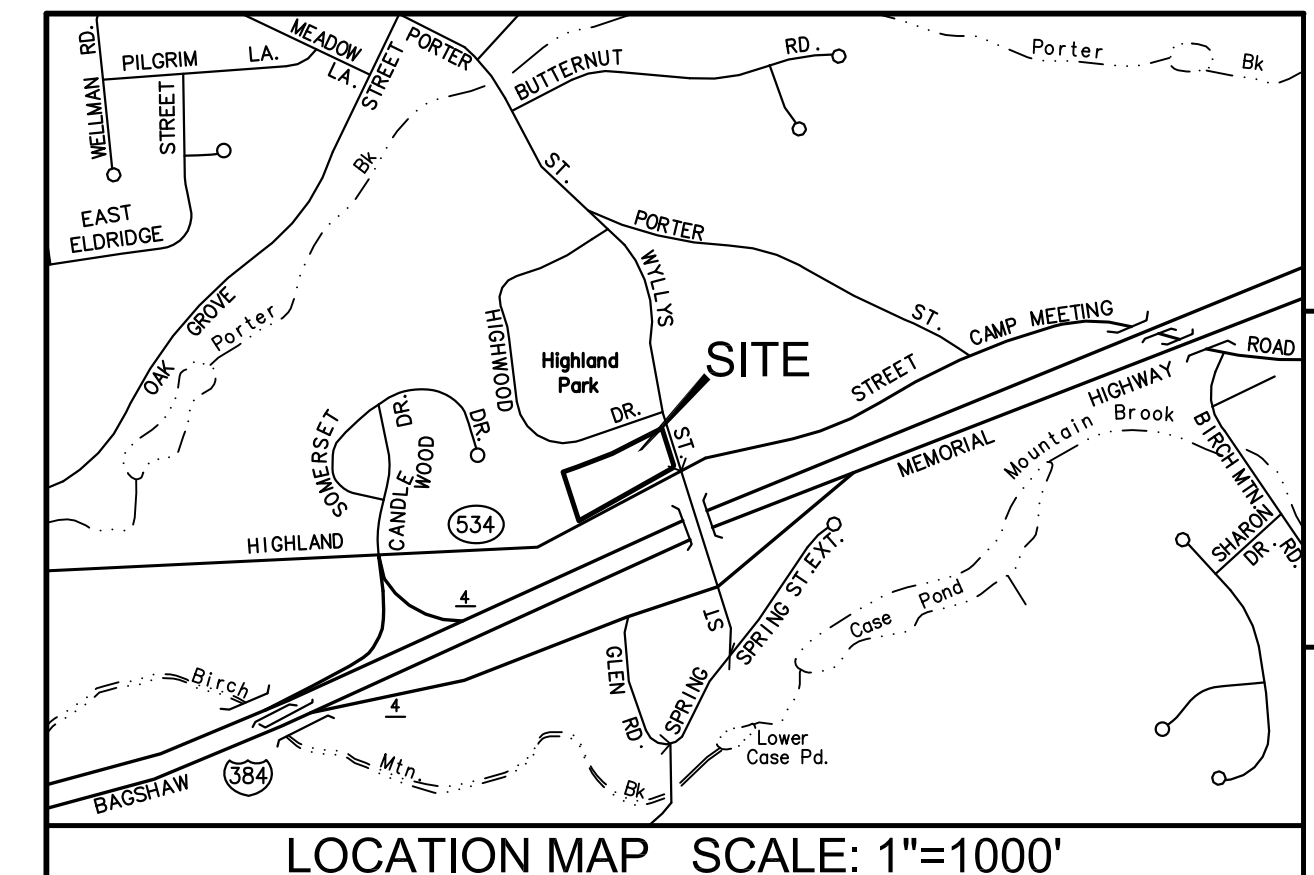
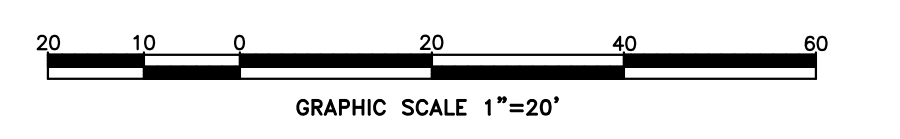


**NOTES:**

- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDANT RESURVEY WITH MODIFICATIONS CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- BEARINGS ON THIS PLAN ARE BASED ON THE TOWN OF MANCHESTER NAD 83 DATUM BASED ON THE PUBLISHED COORDINATES OF TOWN OF MANCHESTER CONTROL MONUMENTS #294 & 295.  
 CP 294: N: 839,959.676 E: 1,070,845.680 ELEV: 423.91  
 CP 295: N: 839,611.079 E: 1,071,084.606 ELEV: 448.66
- MAP REFERENCES:  
 A. "LOT LINE MODIFICATION PLAN PREPARED FOR HIGHLAND PARK MARKET, INC. 283 & 307 HIGHLAND STREET AND 133 & 143 HIGHWOOD DRIVE MANCHESTER, CONNECTICUT" BY FUSS & O'NEILL. DATE: 2/26/2014. REVISED: 5/21/2014.  
 B. "IMPROVEMENT LOCATION SURVEY RECORD DRAWING PREPARED FOR HIGHLAND PARK MARKET INC. PARKING IMPROVEMENTS AS BUILT 317 HIGHLAND STREET (aka ROUTE 534) MANCHESTER, CONNECTICUT" BY ROB HELLSTROM LAND SURVEYING LLC. DATE: MAY 9, 2016. REVISED: 11-8-16.  
 C. "PROPERTY SURVEY PREPARED FOR HIGHLAND PARK MARKET OF MANCHESTER RE, LLC 287 HIGHLAND STREET MANCHESTER, CONNECTICUT" BY ROB HELLSTROM LAND SURVEYING LLC. DATE: JANUARY 16, 2023.
- THIS PARCEL IS LOCATED IN THE BUSINESS 1 (B1) ZONE.
- THE TOTAL SITE DISTURBANCE FOR THIS PROJECT IS 0.3 ACRES.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
- I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

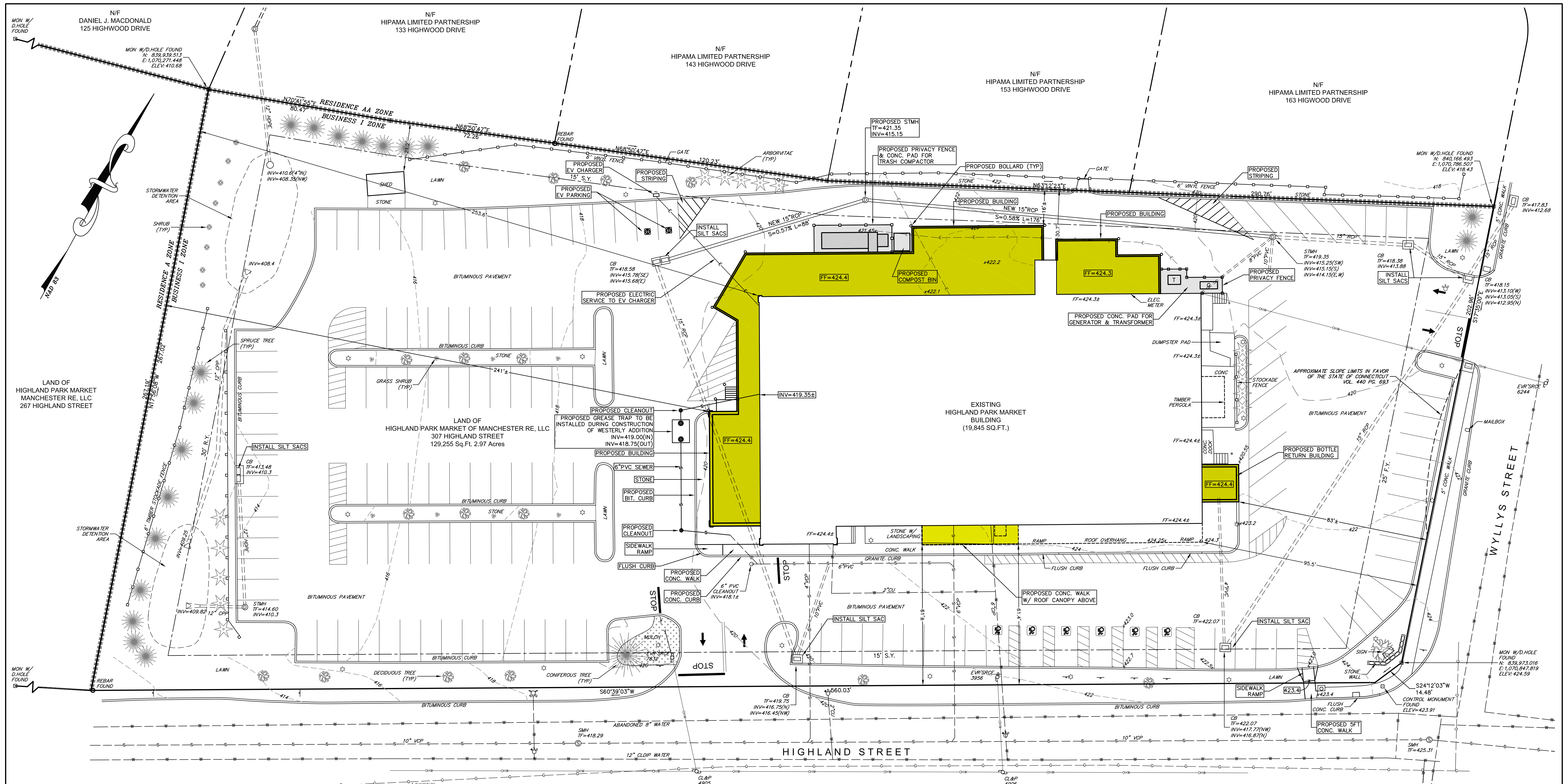
**LEGEND**

	PROPERTY LINE
	ZONING SETBACK
	CONCRETE MONUMENT
	IRON PIPE/PIN
	SIGN
	CURBING
	UTILITY POLE/OVERHEAD WIRES
	LIGHT POLE
	APPROXIMATE ELECTRIC SERVICE
	STORM CULVERT
	CATCH BASIN / SMH
	GAS SHUT-OFF
	SANITARY SEWER / SMH
	APPROXIMATE WATER SERVICE
	WATER SHUT-OFF / HYDRANT
	EXISTING CONTOUR
	EXISTING ELEVATION
	ZONE LINE



<b>IMPROVEMENT LOCATION SURVEY</b>			
<b>EXISTING CONDITIONS PLAN</b>			
<b>HIGHLAND PARK MARKET</b>			
307 HIGHLAND STREET			
MANCHESTER, CONNECTICUT			
<b>GARDNER &amp; PETERSON ASSOCIATES, LLC</b>			
178 HARTFORD TURNPIKE			
TOLLAND, CONNECTICUT			
PROFESSIONAL ENGINEERS		LAND SURVEYORS	
BY	SCALE	DATE	SHEET NO.
E.R.P.	1"=20'	06-20-2024	1 OF 3
		REVISIONS	MAP NO.
		07/10/2024	11251A

ERIC R. PETERSON  
 L.S. 23430  
 REGISTRATION NO.



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**LEGEND**

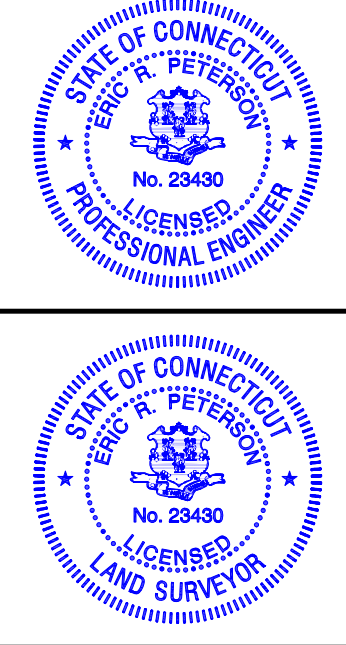
---	PROPERTY LINE
---	ZONING SETBACK
□	CONCRETE MONUMENT
○	IRON PIPE/PIN
—	SIGN
---	CURBING
—○—	UTILITY POLE/OVERHEAD WIRES
☆	LIGHT POLE
---	APPROXIMATE ELECTRIC SERVICE
---	STORM CULVERT
⊙	CATCH BASIN / STMH
⊙	GAS SHUT-OFF
—S—	SANITARY SEWER / SMH
—W—	APPROXIMATE WATER SERVICE
—H—	WATER SHUT-OFF / HYDRANT
---	EXISTING CONTOUR
---	EXISTING ELEVATION
---	PROPOSED ELEVATION
---	ZONE LINE

**ZONING TABLE:**

	REQUIRED	EXISTING	PROVIDED
BUS B1 ZONE			
MAX. BUILDING HEIGHT	40'	39.9'	---
MIN. LOT AREA	---	129,255 SQ.FT.	---
MIN. LOT FRONTAGE	---	202.96'	---
MAX. LOT COVERAGE	---	78.2%	78.2%
MIN. FRONT YARD	25'	35.5'	63'
MIN. SIDE YARD	15'	61.4'	61'
MIN. SIDE YARD (PER ABUTTING RESIDENTIAL ZONE)	15'	30.7'	16'
MIN. REAR YARD (PER ABUTTING RESIDENTIAL ZONE)	30'	252.5'	241'
PARKING: 1 SPACE/250SF GFA	34,077 SF 136 SPACES	165 SPACES	143 SPACES

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Eric R. Peterson*  
 ERIC R. PETERSON  
 L.S. 23430  
 REGISTRATION NO.



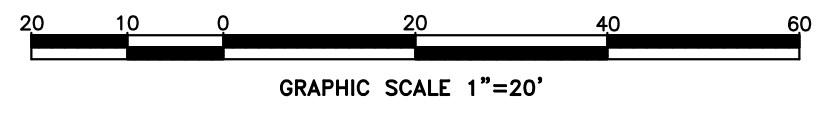
REVISIONS  
 07/10/2024

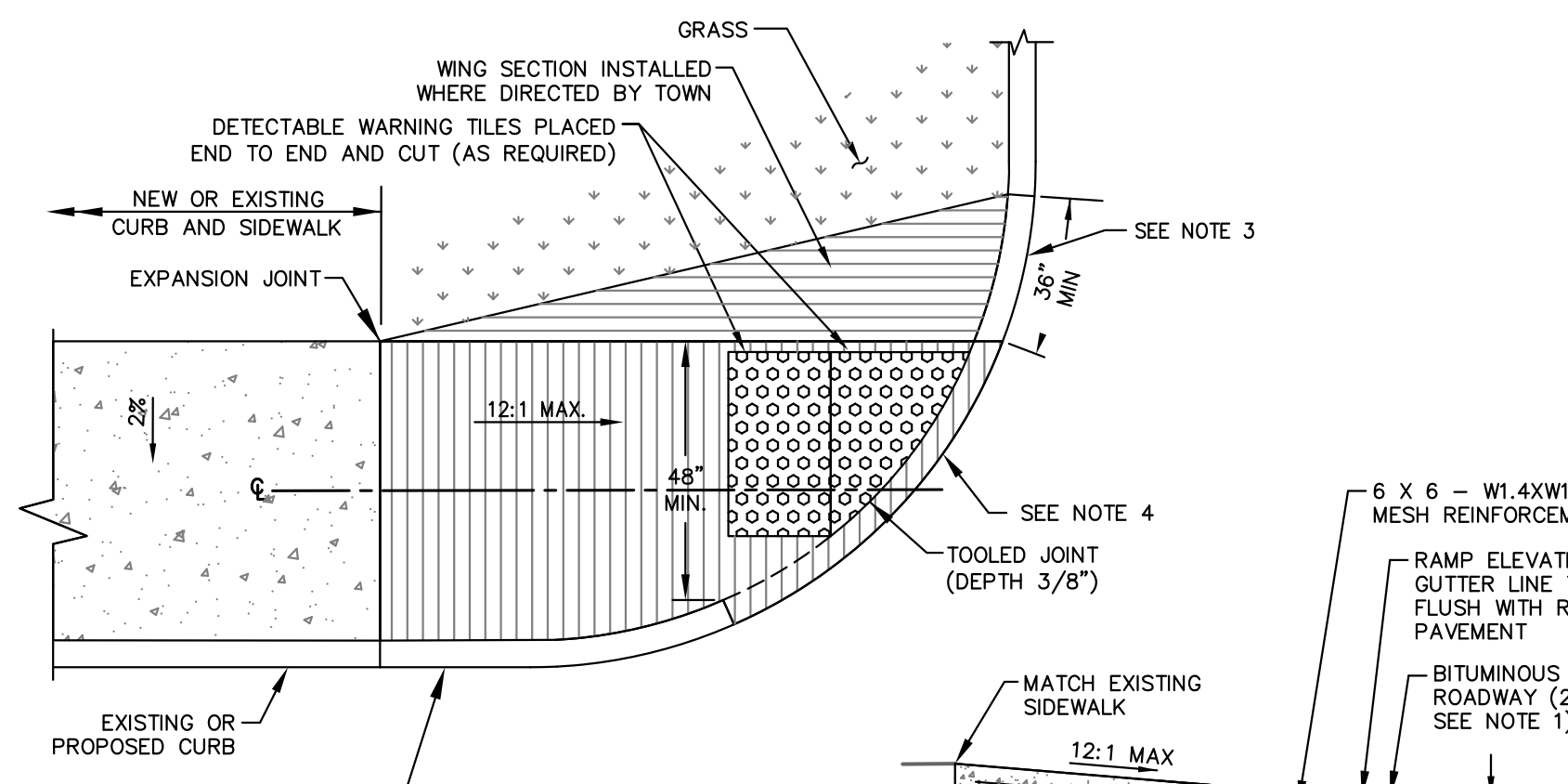
**IMPROVEMENT LOCATION SURVEY  
 SITE PLAN  
 HIGHLAND PARK MARKET  
 307 HIGHLAND STREET  
 MANCHESTER, CONNECTICUT**

**GARDNER & PETERSON ASSOCIATES, LLC**  
 178 HARTFORD TURNPIKE  
 TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=20'	06-13-2024	2 OF 3	11251A

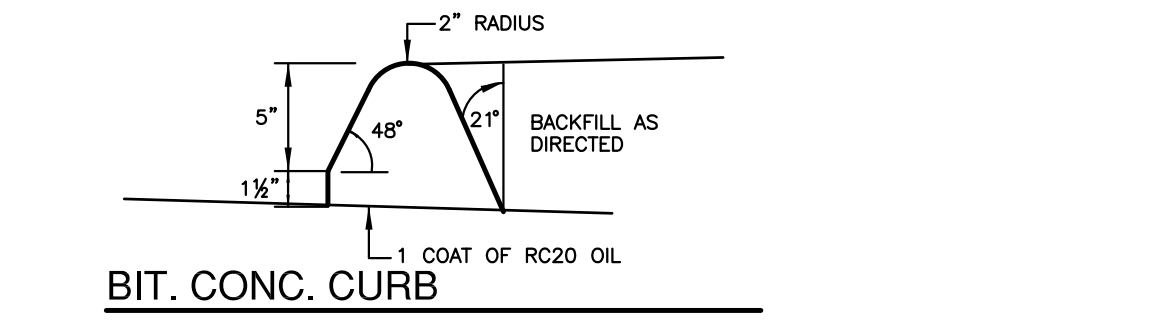
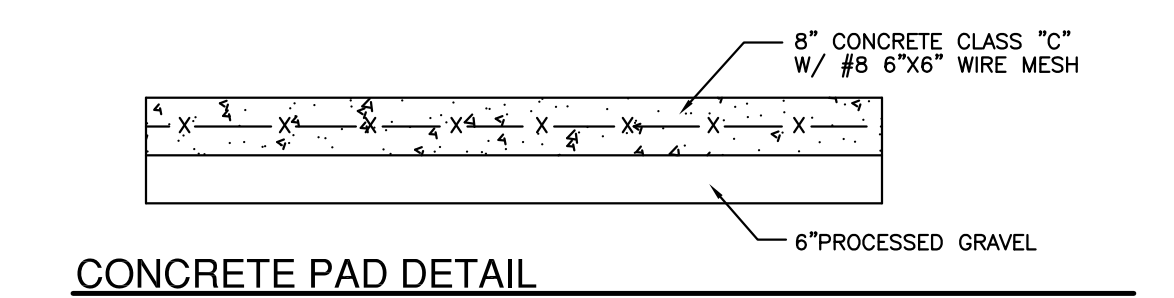
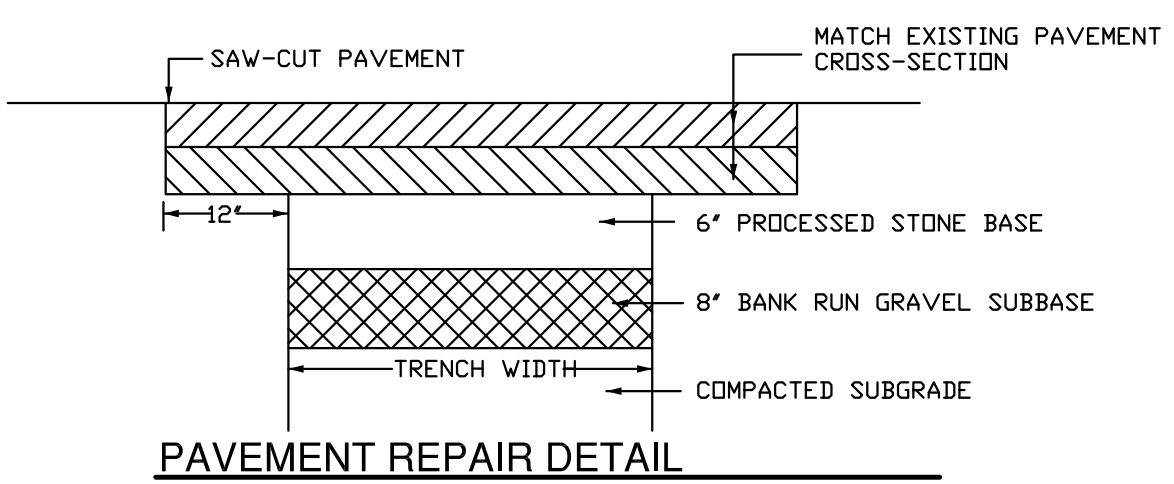




