

Sponsored by: Council Members Bibb and Koskela

AN ORDINANCE PROVIDING FOR THE REZONING OF CERTAIN TRACTS OF LAND LOCATED AT 210 and 220 RUSH WAY OWNED BY MBK REALTY, LLC. AND 40DD SPORTS, LLC, FROM C-2/GENERAL BUSINESS DISTRICT TO C-3/HIGHWAY COMMERCIAL DISTRICT.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF O'FALLON, MISSOURI, AS FOLLOWS:

SECTION 1: Pursuant to the provisions of Section 400.665 (A) of the Code of the City of O'Fallon, Missouri, as amended, the real estate described below is hereby rezoned from C-2/General Business District to C-3/Highway Commercial District.

Legal Description:

A TRACT OF LAND BEING LOT 4 AND LOT 5 OF CALEDONIA CENTER AMENDED PLAT, AS RECORDED IN PLAT BOOK 50 PAGE 371 OF THE ST. CHARLES COUNTY, MISSOURI, RECORDER'S OFFICE.

SECTION 2: All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 3: This ordinance shall be in full force and effect from and after its passage and approval by the Mayor.

First Reading: May 9, 2024

Second Reading: May 23, 2024

PASSED BY THE CITY COUNCIL FOR THE CITY OF O'FALLON, MISSOURI, THIS 23RD DAY OF MAY 2024.



Bill Hommes

Presiding Officer

Attest:

Katie Crabtree

Katie Crabtree, Assistant City Clerk

APPROVED BY THE MAYOR FOR THE CITY OF O'FALLON, MISSOURI, THIS 23RD DAY OF MAY 2024.



Bill Hennessy

Bill Hennessy, Mayor

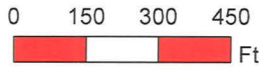
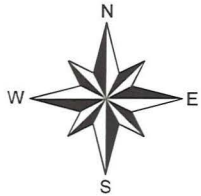
Attest:

