

**REGULAR MEETING OF THE COMMON COUNCIL
CITY OF ONEONTA, NEW YORK, COMMON COUNCIL CHAMBERS
JUNE 18, 2024 – 6:00 P.M.**

AGENDA

**Mayor Mark Drnek
Council Member Elayne Mosher Campoli
Council Member Cecelia Walsh-Russo
Council Member Shannon McHugh
Council Member Kaytee Lipari Shue
Council Member Len Carson
Council Member Scott Harrington
Council Member Bryce Wooden
Council Member Don Mathisen**

ROLL CALL

PLEDGE OF ALLEGIANCE

PETITIONERS / PUBLIC HEARINGS / CORRESPONDENCE

- A Public Hearing before the Common Council to receive public comments on the City of Oneonta's potential submission of a Community Development Block Grant (CDBG) application for the CDBG Business Expansion and Startup program for up to \$100,000 for Social Eats Project 607 on Main Street in the City of Oneonta that will result in the creation of up to four full time equivalent jobs.

PRESENTATIONS

- Route 23 and 28 Complete Streets Project – Fisher Associates
- Airport Capital Improvement Plan – Martijn Kamerbeek, Airport Commission Chair
- *Oneonta Armory Structure Report – Stephen Yerly and Judy Pangman

BOARDS / COMMISSIONS / TASKFORCES

COMMITTEE REPORTS

- Community Wellness Committee
- Legislative Committee

APPROVAL OF WARRANTS

1. **MOTION**, that the Common Council approves the warrants totaling \$(to be announced) and that the same be placed on the Director of Finance's desk for payment, as presented.

CONSENT AGENDA

2. ***MOTION**, that the Common Council approves the minutes of the regular meeting held June 4, 2024.
3. ***MOTION**, that the Common Council approves a 2023 budget transfer totaling, \$14,845, as presented.
4. **MOTION**, that the Common Council authorizes the Director of Finance to accept a gift from an anonymous donor of 120 linear feet of windscreen, valued at \$1,274, for the City to install at the Neahwa Park pickleball courts, and authorizes any necessary budget amendments for said acceptance.
5. **MOTION**, that the Common Council approves the City Administrator's appointment of Brock Davis to the position of Maintenance Worker, at a base annual salary of \$39,500 (CSEA salary grade C-3), effective June 19, 2024, subject to the satisfaction of all applicable civil service and pre-employment requirements.

6. **MOTION**, that the Common Council approves the City Administrator’s appointment of Matthew Bueche to the position of Motor Equipment Operator, at a base annual salary of \$42,500 (CSEA salary grade C-4), effective June 19, 2024, subject to the satisfaction of all applicable civil service and pre-employment requirements.
7. **MOTION**, that the Common Council approves the City Administrator’s appointment of Angela Miller to the position of Administrative Specialist, at a base annual salary of \$39,500 (CSEA salary grade C-3), effective August 5, 2024, subject to the satisfaction of all applicable civil service and pre-employment requirements.
8. **MOTION**, that the Common Council approves the following resolution:

**NEW YORK STATE DEPARTMENT OF TRANSPORTATION
MASS TRANSPORTATION CAPITAL PROJECT #C006011**

WHEREAS, the City of Oneonta submitted a grant application, dated November 14, 2022, to the New State Department of Transportation (NYSDOT) for the Purchase Replacement of three (3) buses, and;

WHEREAS, the NYSDOT has approved the Project at a cost of \$498,204, with the City of Oneonta being awarded a federal grant of \$398,563, state grant of \$49,821 and requiring a local match of \$49,820, and

WHEREAS, consistent and in furtherance of said Project, the City desires to advance the Project by committing funds for the local match in the amount of \$49,821 available within the OPT Transit Enterprise Fund, and

WHEREAS, the City of Oneonta and the State of New York have heretofore entered into an Agreement which authorizes the undertaking of the Project and the payment of the Federal, State, and Local Share for the project; now therefore,

BE IT RESOLVED, that all necessary budgets, budget amendments and transfers for said project are hereby authorized, and

BE IT FURTHER RESOLVED, that the City Administrator is hereby authorized to execute all necessary Agreements on behalf of the City of Oneonta, and

BE IT FURTHER RESOLVED, that this Resolution shall take effect immediately.

CITY ADMINISTRATOR’S REPORT

MAYOR’S REMARKS

DISCUSSION AGENDA

9. **MOTION**, that the Common Council authorizes the City Administrator to sign and submit an attestation form to the NYS Department of Criminal Justice Services (DJCS) as part of the Law Enforcement Technology program to accept a grant of \$142,777 to fund the purchase of new in-car video and license plate reader (LPR) systems and new fixed LPR assets for the Oneonta Police Department, and further authorizes the City Administrator to sign all documents and agreements necessary to complete the project, subject to review by the City Attorney. The Common Council further authorizes any necessary budget amendments and transfers.

10. **MOTION**, that the Common Council approves the following resolution:

WHEREAS, the Federal Aviation Administration (FAA) has made available a grant program to which the Albert S. Nader Regional Airport is eligible to apply, and;

REGULAR MEETING OF THE COMMON COUNCIL – JUNE 18, 2024 – 6:00 P.M.

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WHEREAS, the City of Oneonta desires to apply for grant; the project being described as On-Airport Obstruction Removal - Construction, by committing funds for the local match; funding shares being FAA 90%, New York State Department of Transportation (NYSDOT) 5%, and local 5%, now, therefore be it

RESOLVED, that the City of Oneonta Common Council hereby endorses and approves the project being described as the On-Airport Obstruction Removal - Construction for the total project amount not to exceed \$430,483, with a local share not to exceed \$21,525, and it is further;

RESOLVED, that the City of Oneonta Common Council make available all necessary funds to match the FAA and NYSDOT grant share of funds for said project, and further

RESOLVED, that the Mayor is hereby authorized to execute all necessary Agreements on behalf of the City of Oneonta with the FAA in connection with the Project, and it is further

RESOLVED, that this Resolution shall take effect immediately.

11. *Market Street Transportation Improvements Projects – Budget Review

DISCUSSION TOPICS OF INTEREST

- Establishing a process for evaluation of City-owned properties for potential sale and/or development
 - Oneonta Armory, 2 Academy St

ADDITIONAL BUSINESS / COUNCIL CONSIDERATION

EXECUTIVE SESSION

ADJOURNMENT



OFFICE OF CITY ADMINISTRATOR

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Oneonta, NY 13820-2589

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MEMORANDUM

DATE: June 14, 2024
TO: Common Council
CC: Department Heads
FROM: City Administrator
RE: Common Council Meeting Agenda Notes – 6/18/2024

This memo is to provide background information on certain agenda items to be considered at the upcoming meeting of the Common Council.

Public Hearing

Social Eats CDBG Business Expansion and Startup (BEST) Grant Application

This is a grant application that the City will apply for on behalf of Social Eats to assist with expanding their business. Social Eats recently completed a successful \$100,000 grant through the same program, and this is an opportunity for the City to assist them again. The request will be for \$100,000 in BEST program funds to create 4 full-time equivalent jobs. The funds will be used for equipment, working capital, inventory, and other costs.

The first step in the application process is to submit a pre-application to the funding agency. If they are interested in the project, they will invite the City to apply. At that point, the Council would be asked to approve a motion to authorize submitting the application. The public hearing is being held now in order to get the project in front of the public early for transparency and to receive any comments.

Presentations

Route 23 and 28 Complete Streets Project – Fisher Associates

The City's consultant for this joint City-Town project will present an overview of the planned improvements included in the draft design report that has been submitted to NYSDOT for review. This report has been posted to the City's website on the Engineering page:
(https://www.oneonta.ny.us/departments/departments/engineering_and_public_works/engineering_and_public_works/engineering.php)

This project will improve safety, mobility, pedestrian and bicycle accessibility, and community connectivity along the James F Lettis and Leslie G Foster Highway, NY Route 28, and NY Route 23 in the City and Town of Oneonta. This may include additional sidewalks, shared-use paths, lighting, signing, and other improvements. Construction is anticipated for 2025.

The project will be completed in coordination with the NYSDOT Roundabout project at the Lettis Highway and Main Street intersection and with the NYSDOT Southside Safety project, although these are separate projects.

An additional public information meeting will be scheduled in the near future.

Airport Capital Improvement Plan – Martijn Kamerbeek, Airport Commission Chair

Airport Commissioner Kamerbeek will provide an overview of several ongoing/upcoming projects included on the Airport Capital Improvement Plan (ACIP), including an outline of next steps to progress certain projects to completion.

Oneonta Armory Structure Report – Stephen Yerly and Judy Pangman

Supporting documentation:

- “Oneonta Armory_Final Report limited.pdf”

Stephen Yerly and Judy Pangman will present the results of the Armory Structure Report, prepared by Johnson Schmidt Architect. This presentation will be informative as the City seeks to prioritize and fund needed repairs and improvements to this historic building. This will also lead into discussion of potential future uses of the Armory.

Consent Agenda

Motion 3 is to approve a 2023 budget transfer for the Damaschke Field Concession Repair project.

Having suffered water damage due to a burst water pipe in early 2022, the Damaschke Field Concession building required repairs that were done through a contract awarded in February 2023. As a result of auditing the capital projects for the close of 2023, Finance Director Virginia Lee reviewed the insurance recoveries received for this project and determined the claim submitted to NYMIR was based on an estimate totaling \$89,595 resulting in a payment of \$71,700.45 ($\$89,595 - 25,000 \text{ deductible} = \$64,595 \times 1.11\% = \$71,700.45$). The actual expenses equaled \$76,221.64, therefore the City was overpaid on the claim by \$14,844.43 ($\$76,221.64 - \$25,000 = \$51,221.64 \times 1.11\% = \$56,856.02$). As such, City owed a refund to NYMIR, which was issued June 4, 2024.

Motion 5 is to fill a budgeted, vacant full-time position on the DPW Parks, Buildings and Grounds crew.

Motion 6 is to promote a current full-time Maintenance Worker on the DPW Streets crew to Motor Equipment Operator.

Matthew Bueche successfully completed the City's in-house Entry-Level Driver Training (ELDT) program and obtained a Commercial Driver's License, qualifying him for this position in which he will be able to operate equipment requiring such licensure.

Motion 7 is to fill a budgeted, vacant full-time position in Oneonta Public Transit.

Motion 8 authorizes the execution of agreements and budget transfers necessary to purchase three new paratransit buses for Oneonta Public Transit.

These new buses will replace the City's existing 2017 Ford E450 Phoenix paratransit buses, which are on a 5-year replacement schedule per NYSDOT guidelines. The total cost is \$498,204, with the City's share of the cost being 10%, or \$49,820 to be funded by the Enterprise (OPT) Fund. The State and Federal cost shares are 10% and 80%, respectively.

Transportation Director David Hotaling estimates it may take 20 weeks to receive the new buses from date of order.

Discussion Agenda

Motion 9 is to accept a grant from the NYS Department of Criminal Justice Services (DCJS) to purchase new in-car video and license plate reader (LPR) systems and new fixed LPR assets for the Oneonta Police Department.

Police Chief Chris Witzenburg shared the following overview of this grant in his May 15th email to the Mayor and Council:

"In late September NYS Division of Criminal Justice Services (DCJS) announced a Law Enforcement Tech funding opportunity. This funding was applied for through DCJS in the first week of November and on Monday we learned that we were approved for \$142,777.00 in funding for specific equipment improvement.

We recognized that some of our existing license plate readers were not functioning and needed replacement. We currently utilize AXON Fleet 2 in-car cameras and the emerging Fleet 3 cameras incorporate License Plate Recognition (LPR) as an enhancement.

Fusing the in-car video and license plate readers enhance efficiency and streamline the vehicle space for the officers. Merging the LPR with AXON brings two differing technologies together and data and equipment are specifically designed to work together. This was discussed as a budget proposal as we near the end of our AXON contract and begin to consider replacement systems. Some fixed LPR assets were also included in the award.

This is a win for us as it replaces and enhances existing tech while reducing the local tax payer burden."

Motion 10 is to approve a grant application to the Federal Aviation Administration (FAA) for an On-Airport Obstruction Removal – Construction project.

As Martijn Kamerbeek will explain in his presentation, this project involves the removal of trees as determined to be necessary for the continued safe operation of the Albert S. Nader Regional Airport. The City’s airport engineering consultant, McFarland Johnson, has completed the design and environmental review phases of this project and, in accordance with FAA requirements, construction bids have been received to establish the costs that are included in this grant application. This project has been identified by the Airport Commission and the City’s airport consultant as a top priority.

The total project cost is \$430,483. Funding for the City’s local share of \$21,525 would come from General Fund contingency included in the 2024 budget. The General Fund contingency has yet to be utilized in 2024, with a balance of \$183,300.

Item 11 is included at the request of Council Member Carson, to provide the Council with an overall budget summary for the Market Street Transportation Improvements Projects.

Supporting documentation will be prepared and provided before the meeting.

Discussion Topic of Interest

The Council will be asked to engage in a discussion of establishing a process for evaluation of City-owned properties for potential sale and/or development. It is suggested that the Council consider establishing clear goals and expectations for the evaluation and use of City properties. Such a process would guide future planning and actions related to the Armory, for instance.

GM:gmm

City of Oneonta
Armory Structure Report

4 Academy Street ■ Oneonta, NY



July 14, 2023

by

Johnson-Schmidt, Architect, P.C.



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Corning, NY 14830

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City of Oneonta
ARMORY STRUCTURE REPORT
Oneonta, NY

City of Oneonta
Oneonta Planning Department
Judy Pangman
258 Main Street
Oneonta, NY 13820

July 14, 2023

Dear Judy,

Thank you for the opportunity to prepare this report about the Oneonta Armory. It has been a pleasure and an honor to be part of your team to evaluate this outstanding architectural gem. Although it has a modest number of issues that should be rectified, they are somewhat costly but important items that will require funding of some sort to repair. It is a special structure which represents a building typology found across New York State and is featured in Nancy Todd's book New York's Historic Armories –An Illustrated History, State University of New York (2006): 222, 226-227.

As you are aware, the roof is in need of replacement and the stone base, which has significantly delaminated, is in need of repointing to prevent further spalling. There are various small leaks that need to be addressed and the structure of the tower stairway should be further assessed. The east fire escape is in need of repair or replacement and the building's handicapped accessible ramp should be replaced with a ramp that matches the construction type of the building (versus the pressure treated version that currently exists and existed prior to the City's ownership of the building). We have drawn a handicapped accessible ramp to illustrate how one could be incorporated into the building without detracting from the historic integrity of the structure (as the current one does). One version of the ramp is constructed of stone walls to match the existing stone base of the structure; the other version features a metal railing (less expensive but less in keeping with the character of the building).

On the positive side, according to the structural engineer's report, the building is sound, and aside from the identified sources of moisture penetration, the building is mostly dry. It is a stately building and except for the front second floor balcony, which needs to be rebuilt due to its condition, and the modified ramp (which covered the original masonry staircase at the front entrance) the original building is mostly intact but underutilized.

We hope that this report helps to define the work that needs to be done and that it assists the City of Oneonta to begin the process of finding funds to restore the building because it is a landmark for the City and its presence helps to define the city's heritage.

Kind regards,

Elise Johnson-Schmidt, AIA
President and Principal Architect



City of Oneonta
ARMORY STRUCTURE REPORT
Oneonta, NY

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City of Oneonta
ARMORY STRUCTURE REPORT
Oneonta, NY

BUILDING DESCRIPTION SUMMARY

(from New York's Historic Armories and the National Register Nomination, listed on the National Register 3/2/1995)

The Oneonta Armory is located southwest of the downtown business district at 4 Academy Street. It was built for the “Third Separate Company” in 1904-1905, and replaced a smaller armory built on the same location in 1875. The state legislature allocated \$50,000 for its construction. It was designed by state architect, George L. Heins, and is “identical to the Gloversville Armory and similar to the Binghamton and Flushing armories,” and was vacated by the national Guard who occupied it in 2003 (photo and information from New York's Historic Armories –an Illustrated History, 2005).



Figure 1 Oneonta Armory, 1904-1905. Embers of Company G, 107th Infantry pose in front of their armory before serving in World War I. Photograph (ca. 1918) courtesy of the New York State Military Museum.

Built on a half-acre corner parcel, the armory is a “massive red brick and limestone building consisting of a two-story administration building with an attached drill shed. Both sections consist of load-bearing brick walls resting on a raised battered foundation of roughly hewn, random coursed limestone. The five-story, octagonal, engaged tower at the southwest corner of the main block and the two and one-half story, square, engaged tower at the northwest corner of the main block” give the building an asymmetrical appearance despite the administrative building’s rectangular form. The front (west) façade of the building is a five-bay center hall structure “flanked” by the two towers and is “distinguished by deeply recessed arcading; brick surrounds and roughly hewn limestone keystones embellish the massive arches. A step-gabled brick parapet spans the arcade; a stone panel with heraldic imagery rendered in bas-relief is centrally located in the parapet.



City of Oneonta
ARMORY STRUCTURE REPORT
Oneonta, NY

The main entrance, consisting of steel double doors surmounted by a multi-paned transom, is deeply recessed within the central arch. Modern steel and glass doors have been added under the sally port. A stone balcony, supported by console brackets, is located on the second story above the entrance. Large, round-arched, second-story windows are recessed within the arcade.”

“The north and south elevations of the drill shed are six bays deep with flanking end towers. The bays are divided by brick buttresses with stone coping; each bay features a pair of segmentally arched, double-hung windows with brick trim.”

“The interior survives with a relatively high degree of integrity of design, materials and craftsmanship. Room configurations and a variety of original fabric survive intact throughout the administration building” including the entrance hall and its attractive oak staircase. The second floor features a large company meeting room in the north half of the building, “featuring a massive oak overmantel and several fluted Corinthian columns.” Pressed metal ceilings exist in the basement.

“The drill shed also survives with a high degree of integrity of design and materials. Notable features include the original wooden floor, wainscoted ceiling, and the paneled and wainscoted balustrade of the balcony at the west (front) end. The original locker room with oak lockers survives intact in the east (rear) balcony.”

SIGNIFICANCE

The building is significant as a “remarkably intact, representative example of an early twentieth national Guard Armory in New York State. As part of a National Register Multiple Property Documentation Form (MDPF) for Army national Guard Armories in NYS, it is 1) an imposing civic monument to military and government strength and presence within the community. 2) In terms of plan, the armory consists of an administration building with an attached drill shed at ground level. 3) In terms of design and decoration, the armory embodies the distinctive features of the fortress-like, castellated style that characterized many late nineteenth and early twentieth century armories. The armory is also historically significant for its association with the National Guard, an integral component of the American military system.”

This is one of at least seven armories designed by George L. Heins, the others being (1901) Medina; (1904) Gloversville; (1904) Flushing –17th Separate Company); (1905) E Main St. Rochester; (1906) Oswego; and (1907) West Jefferson—Syracuse.

Heins’s armories featured elements of Medieval Gothic military architecture, “including soaring towers, crenelated parapets, massive sally ports and iron portcullises” although somewhat more modern and stylized forms and details.

Oneonta’s Armory is significant under criterion A “for its association with American military history in general and Army National Guard in particular. The voluntary militia (i.e., the National Guard) has been, and to a large extent still is, the backbone of the American military system since the Colonial Era, and is a visual reminder of and monument to the pivotal role played by the volunteer militia in American military history.”

Oneonta Armory

Opinion of Probable Cost

	Units	Quan.	Material/Unit Cost	Total Cost
Demolition & Remediation				
Front Ramp Demolition				\$ 3,000.00
Electric Demolition				\$ 8,000.00
Wall removal				\$ 2,500.00
Remove: ACT ceiling and grid				\$ 7,500.00
Demolition & Remediation - SUBTOTAL				\$ 21,000.00
Exterior Construction				
20 % Brick repointing	SF	55,645	\$ 8.00	\$ 445,160.00
Roof - Epdm	SF	1,382	\$ 25.00	\$ 34,556.00
Roof - Metal	SF	15,768	\$ 20.00	\$ 315,364.80
Roof - Repair first floor eaves and steps				\$ 10,000.00
Roof - Repair mezzanine and second floor leaking roofs				\$ 7,500.00
Roof - Repair leaking roof drains and opening surrounding the second-floor drain				\$ 5,000.00
Roof - Slate	SF	4,238	\$ 30.00	\$ 127,145.70
Roof - Reset the tower roof drain				\$ 5,000.00
Roof - Repair the cricket behind the parapet				\$ 8,500.00
Roof - Seal the roof penetration				\$ 5,000.00
Restore flag pole support system on the tower				\$ 7,500.00
Investigate tower floor framing and water damage				\$ 3,500.00
Upgrade the east portion of the fire escape				\$ 15,000.00
Repair east exit stair treads and risers				\$ 12,000.00
Juliet balcony - Repair balcony railing and flooring				\$ 17,500.00
Juliet balcony - Investigate structural integrity of the underside				\$ 2,000.00
Juliet balcony - Remove any asbestos discovered in underside ceiling				\$ 12,000.00
Restore and repoint the chimney				\$ 15,000.00
Remove loose and delaminating stone masonry	SF	6890	\$ 5.00	\$ 34,450.00
Cut out mortar and repoint @ stone masonry 75%	SF	6890	\$ 24.00	\$ 165,360.00
Concrete Repairs				\$ 20,000.00
Paint, Repair Windows		116	\$ 750.00	\$ 87,000.00
Exterior Construction - SUBTOTAL				\$ 1,354,536.50
Fire Protection				
Fire Protection	SF			\$ 150,000.00
Fire Protection - SUBTOTAL				\$ 150,000.00
Conveyance				
Elevator - Including Wood Shaft	AL			\$ 150,000.00
Exterior - New Ramp	EA			\$ 95,000.00
Conveyance - SUBTOTAL				\$ 245,000.00
SUBTOTAL				\$ 1,770,536.50
Contingency	PC	10.0%		\$ 177,053.65
TOTAL ESTIMATED CONSTRUCTION COST				\$ 1,947,590.15