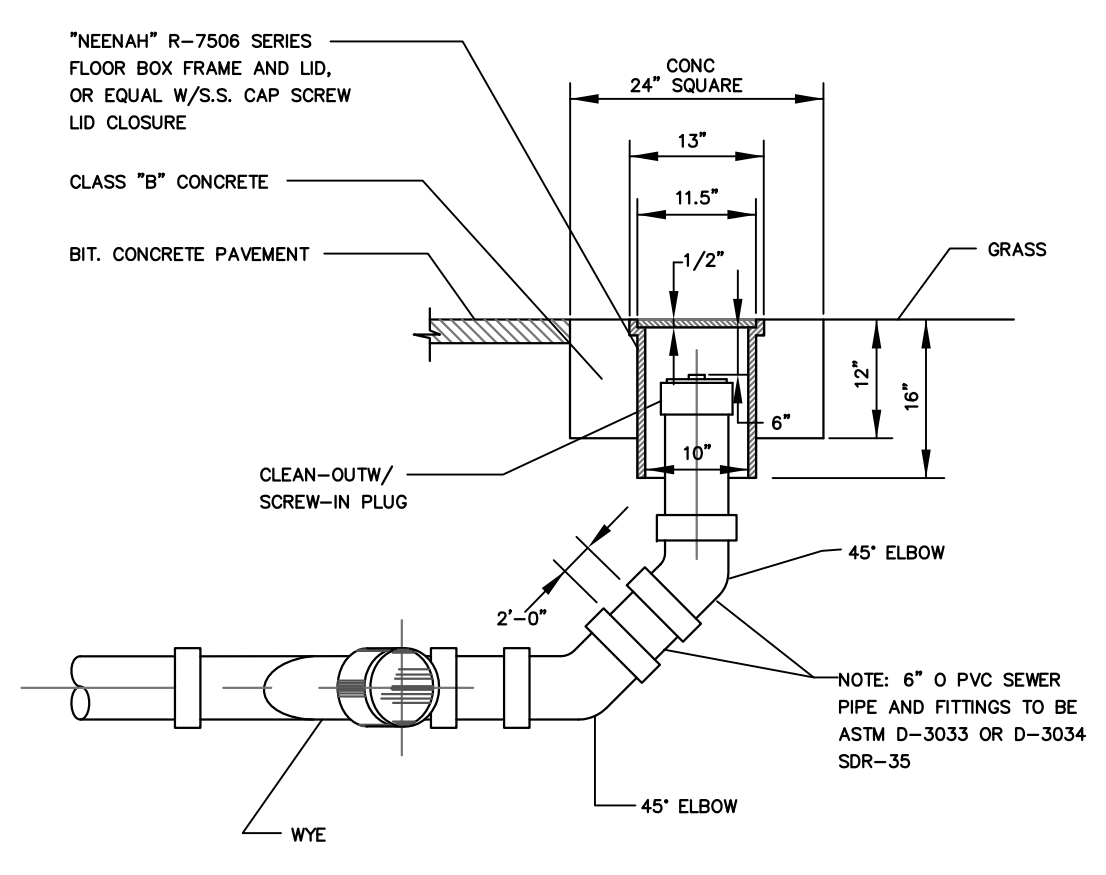
- NOTES:**
- PAVEMENT COURSES AND PROCESSED AGGREGATE BASE THICKNESS SHALL MATCH EXISTING OR BE INSTALLED AS DIRECTED BY THE TOWN. PROCESSED AGGREGATE BASE THICKNESS SHALL BE 12" MINIMUM.
  - REFER TO CONCRETE SIDEWALK RAMP NOTES FOR ADDITIONAL INFORMATION.
  - IN GENERAL, GRANITE CURB TRANSITIONS ARE TO BE INSTALLED WHEN RAMP IS ADJACENT TO GRANITE CURB AND CONCRETE CURB TRANSITIONS ARE TO BE INSTALLED WHEN RAMP IS ADJACENT TO BITUMINOUS CONCRETE LIP CURB OR CONCRETE CURB.
  - IF GRANITE CURB TRANSITIONS ARE INSTALLED, THE CONCRETE RAMP LANDING MAY BE POURED TO THE REQUIRED RADIUS AS DIRECTED BY THE TOWN.

**CONCRETE SIDEWALK RAMP - TYPE A5**

NOT TO SCALE

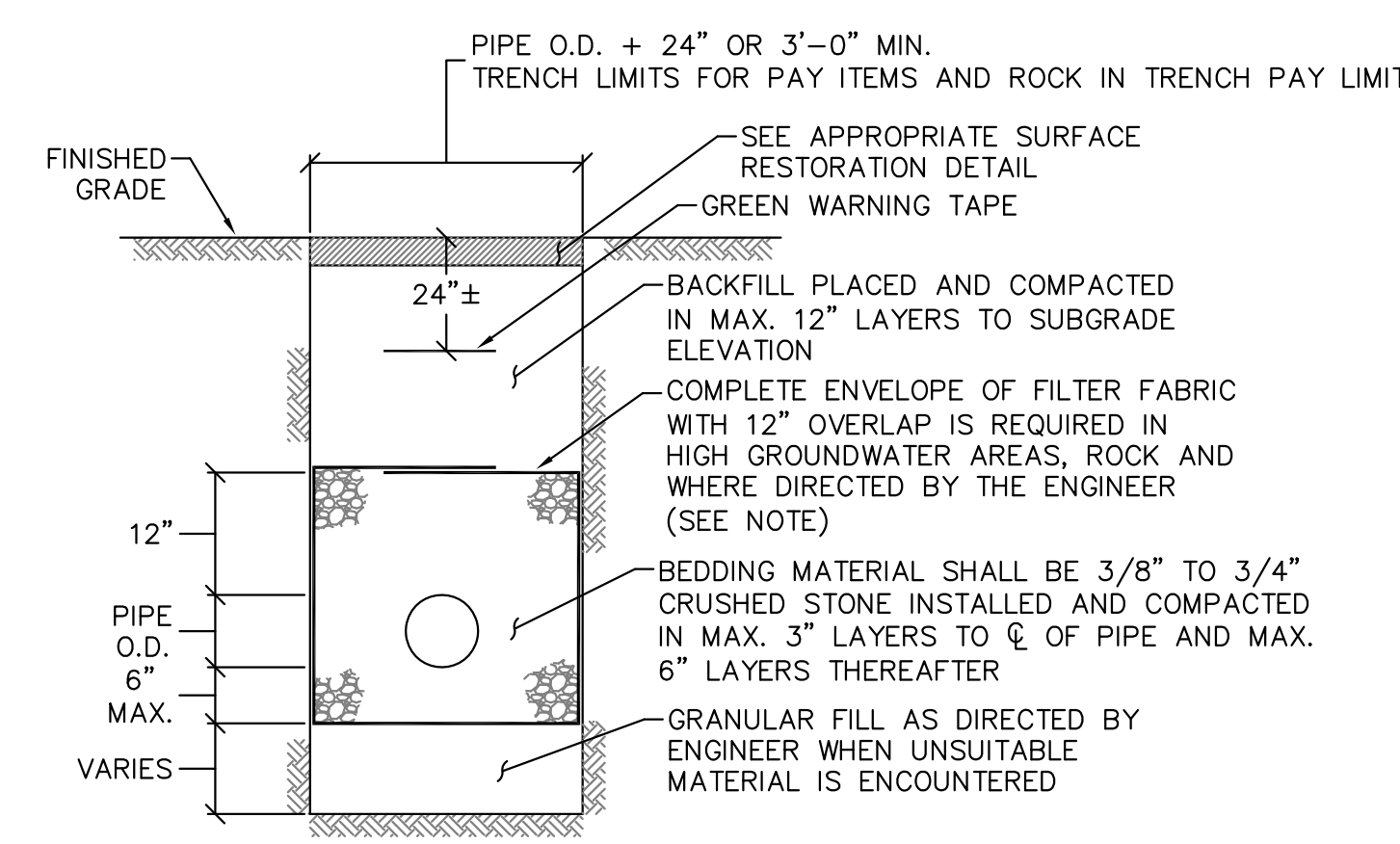


**BIT. CONC. CURB**



NOTE: INSTALL CLEANOUTS AT BENDS OF 45° OR LESS AND EVERY 100'± ALONG SANITARY LATERALS

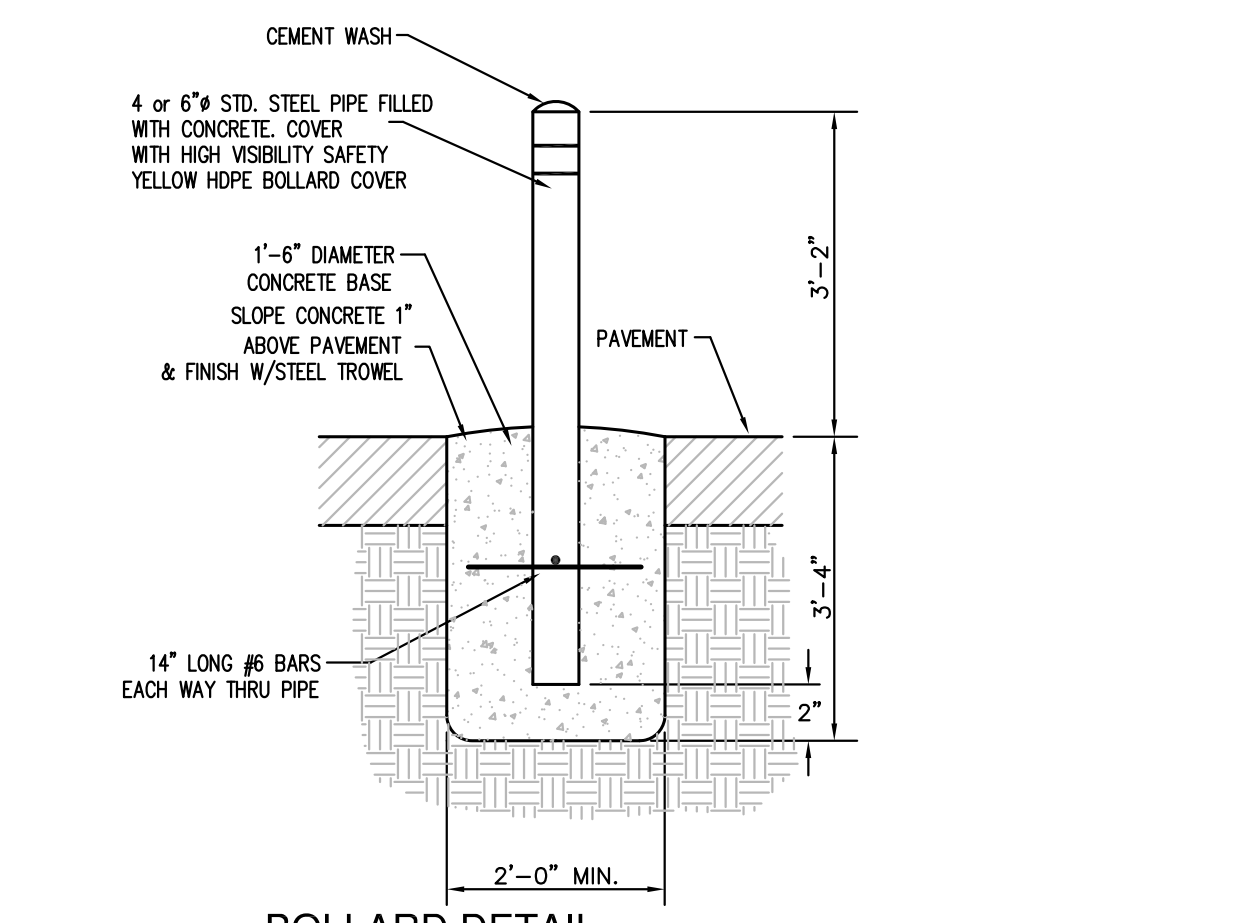
**SANITARY SEWER CLEANOUT DETAIL**



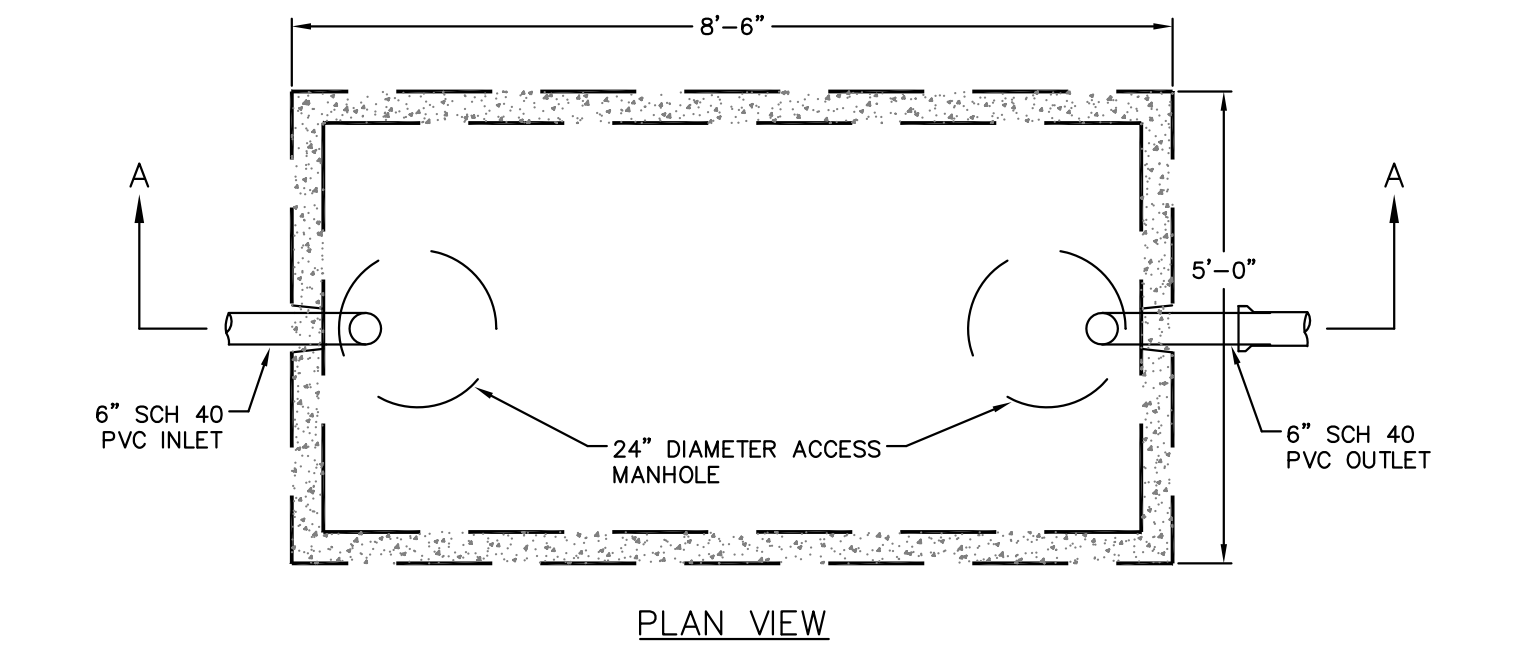
NOTE: IN ALL OTHER AREAS, AT A MINIMUM, BEDDING MATERIAL SHALL EXTEND TO THE TOP OF THE PIPE AND BE COVERED WITH FILTER FABRIC ACROSS THE ENTIRE WIDTH OF THE TRENCH.

**TYPICAL TRENCH DETAIL (SANITARY SEWER)**

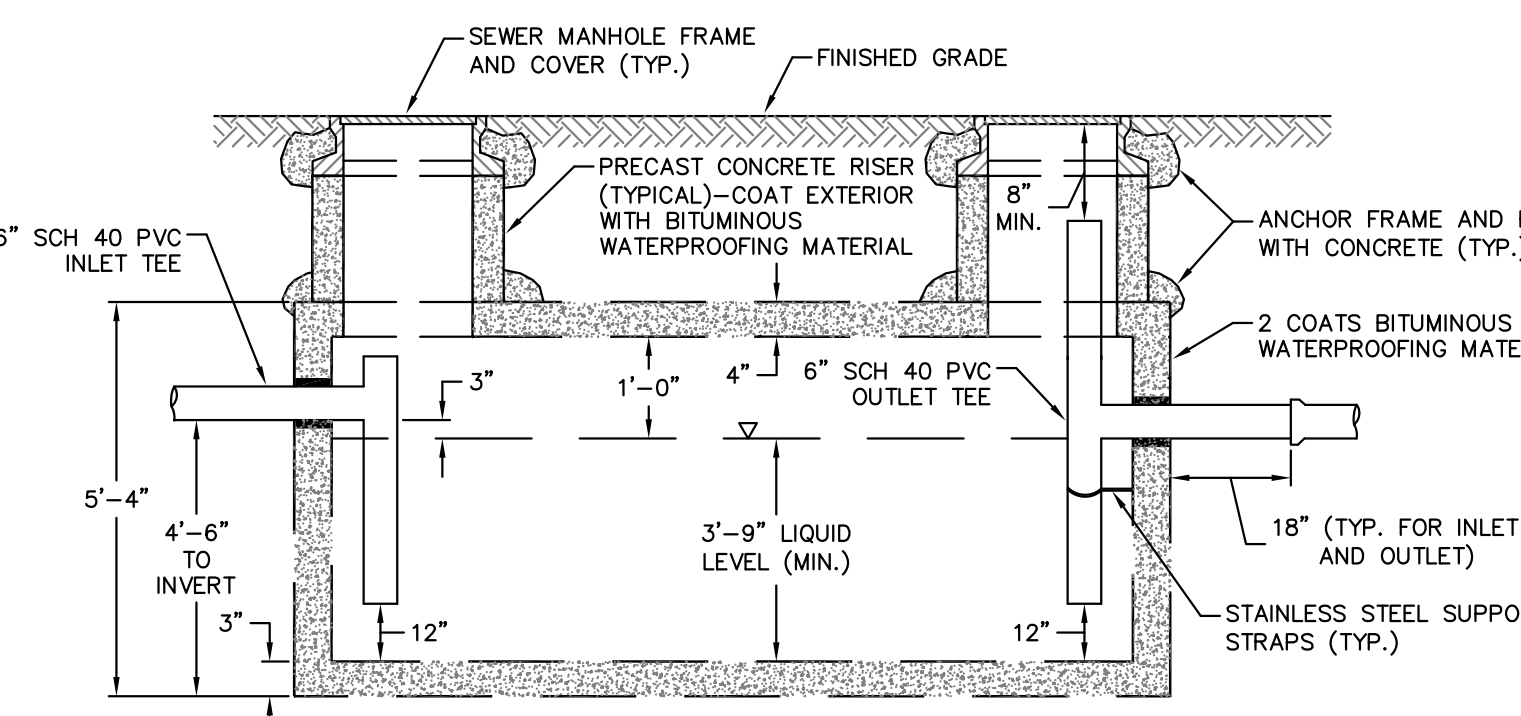
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**BOLLARD DETAIL**