Katie Crabtree


Katie Crabtree, Assistant City Clerk

Approved as to Form:
Kevin M. O'Keefe


Kevin M. O'Keefe, City Attorney

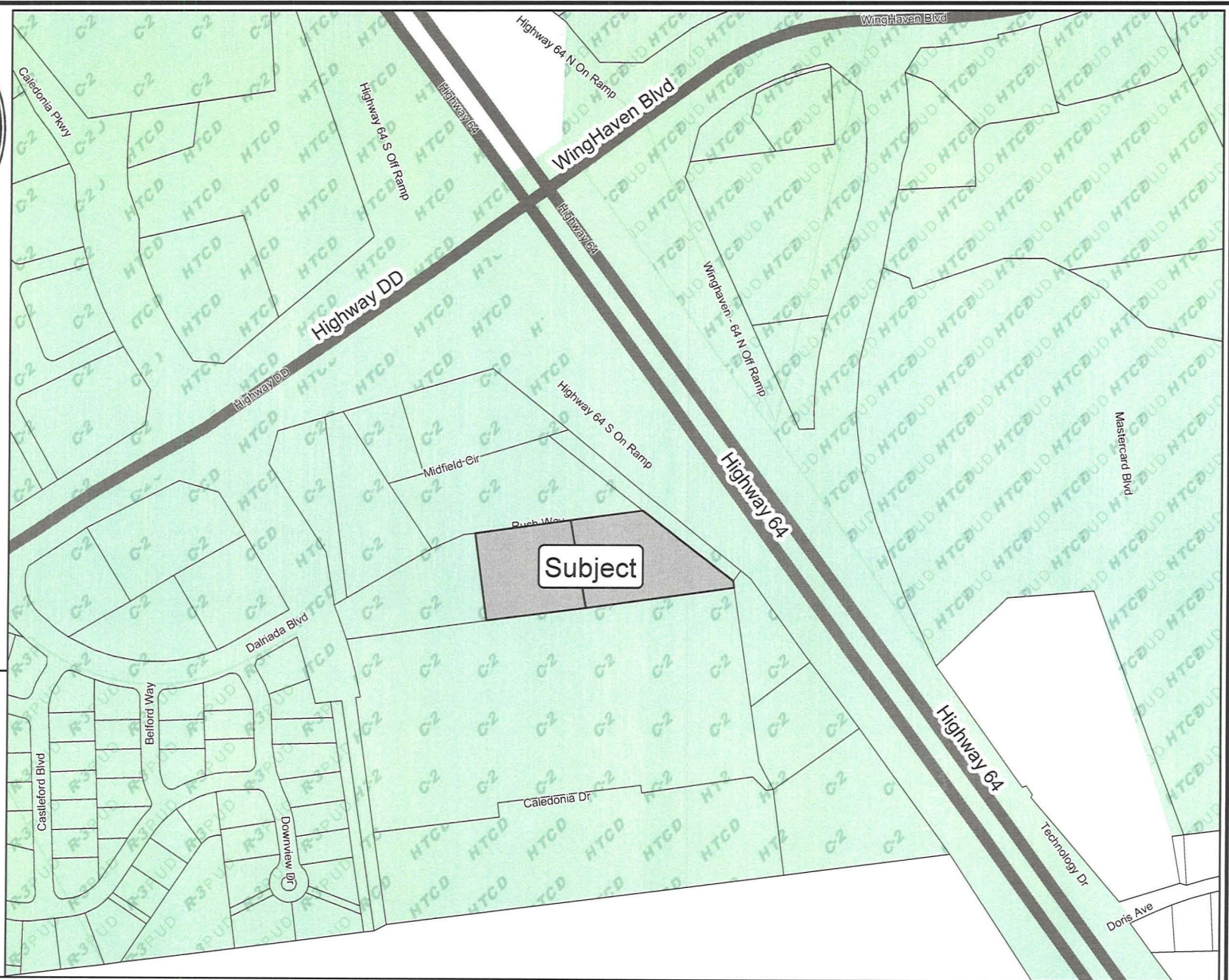


Legend

 Subject Property Location

R-1 Area Zoning Designation

 O'Fallon City Limits



210 & 220 Rush Way

GENERAL NOTES

- 1. DRIVEWAY LOCATIONS SHALL NOT INTERFERE WITH THE SIDEWALK HANDICAP CURBS OR CURB INLET SURFACES.
2. SIDEWALK, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE...
3. ANY PROPOSED PAVILIONS OR PLAYGROUND AREAS WILL NEED A SEPARATE PERMIT FROM THE BUILDING DIVISION.
4. THE CONTRACTOR IS RESPONSIBLE TO CALL MISSOURI ONE CALL AND THE CITY OF FALLON FOR THE LOCATION AND UTILITIES...
5. ALL PROPOSED UTILITIES AND/OR UTILITY LOCATIONS SHALL BE LOCATED UNDERGROUND.
6. ALL PROPOSED FENCING REQUIRES A SEPARATE PERMIT THROUGH THE BUILDING DIVISION.
7. ALL CONSTRUCTION OPERATIONS AND WORK ZONE TRAFFIC CONTROL WITHIN THE RIGHT OF WAY WILL FOLLOW MODOT OR...
8. INTENTIONALLY OMITTED.
9. ALL SUBDIVISION IDENTIFICATION OR DIRECTIONAL SIGNS MUST HAVE THE LOCATIONS AND SIZES APPROVED AND PERMITTED...
10. MATERIALS SUCH AS TREES, ORGANIC DEBRIS, RUBBLE, FOUNDATIONS, AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED...
11. THE CITY ENGINEER OR THEIR DULY AUTHORIZED REPRESENTATIVE SHALL MAKE ALL NECESSARY INSPECTIONS OF CITY...
12. ALL INSTALLATIONS AND CONSTRUCTION SHALL CONFORM TO THE APPROVED ENGINEERING DRAWINGS. HOWEVER, IF THE...
13. THE CITY ENGINEER OR THEIR DULY AUTHORIZED REPRESENTATIVE SHALL MAKE ALL NECESSARY INSPECTIONS OF CITY...
14. THE CITY ENGINEER OR THEIR DULY AUTHORIZED REPRESENTATIVE SHALL MAKE ALL NECESSARY INSPECTIONS OF CITY...