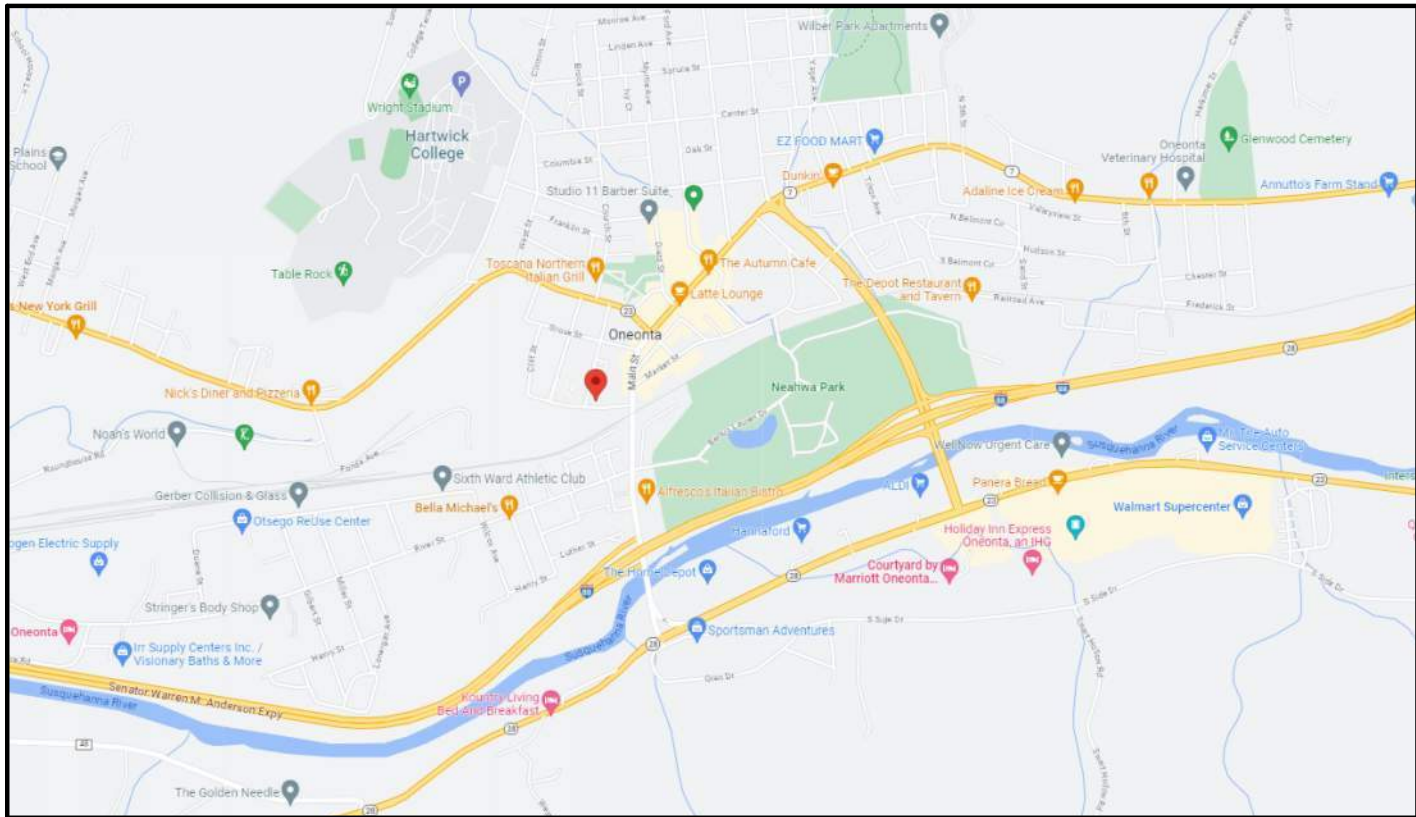
CITY OF ONEONTA ONEONTA ARMORY

4 Academy St, Oneonta, NY 13820

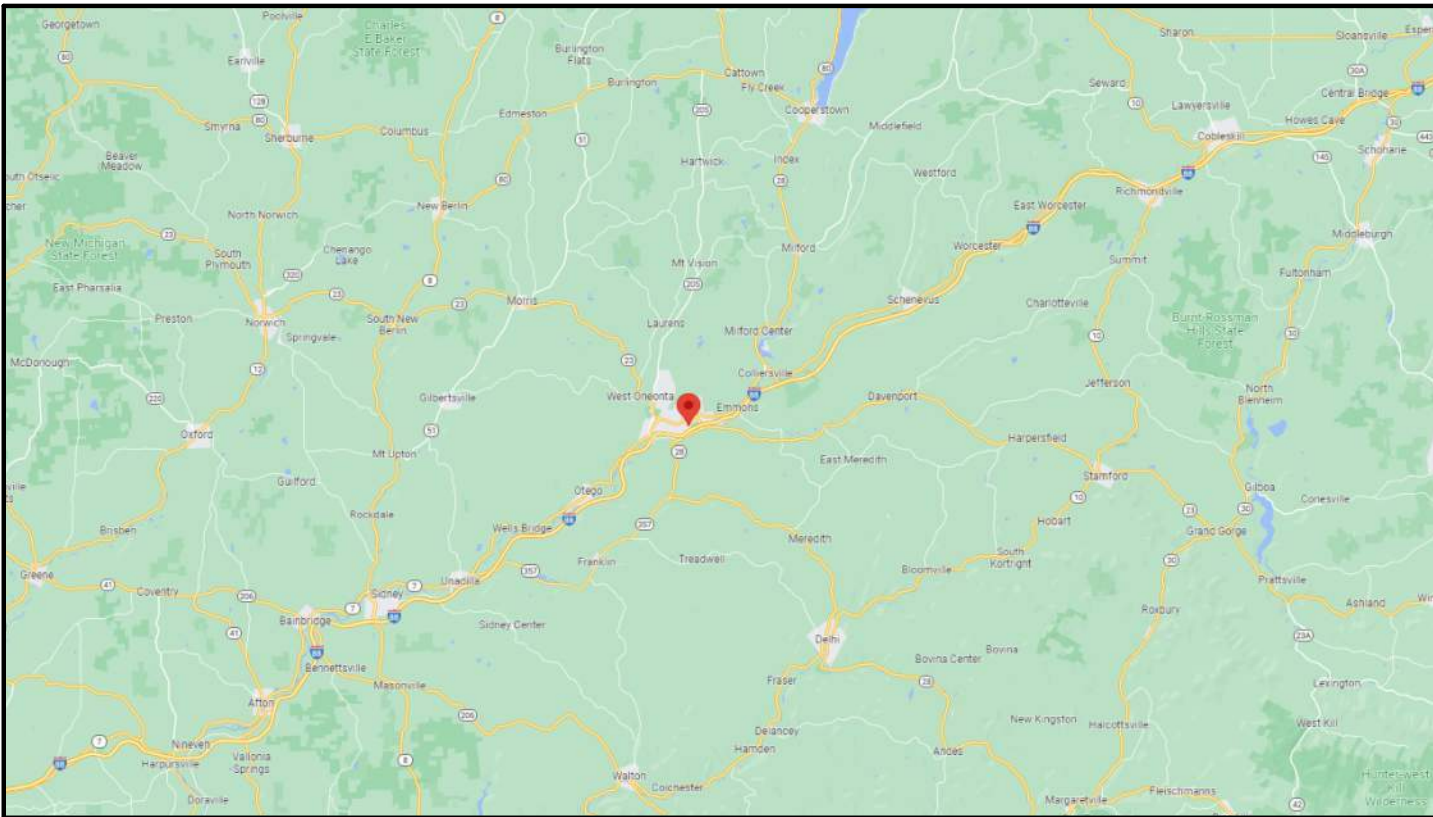


DRAWING LIST

- A1.00 BASEMENT FLOOR PLAN
- A1.01 FIRST FLOOR PLAN
- A1.01.1a RAMP DETAILS - OPTION A
- A1.01.1b RAMP DETAILS - OPTION B
- A1.02 SECOND FLOOR PLAN
- A1.03 THIRD FLOOR PLAN
- A1.04 FOURTH FLOOR PLAN
- A1.05 FIFTH FLOOR PLAN
- A2.01 EXTERIOR ELEVATIONS
- A2.02 EXTERIOR ELEVATIONS



LOCATION MAP CITY



LOCATION MAP REGION



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

PROJECT:
ONEONTA ARMORY

Project Status

4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
COVER

REVISIONS:

SCALE: AS NOTED

DATE:06-29-23

DRAWN BY: Author

REVIEWED BY: Checker

PROJECT NO.XXXX

DRAWING NO:

CS1.01

DRAFT



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
BASEMENT FLOOR
PLAN

REVISIONS:

SCALE: AS NOTED

DATE: 06-29-23

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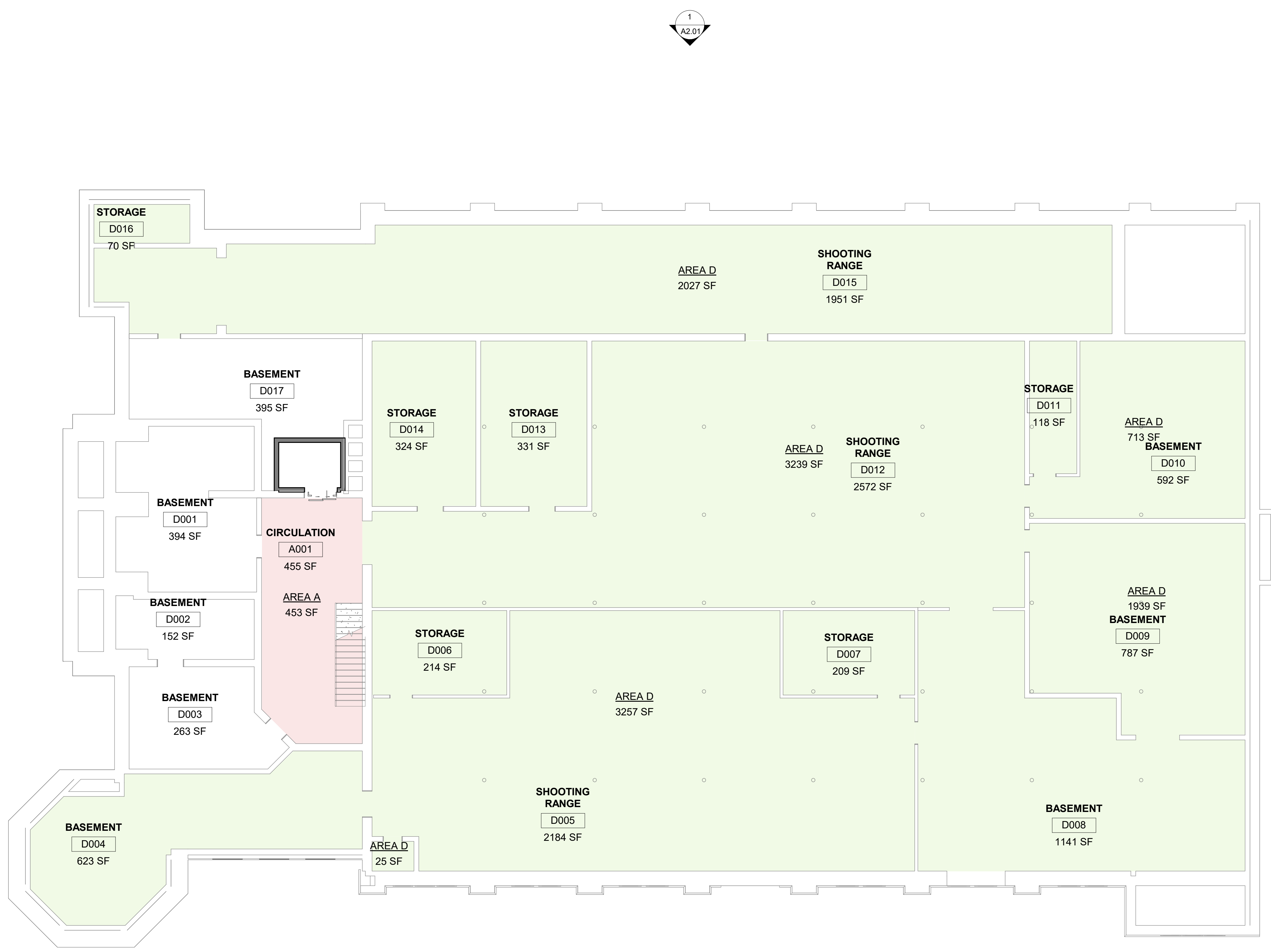
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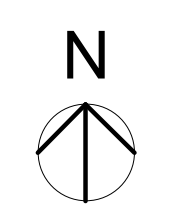
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Area Schedule (Rentable)		
Area	Name	Level
709 SF	AREA A	FIRST FLOOR
490 SF	AREA A	SECOND FLOOR
258 SF	AREA A	THIRD FLOOR
453 SF	AREA A	BASEMENT
1910 SF		
706 SF	AREA B	FIRST FLOOR
378 SF	AREA B	FIRST FLOOR
833 SF	AREA B	FIRST FLOOR
121 SF	AREA B	FIRST FLOOR
146 SF	AREA B	FIRST FLOOR
2463 SF	AREA B	SECOND FLOOR
2676 SF	AREA B	THIRD FLOOR
332 SF	AREA B	FOURTH FLOOR
333 SF	AREA B	FIFTH FLOOR
7988 SF		
1587 SF	AREA C	SECOND FLOOR
1587 SF		
2027 SF	AREA D	BASEMENT
3239 SF	AREA D	BASEMENT
713 SF	AREA D	BASEMENT
1939 SF	AREA D	BASEMENT
3257 SF	AREA D	BASEMENT
25 SF	AREA D	BASEMENT
11201 SF		
10935 SF	GYMNASIUM AREA C	FIRST FLOOR
10935 SF		
33621 SF		



1
A1.00
BASEMENT
1/8" = 1'-0"



DRAFT



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

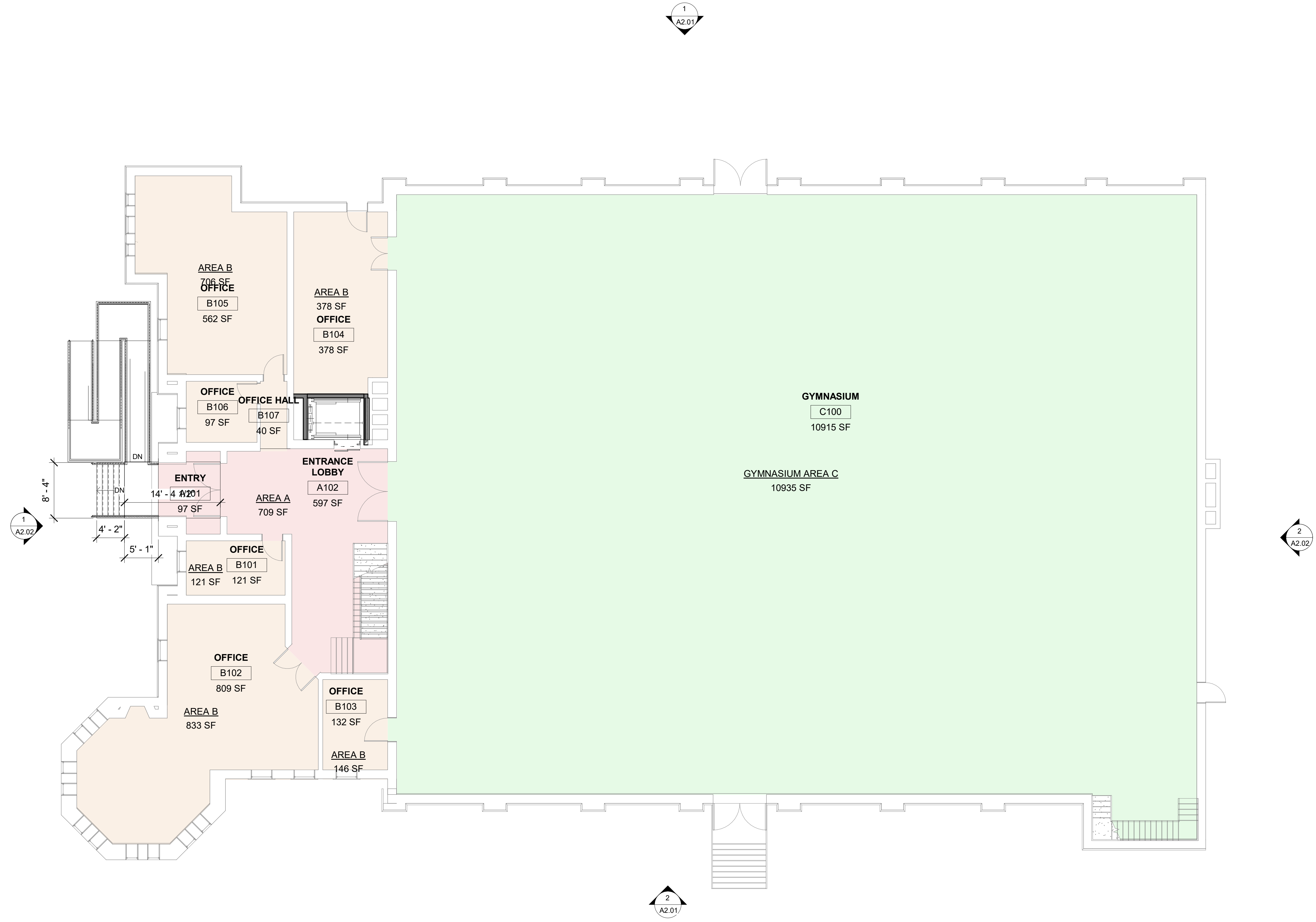
4 Academy St, Oneonta,
NY 13820

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FIRST FLOOR PLAN

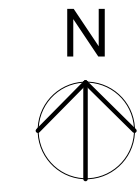
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Area Schedule (Rentable)		
Area	Name	Level
709 SF	AREA A	FIRST FLOOR
490 SF	AREA A	SECOND FLOOR
258 SF	AREA A	THIRD FLOOR
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378 SF	AREA B	FIRST FLOOR
833 SF	AREA B	FIRST FLOOR
121 SF	AREA B	FIRST FLOOR
146 SF	AREA B	FIRST FLOOR
2463 SF	AREA B	SECOND FLOOR
2676 SF	AREA B	THIRD FLOOR
332 SF	AREA B	FOURTH FLOOR
333 SF	AREA B	FIFTH FLOOR
7988 SF		
1587 SF	AREA C	SECOND FLOOR
1587 SF		
2027 SF	AREA D	BASEMENT
3239 SF	AREA D	BASEMENT
713 SF	AREA D	BASEMENT
1939 SF	AREA D	BASEMENT
3257 SF	AREA D	BASEMENT
25 SF	AREA D	BASEMENT
11201 SF		
10935 SF	GYMNASIUM AREA C	FIRST FLOOR
10935 SF		
33621 SF		



FIRST FLOOR PLAN
1/8" = 1'-0"



DRAFT



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
RAMP DETAILS -
OPTION A

REVISIONS:

SCALE: AS NOTED

DATE: 06-29-23

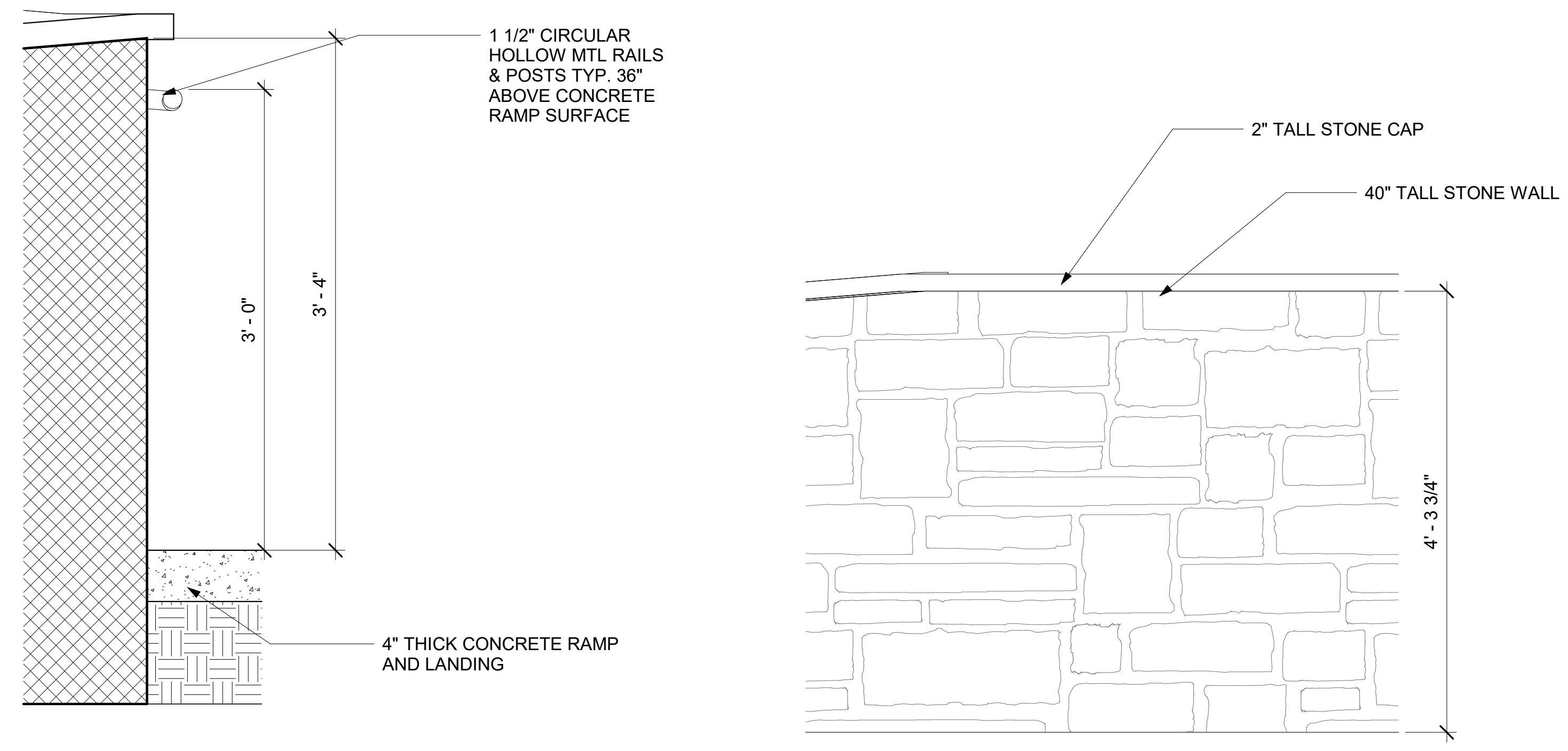
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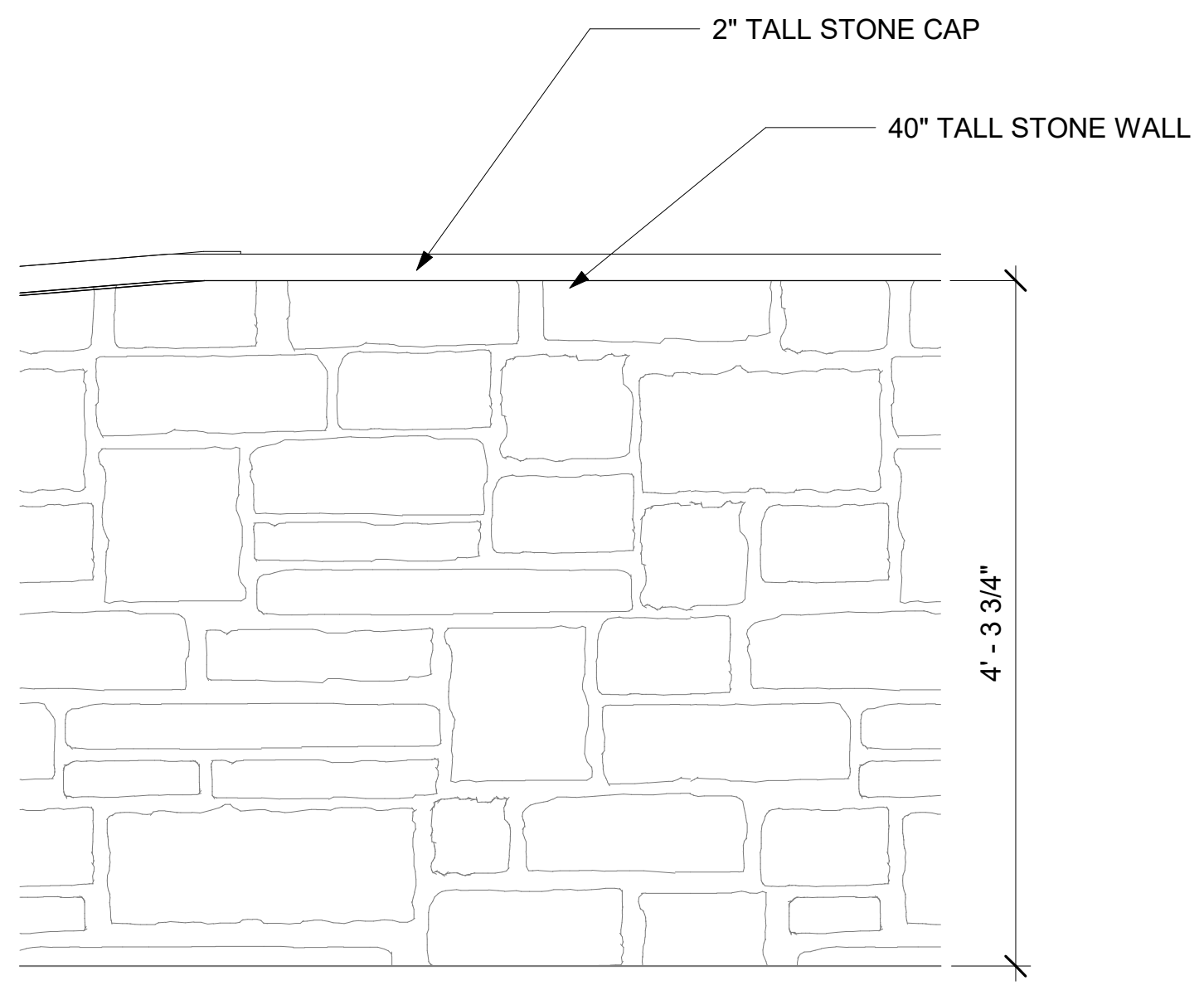
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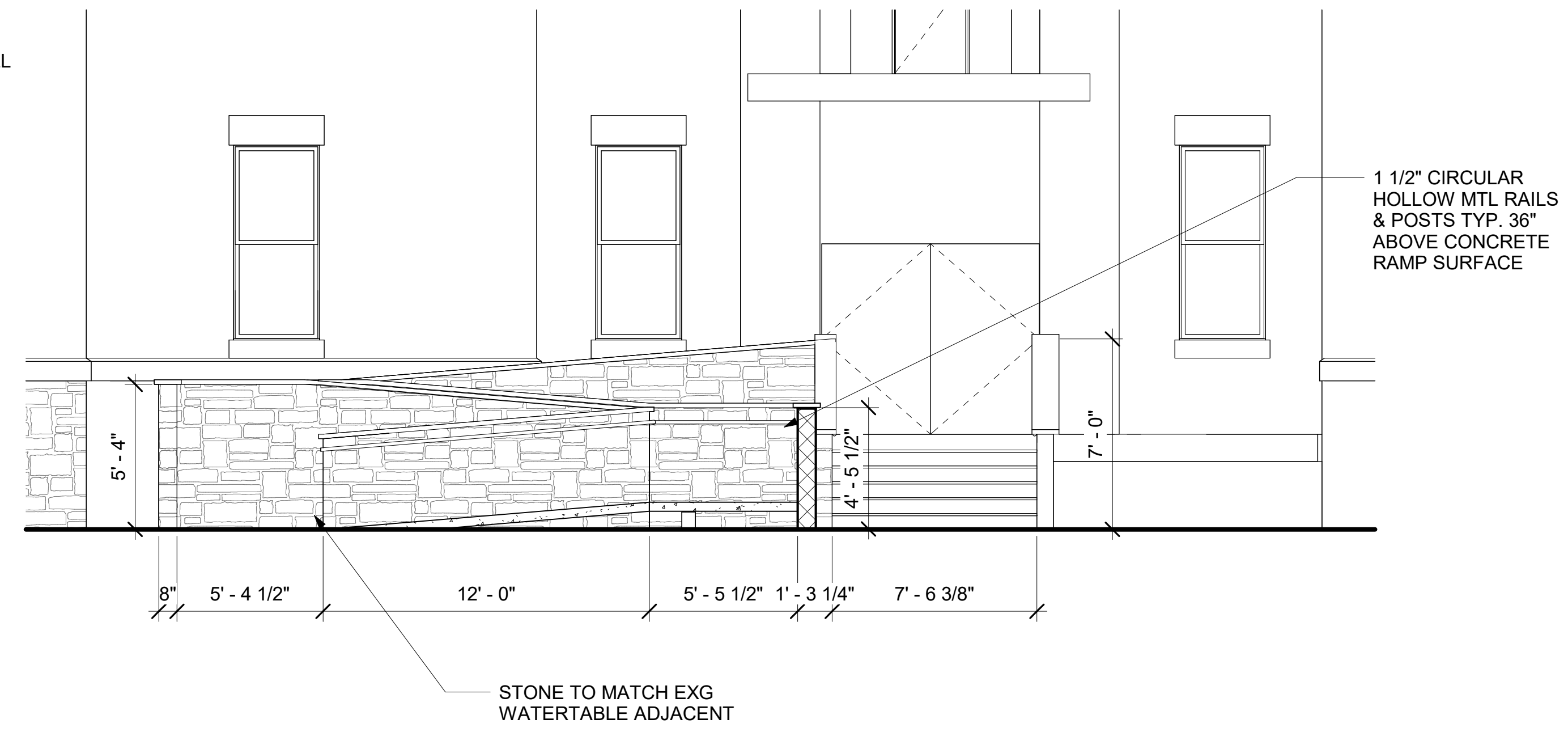
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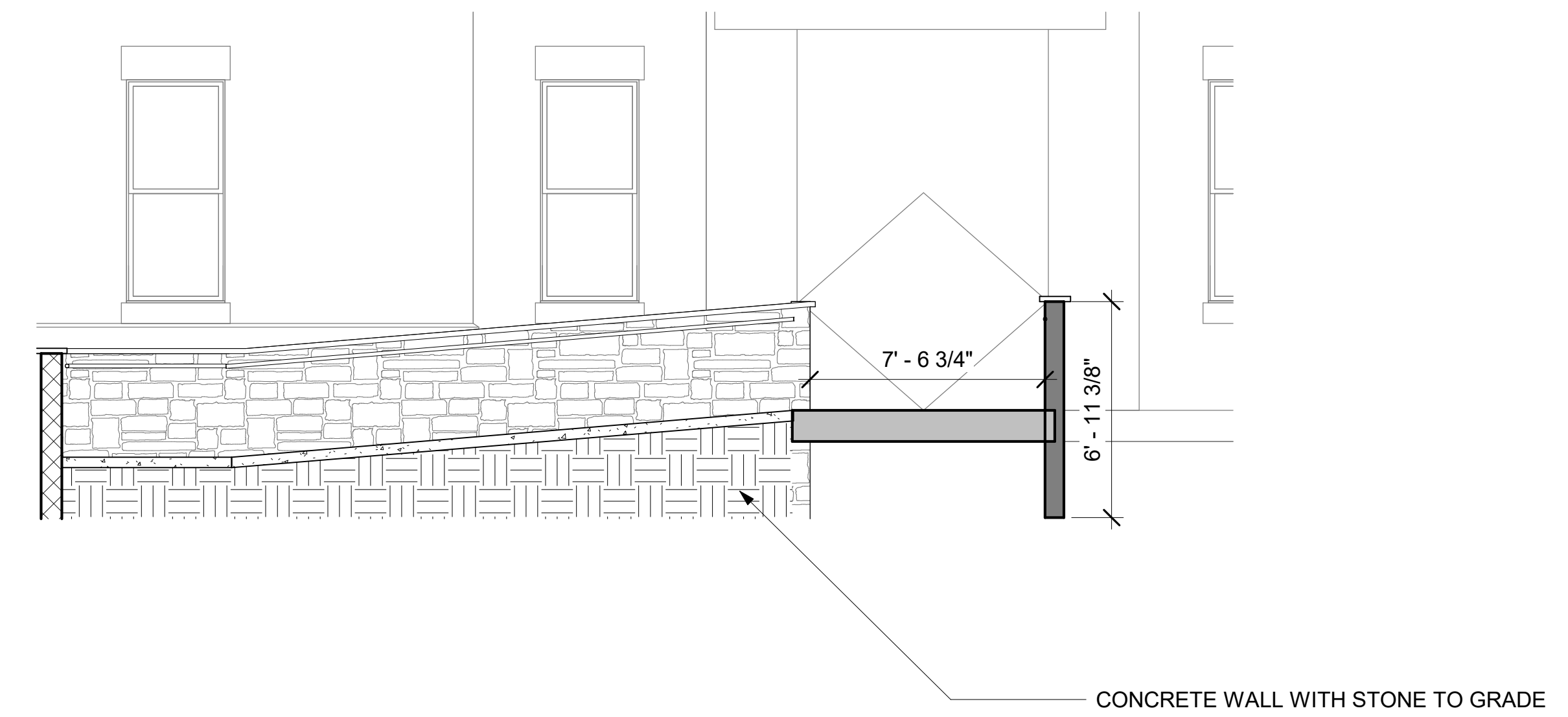
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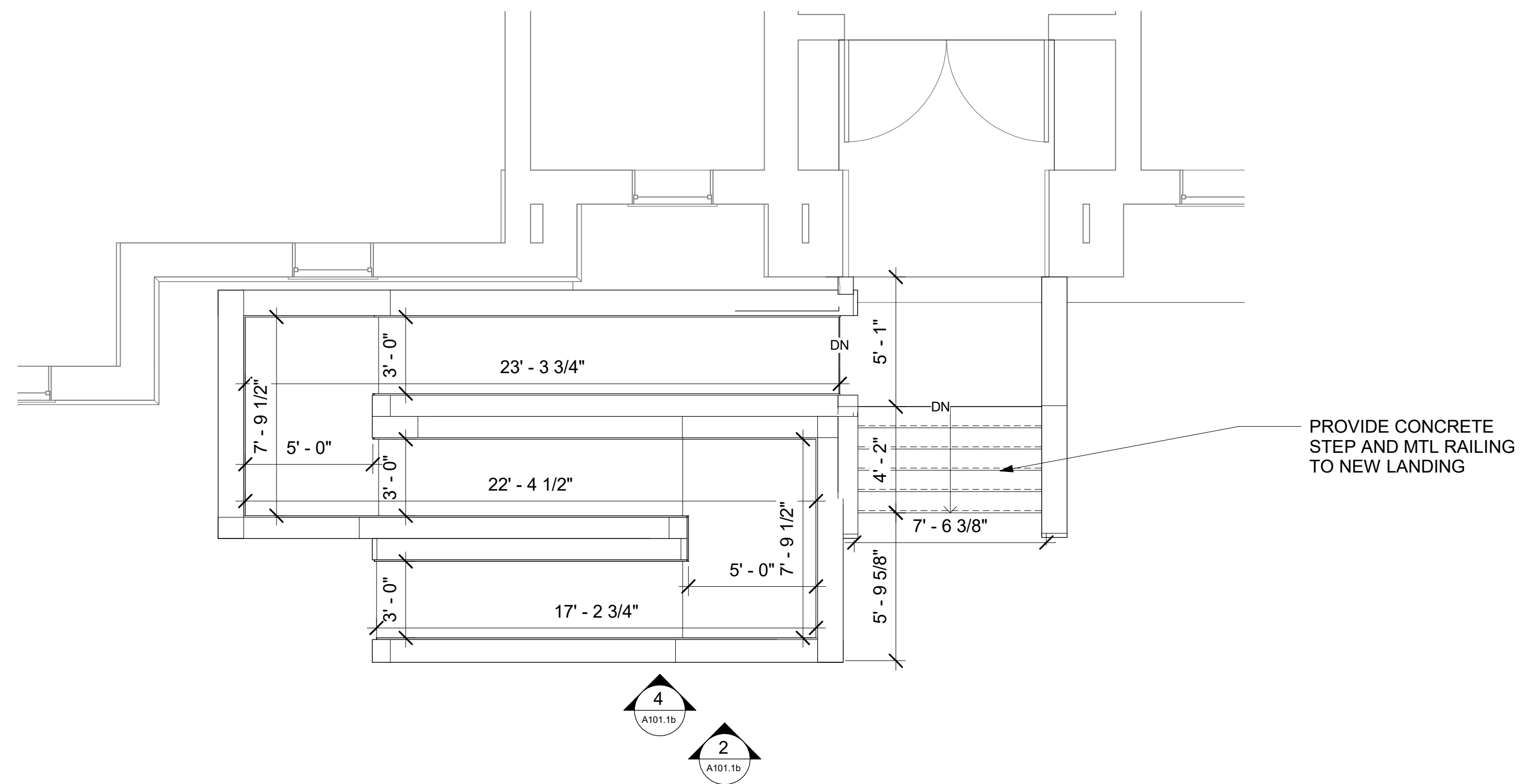
4 RAMP DETAILS - OPTION A
A1.01.1a 1" = 1'-0"



2 ENLARGED WEST RAMP ELEVATION - OPTION A
A1.01.1a 1/4" = 1'-0"



3 RAMP SECTION - OPTION A
A1.01.1a 1/4" = 1'-0"



1 ENLARGED RAMP FLOOR PLAN - OPTION A
A1.01.1a 1/4" = 1'-0"

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15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
RAMP DETAILS -
OPTION B

REVISIONS:

SCALE: AS NOTED

DATE: 06-29-23

DRAWN BY: COP

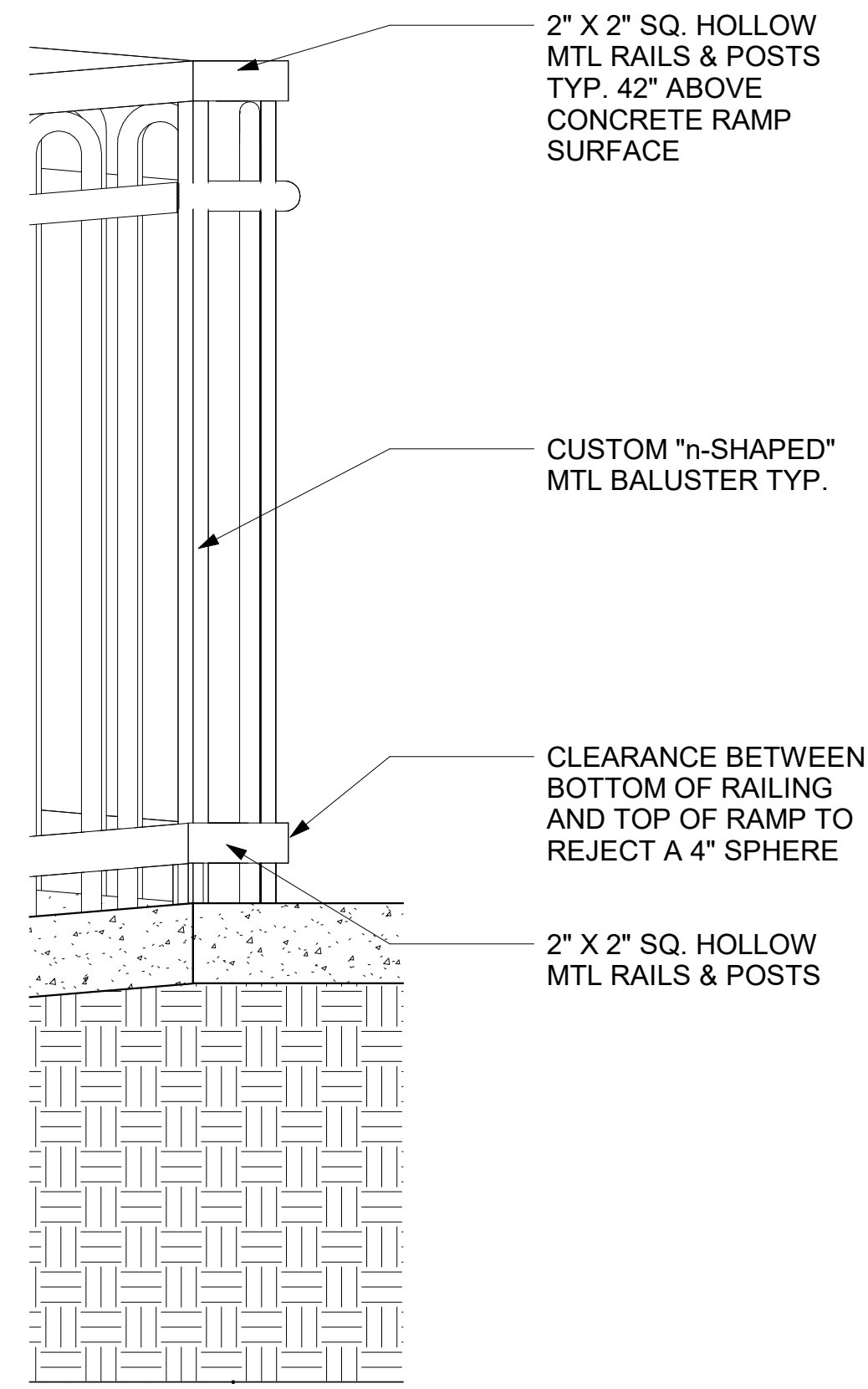
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PROJECT NO. XXXX