**PLAN VIEW**

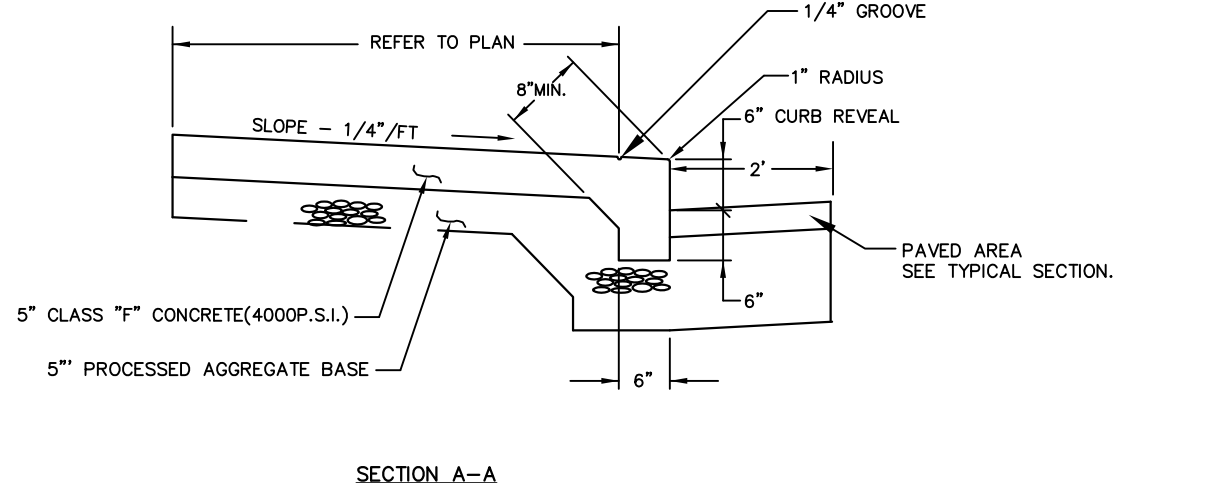
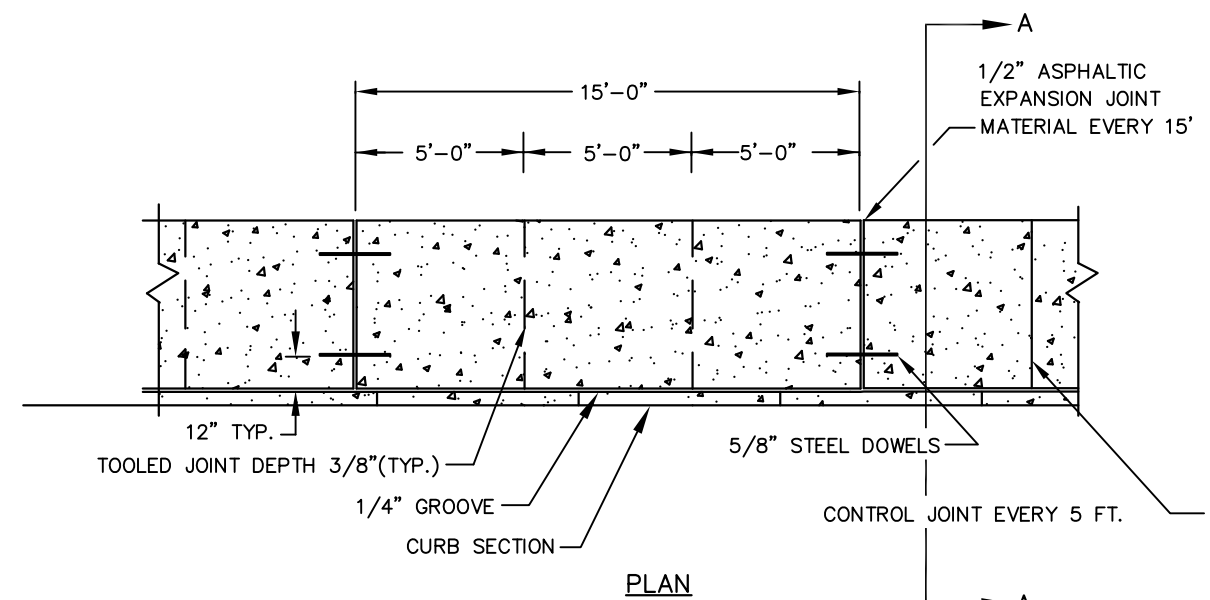


**SECTION A-A**

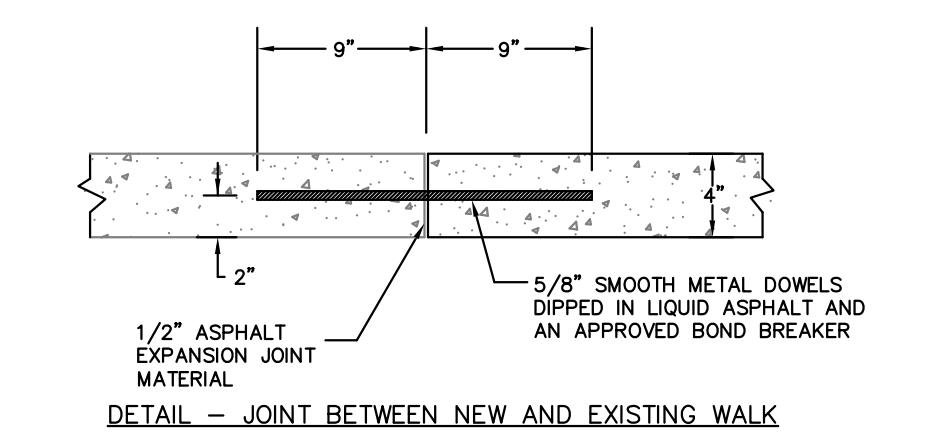
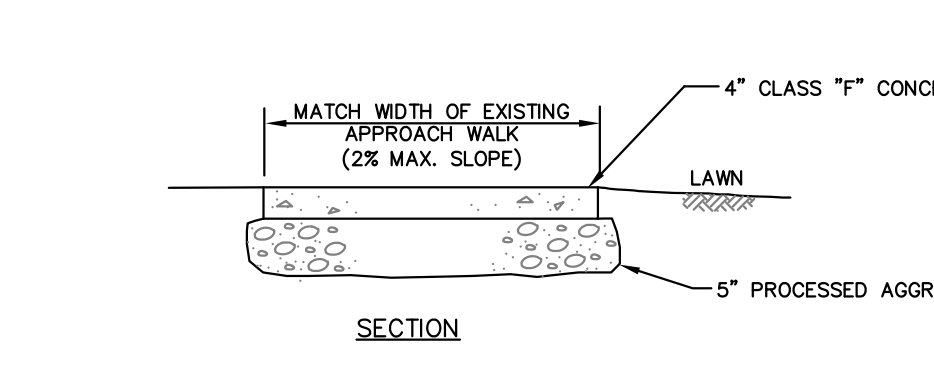
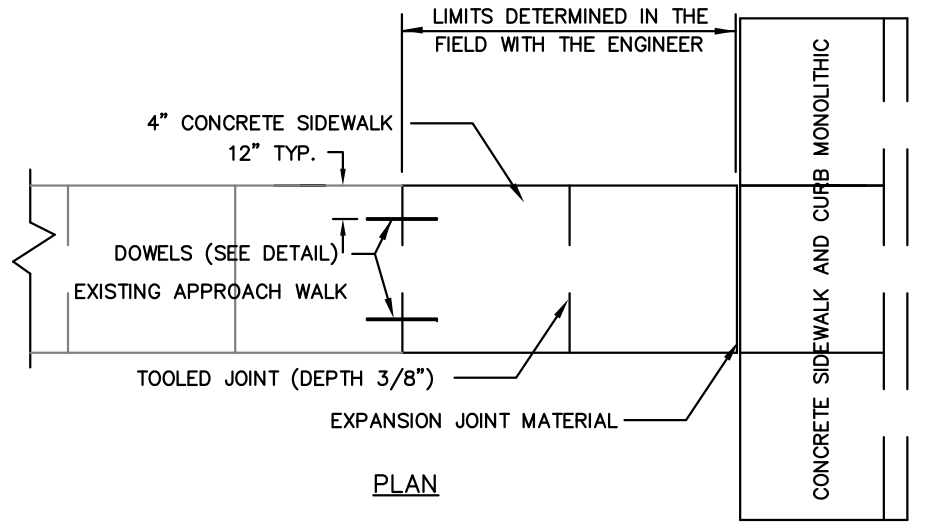
- NOTES:**
- GREASE TRAP SHALL BE SIZED IN ACCORDANCE WITH CT DEEP GENERAL PERMITTING REQUIREMENTS BUT SHALL HAVE A MINIMUM CAPACITY OF 1,000 GALLONS (AS SHOWN ABOVE).
  - CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 4,000 P.S.I. AT 28 DAYS.
  - REINFORCEMENT SHALL BE ASTM A615 (REBAR) GRADE 60 REINFORCEMENT AND ASTM A185 (WWF) WITH FY=60,000 P.S.I.
  - CONSTRUCTION JOINTS SHALL BE SEALED WITH 1" DIA. BUTYL RUBBER OR EQUAL.
  - DESIGN LOADING FOR STRUCTURE SHALL MEET AASHTO HS20-44.

**GREASE TRAP**

NOT TO SCALE

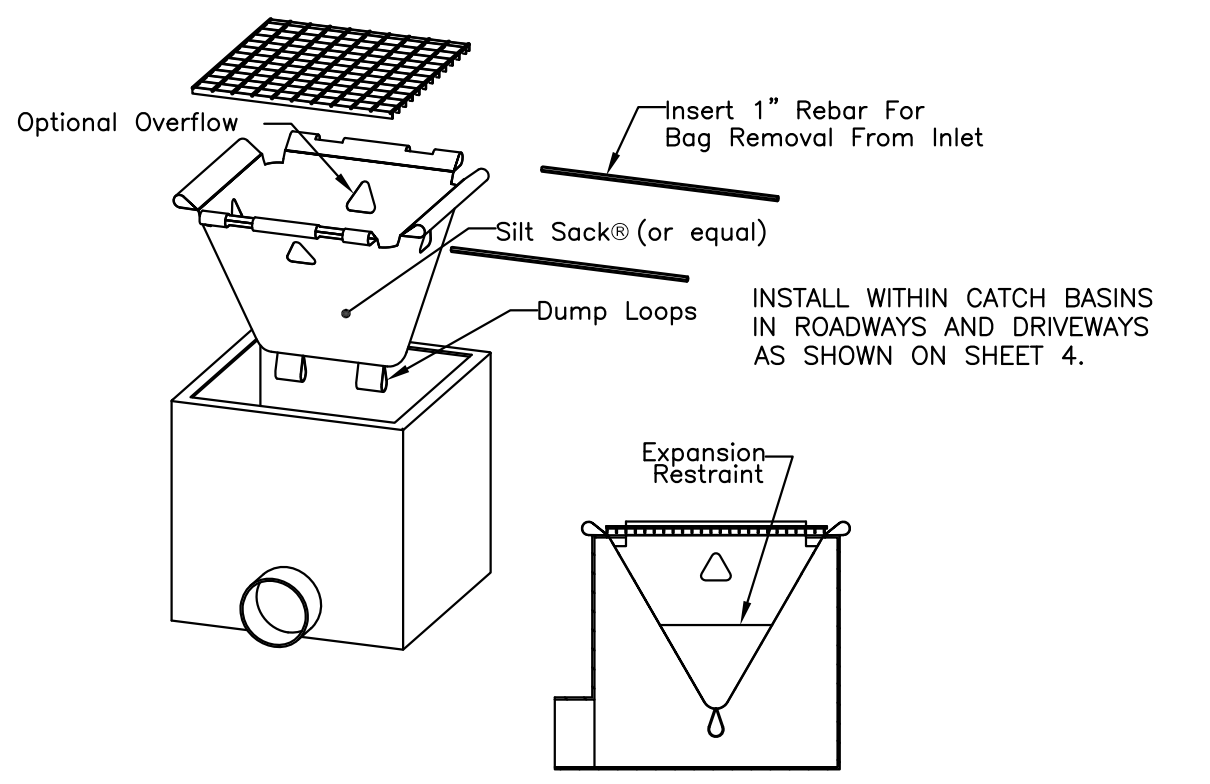


**MONOLITHIC SIDEWALK DETAIL**

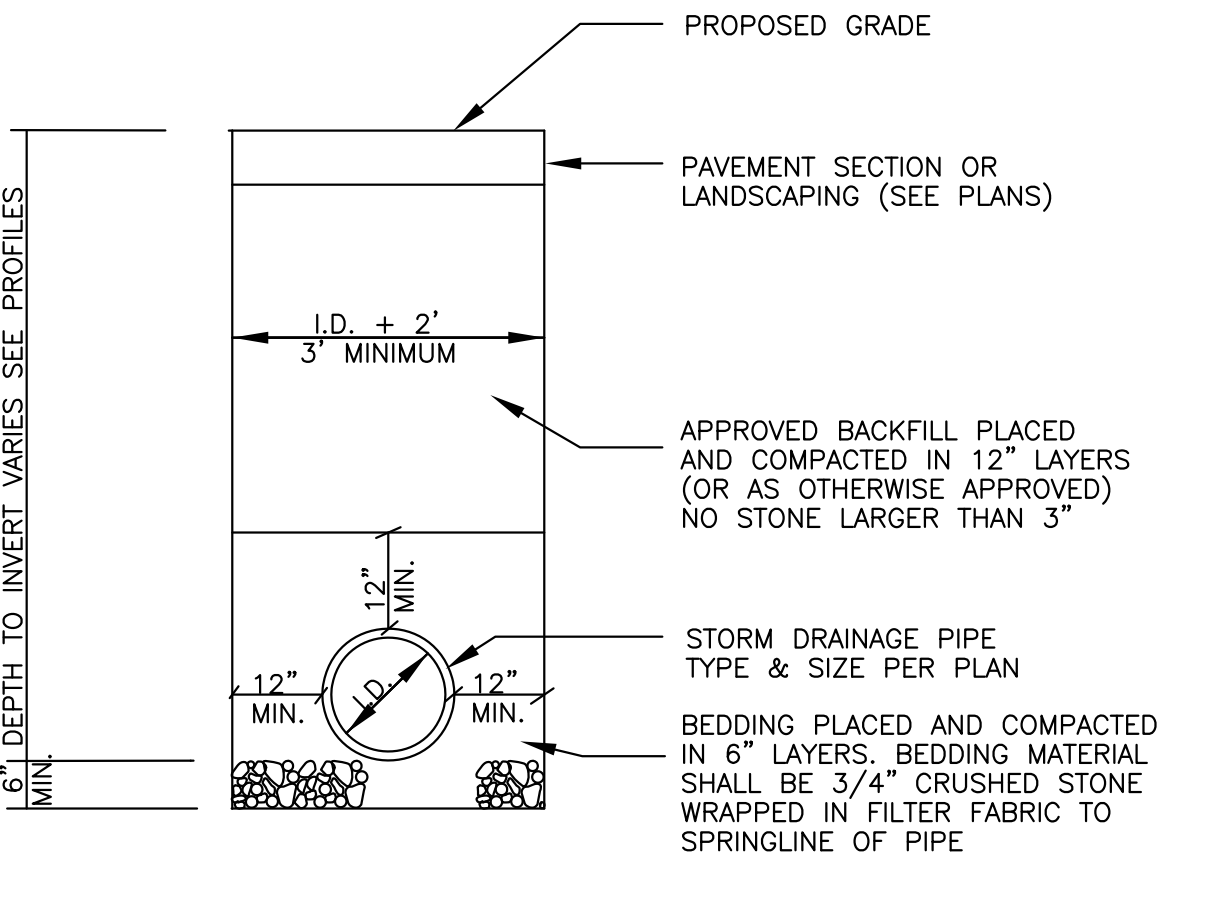


**4" CONCRETE SIDEWALK (FOR PRIVATE SIDEWALKS)**

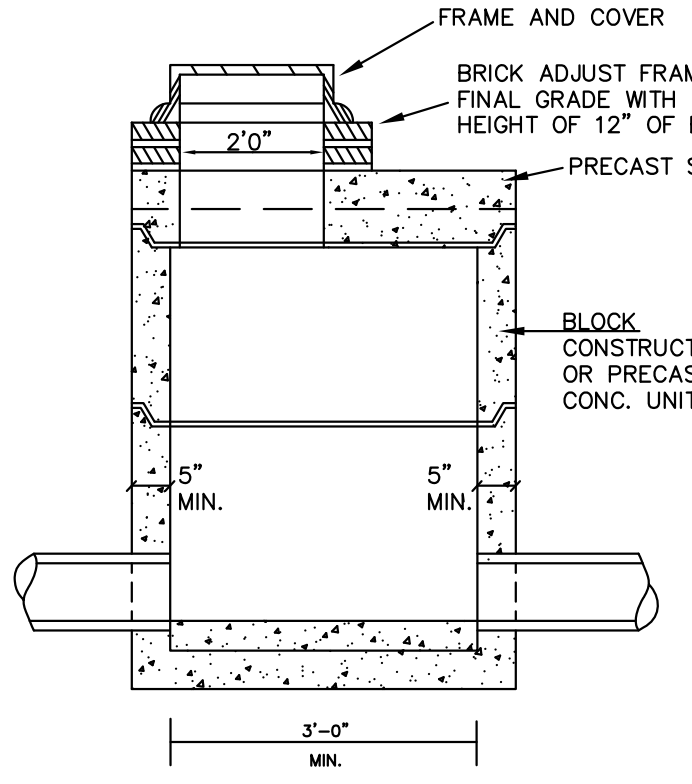
NOT TO SCALE



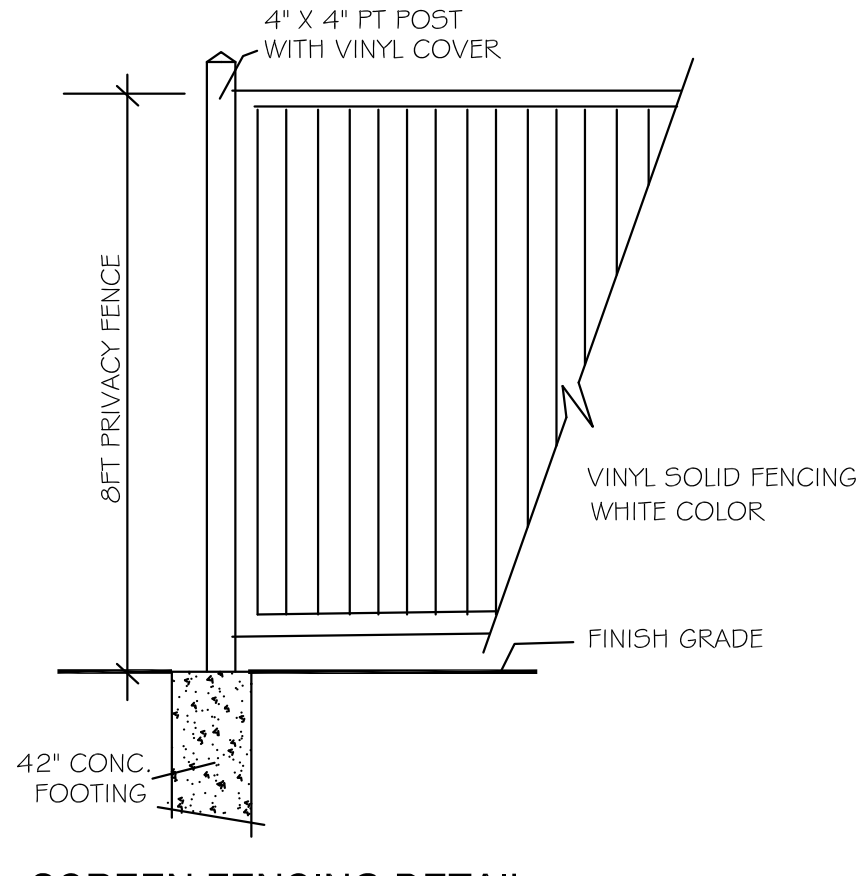
**CATCH BASIN INLET PROTECTION**



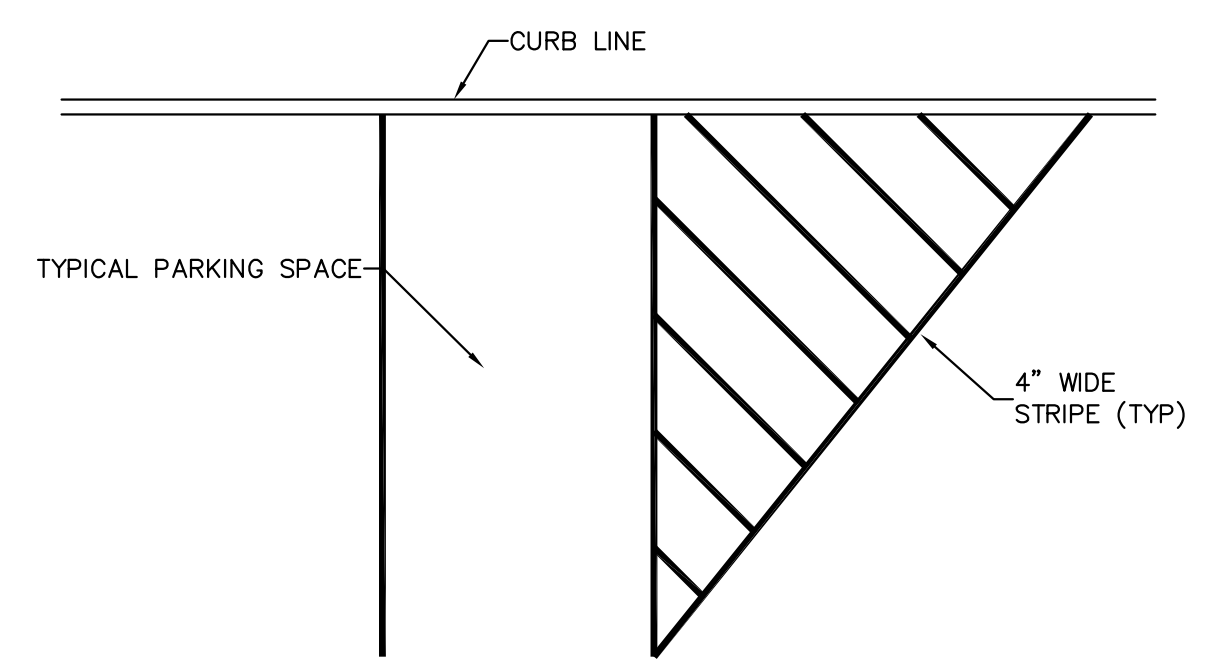
**STORM DRAIN TRENCH DETAIL**



**STORM MANHOLE**



**SCREEN FENCING DETAIL**



- PAVEMENT MARKING NOTES:**
- All work to conform to Form 818, Section 12.09 and the manufacturer's instructions and recommendations for application.
  - Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
  - Paint shall be either white or tinted ready-mixed paint conforming to AASHTO M70, Type 1.
  - Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
  - Prior to painting, sweep pavement with power brooms supplemented with hand brooms to eliminate loose material and dust.
  - After applying paint, erect suitable barriers to prevent tracking of paint before drying. Retouch and paint all markings which become smeared, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of smearing of paint.