GRADING NOTES

- 1. DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH AN ENGINEER'S SOIL REPORTS PRIOR TO AND DURING SITE...
1.1. MAXIMUM DRY DENSITY
1.2. OPTIMUM MOISTURE CONTENT
1.3. MAXIMUM AND ALLOWABLE MOISTURE CONTENT
1.4. CURVE MUST BE PLOTTED TO SHOW DENSITY FROM A MINIMUM OF 90% COMPACTION AND ABOVE AS DETERMINED BY THE...
1.5. NATURAL MOISTURE CONTENT
1.6. LIQUID LIMIT
1.7. PLASTICITY INDEX
1.8. ALL PLACES WHERE THIS INFORMATION IS NOT PROVIDED TO THE CITY'S CONSTRUCTION INSPECTOR THE CITY WILL NOT ALLOW...
1.9. ALL FILL PLACED IN AREAS OTHER THAN PROPOSED STORM SEWERS, SANITARY SEWERS, PROPOSED ROADS, AND PAVED AREAS...
2. ALL EXISTING WELLS AND/OR SPRINGS WHICH MAY EXIST ON THE PROPERTY MUST BE SEALED IN A MANNER ACCEPTABLE TO...
3. INTENTIONALLY OMITTED.
4. ALL TRENCH BACK FILLS UNDER PAVED AREAS SHALL BE GRANULAR BACK FILL AND COMPACTED MECHANICALLY. ALL OTHER...
5. EQUIPMENT THE JETTING PROBE SHALL BE A METAL PIPE WITH AN INTERIOR DIAMETER OF 1.5 TO 2 INCHES.
6. THE METHOD OF JETTING SHALL BE PERFORMED FROM THE LOWEST SURFACE TOPOGRAPHIC POINT AND PROCEEDED TOWARD THE...
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EROSION CONTROL NOTES

- 1. THE PERMITTEE SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL EROSION AND SILTATION OF THE PROJECT AREA...
2. ALL EROSION CONTROL SYSTEMS ARE TO BE INSPECTED AND CORRECTED WEEKLY, ESPECIALLY WITHIN 48 HOURS OF ANY RAIN...
3. EROSION CONTROL DEVICES (SILT FENCE, SEDIMENT BASIN, ETC.) SHALL BE IN ACCORDANCE WITH MISSOURI DEPARTMENT OF...
4. THIS DEVELOPMENT IS REQUIRED TO PROVIDE LONG TERM POST CONSTRUCTION BMP'S SUCH AS: LOW IMPACT DESIGN, SOURCE...
5. GRADES AREAS SHALL BE SEEDED AND MULCHED (STRAWED) WITHIN 14 DAYS OF STOPPING LAND DISTURBANCE ACTIVITIES...
6. THE PERMITTEE SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL EROSION AND SILTATION OF THE PROJECT AREA...
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SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER INSTALLATION IS TO BE IN ACCORDANCE WITH M.S.D. STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED...
2. ALL SANITARY SEWER MANHOLES AND PIPES WILL BE TESTED TO THE FOLLOWING SPECIFICATIONS: ASTM D1474 STANDARD...
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STORM SEWER NOTES

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2. ALL STORM SEWER MANHOLES AND PIPES WILL BE TESTED TO THE FOLLOWING SPECIFICATIONS: ASTM D1474 STANDARD...
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FLOOD PLAIN INFORMATION

- 1. REFER TO SECTION 415 FOR FLOODPLAIN DEVELOPMENT INFORMATION

RETAINING WALLS: TERRACED AND VERTICAL

- 1. A PERMIT IS REQUIRED FOR ALL RETAINING WALLS THAT ARE 48 INCHES OR TALLER IN HEIGHT, MEASURED FROM THE TOP OF THE...
2. RETAINING WALLS SHALL NOT BE ALLOWED IN PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER...
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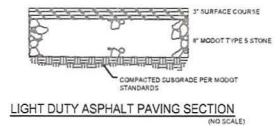
WATER NOTES

- 1. FIRE HYDRANTS SHALL BE A MAXIMUM OF 600' APART. LOCAL FIRE DISTRICT APPROVAL IS REQUIRED.
2. COORDINATE WITH THE WATER COMPANY ON THE LOCATION OF WATER METERS. FOR METERS IN THE CITY'S DISTRICT METERS...
3. ALL WATER MAINS SHALL BE A MINIMUM OF 42" OF COVER. CITY WATER MAINS...
4. PROVIDE WATER VALVES TO ILLINOIS STATE CODES.
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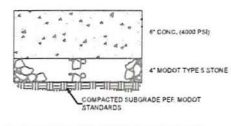
ROADWAY NOTES