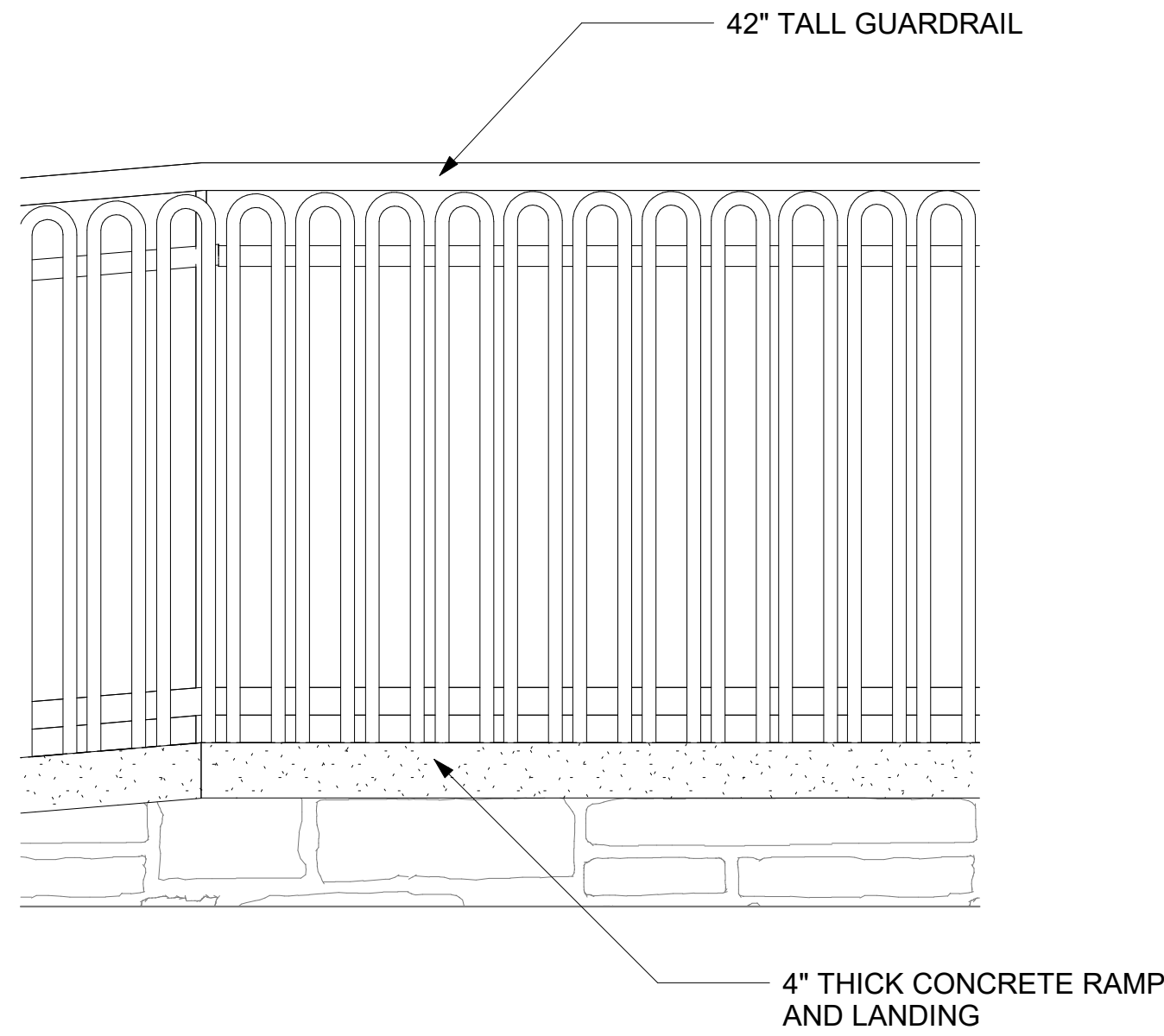
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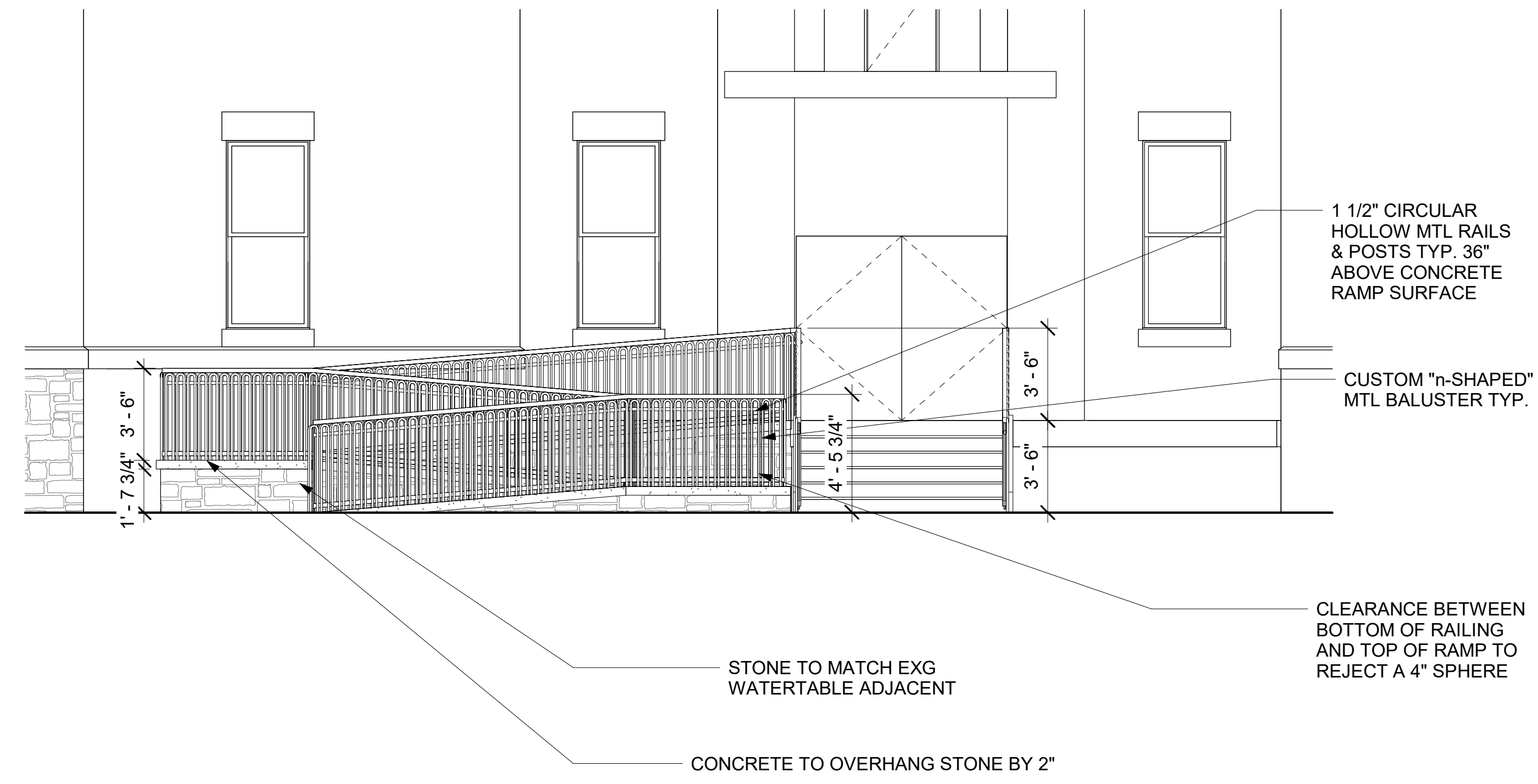
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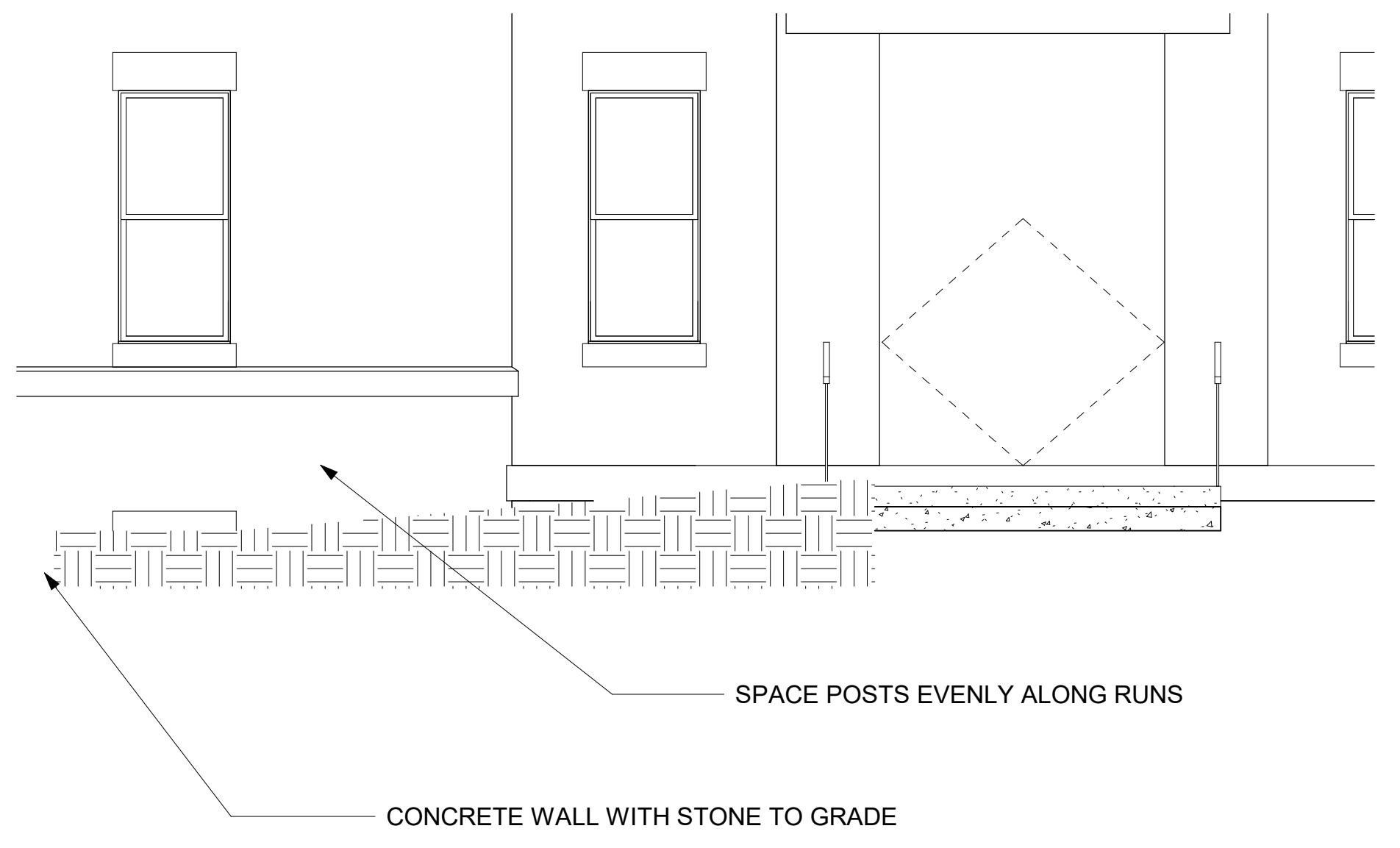
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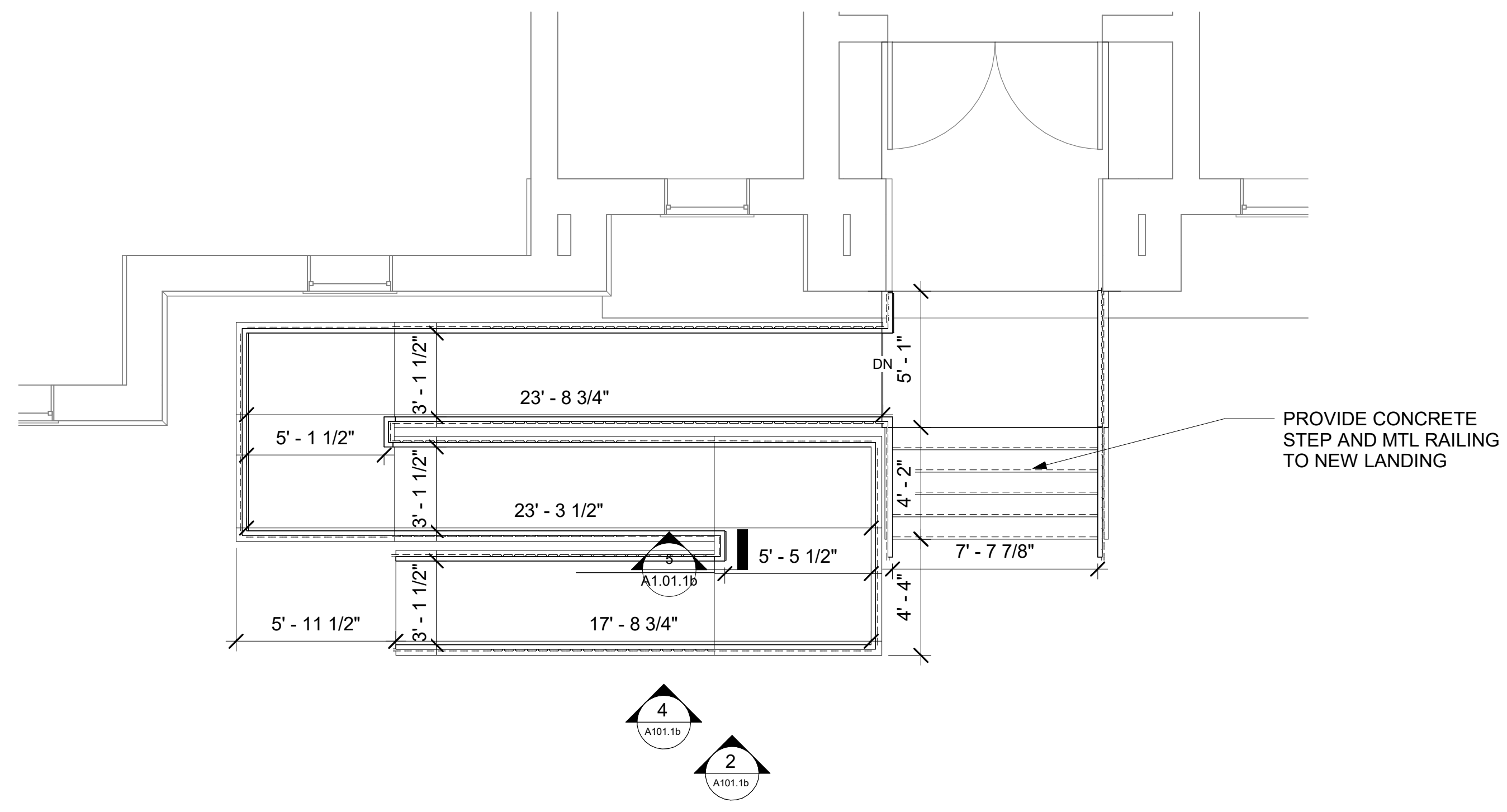
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2 ENLARGED WEST RAMP ELEVATION - OPTION B
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3 RAMP SECTION - OPTION B
A1.01.1b 1/4" = 1'-0"



1 ENLARGED RAMP FLOOR PLAN - OPTION B
A1.01.1b 1/4" = 1'-0"



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

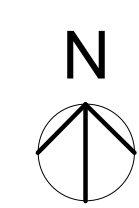
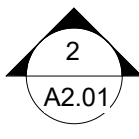
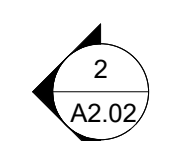
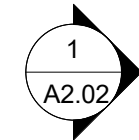
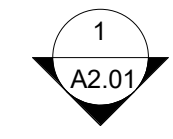
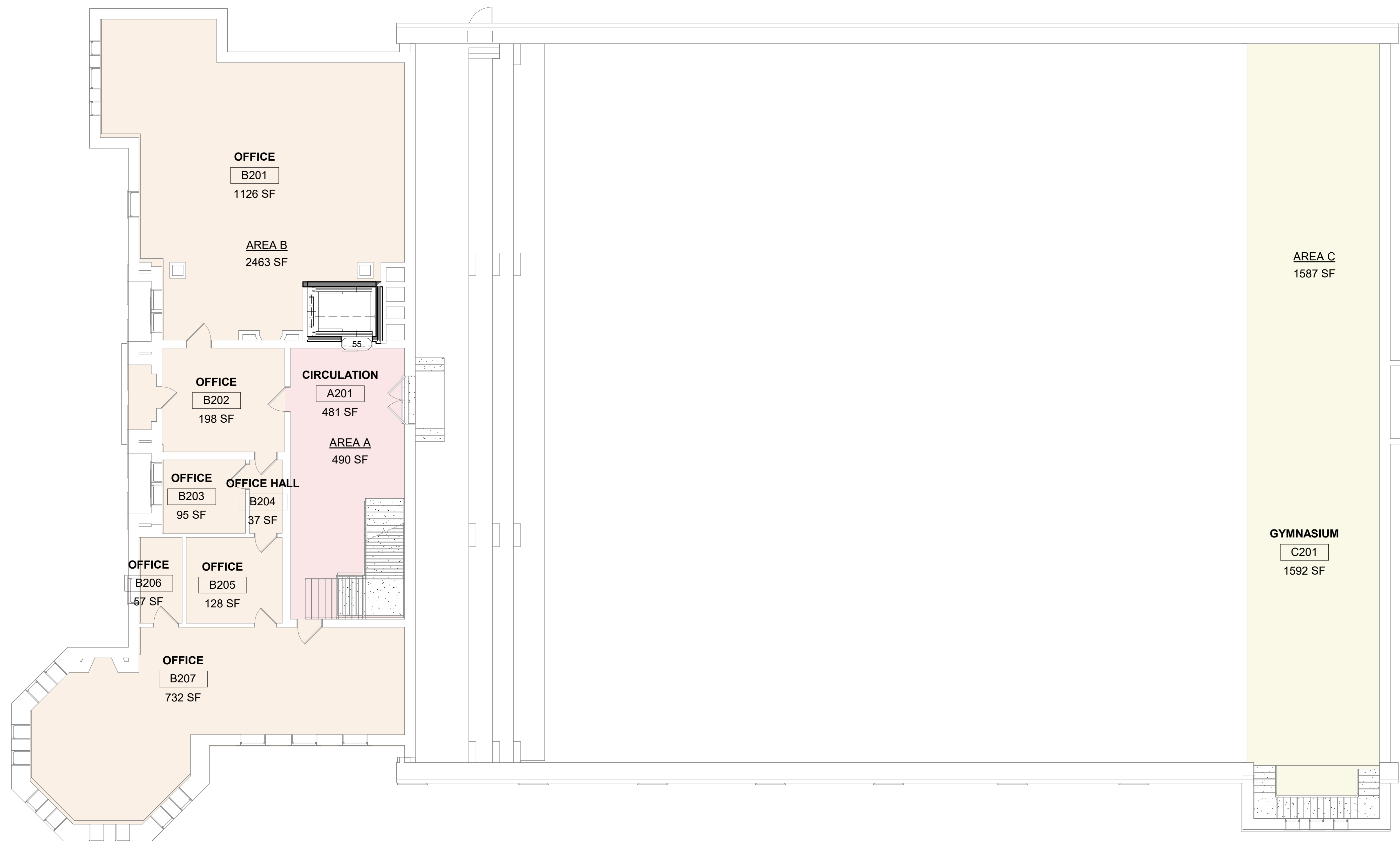
4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
SECOND FLOOR
PLAN

REVISIONS:

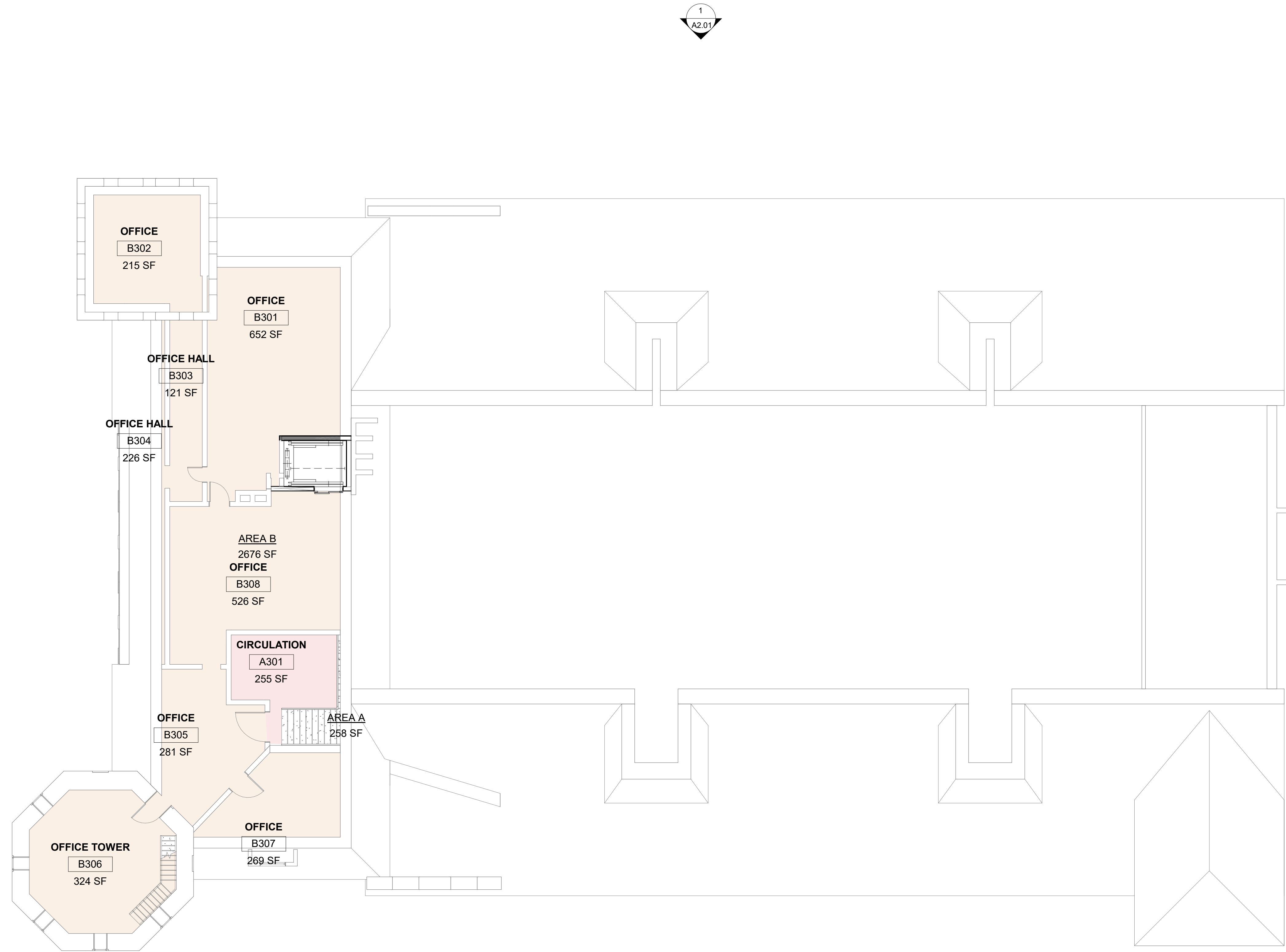
SCALE: AS NOTED
DATE: 06-29-23
DRAWN BY: Author
REVIEWED BY: Checker
PROJECT NO. XXXX
DRAWING NO:
A1.02

Area Schedule (Rentable)		
Area	Name	Level
709 SF	AREA A	FIRST FLOOR
490 SF	AREA A	SECOND FLOOR
258 SF	AREA A	THIRD FLOOR
453 SF	AREA A	BASEMENT
1910 SF		
706 SF	AREA B	FIRST FLOOR
378 SF	AREA B	FIRST FLOOR
833 SF	AREA B	FIRST FLOOR
121 SF	AREA B	FIRST FLOOR
146 SF	AREA B	FIRST FLOOR
2463 SF	AREA B	SECOND FLOOR
2676 SF	AREA B	THIRD FLOOR
332 SF	AREA B	FOURTH FLOOR
333 SF	AREA B	FIFTH FLOOR
7988 SF		
1587 SF	AREA C	SECOND FLOOR
1587 SF		
2027 SF	AREA D	BASEMENT
3239 SF	AREA D	BASEMENT
713 SF	AREA D	BASEMENT
1939 SF	AREA D	BASEMENT
3257 SF	AREA D	BASEMENT
25 SF	AREA D	BASEMENT
11201 SF		
10935 SF	GYMNASIUM	FIRST FLOOR
	M AREA C	
10935 SF		
33621 SF		



1 SECOND FLOOR PLAN
A1.02 1/8" = 1'-0"

DRAFT



1
A1.03
THIRD FLOOR PLAN
1/8" = 1'-0"

Area Schedule (Rentable)		
Area	Name	Level
709 SF	AREA A	FIRST FLOOR
490 SF	AREA A	SECOND FLOOR
258 SF	AREA A	THIRD FLOOR
453 SF	AREA A	BASEMENT
1910 SF		
706 SF	AREA B	FIRST FLOOR
378 SF	AREA B	FIRST FLOOR
833 SF	AREA B	FIRST FLOOR
121 SF	AREA B	FIRST FLOOR
146 SF	AREA B	FIRST FLOOR
2463 SF	AREA B	SECOND FLOOR
2676 SF	AREA B	THIRD FLOOR
332 SF	AREA B	FOURTH FLOOR
333 SF	AREA B	FIFTH FLOOR
7988 SF		
1587 SF	AREA C	SECOND FLOOR
1587 SF		
2027 SF	AREA D	BASEMENT
3239 SF	AREA D	BASEMENT
713 SF	AREA D	BASEMENT
1939 SF	AREA D	BASEMENT
3257 SF	AREA D	BASEMENT
25 SF	AREA D	BASEMENT
11201 SF		
10935 SF	GYMNASIUM AREA C	FIRST FLOOR
10935 SF		
33621 SF		



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
THIRD FLOOR PLAN

REVISIONS:

DRAFT

SCALE: AS NOTED

DATE: 06-29-23

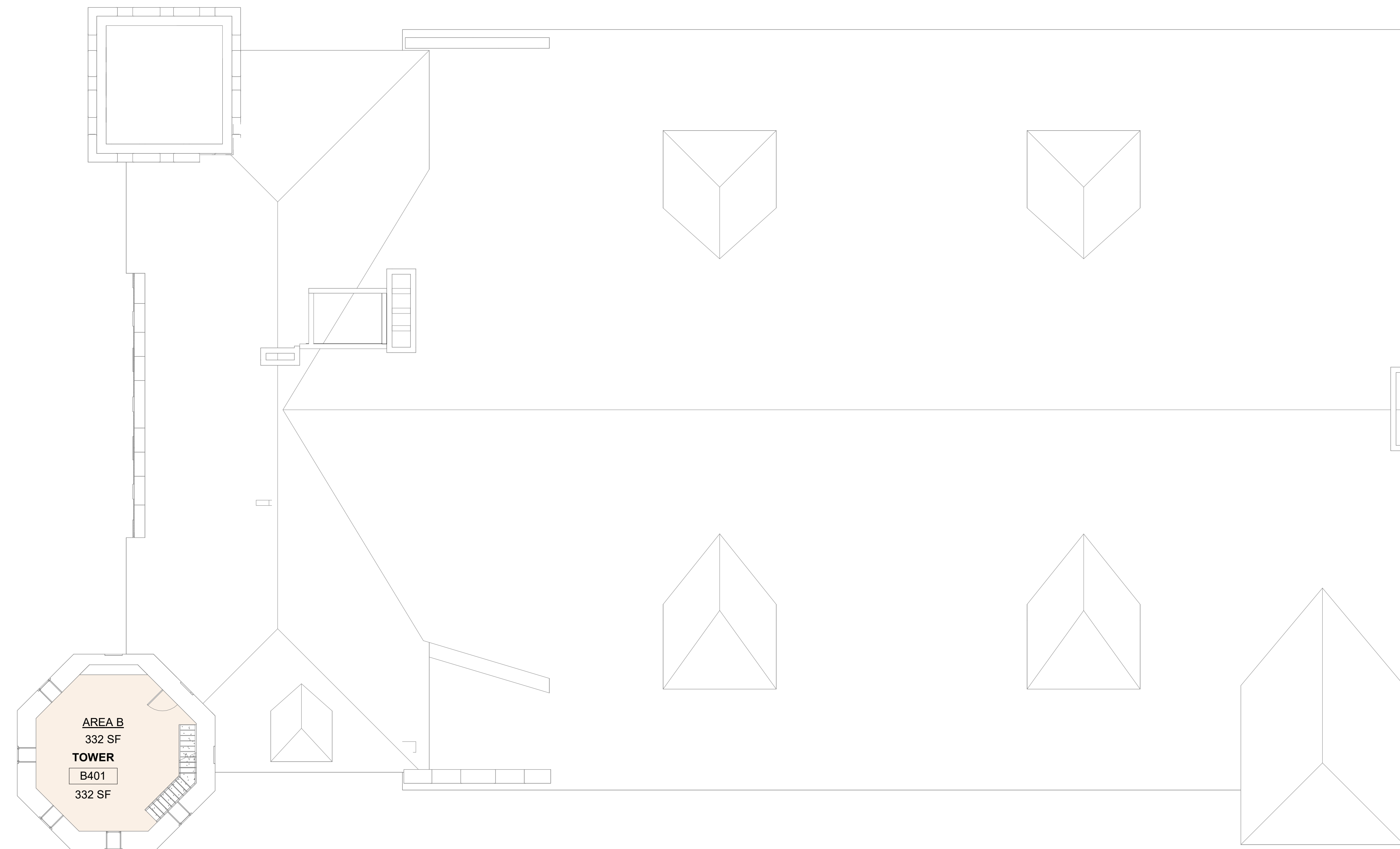
DRAWN BY: Author

REVIEWED BY: Checker

PROJECT NO. XXXX

DRAWING NO:

A1.03



Area Schedule (Rentable)		
Area	Name	Level
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490 SF	AREA A	SECOND FLOOR
258 SF	AREA A	THIRD FLOOR
453 SF	AREA A	BASEMENT
1910 SF		
706 SF	AREA B	FIRST FLOOR
378 SF	AREA B	FIRST FLOOR
833 SF	AREA B	FIRST FLOOR
121 SF	AREA B	FIRST FLOOR
146 SF	AREA B	FIRST FLOOR
2463 SF	AREA B	SECOND FLOOR
2676 SF	AREA B	THIRD FLOOR
332 SF	AREA B	FOURTH FLOOR
333 SF	AREA B	FIFTH FLOOR
7988 SF		
1587 SF	AREA C	SECOND FLOOR
1587 SF		
2027 SF	AREA D	BASEMENT
3239 SF	AREA D	BASEMENT
713 SF	AREA D	BASEMENT
1939 SF	AREA D	BASEMENT
3257 SF	AREA D	BASEMENT
25 SF	AREA D	BASEMENT
11201 SF		
10935 SF	GYMNASIU M AREA C	FIRST FLOOR
10935 SF		
33621 SF		



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

4 Academy St, Oneonta,
NY 13820

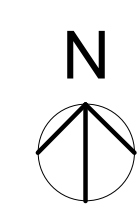
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FOURTH FLOOR
PLAN

REVISIONS:

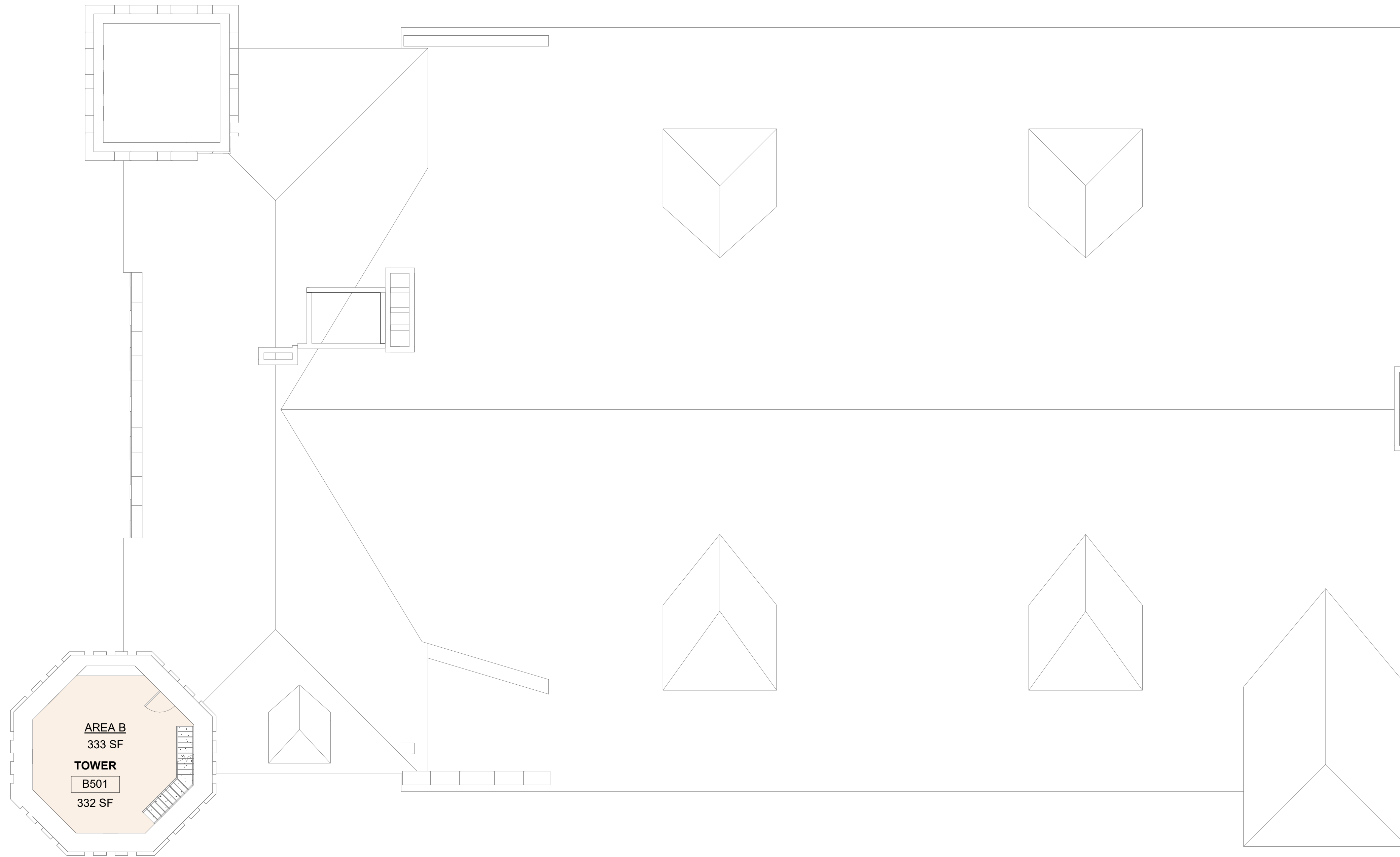
SCALE: AS NOTED
DATE:06-29-23
DRAWN BY: Author
REVIEWED BY: Checker
PROJECT NO.XXXX

DRAWING NO:
A1.04

FOURTH FLOOR
1/8" = 1'-0"



DRAFT



Area Schedule (Rentable)		
Area	Name	Level
709 SF	AREA A	FIRST FLOOR
490 SF	AREA A	SECOND FLOOR
258 SF	AREA A	THIRD FLOOR
453 SF	AREA A	BASEMENT
1910 SF		
706 SF	AREA B	FIRST FLOOR
378 SF	AREA B	FIRST FLOOR
833 SF	AREA B	FIRST FLOOR
121 SF	AREA B	FIRST FLOOR
146 SF	AREA B	FIRST FLOOR
2463 SF	AREA B	SECOND FLOOR
2676 SF	AREA B	THIRD FLOOR
332 SF	AREA B	FOURTH FLOOR
333 SF	AREA B	FIFTH FLOOR
7988 SF		
1587 SF	AREA C	SECOND FLOOR
1587 SF		
2027 SF	AREA D	BASEMENT
3239 SF	AREA D	BASEMENT
713 SF	AREA D	BASEMENT
1939 SF	AREA D	BASEMENT
3257 SF	AREA D	BASEMENT
25 SF	AREA D	BASEMENT
11201 SF		
10935 SF	GYMNASIU M AREA C	FIRST FLOOR
10935 SF		
33621 SF		



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
FIFTH FLOOR PLAN

REVISIONS:

DRAFT

SCALE: AS NOTED

DATE:06-29-23

DRAWN BY: Author

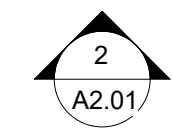
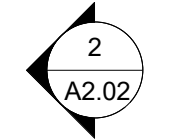
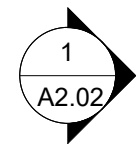
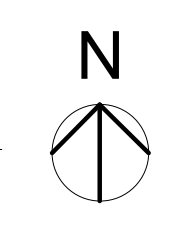
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PROJECT NO.XXXX

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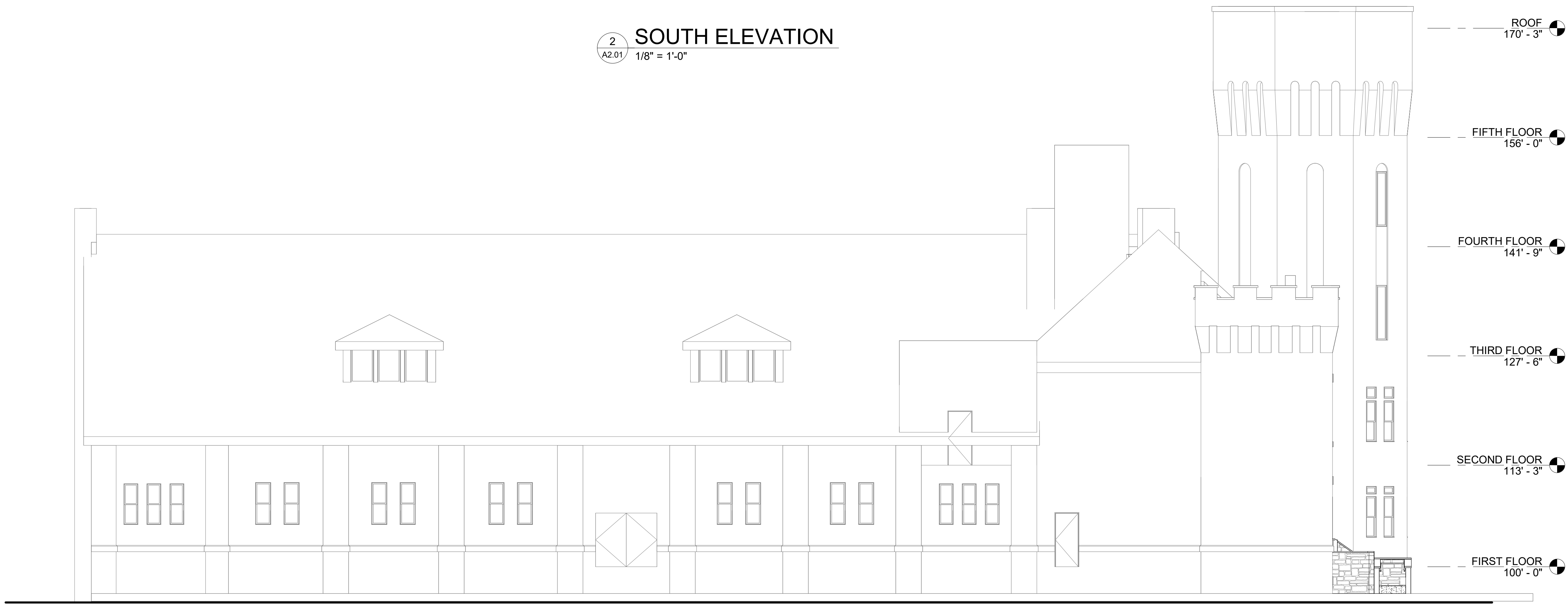
A1.05

1
A1.05
FIFTH FLOOR
1/8" = 1'-0"





2 SOUTH ELEVATION
A2.01 1/8" = 1'-0"



1 NORTH ELEVATION
A2.01 1/8" = 1'-0"



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
EXTERIOR
ELEVATIONS

REVISIONS:

SCALE: AS NOTED
DATE: 06-29-23
DRAWN BY: COP
REVIEWED BY: CAD
PROJECT NO. XXXX

DRAWING NO:
A2.01

DRAFT

ROOF
170' - 3"

FIFTH FLOOR
156' - 0"

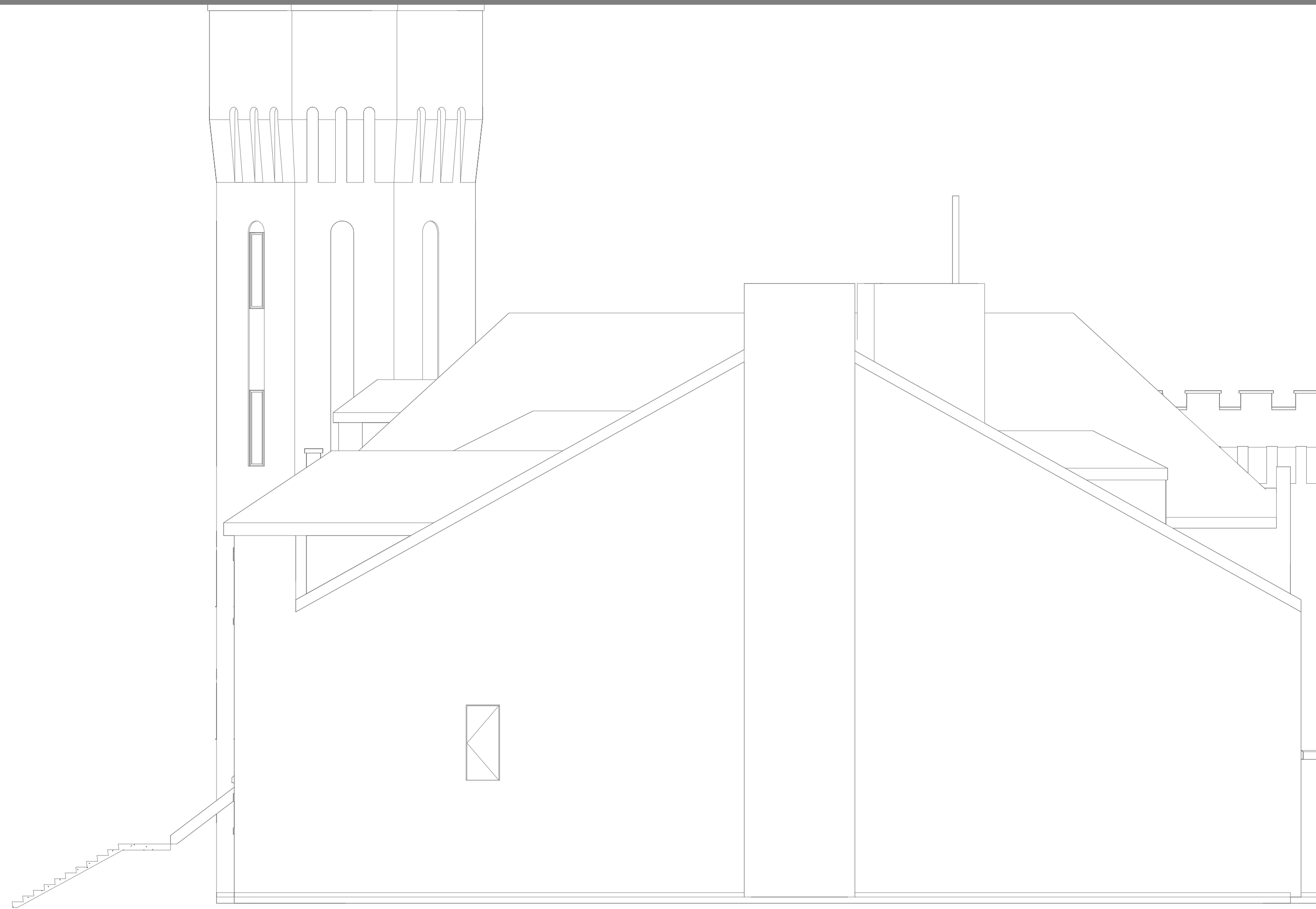
FOURTH FLOOR
141' - 9"

THIRD FLOOR
127' - 6"

SECOND FLOOR
113' - 3"

FIRST FLOOR
100' - 0"

BASEMENT
89' - 0"



2 EAST ELEVATION
A2.02 1/8" = 1'-0"



1 WEST ELEVATION
A2.02 1/8" = 1'-0"



15 EAST MARKET ST
CORNING, NY 14830
PHONE: (607) 937-1946

SEAL:

CONSULTANT:

Project Status

4 Academy St, Oneonta,
NY 13820

DRAWING TITLE:
EXTERIOR
ELEVATIONS

REVISIONS:

DRAFT

SCALE: AS NOTED

DATE:06-29-23

DRAWN BY: COP

REVIEWED BY: CAD

PROJECT NO.XXXX

DRAWING NO:

A2.02

Oneonta Armory Code Review

Johnson – Schmidt, Architect, PC

15 East Market Street #202
Corning, NY 14830

Phone 607-937-1946
Facsimile 607-937-6137

July 7, 2023

Re: Oneonta Armory, 4 Academy St, Oneonta, NY 13820

2020 NYSEBC CHAPTER 10 CHANGE OF OCCUPANCY Change to Assembly/ Business

This code review concerns the renovation of a historic building, which is being designed for compliance with the Secretary of the Interiors Standards for Rehabilitation and submitted as a Historic Preservation Tax Credit Project.

General Building Information:

1. The site consists of a 5 story above grade Mixed-Use building. Assembly A-3 Basement, Assembly A-3 First Floor, and Assembly A-4 Second Floor. Business on First floor through Fifth Floor.
2. Alterations will be to the Basement through Fifth story of the building.
3. The Basement is 11,654 SF, First Floor is 13,487 SF, Second Floor is 4,540 SF, Third Floor is 2,989 SF, and Fourth and Fifth Floors are 332 SF.
4. Per building code the building must be sprinklered. A standpipe will not be required since highest level of fire department access for more than one tenant is not more than 50 ft above grade.
5. The construction type of this building is 3B. This means the building exterior walls must be noncombustible construction material and the interior and roof may be made of combustible materials. The structural members may remain unprotected from fire.

Summary:

1. Sprinkler system is required
2. Fire Alarm system is required
3. One means of egress is acceptable.
4. Existing Stair may remain open
5. Vertical openings connecting less than 6 stories shall not be required to be enclosed
6. Ratings:
 - a. Corridor – 1 Hour
 - b. Occupancy Separation – 1 Hour
 - c. Floor – 1 Hour

New York State Existing Building Code:

Chapter 10 – Change of Occupancy

1001.2.2.1 – Partial change of occupancy

Where the occupancy classification or group of a portion of an existing building is changed, Section 1011 Shall apply.

1011.1.1.2 – Change of Occupancy classification with Separation

Where a portion of an existing building is changed to a new occupancy classification or where there is a change of occupancy within a space where there is a different fire protection system threshold requirement in Chapter 9 of the New York State Building Code, and that portion is separated from the remainder of the building with fire barriers having a fire-resistance rating as required in the New York State Building Code for the separate occupancy, that portion shall comply with all of the requirements of Chapter 9 of this code for the new occupancy classification and with the requirements of this chapter.

1011.2.1 - Fire sprinkler system

Where a change in occupancy classification occurs or where there is a change of occupancy within a space where there is a different fire protection system threshold requirement in Chapter 9 of the New York State Building Code that requires an automatic fire sprinkler system to be provided based on the new occupancy in accordance with Chapter 9 of the New York State Building Code, such system shall be provided throughout the area where the change of occupancy occurs. **A sprinkler is required and shall be provided based on NYSBC section 903.2.1.4 condition 3.**

1011.2.2 Fire Alarm and detection system

Where a change in occupancy classification occurs or where there is a change of occupancy within a space where there is a different fire protection system threshold requirement in Chapter 9 of the New York State Building Code that requires a fire alarm and detection system to be provided based on the new occupancy in accordance with Chapter 9 of the New York State Building Code, such system shall be provided throughout the area where the change of occupancy occurs. **A fire alarm and detection system is required and currently exists.**

1011.4.2 Means of egress for change of use to an equal or lower-hazard category.

Where a change of occupancy classification is made to an equal or lower-hazard (higher number) as shown in Table 1011.4, existing elements of the means of egress shall comply with the requirements of section 905 for the new occupancy classification. Newly constructed or configured means of egress shall comply with the requirements of chapter 10 of the Building Code of New York State.

Exceptions:

Any Stairway replacing an existing stairway within a space where the pitch or slope cannot be reduced because of existing conditions shall not be required to comply with the maximum riser height and minimum tread depth requirements.

1011.4.3 Egress Capacity

Egress capacity shall meet or exceed the occupant load as specified in the Building Code of New York State for the new occupancy.

1011.5.2 Height and area for change to an equal or lesser-hazard category

Where a change of occupancy classification is made to an equal or lesser-hazard category as shown in table 1011.5, the height and area of the existing building shall be deemed acceptable.

1011.6.2 Exterior wall rating for change of occupancy classification to an equal or lesser-hazard category.

Where a change of occupancy classification is made to an equal or lesser-hazard category as shown in table 1011.6, Existing exterior walls, including openings, shall be accepted.

1011.7.2 Stairways.

Where a change of occupancy classification is made to a higher-hazard category as shown in Table 1011.4, interior stairways shall be enclosed as required by the New York State Building Code. **Occupancy classification is made to an equal or lesser-hazard category, therefore this section does not apply.**

1011.7.3 Other vertical shafts.

Interior vertical shafts other than stairways, including but not limited to elevator hoist-ways and service and utility shafts, shall be enclosed as required by the New York State Building Code where there is a change of use to a higher-hazard category as specified in Table 1011.4.

Exceptions:

1. Existing 1-hour interior shaft enclosures shall be accepted where a higher rating is required.
2. Vertical openings, other than stairways, in buildings of other than Group I occupancy and connecting less than six stories shall not be required to be enclosed if the entire building is provided with an approved automatic sprinkler system.

1011.7.4 – Openings

Openings into existing vertical shaft enclosures shall be protected by fire assemblies having a fire protection rating of not less than 1 hour and shall be maintained self-closing or shall be automatic-closing by actuation of a smoke detector. Other openings shall be fire protected in an approved manner. Existing fusible link type automatic door-closing devices shall be permitted in all shafts except stairways if the fusible link rating does not exceed 135°F (57°C).

Chapter 9 – Alterations Level III

901.2 – Compliance

In addition to the provisions of this chapter, work shall comply with all of the requirements of chapter 7 and 8.

Section 903 – Building Elements and Materials

903.1 – Existing Shafts and Vertical Openings

Existing Stairways that are part of the means of egress shall be enclosed in accordance with section 802.2.1 from the highest work area floor to, and including, the level of exit discharge and all floors below.

Section 904 – Fire Protection

904.1 – Automatic Sprinkler Systems

An Automatic Sprinkler system shall be provided in a work area where required by section 803.2 or this section. **Sprinkler system is required throughout.**

904.2 – Fire Alarm and Detection Systems

Fire Alarm and Detection shall be provided in accordance with section 907 of the Building Code of New York State as required for new construction. **A fire alarm and detection system is required and currently exists.**

Section 905 – Means of Egress

905.1 – Means of Egress

The means of egress shall comply with the requirements of Section 805 except as specifically required in Sections 905.2 and 905.3

905.2 - Means-Of-Egress Lighting

Means of egress from the highest work area floor to the floor of exit discharge shall be provided with artificial lighting within the exit enclosure in accordance with the requirements of the Building Code of New York State.