**PAINTED LINE STRIPING DETAIL**

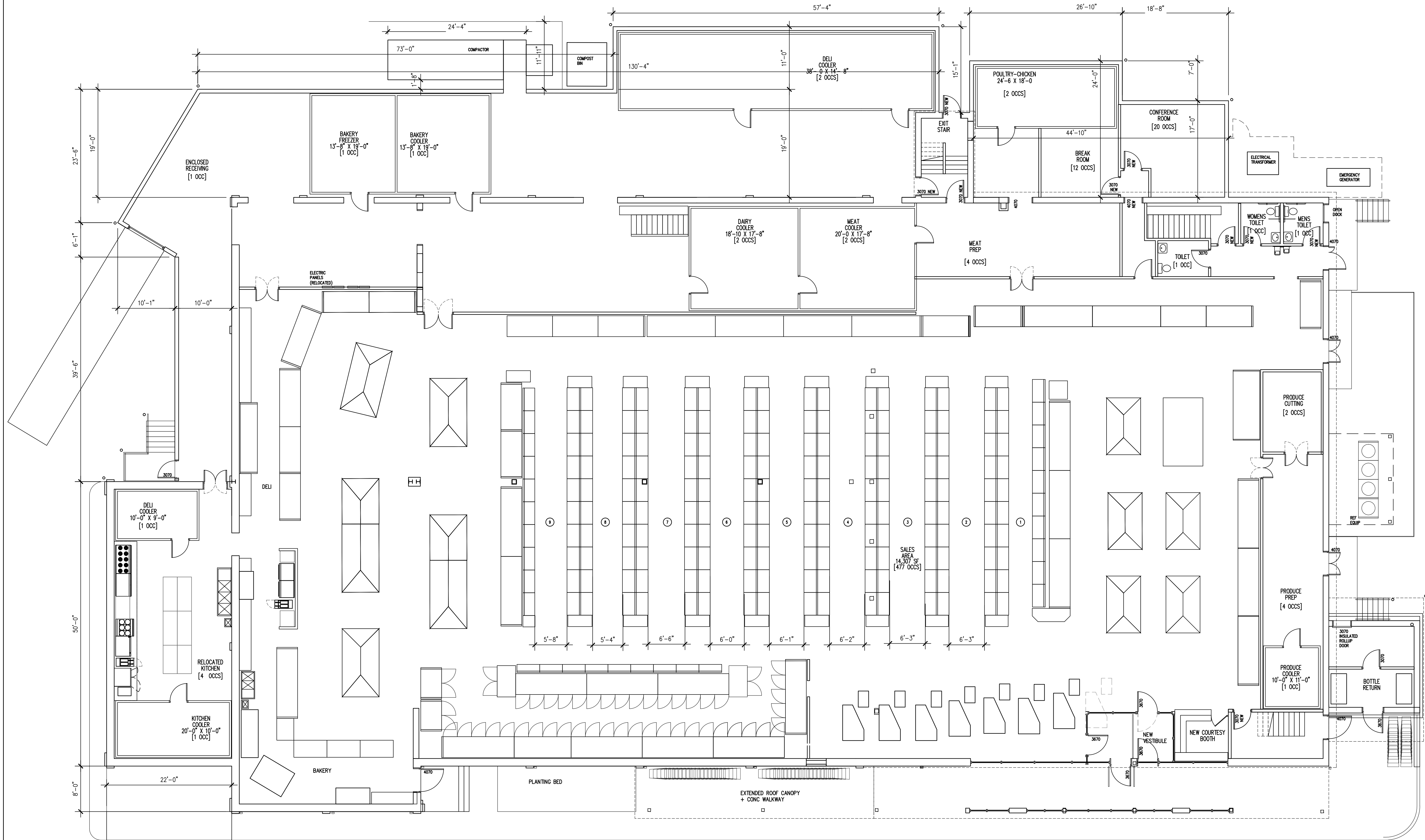


**CONSTRUCTION DETAILS**  
**SITE PLAN**  
**HIGHLAND PARK MARKET**  
 307 HIGHLAND STREET  
 MANCHESTER, CONNECTICUT

**GARDNER & PETERSON ASSOCIATES, LLC**  
 178 HARTFORD TURNPIKE  
 TOLLAND, CONNECTICUT

REVISIONS		PROFESSIONAL ENGINEERS		LAND SURVEYORS	
BY	SCALE	DATE	SHEET NO.	MAP NO.	
E.R.P.	N.T.S.	06-13-2024	3 OF 3	11251A	

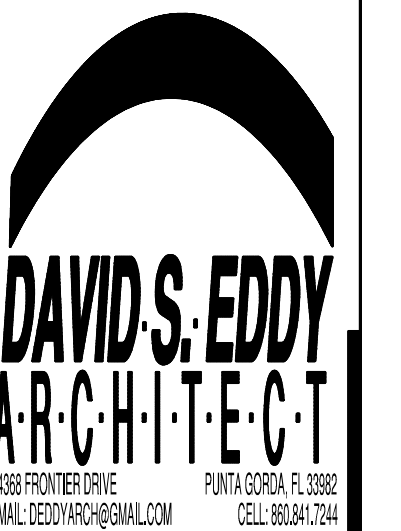
11251.dwg 1/25/21-BET.dwg



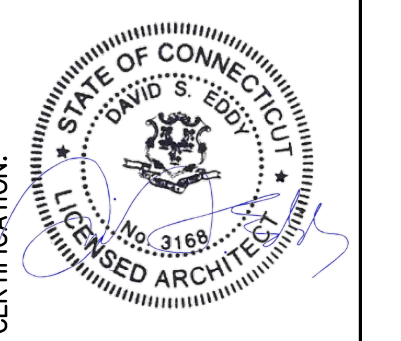
1 Proposed Floor Plan  
 A1.1 1/8" = 1'-0"

PROJECT: **Proposed Additions to Highland Park Mkt**  
 317 Highland St.  
 Manchester, CT

TITLE: **Proposed Floor Plan**



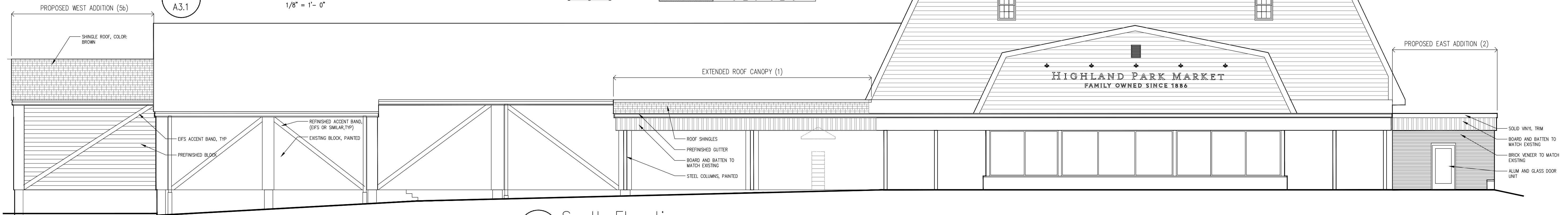
JOB NO.	2302
SCALE	AS NOTED
DATE	13 JUNE 2024
DRAWN BY	DSE
CHECKED BY	DSE



SHEET NO. **A1.1**

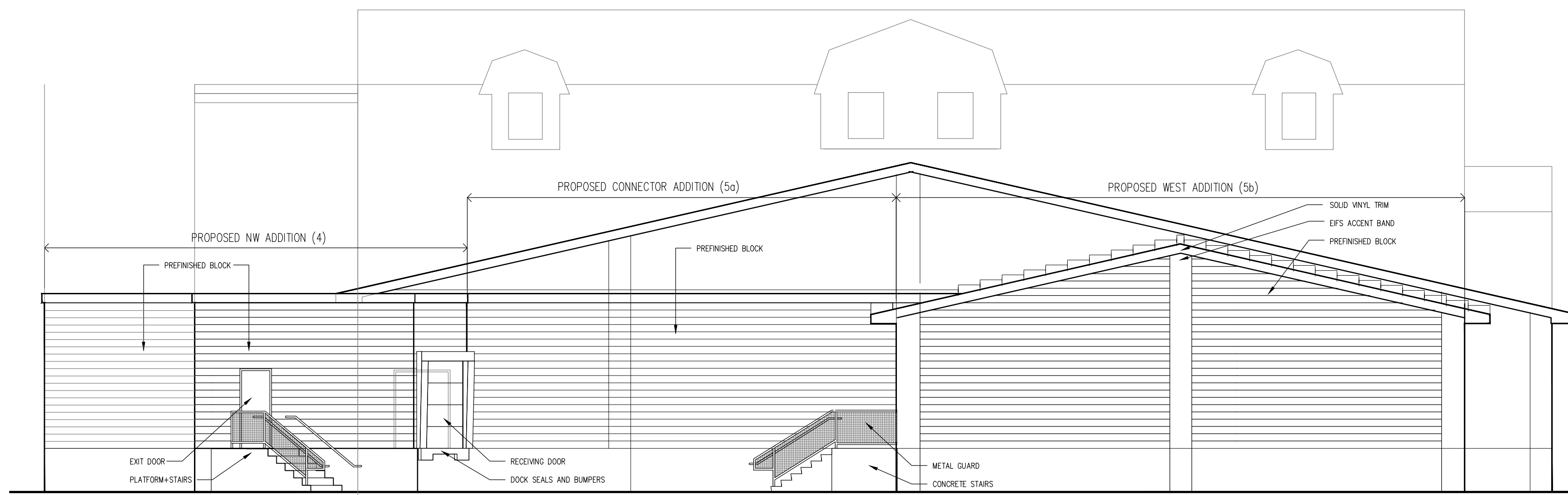
x Key Plan  
A3.1 NO SCALE

South Elev @ Receiving  
A3.1 1/8" = 1'- 0"

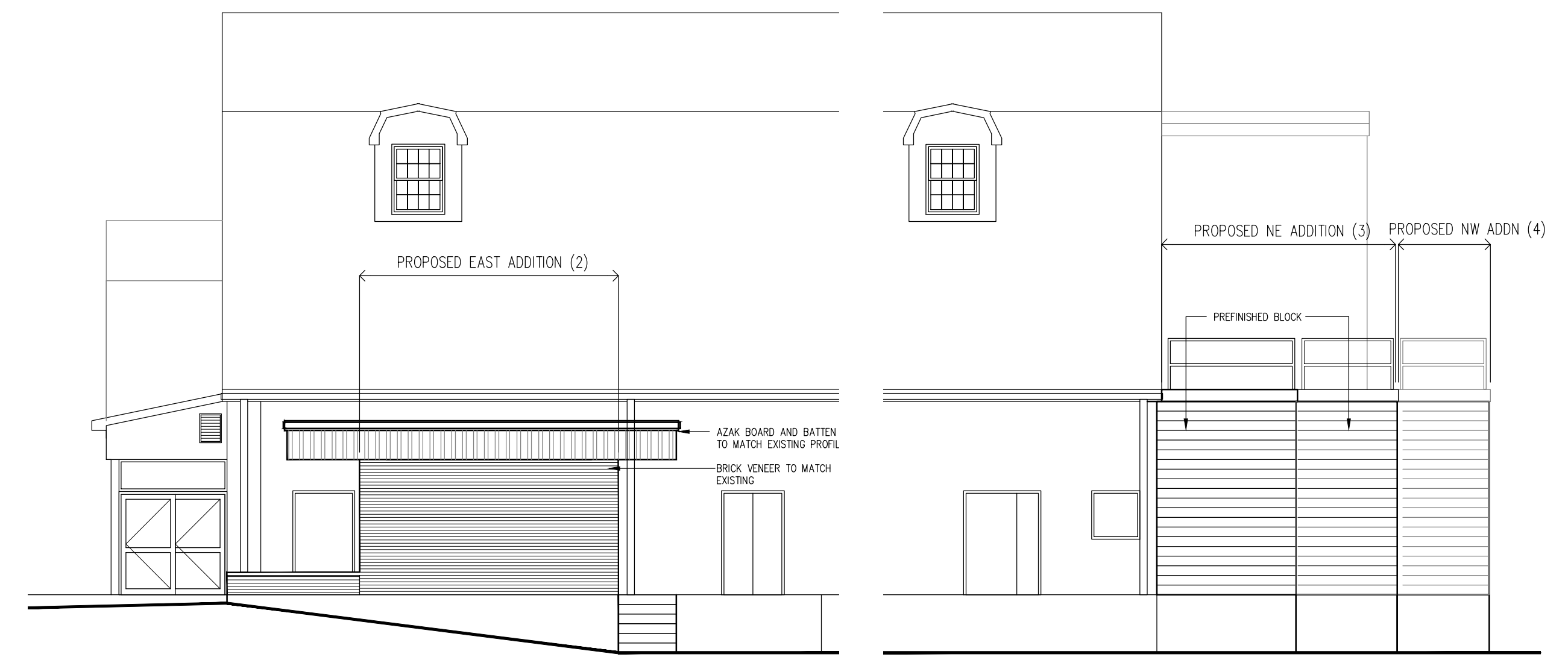


South Elevation  
A3.1 1/8" = 1'- 0"

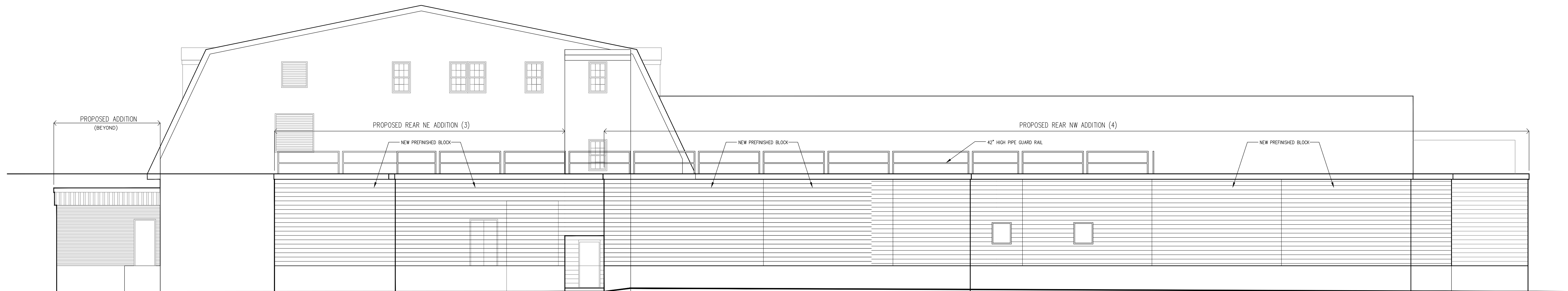
West Elevation  
A3.1 1/8" = 1'- 0"



East Elevation (Partial)  
A3.1 1/8" = 1'- 0"

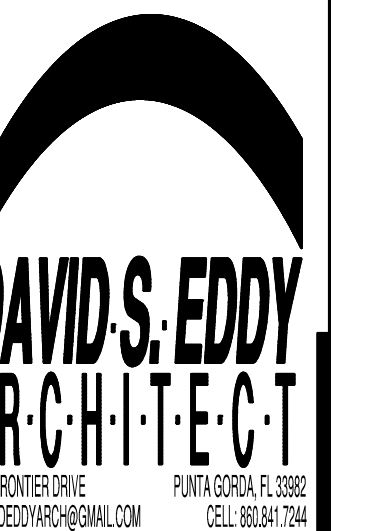


North Elevation  
A3.1 1/8" = 1'- 0"

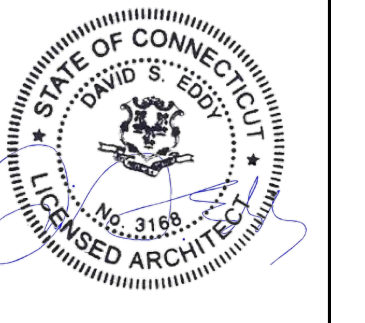


PROJECT: **Additions/Alterations to Highland Park Market**  
317 Highland Street  
Manchester, CT

TITLE: **Proposed Exterior Elevations**




JOB NO.	2302
SCALE:	1/8" = 1'- 0"
DATE:	13 JUNE 2024
DRAWN BY:	DE
CHECKED:	DE



SHEET NO. **A3.1**

**TOWN OF MANCHESTER  
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**

**TO:** Planning & Zoning Commission

**FROM:** Megan Pilla, Principal Development Planner 

**DATE:** July 11, 2024

**RE:** Town of Manchester/Benesch – 1041 Main Street, 18 & 22 Maple Street, and 25 Eldridge Street  
Erosion & Sedimentation Control Plan (ESC-0005-2024)

**Introduction**

---

The applicant is requesting certification of an erosion and sedimentation control plan for demolition of the existing bank building and construction of a new public library and associated site improvements at 1041 Main Street, 18 & 22 Maple Street, and 25 Eldridge Street. The parcels are located in the Central Business District zone (CBD).

**Project Description**

---

The subject parcels total approximately 1.61 acres and currently include a bank building, paved parking areas, and a portion of undeveloped land. Adjacent uses include commercial/mixed-use buildings on Main Street, a private parking lot at 17 Eldridge Street, and residential homes (a mix of single-family and duplexes) to the east. Across Main Street to the west are the Forest Street public parking lot and the Army & Navy Club. The site is relatively flat, with a very slight pitch toward a low point near the center of the site.

The proposed project includes the demolition of the existing structure and redevelopment of the site as a new public library with associated parking, loading and drop-off areas, and pedestrian spaces. Because a public library is a permitted use in the CBD zone, the only approval required by the Commission is certification of an erosion & sedimentation control plan. The design of the proposed building will be considered administratively as per the downtown architectural review process (Art. II, Sec. 15.04.02).

**Erosion and Sedimentation Controls**

Proposed erosion and sedimentation controls (highlighted on sheet C1.0 of the attached plans) include two (2) dedicated construction entrances – one off of Maple Street and one off of Eldridge Street. Silt fence is shown along the perimeter of the entire site with the exception of the entrance points. A dedicated soil stockpile area, contained by silt fence, and a concrete washout area are located near the northeast corner of the site. Silt sacks will be used to protect all

storm drains within the project area, as well as those nearby on Main, Maple, and Eldridge Streets. Following installation of a proposed curtain drain at the northeast corner of the site, hay bales will also be placed over the drain for additional protection.

During construction, the site will be secured with temporary construction fencing and double-locking gates at both construction entrances.

The total area of disturbance is the entire site, approximately **1.61 acres**.

### ***Staff Review***

---

Town staff has reviewed the plans and documents submitted with the application and the status of any outstanding comments will be provided at the July 15, 2024 meeting.

Because the only approval required by the Commission is certification of the erosion & sedimentation control plan, only the materials relevant to that approval are included. However, the applicant will provide the full plan set to staff for review prior to commencement of the project, and staff will review and comment as we normally would for a site plan review.

mp

R:\Users\Planning\PZC\2024\07 - July 15\Packet\ESC-0005-2024 (1041 Main) - Memo.docx

Attach.