- 1. ALL PAVING (PUBLIC AND PRIVATE) TO BE IN ACCORDANCE WITH ST. LOUIS COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS...
2. PROVIDE 6" OF CONCRETE OVER 8" OF AGGREGATE BASE ROCK OR ASPHALT EQUIVALENT FOR MINOR RESIDENTIAL STREETS PER...
3. ROCK TO MEET THE ALL REQUIREMENTS OF MODOT TYPE 5 ROCK WITH A TIGHTER RESTRICTION ON THE FINES BEING...
4. MULTIPLE TRAIL (WHEN REQUIRED) SHALL HAVE A MINIMUM OF 3" TYPE "C" ASPHALT OVER 4" AGGREGATE BASE PER CITY...
5. PERCENT COMPACTION REQUIREMENTS SHALL BE 98% MINIMUM DENSITY ACCORD TO ST. LOUIS COUNTY STANDARD...
6. ALL STREET SUBTOS OVER 20' IN LENGTH WILL REQUIRE A TEMPORARY TURNAROUND.
7. ALL SUB GRADE IN CUT OR FILL WILL NEED TO CONFORM TO THE CITY OF FALLON COMPACTION REQUIREMENTS...
8. ALL SUB GRADE AND BASE SHALL BE SO CONSTRUCTED THAT IT WILL BE UNIFORM IN DENSITY THROUGHOUT.
9. ALL FILL AREAS IN THE ROADWAYS, SOIL TESTS SHALL BE SUBMITTED AND APPROVED BY THE CITY ENGINEER FOR EACH FOOT...
10. NO TRAFFIC WILL BE ALLOWED ON NEW CONCRETE PAVEMENT UNTIL IT HAS CURED FOR SEVEN (7) DAYS AND IT REACHES THREE...
11. PRIOR TO PLACEMENT OF AGGREGATE BASE MATERIAL ON SUB GRADE AND PRIOR TO PLACEMENT OF PAVEMENT ON BASE...
12. CONCRETE PAVEMENTS SHALL NOT BE APPROVED UNLESS IT REACHES A STRENGTH OF FOUR THOUSAND (4,000) PSI...
13. CYLINDER COMPRESSIVE STRENGTH: ONE (1) SET OF FOUR (4) CYLINDERS WITH THE FIRST FIFTY (50) CYCLES WARS AND ONE (1)...
14. AT TWENTY-EIGHT (28) DAYS, AND ONE (1) HELD IN RESERVE.
15. PRIOR TO PLACEMENT OF AGGREGATE BASE MATERIAL ON SUB GRADE AND PRIOR TO PLACEMENT OF PAVEMENT ON BASE...
16. THE SUB GRADE AND BASE SHALL BE SO CONSTRUCTED THAT IT WILL BE UNIFORM IN DENSITY THROUGHOUT.
17. EQUIPMENT CALIBRATION, THE DEVELOPER'S CONTRACTORS AND SUBCONTRACTORS MUST HAVE THEIR EQUIPMENT CALIBRATED...
18. ALL PERMANENT TRAFFIC CONTROL WILL BE PERMITTED UNDER THE CITY OF FALLON STANDARDS.
19. ALL TRAFFIC SIGNALS, STREET SIGNS, SIGN POST, BACKS AND BRACKET ARMS SHALL BE PAINTED BLACK USING CARBONITE RUST...
20. IF THE EXCAVATIONS ARE MADE IN THE IMPROVED PORTION OF THE RIGHT-OF-WAY, TWELVE INCHES OF GRANULAR BACKFILL WILL...
21. ALL PERMANENT TRAFFIC CONTROL WILL BE PERMITTED UNDER THE CITY OF FALLON STANDARDS.
22. ALL TRAFFIC SIGNALS, STREET SIGNS, SIGN POST, BACKS AND BRACKET ARMS SHALL BE PAINTED BLACK USING CARBONITE RUST...
23. IF THE EXCAVATIONS ARE MADE IN THE IMPROVED PORTION OF THE RIGHT-OF-WAY, TWELVE INCHES OF GRANULAR BACKFILL WILL...
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27. ALL PERMANENT TRAFFIC CONTROL WILL BE PERMITTED UNDER THE CITY OF FALLON STANDARDS.
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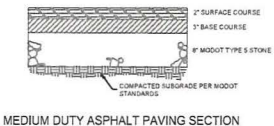
Project information including SHEET NO. C002, PROJECT NO. W230784STL, and logos for WEIHE ENGINEERS and CALEDONIA HOTEL.