905.3 - Exit Signs

Means of egress from the highest work area floor to the floor of exit discharge shall be provided with exit signs in accordance with the requirements of the Building Code of New York State.

Section 907 – Energy Conservation

907.1 – Energy Conservation Minimum Requirements

Level 3 alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the Energy Conservation Construction Code of New York State or Residential Code of New York State. The alterations shall conform to the energy requirements of the Energy Conservation Construction Code of New York State or Residential Code of New York State as they relate to new construction only.

Chapter 8 – Alterations level II

Section 801 - General

801.2 - Alteration Level 1 compliance.

In addition to the requirements of this chapter, all work shall comply with the requirements of Chapter 7.

801.3 - Compliance.

New construction elements, components, systems, and spaces shall comply with the requirements of the *New York State Building Code*.

802.2 Vertical Openings

802.2.1 - Existing vertical openings.

Existing interior vertical openings connecting two or more floors shall be enclosed with *approved* assemblies having a fire-resistance rating of not less than 1 hour with *approved* opening protectives.

Exceptions:

4. In Group A occupancies, a minimum 30-minute enclosure shall be provided to protect all vertical openings not exceeding three stories.
5. In Group B occupancies, a minimum 30-minute enclosure shall be provided to protect all vertical openings not exceeding three stories.

Section 802.5 - Guards

802.5.1 Minimum Requirement

Every portion of a floor, such as a balcony or a loading dock, that is more than 30 inches (762 mm) above the floor or grade below and is not provided with guards, or those in which the existing guards are judged to be in danger of collapsing, shall be provided with guards.

802.5.2 Design

Where there are no guards or where existing guards must be replaced, the guards shall be designed and installed in accordance with the Building Code of New York State.

Section 803 – Fire Protection

803.1.1 Corridor Ratings

Where an approved automatic sprinkler system is installed throughout the story, the required fire-resistance rating for any corridor located on the story shall be permitted to be reduced in accordance with the Building Code of New York State. In order to be considered for a corridor rating reduction, such system shall provide coverage for the stairway landings serving the floor and the intermediate landings immediately below.

803.3 - Standpipes.

Where the *work area* includes exits or corridors shared by more than one tenant and is located more than 50 feet (15 240 mm) above or below the lowest level of fire department access, a standpipe system shall be provided. Standpipes shall have an *approved* fire department connection with hose connections at each

floor level above or below the lowest level of fire department access. Standpipe systems shall be installed in accordance with the *New York State Building Code*.

A Standpipe is not required.

803.4.3 - Smoke alarms. Individual sleeping units and individual dwelling units in any *work area* in Group R and I-1 occupancies shall be provided with smoke alarms in accordance with the *International Fire Code*.

Smoke alarms are required per section 907.2.11 of the IFC

Section 804 – Carbon Monoxide Detection

804.1 Carbon Monoxide Detection and Notification

Carbon monoxide detection and notification shall be provided in accordance with Sections 503.15 through 503.15.1 for buildings that undergo an alteration.

Section 805 – Means of Egress

805.2 General. The means of egress shall comply with the requirements of this section.

805.3 - Number of exits.

The number of exits shall be in accordance with Sections 805.3.1 through 805.3.3.

805.3.1 Minimum number. Every story utilized for human occupancy on which there is a *work area* that includes exits or corridors shared by more than one tenant within the *work area* shall be provided with the minimum number of exits based on the occupancy and the occupant load in accordance with the *New York State Building Code*. In addition, the exits shall comply with Sections 805.3.1.1 and 805.3.1.2.

805.3.1.1 Single-exit buildings.

Only one exit is required from buildings and stories of the following occupancies:

6. In Group R-2 or R-3 buildings not more than five stories, provided the required building features in Table 805.3.1.1(2) shall be provided.

The occupant load, number of dwelling units and exit access travel distance do not exceed the values in Table 805.3.1.1(1) or 805.3.1.1(2). Per table 805.3.1.1(1) We must be less than 4 dwelling units, less than 3,500 sf, less than 75' maximum exit access travel distance, one emergency escape and rescue opening per floor per tenant.

805.6 Dead-End Corridors

Dead-end corridors in any work area shall not exceed 35 feet (10 670 mm).

805.9.1 Handrails Minimum Requirement

Every required exit stairway that is part of the means of egress for any work area and that has three or more risers and is not provided with not fewer than one handrail, or in which the existing handrails are judged to be in danger of collapsing, shall be provided with handrails for the full length of the stairway on not fewer than one side. Exit stairways with a required egress width of more than 66 inches (1676 mm) shall have handrails on both sides.

805.11.1 Guards Minimum Requirement

Every open portion of a stairway, landing, or balcony that is more than 30 inches (762 mm) above the floor or grade below and is not provided with guards, or those portions in which existing guards are judged to be in danger of collapsing, shall be provided with guards.

Section 806 Structural

806.2 Existing structural elements carrying gravity loads. Any existing gravity load-carrying structural element for which an *alteration* causes an increase in design dead, live or snow load, including snow drift effects, of more than 5 percent shall be replaced or altered as needed to carry the gravity loads required by the *New York State Building Code* for new structures. Any existing gravity load-carrying structural element whose gravity load-carrying capacity is decreased as part of the *alteration* shall be shown to have the

capacity to resist the applicable design dead, live and snow loads, including snow drift effects, required by the *New York State Building Code* for new structures. **If the design increases the design load. The structure needs to be reviewed and modified to carry the additional load.**

Section 807 - Electrical

807.1 New installations. Newly installed electrical equipment and wiring relating to work done in any *work area* shall comply with all applicable requirements of NFPA 70 except as provided for in Section 807.3.

Section 808 - Mechanical

808.1 Reconfigured or converted spaces. Reconfigured spaces intended for occupancy and spaces converted to habitable or occupiable space in any *work area* shall be provided with natural or mechanical ventilation in accordance with the *International Mechanical Code*.

Exception: Existing mechanical ventilation systems shall comply with the requirements of Section 808.2.

Section 809 - Plumbing

809.1 Minimum fixtures. Where the occupant load of the story is increased by more than 20 percent, plumbing fixtures for the story shall be provided in quantities specified in the *International Plumbing Code* based on the increased occupant load.

Section 810 – Energy Conservation

810.1 - Minimum requirements. Level 2 *alterations* to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the *International Energy Conservation Code* or *International Residential Code*. The *alterations* shall conform to the energy requirements of the *International Energy Conservation Code* or *International Residential Code* as they relate to new construction only.

Chapter 7 – Alterations Level I

Section 702 – Building Elements and Materials

702.6 - Materials and methods. New work shall comply with the materials and methods requirements in the *New York State Building Code*, *International Energy Conservation Code*, *International Mechanical Code*, and *International Plumbing Code*, as applicable, that specify material standards, detail of installation and connection, joints, penetrations, and continuity of any element, component, or system in the building.

Chapter 12 – Historic Buildings

Section 1201 – General

1201.5 – Unsafe Conditions

Conditions determined to be unsafe shall be remedied. Work shall not be required beyond what is required to remedy the unsafe conditions.

Section 1203 – Fire Safety

1203.6 Stairway Enclosure

In buildings of three stories or less, exit enclosure construction shall limit the spread of smoke by the use of tight-fitting doors and solid elements. Such elements are not required to have a fire-resistance rating.

1203.7 One-Hour Fire-Resistant Assemblies

Where 1-hour fire-resistance-rated construction is required by these provisions, it need not be provided, regardless of construction or occupancy, where the existing wall and ceiling finish is wood or metal lath and plaster.

1203.8 Glazing in Fire-Resistance-Rated Systems

Historic glazing materials are permitted in interior walls required to have a 1-hour fire-resistance rating where the opening is provided with approved smoke seals and the area affected is provided with an automatic sprinkler system.

1203.9 Stairway Railings

Grand stairways shall be accepted without complying with the handrail and guard requirements. Existing handrails and guards at all stairways shall be permitted to remain, provided they are not structurally dangerous.

1203.10.1 Guard Height

Existing guards shall comply with the requirements of Section 404.

1203.10.2 Guard Openings

The spacing between existing intermediate railings or openings in existing ornamental patterns shall be accepted. Missing elements or members of a guard may be replaced in a manner that will preserve the historic appearance of the building or structure.

Chapter 3 – Provisions for all compliance methods

Section 305 – Accessibility for Existing Buildings

305.4 Change of Occupancy

Existing buildings that undergo a change of group or occupancy shall comply with this section.

305.4.1 Partial Change of Occupancy

Where a portion of the building is changed to a new occupancy classification, any alterations shall comply with Sections 305.6, 305.7 and 305.8.

305.9 Historic Buildings

These provisions shall apply to facilities designated as historic structures that undergo alterations or a change of occupancy, unless technically infeasible. Where compliance with the requirements for accessible routes, entrances or toilet rooms would threaten or destroy the historic significance of the facility, as determined by the authority having jurisdiction, the alternative requirements of Sections 305.9.1 through 305.9.4 for that element shall be permitted.

Chapter 5 IECC Energy Code:

- Historic building elements are not required to comply with energy code.
- If cavities at the exterior envelope are opened they must be insulated.
- If vertical or horizontal cavities are opened between tenants, it must have sound and thermal insulation installed.

In general:

- New building elements must meet building code requirements, unless otherwise noted under Historic Building Code Section.
- For specific existing conditions the State of New York defers to the local CEO's judgment. If the CEO feels more safety is needed they have the power to require what would not otherwise be required by the Building Code.
- All comments in this review are the writer's interpretation of the Building Code of New York State.

Thank you,

Charles Devine
Architectural Design Production Manager
Johnson-Schmidt & Associates, Architects

Oneonta Armory Code Review

Johnson – Schmidt, Architect, PC

15 East Market Street #202
Corning, NY 14830

Phone 607-937-1946
Facsimile 607-937-6137

July 7, 2023

Re: Oneonta Armory, 4 Academy St, Oneonta, NY 13820

2020 NYSEBC CHAPTER 10 CHANGE OF OCCUPANCY Change to Assembly/ Residential

This code review concerns the renovation of a historic building, which is being designed for compliance with the Secretary of the Interiors Standards for Rehabilitation and submitted as a Historic Preservation Tax Credit Project.

General Building Information:

1. The site consists of a 5 story above grade Mixed-Use building. Assembly A-3 Basement, Assembly A-3 First Floor, and Assembly A-4 Second Floor. Business on First floor through Fifth Floor.
2. Alterations will be to the Basement through Fifth story of the building.
3. The Basement is 11,654 SF, First Floor is 13,487 SF, Second Floor is 4,540 SF, Third Floor is 2,989 SF, and Fourth and Fifth Floors are 332 SF.
4. Per building code the building must be sprinklered. A standpipe will not be required since highest level of fire department access for more than one tenant is not more than 50 ft above grade.
5. The construction type of this building is 3B. This means the building exterior walls must be noncombustible construction material and the interior and roof may be made of combustible materials. The structural members may remain unprotected from fire.
6. Separation at Residential floor shall be 1 hour rated min.

Summary:

1. Sprinkler system is required
2. Fire Alarm system is required
3. One means of egress is acceptable.
4. Residential Floor Separation shall be 1 hour rated.
5. One escape and rescue opening per tenant per floor
6. Existing Stair may remain open.
7. Vertical openings connecting less than 6 stories shall not be required to be enclosed
8. Type B dwelling or sleeping units required by Section 1107 of the Building Code of New York State are not required to be provided in historic buildings.
9. Ratings:
 - a. Corridor – 1 Hour
 - b. Occupancy Separation – 1 Hour
 - c. Floor @ apartment – 1 Hour

New York State Existing Building Code:

Chapter 10 – Change of Occupancy

1011.1.1.2 – Change of Occupancy classification with Separation

Where a portion of an existing building is changed to a new occupancy classification or where there is a change of occupancy within a space where there is a different fire protection system threshold requirement in Chapter 9 of the New York State Building Code, and that portion is separated from the remainder of the building with fire barriers having a fire-resistance rating as required in the New York State Building Code for the separate occupancy, that portion shall comply with all of the requirements of Chapter 9 of this code for the new occupancy classification and with the requirements of this chapter.

1011.2.1 - Fire sprinkler system

Where a change in occupancy classification occurs or where there is a change of occupancy within a space where there is a different fire protection system threshold requirement in Chapter 9 of the New York State Building Code that requires an automatic fire sprinkler system to be provided based on the new occupancy in accordance with Chapter 9 of the New York State Building Code, such system shall be provided throughout the area where the change of occupancy occurs. **A sprinkler is required and shall be provided.**

NYSBC Section 907.2.9.1 Manual fire alarm system.

A manual fire alarm system that activates the occupant notification system in accordance with Section 907.5 shall be installed in Group R-2 occupancies where any of the following conditions apply:

1. Any dwelling unit or sleeping unit is located three or more stories above the lowest level of exit discharge.
2. Any dwelling unit or sleeping unit is located more than one story below the highest level of exit discharge of exits serving the dwelling unit or sleeping unit.
3. The building contains more than 16 dwelling units or sleeping units.

Dwelling unit is three stories above lowest level of exit discharge. A manual fire alarm system shall be installed.

1011.4.1 Means of egress for change to a higher-hazard category.

Where a change of occupancy classification is made to a higher-hazard category (lower number) as shown in Table 1011.4, the means of egress shall comply with the requirements of Chapter 10 of the New York State Building Code.

Exceptions:

1. Stairways shall be enclosed in compliance with the applicable provisions of Section 903.1.
2. Existing stairways including handrails and guards complying with the requirements of Chapter 9 shall be permitted for continued use subject to approval of the code official.
3. Any stairway replacing an existing stairway within a space where the pitch or slope cannot be reduced because of existing construction shall not be required to comply with the maximum riser height and minimum tread depth requirements.
4. Existing corridor walls constructed on both sides of wood lath and plaster in good condition or 1/2-inch-thick (12.7 mm) gypsum wallboard shall be permitted. Such walls shall either terminate at the under-side of a ceiling of equivalent construction or extend to the underside of the floor or roof next above.
5. Existing corridor doorways, transoms and other corridor openings shall comply with the requirements in Sections 805.5.1, 805.5.2 and 805.5.3.
6. Existing dead-end corridors shall comply with the requirements in Section 805.6.
7. An existing operable window with clear opening area not less than 4 square feet (0.38 m²) and minimum opening height and width of 22 inches (559mm) and 20 inches (508 mm), respectively, shall be accepted as an emergency escape and rescue opening.

1011.6.2 Exterior wall rating for change of occupancy classification to a higher hazard category.

Where a change of occupancy classification is made to a higher-hazard category as shown in table 1011.6, exterior walls shall have fire resistance and exterior opening protectives as required by the NYSBC

1011.7.2 Stairways.

Where a change of occupancy classification is made to a higher-hazard category as shown in Table 1011.4, interior stairways shall be enclosed as required by the New York State Building Code.

Exceptions:

2. Unenclosed existing stairways need not be enclosed in a continuous vertical shaft if each story is separated from other stories by 1-hour fire-resistance-rated construction or approved wired glass set in steel frames and all exit corridors are sprinklered. The openings between the corridor and the occupant space shall have not fewer than one sprinkler head above the openings on the tenant side. The sprinkler system shall be permitted to be supplied from the domestic water-supply systems, provided that the system is of adequate pressure, capacity, and sizing for the combined domestic and sprinkler requirements.

1011.7.3 Other vertical shafts.

Interior vertical shafts other than stairways, including but not limited to elevator hoist-ways and service and utility shafts, shall be enclosed as required by the New York State Building Code where there is a change of use to a higher-hazard category as specified in Table 1011.4.

Exceptions:

1. Existing 1-hour interior shaft enclosures shall be accepted where a higher rating is required.
2. Vertical openings, other than stairways, in buildings of other than Group I occupancy and connecting less than six stories shall not be required to be enclosed if the entire building is provided with an approved automatic sprinkler system.

1011.7.4 – Openings

Openings into existing vertical shaft enclosures shall be protected by fire assemblies having a fire protection rating of not less than 1 hour and shall be maintained self-closing or shall be automatic-closing by actuation of a smoke detector. Other openings shall be fire protected in an approved manner. Existing fusible link type automatic door-closing devices shall be permitted in all shafts except stairways if the fusible link rating does not exceed 135°F (57°C).

Chapter 9 – Alterations Level III

901.2 – Compliance

In addition to the provisions of this chapter, work shall comply with all of the requirements of chapter 7 and 8.

Section 903 – Building Elements and Materials

903.1 – Existing Shafts and Vertical Openings

Existing Stairways that are part of the means of egress shall be enclosed in accordance with section 802.2.1 from the highest work area floor to, and including, the level of exit discharge and all floors below.

Section 904 – Fire Protection

904.1 – Automatic Sprinkler Systems

An Automatic Sprinkler system shall be provided in a work area where required by section 803.2 or this section. **Sprinkler system is required throughout.**

904.2 – Fire Alarm and Detection Systems

Fire Alarm and Detection shall be provided in accordance with section 907 of the Building Code of New York State as required for new construction. **A manual fire alarm system shall be installed.**

Section 905 – Means of Egress

905.1 – Means of Egress

The means of egress shall comply with the requirements of Section 805 except as specifically required in Sections 905.2 and 905.3

905.2 - Means-Of-Egress Lighting

Means of egress from the highest work area floor to the floor of exit discharge shall be provided with artificial lighting within the exit enclosure in accordance with the requirements of the Building Code of New York State.

905.3 - Exit Signs

Means of egress from the highest work area floor to the floor of exit discharge shall be provided with exit signs in accordance with the requirements of the Building Code of New York State.

Section 907 – Energy Conservation

907.1 – Energy Conservation Minimum Requirements

Level 3 alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the Energy Conservation Construction Code of New York State or Residential Code of New York State. The alterations shall conform to the energy requirements of the Energy Conservation Construction Code of New York State or Residential Code of New York State as they relate to new construction only.

Chapter 8 – Alterations level II

Section 801 - General

801.2 - Alteration Level 1 compliance.

In addition to the requirements of this chapter, all work shall comply with the requirements of Chapter 7.

801.3 - Compliance.

New construction elements, components, systems, and spaces shall comply with the requirements of the *New York State Building Code*.

802.2 Vertical Openings

802.2.1 - Existing vertical openings.

Existing interior vertical openings connecting two or more floors shall be enclosed with *approved* assemblies having a fire-resistance rating of not less than 1 hour with *approved* opening protectives.

Exceptions:

11. In Group R-2 occupancies, a minimum 30-minute enclosure shall be provided to protect all vertical openings not exceeding three stories. This enclosure, or the enclosure specified in Section 802.2.1, shall not be required in the following locations:

11.1. Vertical openings not exceeding two stories with not more than four dwelling units per floor.

11.2. Buildings protected throughout by an approved automatic sprinkler system.

Section 802.5 - Guards

802.5.1 Minimum Requirement

Every portion of a floor, such as a balcony or a loading dock, that is more than 30 inches (762 mm) above the floor or grade below and is not provided with guards, or those in which the existing guards are judged to be in danger of collapsing, shall be provided with guards.

802.5.2 Design

Where there are no guards or where existing guards must be replaced, the guards shall be designed and installed in accordance with the Building Code of New York State.

Section 803 – Fire Protection

803.1.1 Corridor Ratings

Where an approved automatic sprinkler system is installed throughout the story, the required fire-resistance rating for any corridor located on the story shall be permitted to be reduced in accordance with the Building Code of New York State. In order to be considered for a corridor rating reduction, such system shall provide coverage for the stairway landings serving the floor and the intermediate landings immediately below.

803.3 - Standpipes.

Where the *work area* includes exits or corridors shared by more than one tenant and is located more than 50 feet (15 240 mm) above or below the lowest level of fire department access, a standpipe system shall be provided. Standpipes shall have an *approved* fire department connection with hose connections at each floor level above or below the lowest level of fire department access. Standpipe systems shall be installed in accordance with the *New York State Building Code*.

A Standpipe is not required.

803.4.3 - Smoke alarms. Individual sleeping units and individual dwelling units in any *work area* in Group R and I-1 occupancies shall be provided with smoke alarms in accordance with the *International Fire Code*.

Smoke alarms are required per section 907.2.11 of the IFC

Section 804 – Carbon Monoxide Detection

804.1 Carbon Monoxide Detection and Notification

Carbon monoxide detection and notification shall be provided in accordance with Sections 503.15 through 503.15.1 for buildings that undergo an alteration.

Section 805 – Means of Egress

805.2 General. The means of egress shall comply with the requirements of this section.

805.3 - Number of exits.

The number of exits shall be in accordance with Sections 805.3.1 through 805.3.3.

805.3.1 Minimum number. Every story utilized for human occupancy on which there is a *work area* that includes exits or corridors shared by more than one tenant within the *work area* shall be provided with the minimum number of exits based on the occupancy and the occupant load in accordance with the *New York State Building Code*. In addition, the exits shall comply with Sections 805.3.1.1 and 805.3.1.2.

805.3.1.1 Single-exit buildings.

Only one exit is required from buildings and stories of the following occupancies:

6. In Group R-2 or R-3 buildings not more than five stories, provided the required building features in Table 805.3.1.1(2) shall be provided.

The occupant load, number of dwelling units and exit access travel distance do not exceed the values in Table 805.3.1.1(1) or 805.3.1.1(2). Per table 805.3.1.1(1) We must be less than 4 dwelling units, less than 3,500 sf, less than 75' maximum exit access travel distance, one emergency escape and rescue opening per floor per tenant.

805.6 Dead-End Corridors

Dead-end corridors in any work area shall not exceed 35 feet (10 670 mm).

805.9.1 Handrails Minimum Requirement

Every required exit stairway that is part of the means of egress for any work area and that has three or more risers and is not provided with not fewer than one handrail, or in which the existing handrails are judged to be in danger of collapsing, shall be provided with handrails for the full length of the stairway on not fewer

than one side. Exit stairways with a required egress width of more than 66 inches (1676 mm) shall have handrails on both sides.

805.11.1 Guards Minimum Requirement

Every open portion of a stairway, landing, or balcony that is more than 30 inches (762 mm) above the floor or grade below and is not provided with guards, or those portions in which existing guards are judged to be in danger of collapsing, shall be provided with guards.

Section 806 Structural

806.2 Existing structural elements carrying gravity loads. Any existing gravity load-carrying structural element for which an *alteration* causes an increase in design dead, live or snow load, including snow drift effects, of more than 5 percent shall be replaced or altered as needed to carry the gravity loads required by the *New York State Building Code* for new structures. Any existing gravity load-carrying structural element whose gravity load-carrying capacity is decreased as part of the *alteration* shall be shown to have the capacity to resist the applicable design dead, live and snow loads, including snow drift effects, required by the *New York State Building Code* for new structures. **If the design increases the design load. The structure needs to be reviewed and modified to carry the additional load.**

Section 807 - Electrical

807.1 New installations. Newly installed electrical equipment and wiring relating to work done in any *work area* shall comply with all applicable requirements of NFPA 70 except as provided for in Section 807.3.