# Town of Manchester, CT



## Geographic Information Systems

1041 MAIN ST,  
18 & 22 MAPLE ST,  
25 ELDRIDGE ST

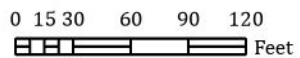
### Legend

#### Zoning

- AA - Residence AA
- CBD - Central Business District
- H - Historic
- RB - Residence B
- RC - Residence C

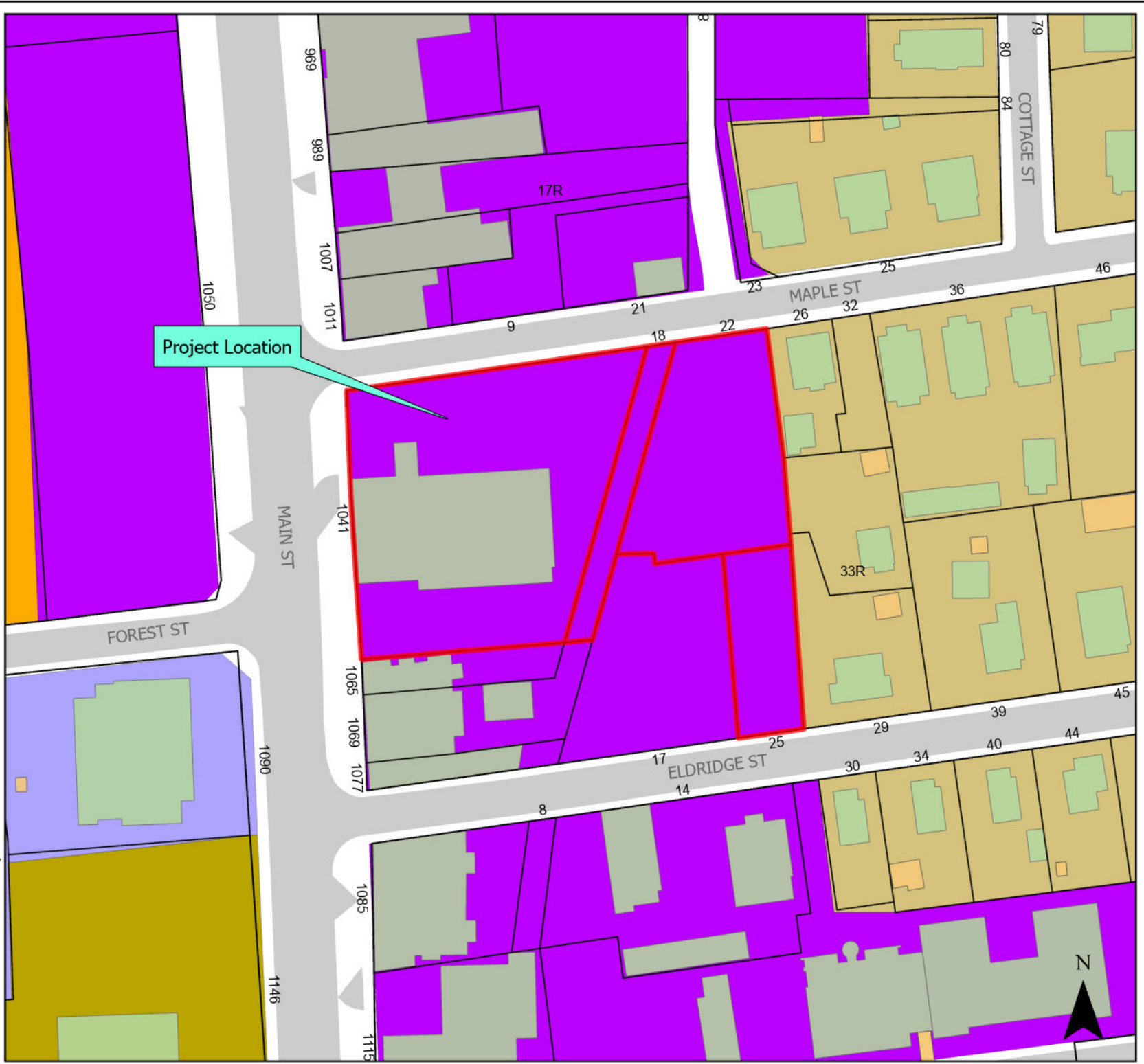
**DISCLAIMER:**  
The Town of Manchester, CT assumes no legal responsibility for the information contained in this map. This map is provided 'AS IS' without warranty of any kind.

**NOTES:**  
Planimetric and topographic information were compiled by stereo photogrammetric methods from photography dated April 24, 1999 in accordance with ASPR accuracy standards for 1"=40' large scale Class I maps. Real property compiled from recorded deeds, subdivision plans and other public records. Utility networks compiled from record plans, as-builts and/or field survey data. Aerial photography dated April 24, 1999.



1 inch = 100 ft

Date: 7/9/2024





Alfred Benesch & Company  
120 Hebron Avenue, Floor 2  
Glastonbury, CT 06033  
www.benesch.com  
P 860-633-8341  
F 860-633-1068

July 3, 2023

Planning & Zoning Commission  
Town of Manchester  
41 Center Street  
Manchester, CT 06045

RE: **Development Narrative**  
**Proposed Manchester Public Library**  
**1041 Main St. Manchester, CT 06040**

Dear Commission Members:

We have filled out the online application for Erosion and Sedimentation Control Plan and have attached all associated plans for the above proposed project. The following is a development narrative that provides detail additional to the application and plans.

The property is situated at 1041 Main Street (Zone CBD – Central Business District). It consists of 4 parcels that total approximately 1.61 acres of an existing bank building subsequent parking and a partially wooded area adjacent Eldridge Street. The existing structure and associated improved surfaces around the structure will be demolished and removed from the property. The project proposes a new 3 story public library which include a 2<sup>nd</sup> floor green roof, adequate parking and accessibility for both vehicular and pedestrian traffic and site materials that accent the existing downtown environment.

#### Lot Layout and Density

The lot is in Zone – CBD. The development site is 1.61 Acres and the bulk/dimensional requirements for CBD Zone have been applied during the design. All structures are placed no further than 5' from a front setback, 8' from side setback, or 30' from rear setback (per Zoning Regulations).

Parking facilities are laid out to maximize maneuverability and safety. Accessible spaces are provided for standard, van and EV spaces. All parking areas will be graded to not exceed 5% slope in parking stalls and will not exceed 2% in accessible parking stalls. Additionally, all walkways are graded at 5% slope or less to provide a universally accessible site to all.

#### Open Space

The proposed project will create as much open space and vegetative areas as possible in the form of turf areas, planting beds and a green roof.



Landscaping

The landscape design for this project is intended to provide the development with trees, shrubs, ornamental grasses and ground covers that are native and non-invasive species, whose various textures, sizes and blooming periods will provide year-round color and visual appeal throughout the property to all visitors. The addition of parking area and drive trees will provide shade and scale, as well as lessen the visual effect of the buildings. Special care is to be taken when site development begins, in order to save and protect as many buffer and border trees as possible along each property edge.

Buffer planting will be provided between residential properties and the proposed project site.

Utilities

New utilities, including sanitary, water, fire protection, drainage and electric power will be provided. Geothermal wells are also included with the project.

Stormwater

The project will utilize the existing municipalities public storm system for our connections.

We look forward to working with the Commission to ensure a successful project that meets required town regulations.

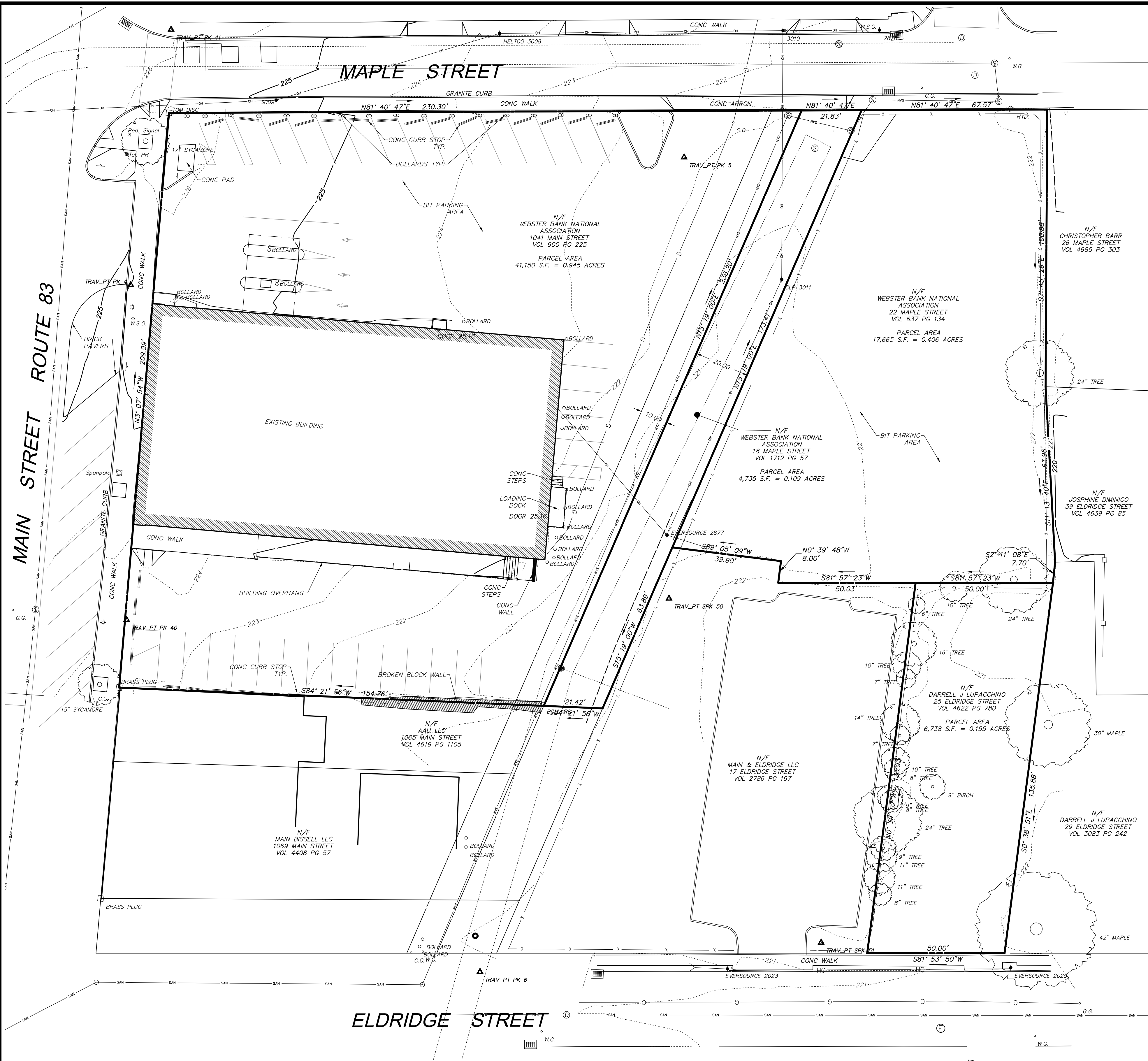
Sincerely,

A handwritten signature in black ink, appearing to read "Andrew Woodward".

Andrew Woodward, PLA  
Alfred Benesch & Company

attached images - Y:\Glastonbury\707008\70757\_01\_Flar-Manch\_Library\Survey\060940\_ae\060940\_ae.aid

PAPER SPACE LAYOUT NAME:  
TWO VIEW:  
LAYER MANAGER NAME:  
PLOT TABLE: STB



**LEGEND**

**UTILITY SERVICES (UNDERGROUND OR OVERHEAD)**

—E—	ELECTRIC SERVICE
—G—	GAS PIPES
—SAN—	SANITARY SEWER PIPES
—S—	STORM DRAIN MANHOLE
—STM—	STORM WATER PIPES (LESS THAN 12")
—T—	STORM WATER PIPES (12" OR LARGER)
—W—	STEAM PIPES (SUPPLY & COND.)
—T—	TELEPHONE SERVICE
—W—	WATER PIPES
—COM—	COMMUNICATION/FIBER OPTIC SERVICE
—FP—	FIRE PROTECTION PIPES
—UG—	UNKNOWN UTILITY SERVICE
—OH—	OVERHEAD WIRES

**PROPERTY/BOUNDARY LINES**

—	PROPERTY/BOUNDARY LINES (CLASS A-2)
—	PROPERTY/BOUNDARY LINES (CLASS D)
—	EASEMENT LINES

**FEATURE LINES**

—	CURBED ROADWAY
—	EDGE OF PAVED ROAD/DRIVE
—	BUILDING ROOFLINE (AERIAL PHOTOS)
—	RETAINING WALL
—	STOCKADE FENCE
—	CHAIN LINK/WIRE FENCE
—	TREE/VEGETATION LINE
—	STONE WALL
—	SURFACE WATER (WATERCOURSE)
—	WETLANDS LIMIT
—	EDGE OF LANDSCAPING
—	INTERMEDIATE CONTOUR
—	INDEX CONTOUR

**SYMBOL LEGEND**

○	CATCH BASIN
○	ROUND DRAIN
○	SQUARE DRAIN
○	STORM DRAIN MANHOLE
○	ELECTRIC MANHOLE
○	SANITARY MANHOLE
○	STEAM MANHOLE
○	TELEPHONE MANHOLE
○	WATER MANHOLE
○	MANHOLE (OF UNKNOWN TYPE)
○	HAND HOLE (SQ. / REC.)
○	WATER VALVE
○	GAS VALVE
○	HYDRANT
○	COMBO STANDPIPE
○	GUY WIRE
○	SION (SINGLE POST)
○	SION (DOUBLE POST)
○	BORING (AS DRILLED)
○	BORING (AS STAKED)
○	SPOT ELEVATION
○	WETLANDS FLAG
○	NORTH
○	UTILITY MONUMENT (SET AS 2' OFFSET)
○	IRON PIPE OR REBAR FOUND
○	IRIGATION CONTROL BOX
○	EMERGENCY PHONE
○	TRAFFIC CONTROLLER CABINET
○	UTILITY POLE
○	UTILITY POLE W/ LIGHT
○	STREET LIGHT
○	LIGHT POST
○	BOLLARD LIGHT
○	BOLLARD / ROCK
○	CONCRETE SHRUB
○	DECIDUOUS SHRUB
○	DECIDUOUS TREE (SAPLING)
○	DECIDUOUS TREE
○	CONIFER TREE

**ABBREVIATIONS**

A/C	AIR CONDITIONER
AT&T	AMERICAN TELEPHONE & TELEGRAPH COMPANY
B.F.	BETHELMANS
B.L.	BLACK
C.B.	CATCH BASIN
COM	COMMUNICATION
CON	CONCRETE
CONC	CONNECTICUT NATURAL GAS
CL	CENTERLINE
CLIP	CHAIN LINK FENCE
CP	CONNECTICUT LIGHT & POWER COMPANY
DEC	CONTROL POINT
DMH	DECIDUOUS
E	DRAINAGE MANHOLE
EL	EAST OR ELECTRIC
EL	ELECTRIC
EMH	ELECTRIC MANHOLE
FL	FLOW LINE
FOUND	FOUND
GRAN	GRANITE
GSTC	GRANITE STONE CURB
HELCO	HARTFORD ELECTRIC COMPANY
HYD	HYDRANT
H.M.	HAND HOLE
L.P.	LIGHT POLE
M	MANHOLE
M	METER
M.W.	MONITOR WELL
N	NORTH
NAD	NORTH AMERICAN DATUM
NAVD	NATIONAL AMERICAN VERTICAL DATUM
NE	NORTHEAST
NW	NORTHWEST
NW	NOW OR FORMERLY
P.V.	POLYMER CHLORIDE
P.W.	POST INDICATOR VALVE
RET	RETAINING
REP	REINFORCED CONCRETE PIPE
RL	RAIN LEADER
S	SOUTH OR SUPPLY
SE	SOUTHEAST
SW	SOUTHWEST
SM	SANITARY
SMH	SANITARY MANHOLE
SNET	SOUTHERN NEW ENGLAND TELEPHONE
SI	SQUARE
STM	STEAM
TEL	TELEPHONE MANHOLE
T.F.	TOP OF FRAME
UNK	UNKNOWN
W	WATER OR WEST
W.G.	WATER GATE

- MAP REFERENCES**
1. PLAN PREPARED FOR ATLANTIC FENCE COMPANY NO 1041-1043 MAIN STREET MANCHESTER, CONN FOR FENCE PERMIT ONLY SCALE 1"=20' DATE 8-8-87 SHEET 1 OF 1 BY MEEHAN ASSOCIATES
  2. PLAN SHOWING EASEMENT CONVEYED TO THE TOWN OF MANCHESTER BY MANCHESTER STATE BANK 22 MAPLE STREET MANCHESTER, CONN SHEET 1 OF 1 DATE DEC 1993 SCALE 1"=20' BY THE TOWN OF MANCHESTER DEPARTMENT OF PUBLIC WORKS
  3. PLAN OF PARCEL OF LAND CONVEYED TO MARY & FRANCIS GUINPERO #1065-#1069 MAIN STREET MANCHESTER, CONN SHEET 1 OF 1 DATE OCT 1994 SCALE 1"=20' NY THE MANCHESTER DEPARTMENT OF PUBLIC WORKS
  4. EASEMENTS FOR PORTER STREET RELIEF SEWER SANITARY SEWER SYSTEM IMPROVEMENTS MANCHESTER, CONNECTICUT PROJ NO 83-142A DATE JAN 1985 SCALE 1"=40' SHEET 1 OF 2 REVISED THROUGH 3/2/85 BY FUSS & O'NEILL, INC

- SURVEY NOTES**
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT & CERTIFICATION FOR SURVEYS AND MAPS, AS AMENDED OCTOBER 26, 2018."
    - 1.1. THE TYPE OF SURVEY IS A PROPERTY/BOUNDARY, TOPOGRAPHIC AND GENERAL LOCATION SURVEY.
    - 1.2. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
    - 1.3. THE ACCURACIES ARE AS FOLLOWS:
 

HORIZONTAL CONTROL	CLASS "A-2"
VERTICAL CONTROL	CLASS "V-2"
BOUNDARY	CLASS "A-2"
TOPOGRAPHY	CLASS "T-2"
  2. THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAVD '88 DATUMS. COORDINATES WERE ESTABLISHED BY TIEING INTO THE TOWN OF MANCHESTER CONTROL MONUMENTS #255 AND #254.
  3. UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND ALFRED BENESECH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCES OF WHICH ARE UNKNOWN TO ALFRED BENESECH & COMPANY. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.
  4. THE SUBJECT PROPERTY'S CURRENT DEED CAN BE FOUND IN VOLUME 518 PAGE 60 OF THE CITY OF WEST HAVEN LAND RECORDS.
  5. THE PROPERTY IS LOCATED IN THE "CBD" ZONE PER TOWN.
  6. THE PROPERTY LIES WITHIN THE "OTHER AREAS ZONE 'X' - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." PER THE FEMA FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 394 OF 675 MAP NUMBER: 0900300394F EFFECTIVE DATE: SEPTEMBER 26, 2008
  7. TOTAL PARCEL AREAS
 

7.1. 1041 MAIN STREET	41,150 SQ FT = 0.945 ACRES
7.2. 18 MAPLE STREET	4,735 SQ FT = 0.109 ACRES
7.3. 22 MAPLE STREET	17,665 SQ FT = 0.406 ACRES
7.4. 25 ELDRIDGE STREET	6,738 SQ FT = 0.155 ACRES
TOTAL	70,288 SQ FT = 1.614 ACRES

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

DAVID A. CARICCHIO, P.L.S. No. 70036 DATE  
ALFRED BENESECH & COMPANY, GLASTONBURY, CONNECTICUT  
(not valid without original signature and embossed seal)



**REVISIONS**

NO.	DATE	DESCRIPTION

**SCALE: HORIZ. 1" = 20'**

**VERT.:**

**SURVEY DATUM: HORIZ: NAD 1983**

**VERT.: NAVD 1988**

**GRAPHIC SCALE**

0 10 20

Prepared By:

**BOUNDARY-TOPOGRAPHIC SURVEY**

PREPARED FOR

**TOWN OF MANCHESTER**

1041 MAIN STREET, 18 MAPLE STREET,  
22 MAPLE STREET & 25 ELDRIDGE STREET

MANCHESTER CONNECTICUT

**benesch**

Alfred Benesch & Company  
Glastonbury, Connecticut 06033  
Phone (860) 633-8341, Fax: (860) 633-1088  
www.benesch.com