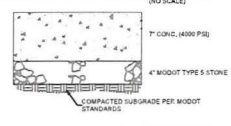
LIGHT DUTY ASPHALT PAVING SECTION
(NO SCALE)



MEDIUM DUTY CONCRETE SECTION
(NO SCALE)



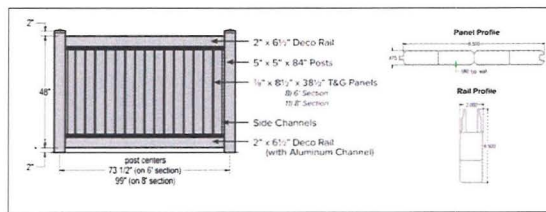
MEDIUM DUTY ASPHALT PAVING SECTION
(NO SCALE)



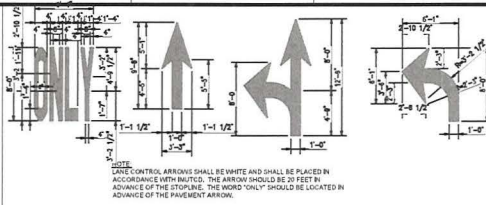
DUMPSTER PAD CONCRETE SECTION
(NO SCALE)

MINIMUM PAVEMENT SECTIONS

NOTE: PAVING SECTIONS PROVIDED FROM GEOTECH REPORT PREPARED BY JACOBS GEOTECHNICAL ENGINEERING, LLC, DATED MARCH 11, 2024.

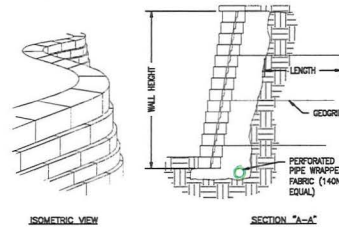


VINYL FENCE DETAIL



TRAFFIC MARKING DETAILS
(NO SCALE)

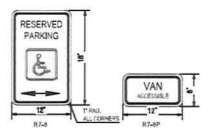
NOTE: TYPICAL SIZES FOR NORMAL INSTALLATION; SIZES MAY BE REDUCED APPROXIMATELY ONE-FOURTH FOR LOW-SPEED URBAN CONDITIONS.



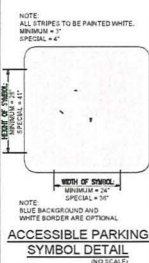
RETAINING WALL

- 1.) ALL CONSTRUCTION SHALL BE PER THE MANUFACTURER'S RECOMMENDATION
- 2.) SHOP DRAWINGS BEARING THE SEAL OF A REGISTERED ENGINEER TO BE SUPPLIED TO THIS ENGINEER FOR APPROVAL.
- 3.) ACCEPTED ALTERNATE WALL SYSTEMS KEYSTONE OR HERCULES
- 4.) THE TOP OF RETAINING WALL, BM+ GRADE AT BASE OF WALL.
- 5.) FENCING SHALL BE PROVIDED ON ALL RETAINING WALLS TALLER THAN 4 FEET.

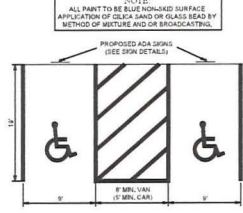
RETAINING WALL



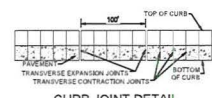
ACCESSIBLE SIGNS
(NO SCALE)



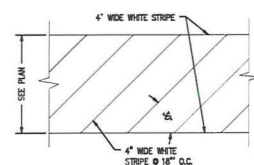
ACCESSIBLE PARKING SYMBOL DETAIL
(NO SCALE)



ACCESSIBLE PARKING SPACES
(NO SCALE)

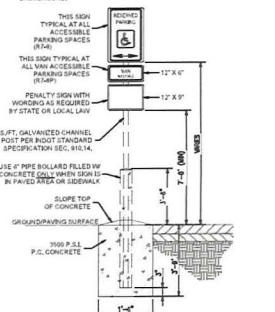


CURB JOINT DETAIL
(NO SCALE)



PEDESTRIAN CROSSWALK

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POSTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



ACCESSIBLE SIGN BOLLARD MOUNT DETAIL
(NO SCALE)

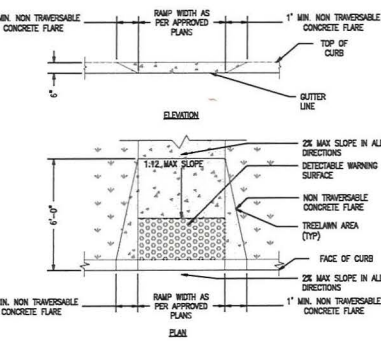
14528 S. Outer 40 Road, Suite 444
Chesapeake, Missouri 65017
314 343-2311
800 145-6668
KYLENE WEBER, P.E., L.S., ENGINEER

WEIHE ENGINEERS
Landscape Architecture
LANDSCAPE ARCHITECTURE
P.L.L.C.