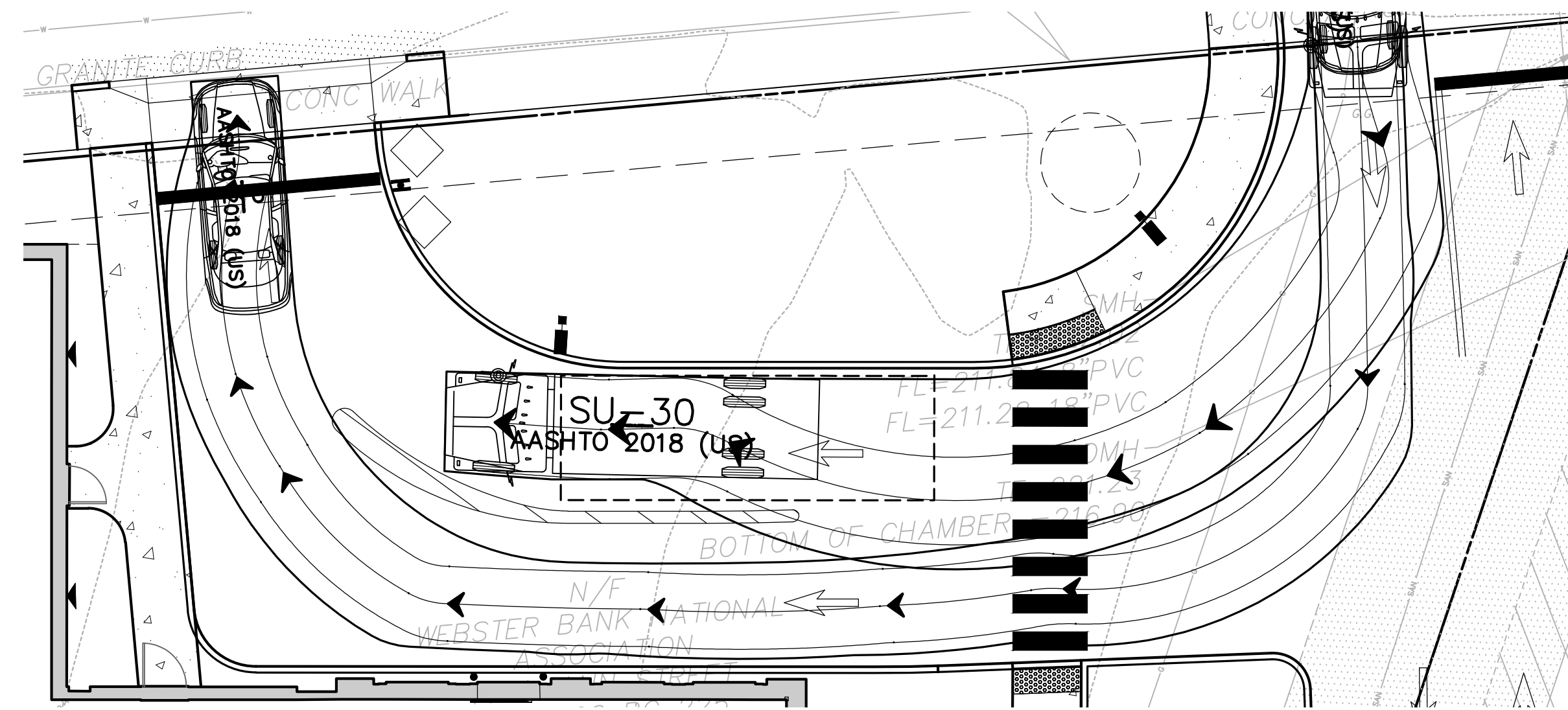
PROJ. No.: 70757.01

DATE: FEB 2024

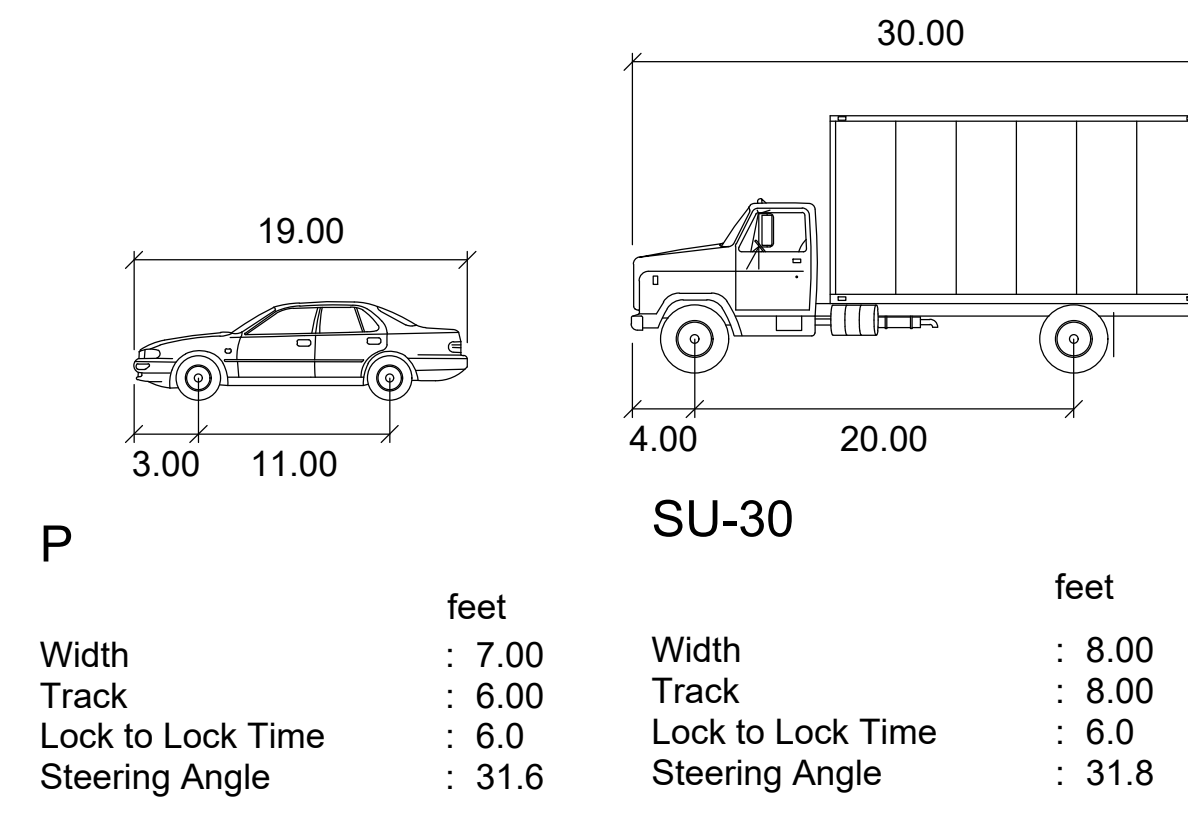
**SV.01**

File Location/Name - Y:\Glastonbury\707008\70757\_01\_Flar-Manch\_Library\Survey\060940\_ae\060940\_ae.aid  
Date of Plot: January 31, 2024 - 9:48 AM

VEHICULAR MOVEMENT PLAN



VEHICLE TEMPLATES

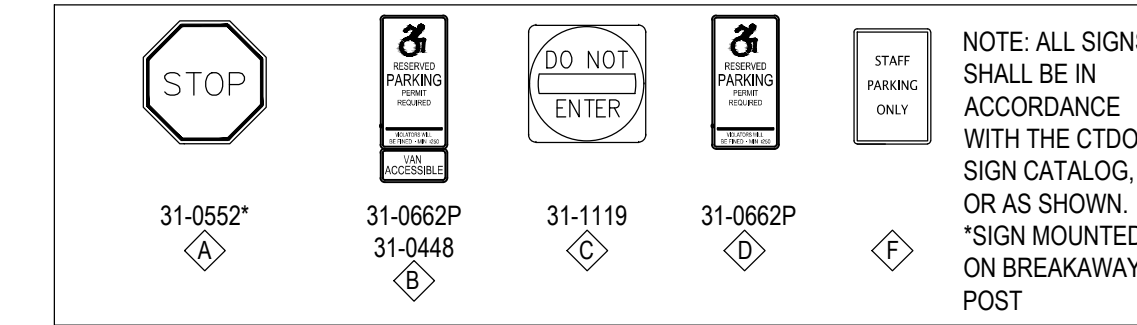


P	feet	feet
Width	: 7.00	: 8.00
Track	: 6.00	: 8.00
Lock to Lock Time	: 6.0	: 6.0
Steering Angle	: 31.6	: 31.8

LEGEND

ITEM	EXISTING	PROPOSED
PROJECT LIMIT LINE	---	---
BUILDING LINE	---	---
CONCRETE WALK CURB	---	---

SIGN LEGEND



GENERAL NOTES

- EXISTING INFORMATION BASED UPON TOWN OF MANCHESTER GIS, ACCESSED DECEMBER 2023.
- NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT AREA.
- THE PROJECT AREA IS CLASSIFIED AS FEMA ZONE X, WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD.
- THE PROJECT IS NOT LOCATED WITHIN AN AQUIFER PROTECTION AREA.
- THE PROJECT SITE HAS 3 FRONT YARDS AND 1 SIDE YARD.

ZONING CHART

ITEM	REQUIREMENT	PROPOSED	REFERENCE
MAX. FRONT SETBACK [FT]	5'	0	II.15.04.01
MIN. SIDE YARD ABUTTING RESIDENTIAL DISTRICT [FT]	8	8	II.9.06.01.01
MIN. REAR YARD [FT]	30	N/A	II.9.06.01.01
MAX. BUILDING HEIGHT [FT]	75	51.5	II.15.04.01
MIN. PARKING SPACE DIMENSION [FT]	9X18	9X18	IV.9.01.02
MIN. AISLE WIDTH (2-WAY) [FT]	24	22	IV.9.02.10(a)
MIN. AISLE WIDTH (1-WAY) [FT]	16	16	IV.9.02.10(b)
MIN. AISLE WIDTH (1-WAY W/60 DEG PARKING) [FT]	18	18	IV.9.02.10(c)
MIN. NUMBER OF PARKING SPACES	280	50	IV.9.03
MIN. NUMBER OF ADA PARKING SPACES	2 <sup>2</sup>	2	2010 ADA REG'S

NOTES:

- MAXIMUM SETBACK FROM MAIN STREET - 5 FEET FOR THE ENTIRE LENGTH OF THE BUILDING. UP TO 50% OF A BUILDING'S FRONTAGE ON MAIN STREET MAY BE SET BACK FURTHER PROVIDED THE SPACE CREATED INCLUDES OUTDOOR DINING SPACE ASSOCIATED WITH AN ADJACENT RESTAURANT OR PUBLIC SPACES, PLAZAS AND SIMILAR AMENITIES DEVELOPED AS PART OF THE PROJECT AND LEGALLY ACCESSIBLE TO THE GENERAL PUBLIC.
- PER 2010 ADA STANDARDS, WHEN 0-50 PARKING SPACES ARE PROVIDED, 2 SHALL BE ACCESSIBLE.

**FRIAR** architecture interior design master planning  
21 Talcott Notch Road Farmington, CT 06032 friar.com 860.678.1291

PROFESSIONAL SEAL  
STATE OF CONNECTICUT  
JAMES W. WELLS  
REGISTERED PROFESSIONAL ENGINEER  
No. 10000

**HBM** ARCHITECTURE INTERIOR DESIGN  
HBM Architects, LLC  
1382 W. Ninth Street, Suite 300  
Cleveland, Ohio 44113  
PH: 216.241.1100  
CONSULTANT

**benesch**  
Benesch  
120 Hebron Avenue, 2nd Floor  
Glastonbury, Connecticut 06033  
860-633-8341

**MANCHESTER PUBLIC LIBRARY**  
1041 Main Street, Manchester, CT 06040

REVISIONS

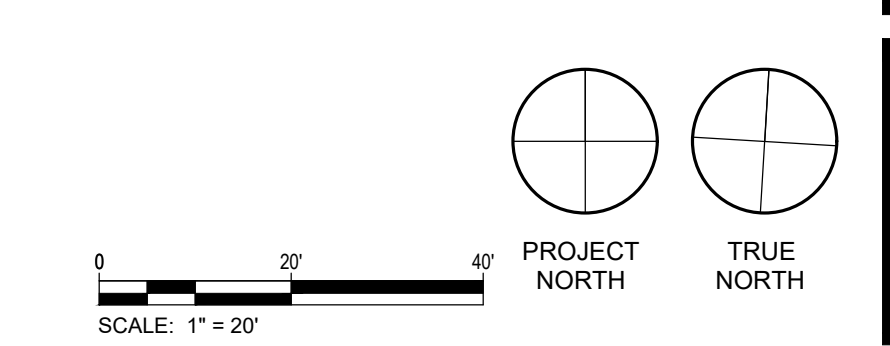
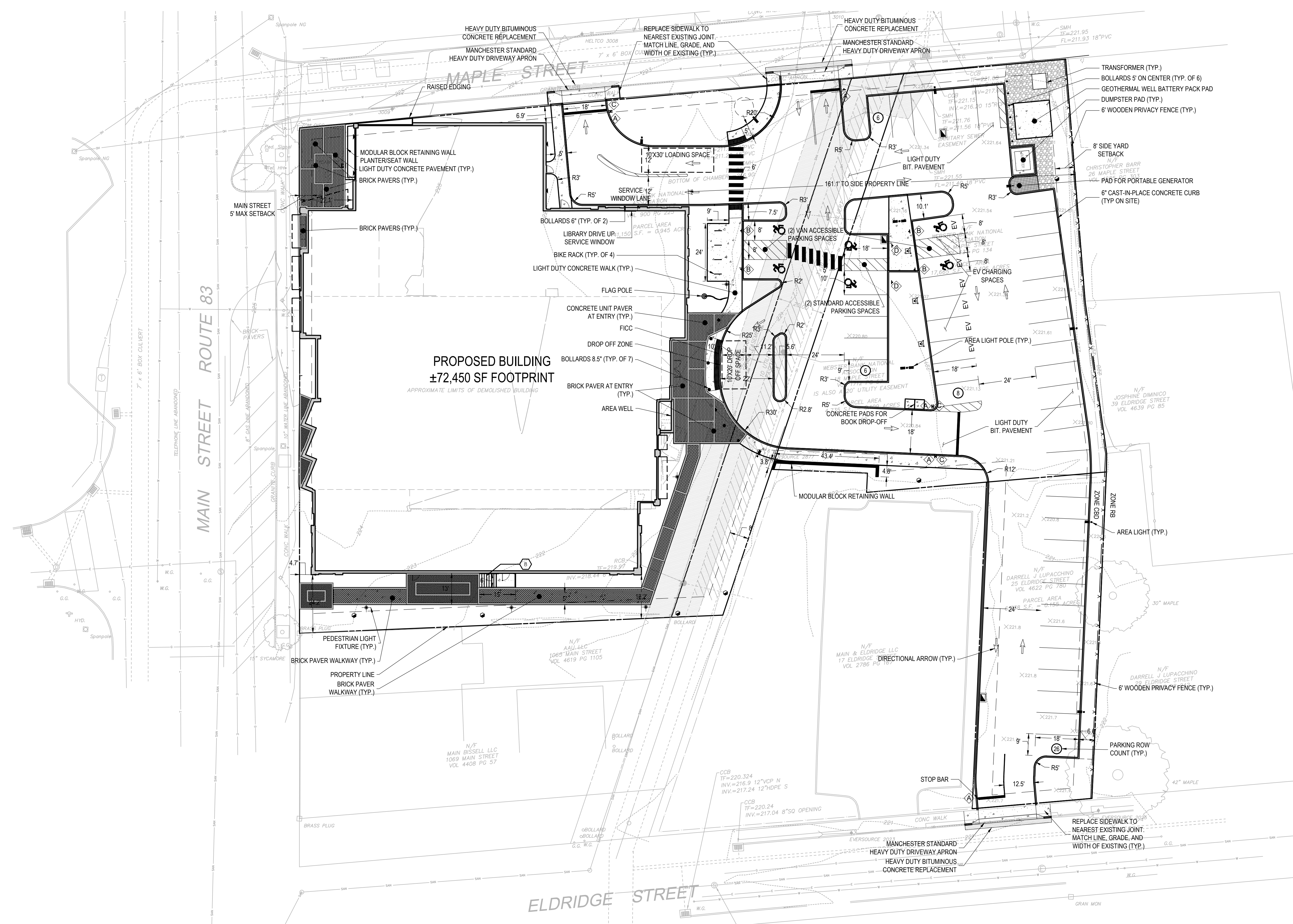
NO.	DATE	DESCRIPTION
07/03/2024		E&S Plan Submission

NOT FOR CONSTRUCTION

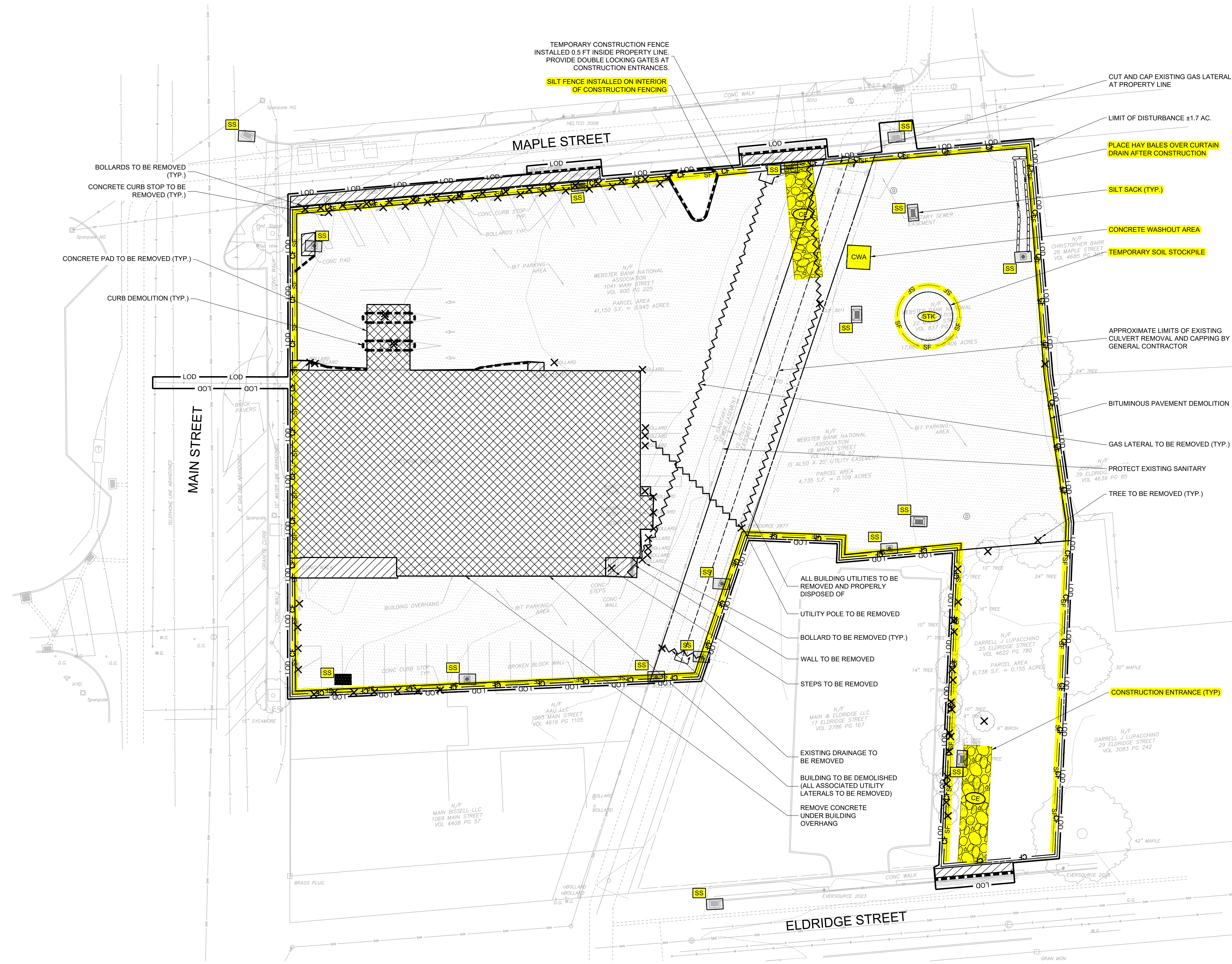
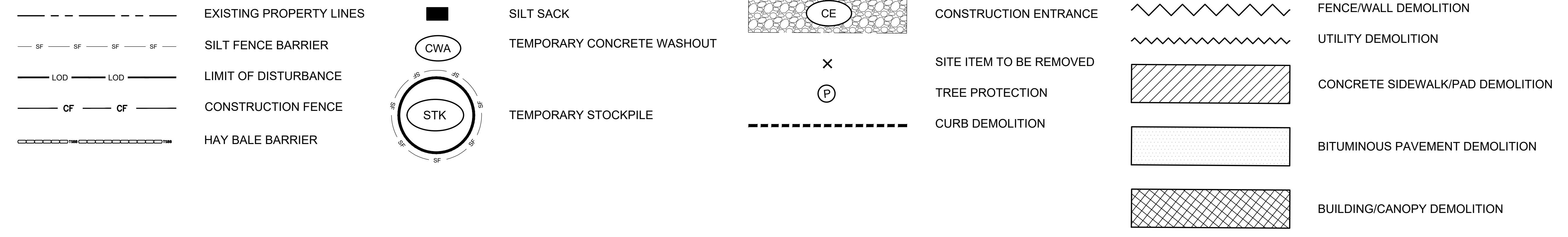
MANCHESTER LIBRARY  
**SITE PLAN**

DATE: 12/19/2023  
SCALE: 1" = 20'-0"  
PROJ. #: 70757.01  
DRAWN: AMW  
CHECKED: GWG

SHEET NO.  
**C2.0**



**DEMOLITION AND EROSION CONTROL LEGEND**



**FRIAR**  
 architecture  
 interior design  
 master planning  
 21 Talcott Notch Road Farmington, CT 06032 friar.com 860.678.1291

**PROFESSIONAL SEAL**  
 STATE OF CONNECTICUT  
 REG. PROFESSIONAL ENGINEER  
 JOHN G. WELLS  
 No. 4200

**HBM**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 HBM Architects, LLC  
 1382 W. Ninth Street, Suite 300  
 Cleveland, Ohio 44113  
 PH: 216.241.1100  
 CONSULTANT

**benesch**  
 Benesch  
 120 Hebron Avenue, 2nd Floor  
 Glastonbury, Connecticut 06033  
 860-633-8341

**MANCHESTER PUBLIC LIBRARY**

1041 Main Street, Manchester, CT 06040

**REVISIONS**

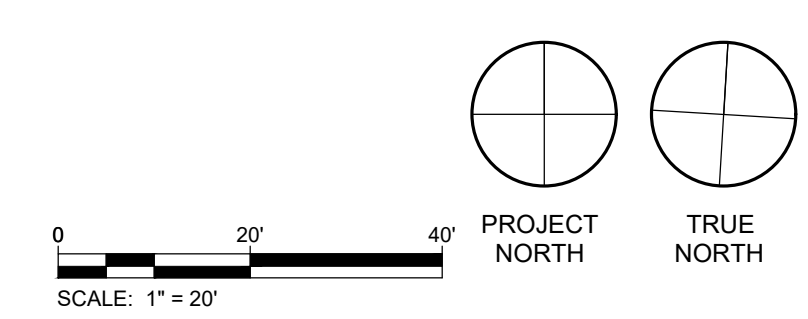
NO.	DATE	DESCRIPTION
07/03/2024	07/03/2024	E&S Plan Submission