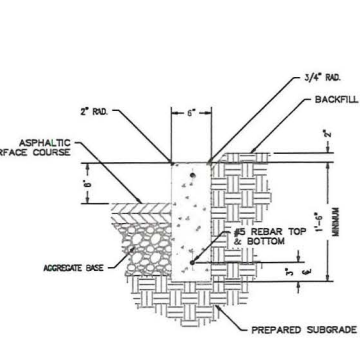
PROJECT NO.	230100780T
DATE	07/2024
DESIGNER	WEIHE ENGINEERS
CHECKED BY	KYLENE WEBER
DATE	07/2024
SCALE	AS SHOWN
PROJECT NAME	CALEDONIA HOTEL
PROJECT ADDRESS	LOT 4 & 5 CALEDONIA CENTER, OFALON, MO 63368
PROJECT NO.	230100780T
SHEET NO.	C201
TOTAL SHEETS	20



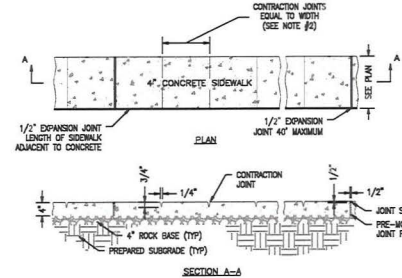
MATTHEW G. STEUBER P.E., ARCHITECT



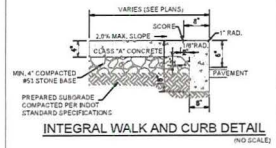
ADA RAMP



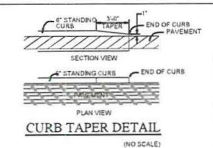
VERTICAL CURB



SIDEWALK



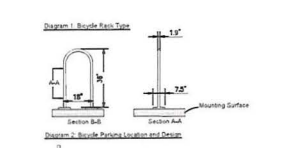
INTEGRAL WALK AND CURB DETAIL
(NO SCALE)



CURB TAPER DETAIL
(NO SCALE)



PARKING BARRIER
(NO SCALE)

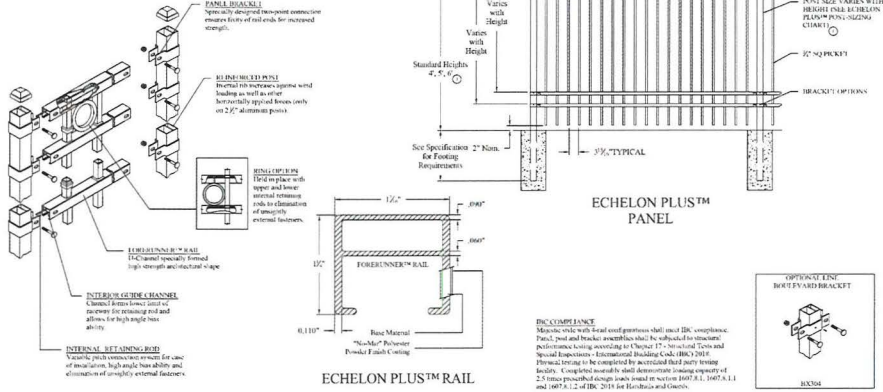


BICYCLE PARKING DETAIL
(NO SCALE)

PROJECT NO.
CALEDONIA HOTEL
LOT 4 & 5 CALEDONIA CENTER, OFALON, MO 63368
SHEET NO.
C201
PROJECT NO.
W230784STL

DATE
07/2024

- NOTES:
1. Post size and gauge depends on fence height and wind loads. See ECHELON PLUS™ specifications for post sizing chart.
 2. Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.
 3. Additional heights available by request.

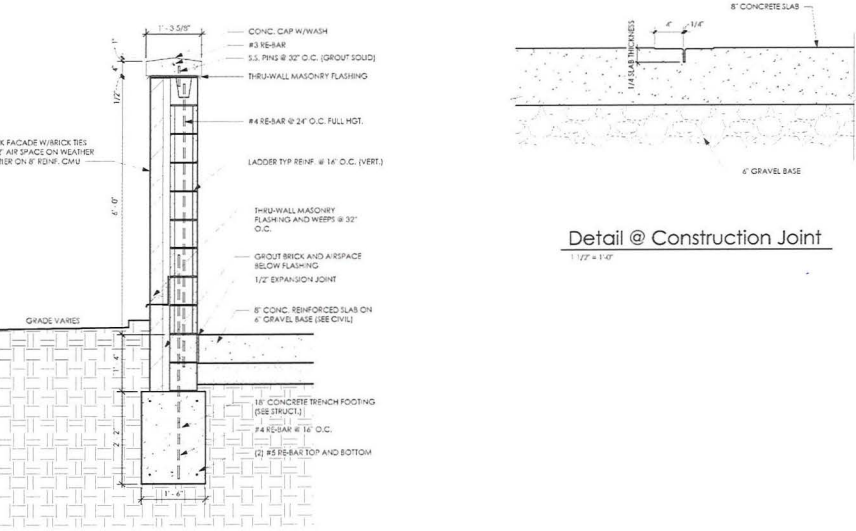


IBC COMPLIANCE
 Meets code with best and greatest steel and IBC compliance. Post, post and bracket assemblies shall be subject to structural performance testing according to Chapter 17 - Structural Tests and Special Inspections - Encumbrance Building Code (IBC) 2018. Proof testing to be completed by accredited third party testing facility. Complete manual to detail demonstrate testing capacity of 2.5 times prescribed design loads found in section 1607.8.1, 1607.8.1.1 and 1607.8.1.2 of IBC 2018 for Brackets and Connectors.



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ECHELON PLUS™ MAJESTIC 4-RAIL PANEL
AMERISTAR
ASSA ABLOY

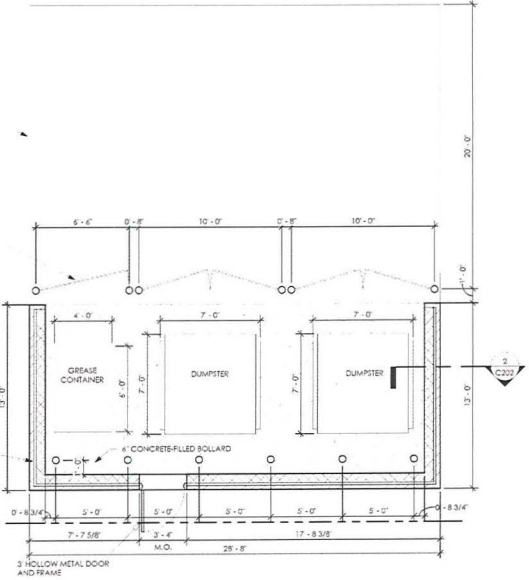


Detail @ Construction Joint
 1/2\"/>

8\"/>
 GRAVEL BASE (SEE CIVIL)

2\"/>
 FRAME WITH 1/8\"/>
 INFILL ON BACK SIDE OF FRAME

BRICK FACADE W/BRICK FACADE
 AIR SPACE ON WEATHER BARRIER
 ON 8\"/>
 CMU



2 Dumpster Enclosure Wall Section
 A.002 3/4\"/>

14528 S. Outer 40 Road, Suite 444
 Chesterfield, Missouri 63017
 Website:
 314.133.2311
 800.193.6689
 ALAN W. WEIHE, P.E., L.S., F.O.S.D.R.

WEIHE
ENGINEERS
 Land Savvy[ng] Civil Engineering
 Landscape Architecture
 1117 W. 11th St. - Suite 100 - St. Louis, MO 63102