**NOT FOR CONSTRUCTION**

**SITE PREPARATION AND EROSION CONTROL PLAN**

DATE: 12/19/2023  
 SCALE: 1" = 20'-0"  
 PROJ. #: 70757.01  
 DRAWN: RLC  
 CHECKED: GWG

**SHEET NO. C1.0**





PROFESSIONAL SEAL

1041 Main Street, Manchester, CT 06040

REVISIONS		
NO.	DATE	DESCRIPTION
07/03/2024		E&S Plan Submission

NOT FOR CONSTRUCTION

MANCHESTER LIBRARY  
**SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS**

DATE: 12/19/2023  
 SCALE: AS NOTED  
 PROJ. #: 70757.01  
 DRAWN: RLC  
 CHECKED: WGW  
 SHEET NO. **C1.1**

**EROSION AND SEDIMENT CONTROL NOTES:**

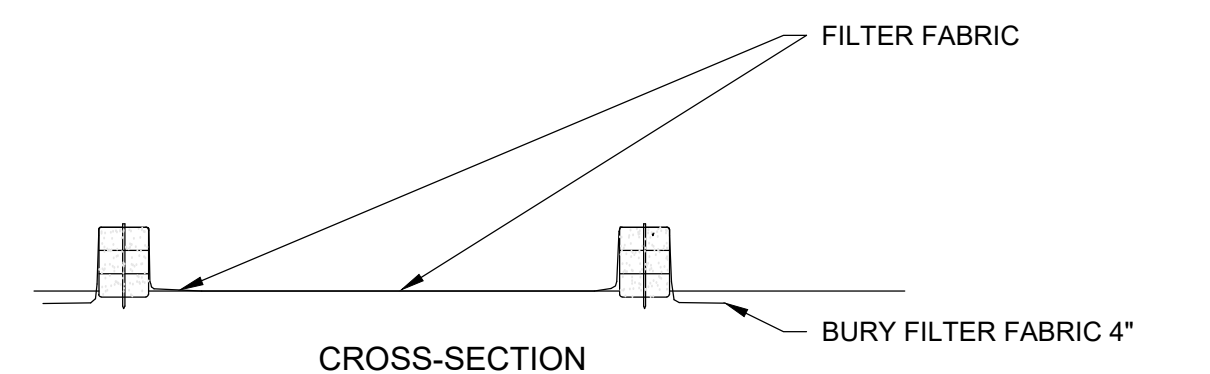
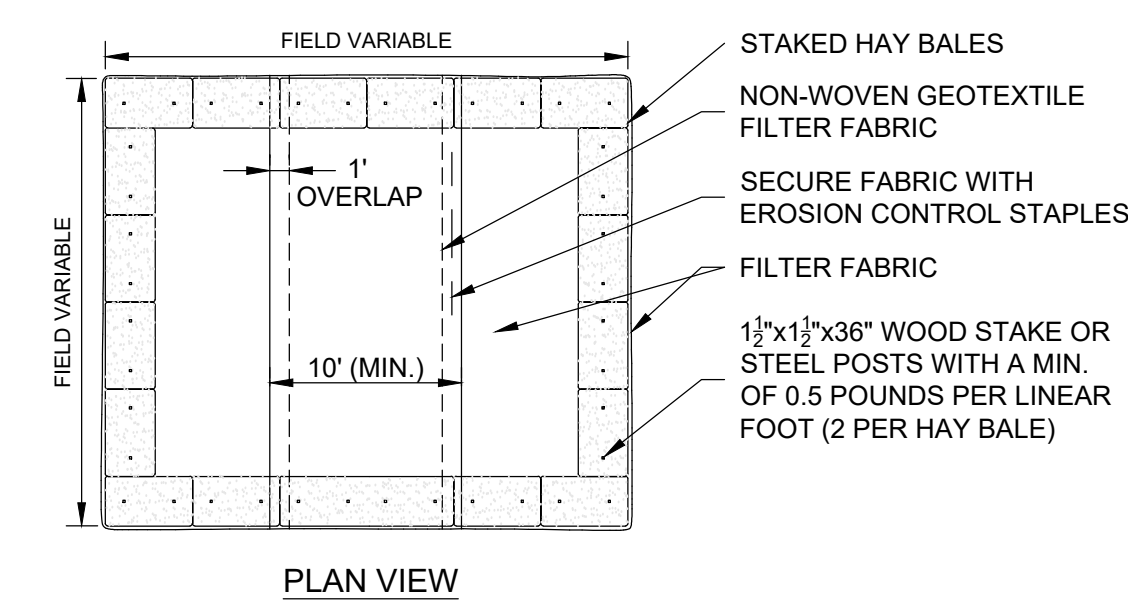
- THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY SITE WORK. CONTROLS SHOULD BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. EXCAVATED MATERIAL SHOULD NOT BE DISPOSED OF IN THE WETLAND AREA. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
- MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
- ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT'S GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER. COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.
- PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
- ALL TEMPORARY SLOPES IN EXCESS OF 3 (HORIZONTAL) TO 1 (VERTICAL) SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR APPROVED EQUIVALENT.
- NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
- FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
- SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER.

**CONSTRUCTION SEQUENCE**

- CONDUCT A PRE-CONSTRUCTION MEETING WITH APPLICABLE PARTIES.
- INSTALL CONSTRUCTION ENTRANCE AND CATCH BASIN INSERTS
- INSTALL PERIMETER CONTROLS AND TREE PROTECTION
- REMOVE EXISTING ITEMS IN CONFLICT WITH PROPOSED WORK
- PERFORM BULK EARTHWORK OPERATIONS.
- BEGIN BUILDING FOUNDATION CONSTRUCTION.
- CONSTRUCT SITE UTILITIES.
- CONSTRUCT HARDSCAPE.
- CONSTRUCT LANDSCAPE ELEMENTS AND OTHER SITE AMENITIES.
- AT THE CONCLUSION OF CONSTRUCTION, AND UPON SITE STABILIZATION, CLEAN THE ENTIRETY OF THE ON-SITE STORM SEWER

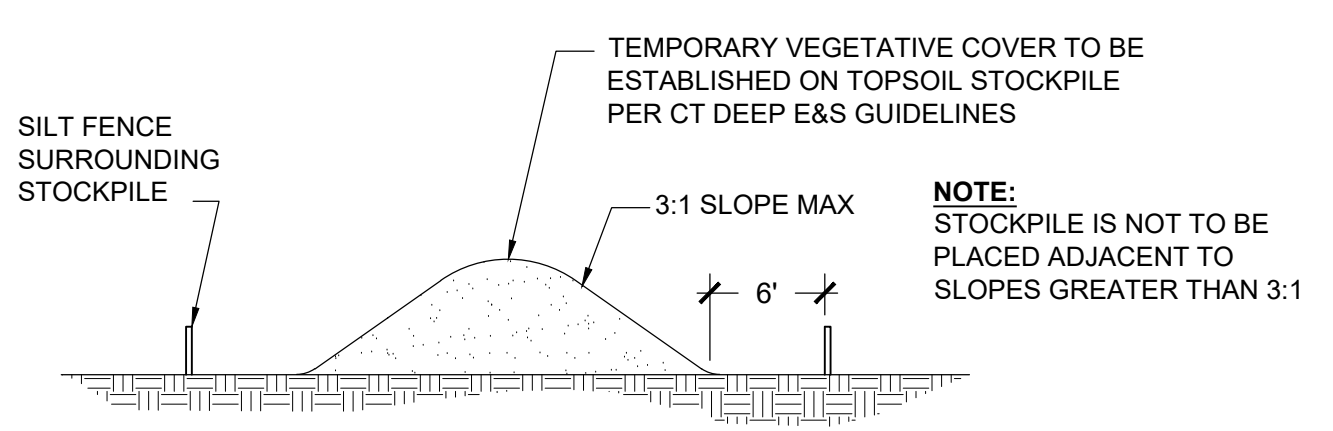
**INSPECTION AND MAINTENANCE SCHEDULE**

ITEM	CRITERIA	FREQUENCY
CATCH BASIN INSERT	CLEAN CATCH BASIN GRATE, REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
SILT FENCE	REPAIR/REPLACE WHEN FAILURE OBSERVED, REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
CONSTRUCTION ENTRANCE	SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY, REFRESH STONE AS NECESSARY, REMOVE SILTED GRAVEL	WEEKLY
EXPOSED SOILS	PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP	DAILY

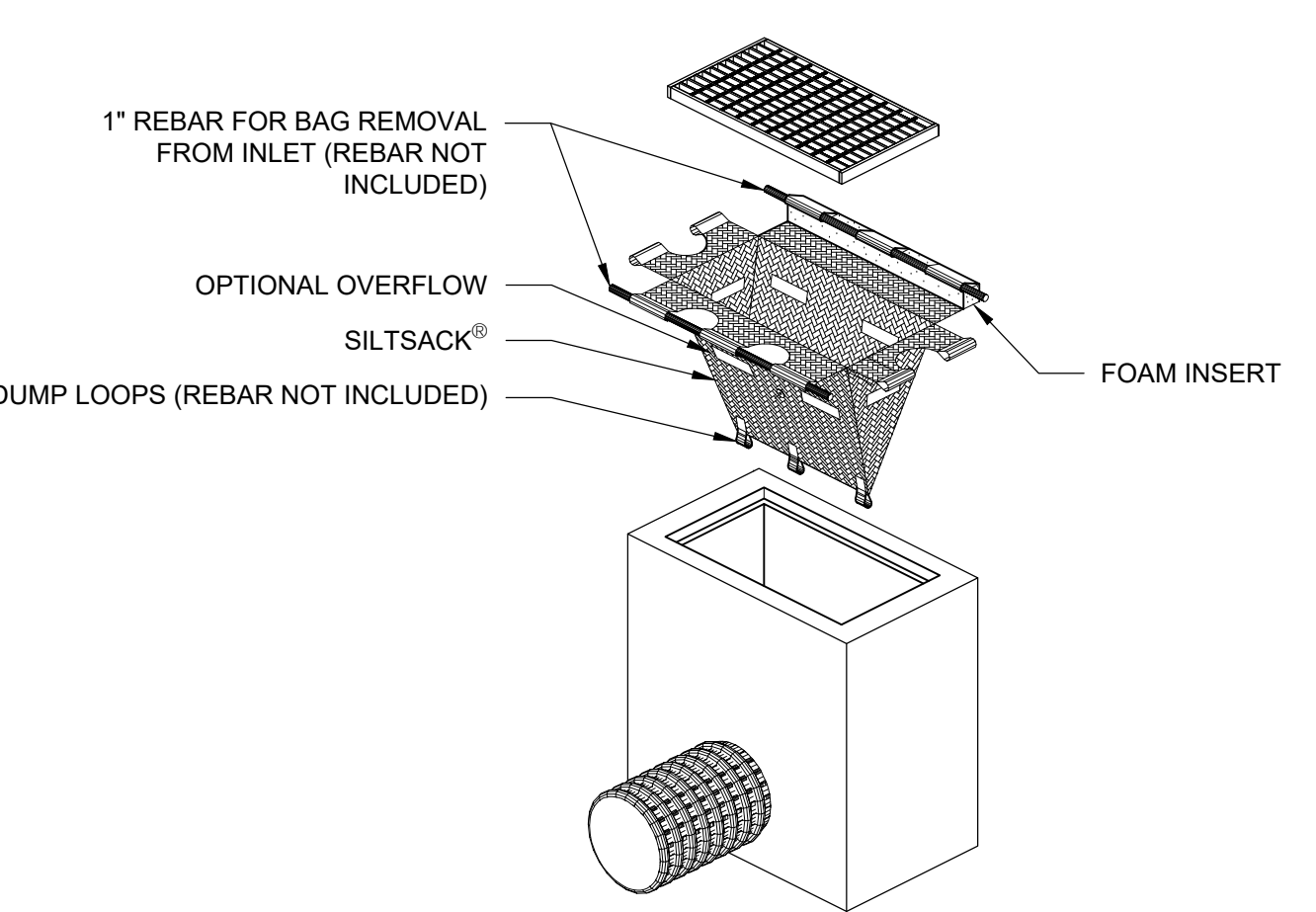


- NOTES:
- CONSTRUCT WASHOUT AREA LARGE ENOUGH TO ENSURE MATERIALS WILL BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
  - WASHOUT AREA SHALL BE LARGE ENOUGH TO RETAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT OPERATION.
  - WEEKLY INSPECTIONS OF WASHOUT AREAS SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE WASHOUT AREA.

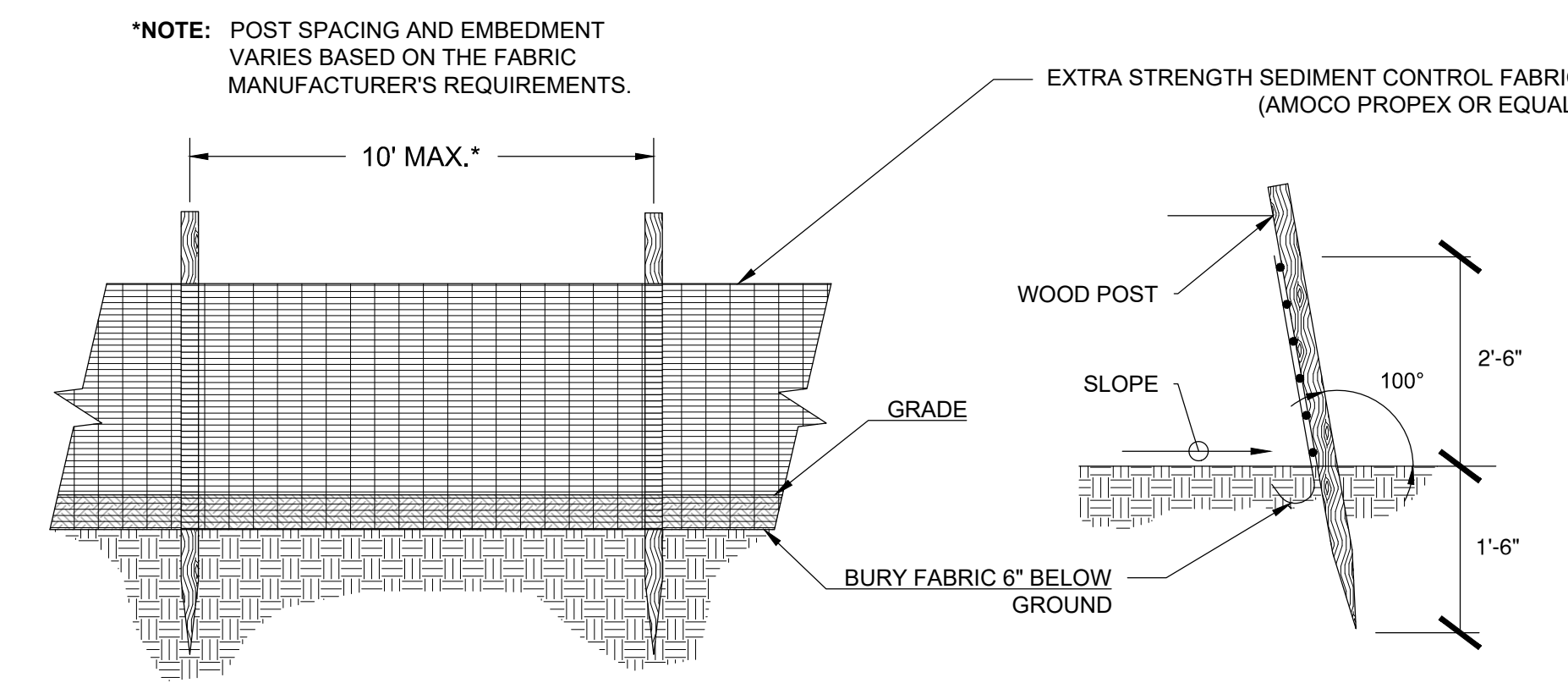
**TEMPORARY CONCRETE WASHOUT AREA (CWA)**  
 N.T.S.



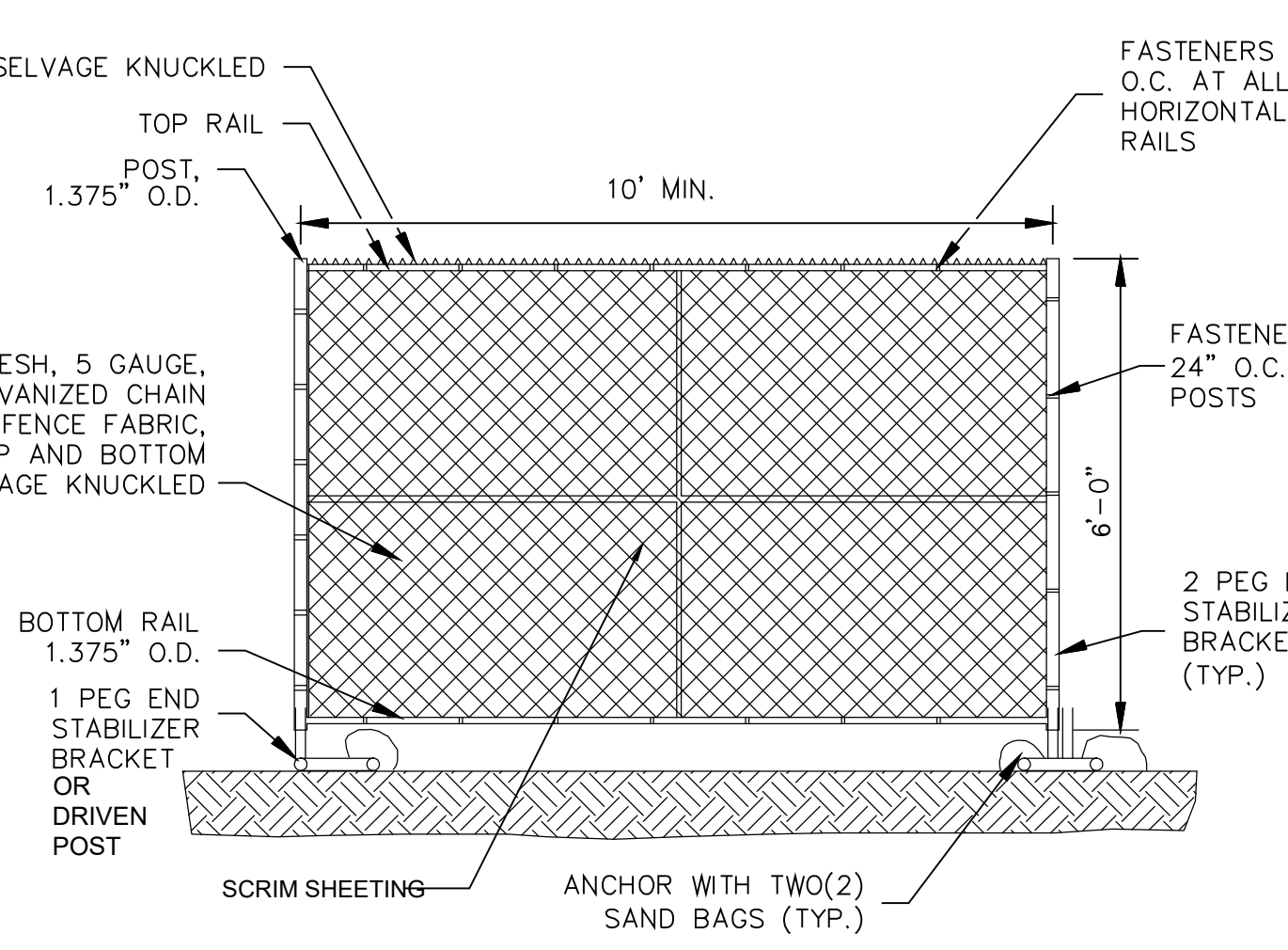
**TEMPORARY STOCKPILE (STK)**  
 N.T.S.



'SILTSACK' SEDIMENT CONTROL DEVICE, TERRAFIX GEOSYNTHETICS INC. TORONTO, ONTARIO, CA WWW.TERRAFIXGEO.COM

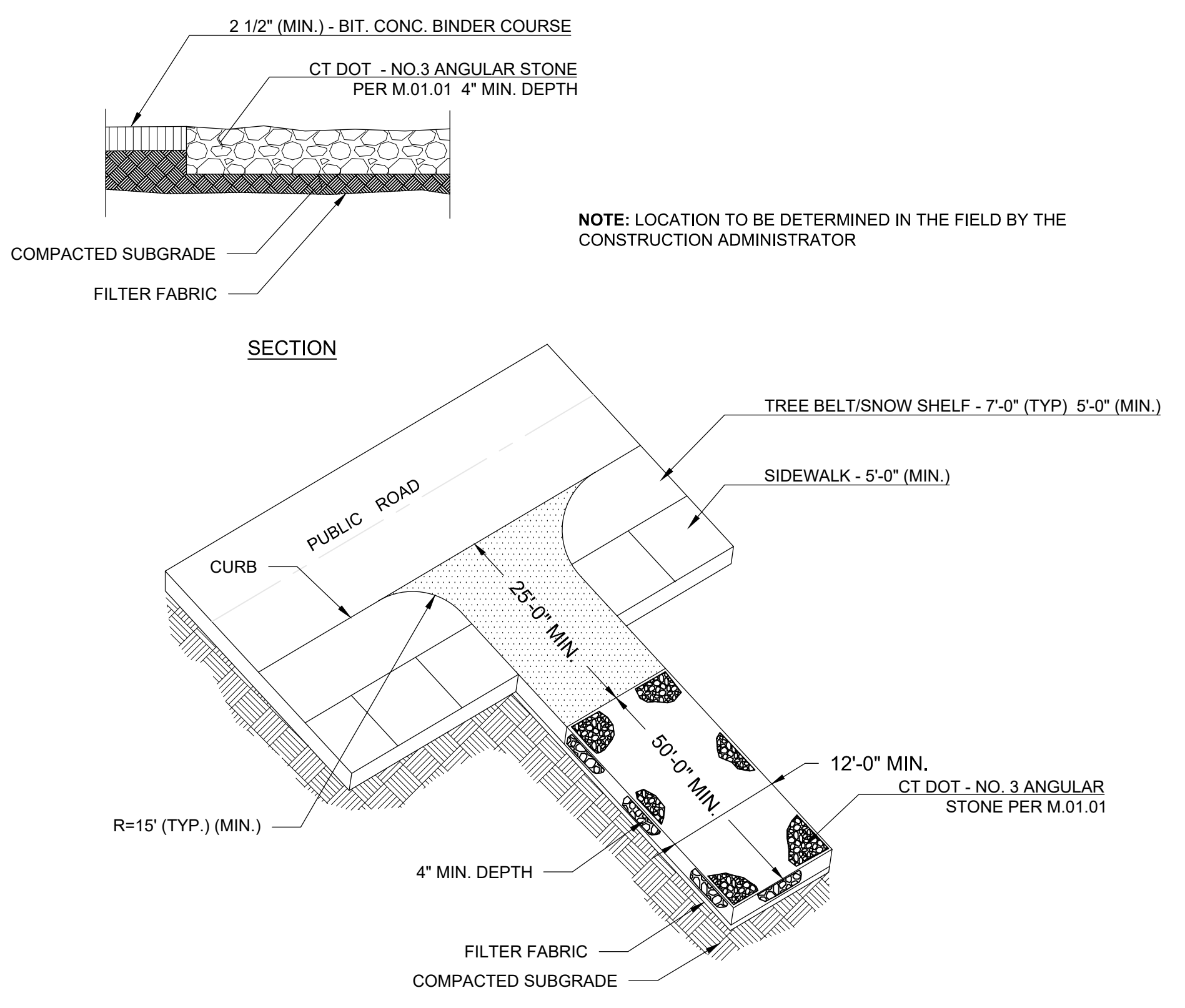


**SILT FENCE BARRIER (SF)**  
 N.T.S.



- NOTES:
- EACH STABILIZER BRACKET SHALL BE SECURED WITH TWO (2) SANDBAGS, MIN. 50 POUNDS EACH.
  - PANELIZED CONSTRUCTION FENCE SHALL ONLY BE USED AT CONSTRUCTION SITE ENTRANCE AREAS, AREAS REQUIRING FREQUENT RELOCATION OF FENCING, OR WHERE PAVED AREAS PROHIBIT INSTALLATION OF DRIVEN FENCE POSTS.

**CONSTRUCTION FENCE**  
 SCALE: NONE



**CONSTRUCTION ENTRANCE (CE)**  
 N.T.S.

PLAN

**DRAFT**

**TOWN OF MANCHESTER  
MINUTES OF BUSINESS MEETING  
PLANNING AND ZONING COMMISSION/  
INLAND WETLANDS AND WATERCOURSES AGENCY  
FOR THE MEETING OF  
JULY 1, 2024**

**MEMBERS PRESENT:**

In Person: Eric Prause, Chairman  
Patrick Kennedy, Vice Chairman  
Michael Stebe, Secretary  
Teresa Ike  
Daniela Luna  
Michael Farina

**ALTERNATE MEMBER SITTING:**

In Person: Zachary Schurin

**ALTERNATE MEMBER SITTING  
FOR APPROVAL OF MINUTES  
ONLY:**

In Person: Sara Van Buren

**ABSENT:**

Chris Schoeneberger  
Maliha Ahsan

**ALSO PRESENT:**

In Person: Megan Pilla, Principal Development Planner  
David Laiuppa, Environmental Planner/Wetlands  
Agent  
Electronically: Nancy Martel, Recording Secretary

The Chairman opened the Business Meeting at 7:00 P.M.

LUZERN ASSOCIATES LLC – Construction of a 144,074 sq. ft. distribution center/warehouse at 71 and 81 Commerce Road. – Inland Wetland Permit – Determination of Significance (IWP-0008-2024)

Mr. Christian Alford, Professional Engineer/Land Surveyor, 200 Pigeon Hill Road, Windsor, CT, introduced himself. Mr. Alford reported that they have submitted applications to the Town for the site plan and special use, as well as a wetlands permit. They are seeking a determination of whether there is significant impact associated with the project.



Mr. Alford reviewed the project, including the location of the site, a description of the site, the proposed building, and the parking spaces. He went on to detail the history of the property, which had no wetlands 20 years ago other than manmade wetlands. The existing conditions were displayed, as well as the wetlands that were created after the site was flattened and sat idle for 20 years. The proposed site plan was detailed, as well as the wetlands to be filled in. He believed it to be a significant activity, as wetlands will be filled in.

Mr. George Logan, REMA Ecological Services, 43 Blue Ridge Drive, Vernon, CT, introduced himself. A May 2024 report verifies the wetlands delineations, conducted between February and April 2024. Another report in the packet is a full wetlands assessment. Mr. Logan went through the report and described the wetlands in detail.

A conversation was held via Zoom with a member of the public regarding the procedures for public comments.

Mr. Stebe would like more information on the re-creation of the wetland on the southwest corner, essentially the town line one. It appears that the property will retain water higher than the elevation of the neighboring properties.

Mr. David Laiuppa reported that there are a few outstanding staff comments, most of which are not relevant to the determination of significance. One question that is relevant to the determination, which was discussed during the pre-application meeting, is about additional areas of investigation that were not originally delineated as wetlands. There has not been an answer to that question. Mr. Laiuppa delineated the items for the Commission's consideration.

#### Inland Wetland Permit – Determination of Significance (IWP-0008-2024)

**MOTION:** Mr. Farina moved to find the proposed activity at the above-referenced location as shown on the inland wetlands permit application IWP-0008-2024 may have a significant impact on the wetlands and therefore will require a public hearing. Mr. Kennedy seconded the motion and all members voted in favor.

Mr. Prause commented that this does trigger most of the criteria for requiring a public hearing, most notably the direct impact to the wetlands and the proposal to fill existing wetlands.

#### STEVEN BLANCHARD – Pre-application discussion for possible regulation amendment to allow new construction of duplexes in RA zone. – Pre-Application Review (PAR-0004-2024)

Mr. Prause explained to the new members of the Commission the procedures for a pre-application review, noting that there is no application filed at this point. Comments offered at this meeting are non-binding.

Mr. Steven Blanchard, Jr., a new construction homebuilder, Coventry, CT, introduced himself, stating that he owns 669 Hartford Road. He presented for consideration the regulation amendment to allow construction of new duplexes in the Residential RA zone.

Mr. Blanchard explained that he has a lot that abuts multi-family housing to the west, directly across the street from the Business II (B2) zone, and elderly housing to the east on Hartford Road. In his opinion, this is a great area for another duplex, as there is a shortage of new construction rental housing.

Mr. Prause asked what the current restrictions are on duplexes in that zone. Ms. Pilla explained that, currently, new construction of duplexes is not permitted in that zone. Conversion of an existing single-family house to a duplex is allowed by special exception.

Mr. Prause inquired about which zones allow new construction of a duplex. Ms. Pilla reported that it is allowed in the Planned Residential Development (PRD), Residence B (RB), and Residence C (RC) zones.

Mr. Kennedy asked whether there are zones where a single-family cannot be converted to a duplex. Ms. Pilla stated that it is allowed in every zone but Residence AA.

Ms. Kennedy observed that, in the Residence A (RA) zone and some others, a single-family home could be built and then converted to a duplex. Logically, there is an argument for allowing the building of duplexes by special exception.

Mr. Farina noted that he favors allowing it, as it seems backwards to allow only a single-family that can then be converted to a multi-family. He asked when the time is right to adjust the regulations to eliminate these types of obstacles. Mr. Farina observed that, if the Commission makes the regulation change, it would be town wide.

Ms. Pilla explained that Mr. Blanchard can make an application at any time. If he makes an application for a regulation amendment, the Commission cannot tell him he has to wait for the comprehensive update of the zoning regulations. However, if he wished to wait for the update, he certainly could.

Ms. Luna asked staff how much of Manchester is zoned Residence A. Ms. Pilla responded that she would have to look it up.

Mr. Stebe stated that, logically, it makes sense to build a duplex in that location, as it is essentially surrounded by either duplexes, Planned Residential Development areas, or businesses. He asked about the number of updates and changes to state law and whether the current RA zone lines up with those requirements.

Ms. Pilla responded that state law has not gone so far as to require that zoning regulations allow new construction of duplexes. As currently written, it is legal. The state appears to be moving toward requiring zoning regulations to be more flexible in terms of housing construction.

Mr. Stebe agreed with Mr. Kennedy about allowing duplexes by special exception and then tasking the working group with reviewing this on a more permanent and easier basis.

Mr. Kennedy added that, if this individual files an application, it should be viewed on its own merits. In his opinion, the comprehensive review will find other anomalies that will be flagged and changed across the board.

Mr. Prause explained to Mr. Blanchard that, in the past several months, the Commission has been hesitant to change things, as there is an ongoing review of the zoning regulations. They did not decide to implement some changes partly because of the comprehensive review. The Steering Committee is keeping an eye on the progress, timeline, and work scope of the project. He noted that, on the zoning map, the majority of housing north of I-384 is RA.

Mr. Farina asked, if a two-family in the RA zone is demolished and the footprint is changed, can a two-family be rebuilt? Ms. Pilla responded that, if there was an approval on the land records running with the land, they could. Otherwise, they could not.

Mr. Kennedy inquired if a conversion under the current regulations from a single to a duplex would be valid. Ms. Pilla stated that, if the footprint is changed, it would not be grandfathered in.

## **ADMINISTRATIVE REPORTS**

### Rules of Procedure Draft

Mr. Anderson has been working on the draft. He took Mr. Farina's suggestions and added some of his own. He has asked for feedback from the Town Attorney's office and the Chairman.

### Administrative Approvals:

- Mark Peterson – Lot Line Revision (LLR-0002-2024) – 483 Birch Mountain Road & 107 Blue Ridge Drive.

Mr. Stebe thanked Ms. Pilla for the documentation on administrative approval procedures. He asked whether the process is about an alignment or shift in line in an existing subdivision. He speculated on what goes into determining whether it is an administrative item or whether it should come to the Commission. Noting that it must be connected to a subdivision, he asked how far back that goes. He asked what determines whether an item is basic enough for Town staff to review vs. bringing it to the full Commission. He stated that the above property has been sitting whole for a long time.

Ms. Pilla stated that a large percentage of the town has been subdivided at one point or another. Anything that has been previously subdivided falls into that category. The determination is based on whether it is just taking a lot line and rearranging it somehow. There is no increase in density, no new lots, and no change in the number of houses to be built. She noted that this situation is different, as the properties face two different streets; one was selling the back portion of their lot to the other. It is reviewed by all the relevant departments: Zoning, Health, Fire, Engineering and Planning.

Mr. Stebe assumed that the property is still landlocked. There is not enough space on the property it is connected to for a wide enough road for access to a residential area.

Ms. Pilla reported that the two parcels in question both retain the same amount of frontage. She presented and explained the lot details.

Mr. Farina expressed his concerns over this being done administratively. The policy itself needs to be updated. Having read the former policies, he thought it seemed clear that it is about a subdivision and the developer or owner of the subdivision changing lines within that subdivision, and it makes sense to be done administratively. However, 483 Birch Mountain Road does not appear to be part of that subdivision. Administratively, with no input from the PZC, staff significantly expanded a subdivision. This should not be done administratively and, if the policy is being used to do anything anywhere in Manchester where there was a subdivision 60 years ago, that is not the intent. He went on to read the policy.

Ms. Pilla noted that the policy is at the end of the Rules of Procedure; it is the policy that Mr. Farina recommended be separated. She reported that 483 Birch Mountain Road was part of a different subdivision, not Highland Estates. The policy has always been that, as long as a property has been subdivided in the past, it is subject to this policy. If the Commission would like staff to review the policy, she is happy to do that. She speculated that it was not the intent for the Planning & Zoning Commission to have to review an application every time someone wants to transfer some land from one property to another.

Mr. Farina reported that he would be happy to revise the policy statement, which would implicitly have a time component to it. This policy is not about combining two subdivisions. It is about helping the developer make small changes in the subdivision that they are currently working on.

Mr. Kennedy noted that nothing has triggered this concern, and the policy has worked fine for the last 30 years. Bringing these to the Commission increases administrative costs for relatively minor changes. These are administrative in nature and there is no reason to involve the Commission.

After reviewing the policy, Mr. Stebe commented that the intent is to work within one subdivision.

Ms. Ike is concerned about the statement that this is how things have been done. If it is true that we have been adding two parcels together, it does not meet the intent of the policy, and we need to understand how many there were in the last five years.

Mr. Farina would like this added to the agenda for amendment at the next meeting. The policy needs to be clarified.

Ms. Luna expressed her support for reviewing the policy.

For clarity, Ms. Pilla asked whether staff is being asked to put this on an agenda, to do research, or to do nothing.

Mr. Prause assumed that the members would like this to be revised along with the rest of the Rules of Procedure that were already drafted. He speculated whether this is something that should be done first, before getting to the full Rules of Procedure.

Mr. Kennedy did not see any urgency in any of this.

#### Upcoming Training Opportunities

Ms. Pilla reported on a free virtual session offered by the UConn Center for Land Use Education and Research (CLEAR) on July 16 at 2:00 P.M. This would satisfy the affordable housing requirement. The annual meeting for the Connecticut Association of Conservation and Inland Wetlands Commissions (CACIWC) is November 16, with Inland Wetlands and Conservation sessions.

#### POCD Implementation Matrix Updated

The matrix has been updated and Ms. Pilla detailed the changes.

#### Direction from Commission – Timing of Regulation Amendment (HB-5474)

Ms. Pilla sought thoughts from the Commission on the approach to a regulation amendment. There was only one item that came from the state legislative session regarding zoning. It requires that zoning regulations allow for the conversion of nursing homes to multi-family housing by right. She asked whether the Commission would like that done immediately or would prefer to wait for the consultant to accomplish it in the updates.

Mr. Stebe suggested that, if there is no implementation timeline from the state, it should be included in the comprehensive review.

#### 260 Tolland Turnpike – Inland Wetlands Violation Update

Mr. Laiuppa referred to the letter to the property owner of 260 Tolland Turnpike. There has been an outstanding Cease and Correct Order. They had been working with staff, but there has been no contact with them on requests to respond. Because of that, and the egregious nature of the violation, a Notice of Intent for Court Injunction has been issued. He said he is working with the Town Attorney to escalate this. He detailed the specific conditions that were not met. They have an opportunity to reach out to the Town Attorney's office this week.

Mr. Stebe observed that the form letter includes "seeking court injunction and/or fines levied..." He asked Ms. Pilla if she knew where that stands.

Ms. Pilla reported that it is on the Board of Directors' next agenda on July 9. The Chairman has been invited to attend and explain the Commission's request.

Mr. Laiuppa stated that, regardless of the outcome of the Board of Directors' meeting, this tool will still be in place. The proposed fines would be in conjunction with State Statute Sec. 22(a)-44, which allows for up to \$1,000 per day from the date of offense or six months in jail.

After a question from Mr. Kennedy, Ms. Pilla stated that they were never aware of any plans. As far as they know, nothing has happened since then.

Mr. Laiuppa noted that this is not U-Haul, but a large corporation that does land work for the U-Haul properties. They have other properties in town. When asked what was going on, they said they were clearing the lot in anticipation of use as storage for U-Haul.

Mr. Prause commented that he had asked for a copy of the erosion & sedimentation control plan for Keeney Street school. He has observed changes there since the fall and would like to compare the current conditions to the plan. During a recent storm, the erosion and sedimentation filter fences in the southwest corner overflowed and there is scouring. It has not been cleaned up and he is concerned that they are not maintaining it. There is good evidence of the stockpile going into the upland review area. In the area where they are building the addition, the silt fence has been removed. There is a barrier fence that had gone along the south run of the property but that and the silt fence have been taken down. They have created another silt fence that is not on the plan that is way down the hill. Just looking at the map, it appears that the fence is in the wetlands. He was concerned that sediment would clog the wetland.

Mr. Laiuppa noted that what appears to be a wetland may not have been a delineated wetland.

Mr. Laiuppa stated that he will look into it. He stated that the placement of the silt fence is not as concerning as would be the intent of the silt fence. If it is placed in a wetland, there the anticipation that sediment will build up against it.

## **APPROVAL OF MINUTES**

June 17, 2024 – Public Hearing/Business Meeting

**MOTION:** Mr. Kennedy moved to approve the minutes as written. Mr. Stebe seconded the motion.

**MOTION:** Ms. Ike moved to amend the motion to add the modification that the minutes note that the meeting was held in the Manchester Room and no Silk City TV recording is available. Mr. Stebe seconded the motion to amend the motion and all members voted in favor, with Ms. Van Buren sitting in place of Ms. Luna, who abstained.

## **RECEIPT OF NEW APPLICATIONS**

1. **CAPITOL AUTOMOTIVE 2 LLC – Special Exception Modification (PSE-0003-2024)** – Construction of a new building to replace the existing structure destroyed by fire (Capitol Auto) and associated site improvements at 369 and 373 Main Street.

2. **HIGHLAND PARK MARKET OF MANCHESTER RE LLC – Special Exception Modification (PSE-0005-2024)** – Building additions and parking modification to Highland Park Market at 307 Highland Street.
3. **DWRE EAST CENTER, LLC – Zone Change (ZC-0001-2024)** – Change of zone from RB to B-3 for two small portions of the site at 25 East Center Street and 443 & 463 Main Street.

**MOTION:** Mr. Kennedy moved to adjourn the Business Meeting. Mr. Farina seconded the motion and all members voted in favor.

The Business Meeting closed at 8:35 P.M.

I certify these minutes were adopted on the following date:

\_\_\_\_\_

Date

\_\_\_\_\_

Eric Prause, Chairman

**NOTICE: A DIGITAL RECORDING OF THIS PUBLIC HEARING CAN BE HEARD IN THE PLANNING DEPARTMENT.**

**DRAFT**

**TOWN OF MANCHESTER  
MINUTES OF BUSINESS MEETING  
AQUIFER PROTECTION AGENCY  
FOR THE MEETING OF  
JULY 1, 2024**

**MEMBERS PRESENT:**

In Person: Eric Prause, Chairman  
Patrick Kennedy, Vice Chairman  
Michael Stebe, Secretary  
Teresa Ike  
Daniela Luna  
Michael Farina

**ALTERNATE MEMBER SITTING:**

In Person: Zachary Schurin

**ALTERNATE MEMBER SITTING  
FOR APPROVAL OF MINUTES  
ONLY:**

In Person: Sara Van Buren

**ABSENT:**

Chris Schoeneberger  
Maliha Ahsan

**ALSO PRESENT:**

In Person: Megan Pilla, Principal Development Planner  
David Laiuppa, Environmental Planner/Wetlands  
Agent  
Electronically: Nancy Martel, Recording Secretary

**AQUIFER PROTECTION AGENCY REGISTRATION RENEWAL REPORT**

Mr. Laiuppa reported that there were two registrations due for renewal on June 17<sup>th</sup>. Both applications were for the Plaza at Burr Corners, owned by The Plaza at Burr Corners, LLC, a subdivision of Winstanley Corporation.

One application was for the dry cleaner, which went out of business about five years ago. It was requested by the owner to let that registration expire. DEEP has a goal of letting things expire to protect aquifer areas. He explained that a registration is allowed to continue for a similar business if they wish to, but the owners declined.

Firestone continued their registration, and it was submitted on time. It is for oil or petroleum dispensing for the purpose of retail, wholesale or fleet use, and the repair or maintenance of vehicles or internal combustion engines of vehicles.



**APPROVAL OF MINUTES**

June 17, 2024

**MOTION:** Mr. Kennedy moved to approve the minutes of the Aquifer Protection Agency from June 17, 2024. Mr. Farina seconded the motion and all members voted in favor, with Ms. Van Buren sitting in place of Ms. Luna, who abstained.

**MOTION TO ADJOURN:** Mr. Kennedy moved to adjourn the meeting of the Aquifer Protection Agency. Mr. Farina seconded the motion and all members voted in favor.

The meeting closed at 8:40 P.M.

I certify these minutes were adopted on the following date:

\_\_\_\_\_

Date

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Eric Prause, Chairman

**NOTICE: A DIGITAL RECORDING OF THIS BUSINESS MEETING CAN BE HEARD IN THE PLANNING DEPARTMENT.**