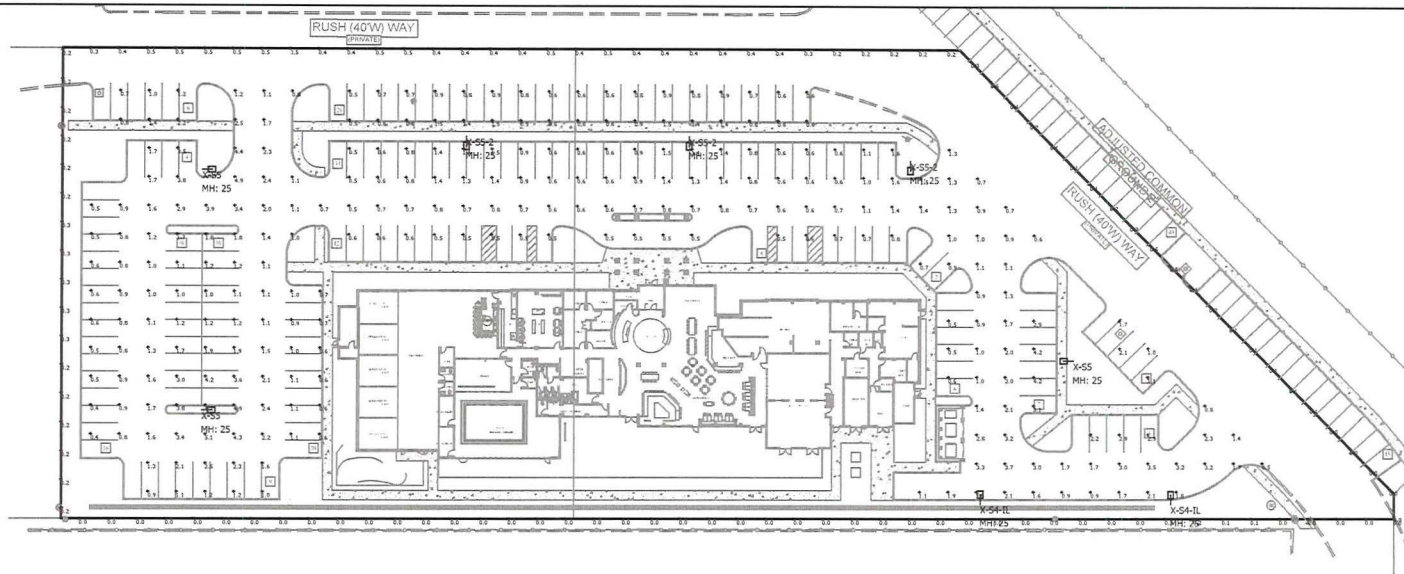
NO.	DATE	DESCRIPTION
1	08/20/2024	ISSUED FOR PERMITS
2	08/20/2024	ISSUED FOR PERMITS
3	08/20/2024	ISSUED FOR PERMITS
4	08/20/2024	ISSUED FOR PERMITS
5	08/20/2024	ISSUED FOR PERMITS
6	08/20/2024	ISSUED FOR PERMITS
7	08/20/2024	ISSUED FOR PERMITS
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47	08/20/2024	ISSUED FOR PERMITS
48	08/20/2024	ISSUED FOR PERMITS
49	08/20/2024	ISSUED FOR PERMITS
50	08/20/2024	ISSUED FOR PERMITS



MATTHEW G. STEUBER P.E., REGISTERED PROFESSIONAL ENGINEER

PREPARED FOR:
CALEDONIA HOTEL
 LOT 4 & 5 CALEDONIA CENTER, O'FALLON, MO 63308
 SITE DETAILS
 08/20/2024 11:42 AM C:\PROJECTS\CALEDONIA HOTEL

SHEET NO.
C202
 PROJECT NO.
 W230784STL



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
	2	X-S4-IL	Single	9457	0.900	111	DL150442
	3	X-S5-2	Single	12031	0.900	86	DL174717
	3	X-S5	Single	31218	0.900	209	DL181559

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
_Property Line	Illuminance	Fc	0.18	0.5	0.0	N.A.	N.A.
Parking Lot & Drives	Illuminance	Fc	1.35	6.1	0.4	3.38	15.25

LIGHTING NOTES:

- Mounting Height = 25'
- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values - 80/50/20 (office spaces)
50/30/20 (warehouse areas)

National Lighting Vendor:

For pricing and technical assistance contact:
Russ Miller of CBMC INC, tel# 317-697-7510,
rmiller@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 70 Life Safety Code, ASHRAE and/or IECC Energy Codes.

The information contained in this document is proprietary to CBMC Lighting Solutions. This document is prepared for a specific site and incorporates calculations based on data available from the client at this time. By accepting and using this document, the recipient agrees to protect its contents from further dissemination, (other than that within the organization necessary to evaluate such specification) without the written permission of CBMC Lighting Solutions. The contents of this document are not to be reproduced or copied in whole or in part without the written permission of CBMC Lighting Solutions. copyright © 2018 CBMC Lighting Solutions all rights reserved.

CBMC LIGHTING SOLUTIONS

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317-780-8350 | WWW.CBMCINC.COM

SEE MORE



This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

Contractor to check and verify all dimensions on site before commencing any work shown.

O'Fallon, MO Hotel Site

SITE LAYOUT

Scale	1" = 30'	Drawing No	LP1
Date	3/18/24	Project No	
Drawn By:	SM		

CB25302-SITE

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