Section 808 - Mechanical

808.1 Reconfigured or converted spaces. Reconfigured spaces intended for occupancy and spaces converted to habitable or occupiable space in any *work area* shall be provided with natural or mechanical ventilation in accordance with the *International Mechanical Code*.

Exception: Existing mechanical ventilation systems shall comply with the requirements of Section 808.2.

Section 809 - Plumbing

809.1 Minimum fixtures. Where the occupant load of the story is increased by more than 20 percent, plumbing fixtures for the story shall be provided in quantities specified in the *International Plumbing Code* based on the increased occupant load.

Section 810 – Energy Conservation

810.1 - Minimum requirements. Level 2 *alterations* to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the *International Energy Conservation Code* or *International Residential Code*. The *alterations* shall conform to the energy requirements of the *International Energy Conservation Code* or *International Residential Code* as they relate to new construction only.

Chapter 7 – Alterations Level I

Section 702 – Building Elements and Materials

702.6 - Materials and methods. New work shall comply with the materials and methods requirements in the *New York State Building Code*, *International Energy Conservation Code*, *International Mechanical Code*, and *International Plumbing Code*, as applicable, that specify material standards, detail of installation and connection, joints, penetrations, and continuity of any element, component, or system in the building.

Chapter 12 – Historic Buildings

Section 1201 – General

1201.5 – Unsafe Conditions

Conditions determined to be by the building official to be unsafe shall be remedied. Work shall not be required beyond what is required to remedy the unsafe conditions.

Section 1203 – Fire Safety

1203.4 - Transoms

In fully sprinklered buildings of Group R-1, R-2 or R-3 occupancy, existing transoms in corridors and other fire-resistance-rated walls may be maintained if fixed in the closed position. A sprinkler shall be installed on each side of the transom.

1203.6 Stairway Enclosure

In buildings of three stories or less, exit enclosure construction shall limit the spread of smoke by the use of tight-fitting doors and solid elements. Such elements are not required to have a fire-resistance rating.

1203.7 One-Hour Fire-Resistant Assemblies

Where 1-hour fire-resistance-rated construction is required by these provisions, it need not be provided, regardless of construction or occupancy, where the existing wall and ceiling finish is wood or metal lath and plaster.

1203.8 Glazing in Fire-Resistance-Rated Systems

Historic glazing materials are permitted in interior walls required to have a 1-hour fire-resistance rating where the opening is provided with approved smoke seals and the area affected is provided with an automatic sprinkler system.

1203.9 Stairway Railings

Grand stairways shall be accepted without complying with the handrail and guard requirements. Existing handrails and guards at all stairways shall be permitted to remain, provided they are not structurally dangerous.

1203.10.1 Guard Height

Existing guards shall comply with the requirements of Section 404.

1203.10.2 Guard Openings

The spacing between existing intermediate railings or openings in existing ornamental patterns shall be accepted. Missing elements or members of a guard may be replaced in a manner that will preserve the historic appearance of the building or structure.

Chapter 3 – Provisions for all compliance methods

Section 305 – Accessibility for Existing Buildings

305.4 Change of Occupancy

Existing buildings that undergo a change of group or occupancy shall comply with this section.

Exception: Type B dwelling or sleeping units required by Section 1107 of the Building Code of New York State are not required to be provided in existing buildings and facilities undergoing a change of occupancy in conjunction with alterations where the work area is 50 percent or less of the aggregate area of the building.

305.4.1 Partial Change of Occupancy

Where a portion of the building is changed to a new occupancy classification, any alterations shall comply with Sections 305.6, 305.7 and 305.8.

305.4.2 Complete Change of Occupancy

Where an entire building undergoes a change of occupancy, it shall comply with Section 305.4.1 and shall have all of the following accessible features:

1. Not fewer than one accessible building entrance.
2. Not fewer than one accessible route from an accessible building entrance to primary function areas.
3. Signage complying with Section 1111 of the Building Code of New York State.
4. Accessible parking, where parking is being provided.
5. Not fewer than one accessible passenger loading zone, where loading zones are provided.

5. Not fewer than one accessible passenger loading zone, where loading zones are provided.
6. Not fewer than one accessible route connecting accessible parking and accessible passenger loading zones to an accessible entrance.

Where it is technically infeasible to comply with the new construction standards for any of these requirements for a change of group or occupancy, Items 1 through 6 shall conform to the requirements to the maximum extent technically feasible.

Exception: The accessible features listed in Items 1 through 6 are not required for an accessible route to Type B units.

305.8.7 Type A Dwelling or Sleeping Units

Where more than 20 Group R-2 dwelling or sleeping units are being altered or added, the requirements of Section 1107 of the Building Code of New York State for Type A units apply only to the quantity of the spaces being altered or added.

305.8.8 Type B Dwelling or Sleeping Units

Where four or more Group I-1, I-2, R-1, R-2, R-3 or R-4 dwelling or sleeping units are being added, the requirements of Section 1107 of the Building Code of New York State for Type B units apply only to the quantity of the spaces being added. Where Group I-1, I-2, R-1, R-2, R-3 or R-4 dwelling or sleeping units are being altered and where the work area is greater than 50 percent of the aggregate area of the building, the requirements of Section 1107 of the Building Code of New York State for Type B units apply only to the quantity of the spaces being altered.

305.9 Historic Buildings

These provisions shall apply to facilities designated as historic structures that undergo alterations or a change of occupancy, unless technically infeasible. Where compliance with the requirements for accessible routes, entrances or toilet rooms would threaten or destroy the historic significance of the facility, as determined by the authority having jurisdiction, the alternative requirements of Sections 305.9.1 through 305.9.4 for that element shall be permitted.

Exception: Type B dwelling or sleeping units required by Section 1107 of the Building Code of New York State are not required to be provided in historic buildings.

Chapter 5 IECC Energy Code:

- Historic building elements are not required to comply with energy code.
- If cavities at the exterior envelope are opened they must be insulated.
- If vertical or horizontal cavities are opened between tenants, it must have sound and thermal insulation installed.

Chapter 29 NYSBC Plumbing Fixtures:

- Plumbing connections for each apartment unit including laundry connections per IPC.

In general:

- New building elements must meet building code requirements, unless otherwise noted under Historic Building Code Section.
- For specific existing conditions the State of New York defers to the local CEO's judgment. If the CEO feels more safety is needed they have the power to require what would not otherwise be required by the Building Code.
- All comments in this review are the writer's interpretation of the Building Code of New York State.

Thank you,

Charles Devine
Architectural Design Production Manager
Johnson-Schmidt & Associates, Architects

ONEONTA ARMORY: SPREADSHEET OF COSTS FOR VARIOUS USES

SPACE	NAME	SQ FT	GENERIC	RESIDENTIAL	BUSINESS	PUBLIC BATHROOMS	FIX UP
			\$200/SF	\$300/SF	\$250/SF	\$300/SF	\$100/SF

BASEMENT

A001	CIRCULATION	455	\$91,000				
D001	BATHROOMS	394				\$118,200	
D002	BATHROOMS	152				\$45,600	
D003	BATHROOMS	263				\$78,900	
D004	STORAGE	571	\$114,200		\$142,750		
D005	YOUTH CENTER	1754			\$438,500		\$175,400
D006	STORAGE (Y.C)	214	\$42,800		\$53,500		
D007	STORAGE (Y.C)	209	\$41,800		\$52,250		
D008	YOUTH CENTER	956			\$239,000		\$95,600
D009	STORAGE	787	\$157,400		\$196,750		
D010	STORAGE	592	\$118,400		\$148,000		
D011	STORAGE	118	\$23,600		\$29,500		
D012	STORAGE/CIRCULATION	2572	\$514,400		\$643,000		
D013	STORAGE	331	\$66,200		\$82,750		
D014	STORAGE	324	\$64,800		\$81,000		
D015	SHOOTING RANGE	1951	\$390,200		\$487,750		
D016	STORAGE	70	\$14,000		\$17,500		
D017	STORAGE	395	\$79,000		\$98,750		

\$2,231,500 to \$2,502,500'

\$3,044,700

1ST FLOOR

A101	ENTRY	97	\$19,400				
A102	ENTRANCE LOBBY	597	\$119,400				
B101	OFFICE/FUTURE BATHROOMS	121		\$36,300		\$36,300	
B102	OFFICE	777		\$233,100	\$194,250		
B103	OFFICE	113		\$33,900	\$28,250		
B104	OFFICE	378		\$113,400	\$94,500		
B105	OFFICE	562		\$168,600	\$140,500		
B106	OFFICE/FUTURE BATHROOMS	97		\$29,100		\$29,100	
B107	OFFICE HALL	40	\$8,000				
C100	GYMNASIUM	10935					\$1,093,500

\$1,854,700

\$1,755,200

SPACE	NAME	SQ FT	GENERIC	RESIDENTIAL	BUSINESS	PUBLIC BATHROOMS	FIX UP
			\$200/SF	\$300/SF	\$250/SF	\$300/SF	\$100/SF

2ND FLOOR

A210	CIRCULATION	481	\$96,200				
B201	OFFICE	1126		\$337,800	\$281,500		
B202	OFFICE	192		\$57,600	\$48,000		
B203	OFFICE	95		\$28,500	\$23,750		
B204	OFFICE HALL	37	\$7,400				
B205	OFFICE	128		\$38,400	\$32,000		
B206	OFFICE	57		\$17,100	\$14,250		
B207	OFFICE	680		\$204,000	\$170,000		
C201	GYMNASIUM LOCKERS	1586					\$158,600
				\$945,600	\$831,700		

3RD FLOOR

A301	CIRCULATION	255	\$51,000				
B301	OFFICE	652		\$195,600	\$163,000		
B302	OFFICE	215		\$64,500	\$53,750		
B303	OFFICE HALL	121		\$36,300	\$30,250		
B304	OFFICE HALL	226		\$67,800	\$56,500		
B305	OFFICE	281		\$84,300	\$70,250		
B306	OFFICE TOWER	324		\$97,200	\$81,000		
B307	OFFICE	222		\$66,600	\$55,500		
B308	OFFICE	526		\$157,800	\$131,500		

4TH FLOOR

B401	OFFICE TOWER	332		\$99,600	\$83,000		
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5TH FLOOR

B501	OFFICE TOWER	333		\$99,900	\$83,250		
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THIRD - FIFTH FLOOR \$1,020,600 \$859,000

TOTALS:	RESIDENTIAL	BUSINESS
BASEMENT	\$2,502,500	\$3,044,700
FIRST FLOOR	\$2,231,500	\$1,755,200
SECOND FLOOR	\$945,600	\$831,700
THIRD - FIFTH FLOOR	\$1,020,600	\$859,000
TOTAL RESIDENTIAL W/GYM & YOUTH CENTER	\$6,323,400	
TOTAL BUSINESS W/GYM (NO YOUTH CENTER)		\$6,490,600

"Pricing based on 7/2023 estimates, which are substantially greater than pre-pandemic square foot costs"



City of Oneonta
ARMORY STRUCTURE REPORT
Oneonta, NY

Oneonta Armory—Interpretation of Uses and Costs

Objectives

The primary objective of this study was to examine the reuse of the Oneonta Armory as a mixed-use building. Its reuse was examined while considering the structure's existing conditions, NY State Building Code and realistic options for its use, which includes maintaining the gymnasium for its originally intended function.

Assumptions

As part of this study, the gymnasium would be maintained in use for its originally intended function. There are several reasons for the gymnasium's continued use as such in this study. First, as a popular recreation space within the community, the survey results (please see the survey results within this report) illustrated a great deal of support for maintaining its use as a gymnasium. Also, as a property listed on the National Register of Historic Places, the gymnasium would be difficult to reuse in a way that preserves its character defining space. Therefore, the reuse of the building maintains the gymnasium as such (which is "Assembly" from a code perspective), while the remainder of the first floor and above of the building is examined for use as either Residential or Business (defined Code uses).

The basement level, currently partially used as a youth center, assumes a continued partial use as such in the Residential Reuse option, while the Business reuse option assumes a reuse as business. Obviously, the youth center could continue to function in both reuse options.

The costs for rehabilitation have been estimated using two different methods, one for the exterior work (\$ 1,947,590) and one for the interior work (varies with the use) and **need to be added together** to arrive at a final "Opinion of Probable Cost". These variations will be summarized below and can also be looked at in the "Opinion of Probable Cost –Interior," found as a document in the report. The exterior estimate was completed using line items for the individual work tasks (e.g. repointing the brick, which was estimated to be 20% of the exterior brick material, at a cost of \$8/sf; or window repairs at \$750/window, for example). The interior work was estimated using a square foot cost for different uses. The reason for this is that the cost to build residential space is more expensive due to the construction of kitchens and bathroom being more expensive than office space, while hallway space is less expensive than business space because you still must supply water closets for business space, while hallways are just that.

For these reasons, we assigned hallway and storage space a cost of \$200/sf; residential \$300/sf; business \$250/sf; and public bathrooms \$300/sf. These square foot costs are somewhat higher than pre-covid figures, however, we have not seen prices drop down to the \$150 –\$200 figures we were used to seeing prior to the pandemic. We have also included a \$100/square foot cost for the gymnasium (and could also be used for the youth center space) for updating mechanical and electrical systems, interior repairs and upgrades to include scoreboards, mezzanine railing (code requires the railing to be at 42" rather than the extremely low balustrade that currently exists), etc.



City of Oneonta
ARMORY STRUCTURE REPORT
Oneonta, NY

Results

Please note that in the spreadsheet, where there is no figure in the column under the type of use, the cost that has been used for this line item is under a different column and has been accounted for in the total cost for that use (e.g. restrooms will be found under the \$300/sf column because the cost to renovate bathroom space is higher than \$250/sf business use).

Also, the Exterior Opinion of Probable cost, \$4,947,590, has to be added to the below figures to get the overall Opinion of Probable Cost.

Basement

The cost to rehabilitate the youth center space and the storage spaces found in the basement level varies from \$1,960,500 to \$2,502,500 (full renovation). The lower figure assumes no work to the youth center spaces (except sprinklering) and the figure to do modest updates (\$100/sf) is **\$2,231,500**. This includes rehabilitating the bathroom and locker rooms as bathroom and locker rooms (\$300/sf).

Comparatively, the cost to rehabilitate the basement to all business space is **\$3,044,700**. This includes rehabilitating the bathroom and locker rooms as bathroom and locker rooms, as an amenity to attract businesses.

First Floor

The cost to rehabilitate the first floor as residential and the gymnasium as gymnasium space (\$100/sf), is **\$1,854,700** whereas the cost to rehabilitate the first floor as office space and the gymnasium as gymnasium space (\$100/sf) is lightly less at **\$1,755,200**.

Second Floor

The cost of rehabilitating the second floor as residential is **\$945,600** and **\$831,700** as business. This includes \$100/sf for the locker room at the east end of the second floor for both scenarios.

Third Floor plus 4th/5th floor tower spaces

The cost to rehabilitate the 3-5th floors as Residential is **\$1,020,600** and as business is **\$859,000**.

Elevator

An elevator has been added to the plans as a means for making the upper floors more attractive from a useability perspective and to make the units more marketable. It is **not** required by code.



City of Oneonta
ARMORY STRUCTURE REPORT
Oneonta, NY

Cost Summary (all uses include gymnasium as gymnasium)

	Residential Use With Youth Center	Business Use With Youth Center	Business Use No Youth Center
Basement	\$2,231,500	\$2,231,500	\$3,044,700
First Floor	1,854,700	1,755,200	1,755,200
Second Floor	945,600	831,700	831,700
<u>Third—Fifth Floors</u>	<u>1,020,600</u>	<u>859,000</u>	<u>859,000</u>
TOTAL INTERIOR COST	\$6,052,400	\$5,677,400	\$6,490,600
EXTERIOR COST	1,947,590	1,947,590	1,947,590
OVERALL COST	\$7,999,990	\$7,624,990	\$8,438,190

ONEONTA ARMORY - REUSE SURVEY

	TOTAL RESPONSES BY PRIORITY LEVEL												AGGREGATED SCORES	
	0 = LOW 4 = HIGH												CALCULATED SCORE	RANK
	0	% OF 0	1	% OF 1	2	% OF 2	3	% OF 3	4	% OF 4				
APARTMENTS	252	58%	44	10%	40	9%	31	7%	70	16%			497	12
ARTISTS SPACE	232	53%	64	15%	55	13%	48	11%	38	9%			470	13
CAFÉ	206	47%	76	17%	67	15%	51	12%	37	8%			511	10
CHILDREN AND FAMILY OUTREACH SERVICES	88	20%	67	15%	66	15%	92	21%	124	28%			971	2
COMMUNITY SERVICES / RESOURCES / WARMING CENTER	117	27%	70	16%	50	11%	67	15%	133	30%			903	4
COURT FUNCTION	260	59%	58	13%	54	12%	33	8%	32	7%			393	15
CULTURAL CENTER	148	34%	63	14%	71	16%	71	16%	84	19%			754	6
INDOOR MARKET	104	24%	71	16%	61	14%	96	22%	105	24%			901	5
MIXED USE (RESIDENTIAL AND COMMERCIAL SPACE)	208	48%	73	17%	43	10%	41	9%	72	16%			570	8
MUNICIPAL USE	204	47%	87	20%	64	15%	39	9%	43	10%			504	11
MUSEUM/ GALLERIES	169	39%	71	16%	70	16%	55	13%	72	16%			664	7
OFFICES	226	52%	89	20%	72	16%	30	7%	20	5%			403	14
RECREATION	52	12%	52	12%	51	12%	68	16%	214	49%			1214	1
REFUGEE SETTLEMENT	227	52%	57	13%	49	11%	43	10%	61	14%			528	9
RESTAURANT	254	58%	59	14%	65	15%	32	7%	27	6%			393	15
SPECIAL EVENTS	112	26%	65	15%	49	11%	65	15%	146	33%			942	3

ONEONTA ARMORY - REUSE SURVEY

		AGGREGATED SCORES	
		CALCULATED SCORE	RANK
RECREATION		1214	1
CHILDREN AND FAMILY OUTREACH SERVICES		971	2
SPECIAL EVENTS		942	3
COMMUNITY SERVICES / RESOURCES / WARMING CENTER		903	4
INDOOR MARKET		901	5
CULTURAL CENTER		754	6
MUSEUM/ GALLERIES		664	7
MIXED USE (RESIDENTIAL AND COMMERCIAL SPACE)		570	8
REFUGEE SETTLEMENT		528	9
CAFÉ		511	10
MUNICIPAL USE		504	11
APARTMENTS		497	12
ARTISTS SPACE		470	13
OFFICES		403	14
RESTAURANT		393	15
COURT FUNCTION		393	15

ONEONTA ARMORY - REUSE SURVEY

SUGGESTION(S) FOR USE NOT LISTED ABOVE:

CATEGORY SUGGESTION(S):	SUGGESTION(S):	ADDITIONAL COMMENTS ABOUT THE SUGGESTION(S):
Artist Studio Space/ Museum/ Gallery		I have heard nothing about the "artist space" that was supposed to be part of the recent building in the Dietz Street parking lot. If there will not be studio space made available there, I would rejoice to see the Armory turned into a space for artists to work, to sell their products, for museum and gallery space, and for special events to take place. Take a close look at what has happened in places like Rochester and Ithaca for shining examples of mixed property supporting the arts and history of those communities. While we are much smaller than those places, and don't serve such a large population as they do, we can do much better than we are currently. CMHO is on the upswing, but the mansion and carriage house studio are not suitable for many artistic endeavors and events. Footfalls is great too, but again, not suitable for some of these purposes, such as permanent exhibits and working space. Oneonta seems to spend a lot of time and money on studios, re-branding, and the like, but the follow-through is far from satisfactory. (How much was spent on "Oneonta - life enjoyed" and "We're Onta Something?") I attended an event a few years ago that was part of the transformation that led up to the apartment complex built in the Dietz Street parking lot. The information that arose from that session can and should be applied to the potential use for the Armory. It should be utilized as an arts building. Similar to the capital region center for the arts in Troy, Oneonta wants to become an "arts center" and has built housing for artist-but there is no communal studio space for ceramics, glass work, woodwork, etc. in the area. No communal rental space for photographers or designers to use as a studio space. The closest pottery studio is in Cooperstown, and they cater more to the retirement community-leaving people who work 9-5 behind. (Although I do love the smithey! it's just mostly inconvenient.) I personally have been looking in for getting my masters in public admin for arts to work in spaces like I described. Art spaces aren't just beneficial to people who work full time as artist- it's beneficial to the community as a whole!
Bowling	We need a bowling alley again, this would be a great space.	
Casino	Casino	
Children's museum	Children's museum!	I think the space should serve as wide of a variety of people as possible, but especially something for children would be great. A good model would be the Maine Discovery Museum in Bangor, Maine. They took a building and made it 50% housing for the elderly and low income, 50% an amazing children's museum. https://www.mainediscoverymuseum.org/
Community	Should be used for the community Keep as a community center and special use venue. I would love to see this used as a community, family oriented, activity center. A place where hands-on activities occur such as arts & crafts for all ages, sewing lessons, candle making, crocheting/knitting, chess/checkers, board games, food preparation, nutrition, basic finance, etc. Plus there is room for physical activities such as yoga, meditation, sports, etc.	It is time to use this beautiful landmark to support our community. Enough with dog parks and artsy apartments. We saw what an artist space turned into....section 8 instead. Would like to see this building be used for the community use. Kid/Teen center and use for indoor sports leagues for community members. I would also like to see a small childcare service to parents while they attend functions there only.
Daycare	Daycare center to make daycare available and affordable Daycare.	I think it could be a small annual membership fee or fees by individual activity. The building is an attractive and historic asset to the community. It would benefit Oneonta to open it to the public. Oneonta residents could have a beautiful place to shop, eat, or access entertainment. It would also draw baseball visitors/tourists during the summer.
Farmers Market	We have so few child care options...anything would help.	I've always thought the old train station (formerly Stella Luna) should be used for child care / after school / summer programming. Also, someone should buy Emmons farm and open a school focused on art, nature, and science. The space would be good as a year-round site for the Farmers' Market - if only there was any parking available nearby. The lack of parking mitigates against almost all of the uses on the list above. Oneonta has no shortage of restaurants and cafes - no need to add competition (and again, without parking it's probably a moot point). We are about to build artist lofts with no real places for artist to display or work. Also there are a large number of places to eat in Oneonta, but not much recreational opportunities. It would be nice to see this space utilized to empower the community in some way.
Homeless Shelter/ Warming Center	Great space for an indoor farmers market if it has the parking!! How about a place for the homeless, not just the warming center. Some where they can try to get some help to help themselves.	Please nothing to do with artist lofts or refuge let's use it for the people of Oneonta. We have a lot of homeless now. I believe we need to provide more services and areas for our homeless and those who are suffering from addiction. This city simply is lacking in this area. anything that requires parking is out. this is a great location for walk in services such as the warming center, or possibly a shelter.
Housing	Senior housing Affordable Housing Pet friendly affordable living this idea of artise coming here is ridiculous. we should worry about getting housing for local people who work in jobs that are paid very low salaries people work hard and still cant afford to live in oneonta because rents are based around students and baseball people. if locals cant find house they can afford its not right Low income family housing, housing for local adults who are NOT students. Housing. Absolutely housing. Low income housing Food pantry open more than what is offered currently in the city	No more apartments. If it becomes apartments do family housing only. Too many pets are being surrendered because of pet restrictions on housing It would be great as luxury apartments. This might help retain educated / professionals by providing them with luxury decent housing options. Not college housing! That would ruin the building. They wouldn't appreciate the building. And not low income housing! We do not need to flood the region with more worthless junkies who have no means of supporting the economy by supporting local shops, restaurants, etc. The welfare rats have been helped enough. If they can't survive, let them move on to somewhere else. I strongly believe that if it's made into housing, it should be affordable to low/middle income people and allow pets without size restrictions. How is cafe different from restaurant? Any suggested use must be mindful of parking limitations in that neighborhood. Apartments that are affordable to people earning ~\$40k would be most helpful. Enough with the artists already. Oneonta needs more affordable, non-student, non-low income, regular working professional year round apartments. Affordable housing for entry and mid-level workforce must be a priority.
Minority Support		
Mixed Use	This would be a good safe space for minority children teens and adults Multi use could be best. Apartments, offices, community space. We have plenty of performance space and don't want to compete. We have art galleries. A cafe would draw people in. This building needs to do more than just sit there as a residential or commercial space, it should be available to all the community who would like to use the space for any functions they desire. Community space for a variety of purposes: upper level housing, recreation, a cafe, and public multi-use spaces	I'd love to see more places offering safe spaces for marginalized peoples (minorities, low income, homeless, disabled, mental health struggles, people who have been to prison, young adults with no friends or family) to socialize and interact as well as obtain resources and help Over 20% of city residents are below the poverty level. Services for the most vulnerable are severely lacking and underfunded. An indoor marketmall for cafe/restaurants, local businesses, activities, and music etc. would be perfect! I hope the current basketball leagues and other athletic events continue to use the space. I think designing the Armory as a flex space multi purpose facility would serve the community best. Maybe a small cafe/restaurant in one section. A yoga/dance studio or workout room in another. Potentially redesigning the basement and adding turf for indoor soccer or baseball hitting/fielding practice. Renting out as an event space too. Great space please make it of use. Need to use it to increase vitality of downtown It is hard to truly know the best use without having a full idea of the interior layout, or costs/feasibility of updating the space for any of these options. Several options, too, could be combined: "apartments with a cafe and indoor market," for instance, or "restaurant and event center with galleries" or "apartments, artist spaces and offices".. Historic preservation is important to consider at the forefront of any renovation. Luckily this building is on the Historic Register already. It has beautiful historic features like woodwork, an old locker room, etc. that should be embraced and not torn out Mixed use development. City needs jobs and quality housing. I really like the idea of an indoor market, apartments, (or both) or event space, but anything like that is going to be limited greatly by the scarce parking nearby.
Need Parking	Indoor pickleball courts with membership fees, apartments and social gathering space (coffee bar, snacks).	Without parking it's hard to do anything there. Parking is the big deterrent for most choices. Parking is a big concern for what the space is used for. How many "Artist" spaces could we possibly need? We just built artist lofts....and I am yet to see any art. Parking is a concern. Whatever it is used for add convenient parking or a shuttle. These are all fantastic ideas, but the lack of parking/parking potential makes some of the best proposed ventures impractical and/or likely to fail. Linking use to demographics that walk, use public transit, and/or bikes makes the most sense. There is zero parking in that area. As it is people park in Parking Lots they are not allowed to be in and take spaces away from people with handicaps. So...Parking is a huge factor. But the building surely can be utilized for sure... If you could figure out the parking aspect. Please put traffic circles everywhere. The roads around are designed to waste time, energy and fuel. This destroys the environment. The biggest challenge will be parking. Parking is a concern with any of the above possibilities. Oneonta recreation programs like your summer model with the YMCA. Limited nearby parking would be a problem for many of these possible uses. Lack of good parking prohibit some of the uses that it would be good for. Without additional parking available, it is a problem. With the sports teams practicing there, parking was always an issue. As a resident of Academy Street, parking is a huge concern. Several, if not all, of these options need parking available and there isn't enough street parking as is. Please remember that parking is very limited in the area.
Office/ Church Group	There is a new church group that would be interested in renting office and meeting space on a regular basis. (Oneonta Reformed Presbyterian) - 607-437-5068	
Oneonta Teen Center/ Youth Center	Youth Center Teen Center / Expanded Teen Center Use Keep the youth center! Let the Oneonta Teen Center expand into the space. I believe that it can be a great center for blendos to run its basketball league. Also blendos can hold more than one operating sport there as well. I think it needs to be upgraded for maximum recreational use. Especially the floors and new hoops. Continue housing Oneonta Teen Center Continue using for teen center! Maybe add something for younger kids or additional stuff for kids and families to do. We need more indoor things for kids since the bowling alley turned down Teen center Keep using as a teen center. the space is awesome for birthdays and to give teens a safe place to go	The Armory is currently home of the Oneonta Teen Center. Which I think is a great thing for this community. I would leave the building as is. Would a grant be necessary to evaluate the HVAC system? The programs that are being held there are doing wonders for the kids. There's not much for them to nowadays why take something else away. Let's keep it for recreational and keep these kids off the streets. Give them a purpose other than sitting in front of tvs and/or turning to drugs! Improvements would be wonderful! Cam Hayes does an amazing job! Not a smoke shop!!!! There is a lack of places for kids and teens to go, making more event spaces for that age group that are not noah's world age would be great.

		This space has successfully been used for recreational athletic events as well as the Teen Center. This would be the best continued use of this building. Several people individual community members have worked hard to provide these programs. The Oneonta Teen Center housed in the Armory provides a safe space for teens to go and enjoy life without the burden of being exposed to drugs. Club Odyssey also hosts concerts with no cover fee there that are drug AND alcohol free. The Trax Program Finale's are also hosted there and give a creative voice to anyone who wishes to participate.
Preserve the Building	Dont knock it down like every other historical building in this city	It should NOT be demolished. We have lost too many buildings of historic importance and potential here (the Roundhouse being the most tragic in my memory). Please save this building! It is historically and architecturally important and unique! It's good to. Keep. This building alive instead of building another building somewhere else
	Historical	Don't close the Armory. Stop trying to ruin Oneonta, and it's history.
	It's definitely historical and should be saved Please do whatever you can to preserve this historic building	Oneonta has too many Artists / low income areas. The entire city of tax payers should benefit from historic use Don't tear it down!!!
	Preserve the history with like use	it's a shame to see it wasted. It has some neat features that could be preserved in a number of these uses.
School/ Educational Center	School	Oneonta has too many Artists / low income areas. The entire city of tax payers should benefit from historic use Don't tear it down!!!
	A place where they can hold events for the young and old... families... adult Ed classes... trade (hands on) classes... regular weekly events... NO APTS... Dances... Use to be a great place to do the HOME SHOW... big place for many uses Educational center	
Sell it/ Demolish	Sell it. City can't afford it Getting rid of it would be the best option. It is a money pit.	the city needs to get rid of this. Waste of tax money
	Sell the armory. Find a way to do it. The City of Oneonta is the 39th poorest city out of all cities in New York State. The State of New York should allow the sale of the armory due to financial hardship. The City of Oneonta ranks 10th in the numbers of nontaxable properties in the entire State of New York. No payment in lieu of taxes project, no begging for grants... sell it! Tear it down. No appropriate parking available for any of the listed uses. Even when Blendos has a very small event, there is not enough parking. Sell the armory to a private developer.	Tear it down. Don't waste any money on it. It's such a large space that I think it could serve as multiple functions. My number one choice would be for at least part of the building to be used as a homeless shelter. I'm wondering about parking and would like the availability of parking, or where parking might be added, to factor into it's usage. Also, although the structure might "be suitable" for an events center, with venues at the colleges, Foothills, and the pending refurbishment of the Oneonta Theater, I particularly do not think that the community needs any more event centers.
Senior Citizen Center	A senior center, as a place for retirees/senior citizens to gather. More affordable housing for seniors is still great need. Senior citizens gathering place.	Parking is nearly impossible, especially when students are in town.
Shopping	Shopping	
	Moderately priced grocery store. (Okay, hopefully inflation will not last forever.) How about tours of this Historic piece of Oneonta. I imagine there must be a lovely view from the higher floors.	The major problem with this location is lack of parking. Putting in more affordable residential apartments for adults who are not artists is desperately needed in Oneonta, but more parking would be needed for this location to be considered for this option. We also need a grocery alternative to Dollar General and The Green Earth which is in easy walking distance to this area.
	Everyone I shop at Haraford or Price Chopper, I am thinking of all the sales tax dollars drained from the City of Oneonta. If you do intial a market at As C Allison site. It should be middle to high-end and offer quality, variety and value not available elsewhere. The point is to have a grocery that could attract out of town shoppers as well as locals who have a yen for fancy foods, ala Whole Foods. Wegman's seems to be the high-end chain around here - maybe we could partner with them? Any cafe/restaurant should include a food court section within the grocery market to sweeten the deal with any partner we "hand". Low rent retail/commercial for small businesses just starting out... Target	Again, we need to develop venues that attract people from outside of Oneonta to help beef up our tax base. This would involve hitting upon an "identity" not available elsewhere and its associated brand. There seems to be a lot of unused space at the end of Wells Ave and at least one larger abandoned (maybe) brick building; also there is space at the Round House site. Why not consider these locations for development? In SF, a former cannery was repurposed to house a specialty mall, which is one possibility for Oneonta to model. Add a vintage-look carousel, ferris wheel, and other amusements and food and a shuttle to downtown. The point is to attract outsiders, we can't rely only on Oneontans to financially support the town coffers. On a related subject, I believe Oneonta needs a more progressive public transport solution. This could start by assessing whether or not large busses are effective. MY observation is that the city busses are often/usually empty and don't run often enough. Wouldn't it be better to have many, many jitneys in constant motion to so riders rarely wait for more than a few minutes? Then the question becomes how to "encourage" people to give up their cars? One way is to eliminate all public parking downtown (boundries TBD) except for handicapped, delivery, public safety, jitneys/taxis can park for a few minutes. To alleviate street parking in the neighborhoods (which make the town look like a big parking lot - seriously) severely shorten the street parking time to 4-6 hours and no overnight parking. Residents with no driveway will be given parking permit decals. I realize these ideas may seem draconian, but if the goal is to make Oneonta a destination city to live in as well as play in, then it might be worth it. Perhaps these ideas can be tested in just a portion of town?? There are too many student rentals in our area leaving many in the cold. If you use it for residential please do not let it become seasonal or student rentals.
Sports and Recreation	Youth Sports	It is probably best to continue the current uses, but expanding availability for youth sports on the main floor.
	Continue to improve the gym space as indoor sport use during the winter months is limited The Armory is currently home to Soccer and basketball leagues that foster healthy programs for our youth, why should that change? I think the gym gets used to most for basketball. It would be nice if they upgraded the floors and the baskets and add some fresh paint.	
	Add some indoor pickle ball lines for winter uses Continue with the Blendos rec league and the volleyball leagues as they are great for the community.	
	Basketball gym recreational area and sports programs Indoor playground for small children, noahs world is expensive	I think of being used for basketball is helping our community more than more apartments people can't afford which cause more homeless. I played basketball and sports there for over 4 years and so do hundreds of others the building should be recreational and sports place We already have several artist initiatives in this town so recent money. Please do something else. Families need things to do with kids that doesn't cost \$30 for a few hours of play for 2 kids. A recreation center is a great idea. Have the center be open to all ages. The center can offer classes for cooking, art, dance, language classes and etc. The classes can be a reasonable fee or a membership fee. Losing this as a recreational space would be a shame for the city!
	Team up with the YMCA to do pickleball leagues like they do VB Winter basketball tournaments or rec league. Harlem Globe Trotter type community events.	I'd like to see uses that the building is already well suited for. Renovations can be very expensive. The money could better be spent on upgrading the heating and cooling systems to make the building more green. Perhaps with grant money. the gym is invaluable, there is no space like it. This building should be used to honor our local military veterans and fallen heroes from every war in at least part of it. And should be free to use for veterans and their families for events and for scouting functions
	Sports center with archery shooting range bowling ally We need places for children, indoor sports, etc. so many families don't participate because they can't afford the YMCA. Other families are traveling to Albany or Binghamton to get indoor recreation for their children during the winter months How about a place to rent to use for indoor parties. Clark's gym is only \$5 a day and we drive out there to use their indoor facility for the kids to run and play Recreation	We do not need more apartments My children use this space for soccer practice with the Oneonta Soccer Club during the winter months which is a nice alternative to have during the winter months as there are not a lot of options around town during those months. My grandfather played basketball on that court about 75 years ago, still to this day myself along with many others enjoy playing basketball and volleyball at the armory. Would be a shame if the building was not used as a gym. I know that a lot of children throughout many communities use the Armory. Both of my children have used it for soccer practice for many years. While they were practicing I went around Oneonta shopping. I know that many parents do the same thing. Need to get the bathrooms in working order
	Indoor sports court for basketball, volleyball, soccer, etc. Weight room/ gym. Keep the basketball courts for use The gym is used year-round for a community basketball league, and for youth soccer programs. These things bring money to the city, and fulfillment to the community.	Would really like to see this a basketball court usage/center. It's great for our local kids to create social skills. If you decide on apartments it should include 4-5 bedrooms for bigger families.
	We do not really need more cafes. We definitely don't need more municipal or court buildings. Nurture Cam Hayes' basketball league. We need safe places for teens and kids. We need safe places for people to experience the "joy" of life. We need community and culture and a space to join together that is protected and not solely run for profit. Update court and current gym for basketball, indoor soccer and volleyball. Add indoor pickle ball court lines. I am here multiple times a week for soccer practice and volleyball games. How come it's current uses aren't listed? This space serves a purpose for the community to have recreational activities. Losing that would be a big loss for this community.	Oneonta needs a place for special events... such as wwe wrestling... concerts, etc its time we get upto thestandards as Albany... Utica or Binghamton For special events venues, this building is great for things like the OHS Alumni Assn. annual meeting. People need to be able to walk a ways from parking spots. Don't need more "market rate" housing. Families won't move to the "city". Lack of green space & I don't want to carry kids and groceries up flights of stairs. Fix the zombie properties instead. I'm confused by the meaning of "refugee resettlement." Does the suggestion mean space for services to facilitate resettlement or housing for refugees? It would be great to use as a resource to help facilitate resettlement but I'm against using the building for ANY type of housing.
	Indoor playground for all ages that hires teens to help out younger kids, big brother big sister program, something for kids to get off the streets and be more active during winter but not another boys and girls club. Use the money to actually fix the basketball court. This is a literal staple to oneonta for the simple fact that Cam Hayes runs recreational sports out of it. This isn't just for Blendos, Cam holds FREE gym sessions for kids, allows highschool and colleges to practice when their buildings weren't up to par, and ever soccer practices. Special events place would be nice. Special events - a moderate priced Castle wedding and event venue. Class reunions. It is a perfect place for OHS graduates to reunite 🍷🍷🍷🍷🍷🍷	
	No decent music venue. Foothills was planned poorly-not enough seating, seat pitch is poor. Need a venue to have large events (weddings, proms, family reunions)	
Refugee Resettlement	Community refuge center during natural or manmade disasters Please do not make apartments, there are way better uses for this space! Community services or Refugee resettlement are my top suggestions. We have enough needy citizens in Oneonta, let's not worry about refugee resettlement. If a city can not care for their homeless and citizens in need, then they have no business spending taxpayer money on anyone that is not from here. Let's do something special with the space. Not ordinary housing offices or retail. Whatever is put there, please keep it affordable for the City of Oneonta residents that rent it and attend the events and activities. However it is eventually used, it should create income while not costing the taxpayers anything.	
MSC.	Truly, anything for kids! Emergency housing for foster children. Temporary housing for the VA and homeless. I think whatever it is used should produce some income for the city. Possibly be on the tax rolls if it could be sold to a private developer. It should never have been taken over by the city in the first place.	

	<p>"While many of the above uses would be "suitable," my responses indicate my priority use choices</p> <p>*A major factor in determining future uses is whether or not the gymnasium would be left intact</p> <p>*Housing for locals should take priority over housing for refugees</p> <p>*Not sure how compatible a warming center would be with many of the above uses</p> <p>*Nearby parking probably needed for most uses</p>
<p>If there is adequate parking, this would be a safe place for people to conduct service business. Downtown is no longer a safe/conducive place for conducting business. A business hub would be ideal.</p>	<p>Leave it alone .History only happens once ! Omagang got a 1/2 a million dollars for an entrance certain,my you can get money to uphold an icon !</p> <p>If used as a warming station, security would have to be adequate enough due to the teen center's location below. If used as apartments, I think most people would like to see rent controls put in place similar to the artist lofts on Dietz St.</p>
<p>With all of the spaces I did not choose, I feel we already have been adding on without finishing developing what we have. Let's finish our upgrades that are happening with restaurants, retail, etc and use this space to draw people to this area for fun activities, museums, to showcase Oneonta's rich history and offer special events.</p>	<p>Seems that special events like trade shows, antique shows, dances, etc., would be among the least costly in terms of rehab and would also preserve the historical integrity of the building.</p> <p>Oneonta seems to keep rushing forward without completing the many projects started with loose ends and how these projects affect the trajectory of where we need to head next. Family oriented activities need a place in Oneonta and what better venue than our Amory steeped in our wonderful history.</p> <p>You might want to check the restrictions placed on the building when the city bought it!</p>
<p>Shared workspace/livespace. Not exactly standard mixed-use. This model combines a shared workspace (not retail) with apartments.</p> <p>Brewery.</p>	<p>It has had very little if any use for years. Is it cost effective to attempt to rehabilitate it??? Might be smarter to tear it down there is no parking in that area. Lets not have another Gary's folly le Dietz St.</p> <p>Born in oneonta in 89... we don't need more "affordable" apartments at \$1200/month. Give us culture and a farmers/lea market and a place to gather! Thank you!</p> <p>We can't afford anymore public facilities that require government subsidy.</p>
<p>Use for any purpose where the building will return to the tax rolls.</p> <p>Hard to say as have not been inside, but community needs include daycare, conference space, and housing.</p>	



Structural Feasibility Assessment

Prepared for Johnson-Schmidt and Associates, Architects

Oneonta Armory
4 Academy Street
Oneonta, NY



October 2022

Elwyn & Palmer Consulting Engineers PLLC
213 E Seneca Street
Ithaca, NY 14850
607.272.5060
www.elwynpalmer.com



Structural Feasibility Assessment

for

Oneonta Armory 4 Academy Street Oneonta, NY

A. Overview

The subject property is the former New York State National Guard Armory. The building was constructed in 1904 and is located at the northeast corner of Fairview Street and Academy Street in Oneonta. We understand that New York State transferred ownership to the City of Oneonta within the last decade. The building is currently being used by the City of Oneonta for an after school program and for assorted storage.

This report will document the field visit that we completed on September 28, 2022 as a structural engineering sub-consultant to Johnson-Schmidt Architects. During our visit we were accompanied by two representatives from the City of Oneonta including Stephen Yerly from the City Code Enforcement Office. Our observations were limited to what could be readily seen. No ceiling or floor coverings were removed.

B. Building Structural Systems Description

The armory building is a 1-2 story structure with a full basement. A five story tower is located at the southwest corner of the building. The structure is composed of solid brick and stone masonry exterior bearing walls with structural steel beams and columns supporting wood floor joists in the interior. The roof is wood framed with slate roofing. Observations of the floor and roof framing were limited due to the presence of hard ceilings. The basement floor was a concrete slab on grade.

C. Structural Observations

Basement Level

Our tour of the basement level began in the former rifle range. The stone walls appeared in reasonable condition but there were multiple locations where drains that were inside the walls had been exposed and were leaking on to the floor (Photos 1-3). In the basement hallway and in one of the storage rooms there was significant peeling of paint on the ceilings. It was unclear if this was a paint issue or an environmental issue such as humidity (Photo 4). The basement bathroom also had extensive paint peeling and there was a small section of the exterior bathroom wall that had been damaged (Photo 5).

In other areas of the basement, we were able to view the first floor framing. The framing consisted of 3" x 11.5" wood floor joists at 18 inches on-center that were supported on steel

beams and steel columns (Photos 6, 7). All framing we observed appeared to be in good condition.

The basement mechanical room appeared to be in very good condition. Throughout the basement, the concrete floor appeared to be in good condition.

First Floor Level

Our observations of the first floor included some office/storage spaces and the gymnasium. The observations of the office spaces were uneventful. We observed some peeling ceiling paint but nothing overly significant. In the gymnasium we observed the steel trusses that supported the roof (Photo 8). These appeared to be in excellent condition. In most areas the ceiling also appeared to be in good condition. We observed several locations where there had been roof leaks; primarily at eaves and roof steps (Photos 9-12). These are typical locations where roofs often leak if not properly maintained.

Mezzanine

Photos 13-16 were taken at the mezzanine level that is located on the eastern end of the gymnasium. Several roof leaks were noted at changes in roof level or slope. These weren't extensive but are further evidence of an overall problem with the roofing system. Framing for the mezzanine floor was not visible

Second Floor Level

Photos 17-24 were taken from the second floor level. Our observations at the second floor included offices, meeting rooms, and a bathroom. Photos 17 and 18 show evidence of roof leaks. Photo 19 shows a small depression in the 2nd floor bathroom floor that was small in size and depth but noticeable. The cause of this is currently unknown.

Photos 20 and 21 show limited views of the roof framing. While the visible roof framing appeared sound, many members had visible water staining due to roof leaks. Photo 22 shows damage to the flooring from a leaking roof drain. City representatives indicated that they thought it wasn't the drain that was leaking but more likely the roof opening surrounding the drain. Photo 24 shows leaking around the base of a window.

Tower

The five story brick and stone tower is located at the southwest corner of the building. The tower is a masonry bearing wall structure with wood joists as floor framing. Photos 25-28 and Photo 30 show portions of the Tower. The first two stories of the Tower were connected to the building floors at those levels. The third through 5th floor and roof of the Tower are discussed here.

The floor framing in the tower appeared in reasonable condition but was water stained. There appears to have been some modifications to the floor framing including floor infill with plywood and addition of posts near stairways.

Upon further review, the unique framing shown in Photos 26 and 27 may have been part of a flag pole support system. This would have allowed a flag to be flown from above the center of the Tower.

The Tower roof is surrounded by parapets (Photo 30). The roof surface appears to be a ballasted membrane system. A roof drain on the Tower roof appears to be set slightly too high to efficiently keep water from ponding on the roof.

Roof and Chimneys

We were able to observe portions of the roof and two chimneys from the Tower windows (photos 29 and 31). We observed that the brick chimneys required maintenance including re-pointing of the masonry. The roof cricket located behind the parapet appears to need maintenance. Water stains on the roof framing below this cricket indicate it has been leaking. We also noticed a roof penetration that was improperly sealed. A previous photo (Photo 22) shows a roof drain that is leaking to the interior of the building.

Fire Escape and Exit Stair

We observed the fire escape located on the north side of the building and an exterior steel stair located on the east side of the building. The north side fire escape had two sections. The western portion (Photo 37) appeared to have been recently upgraded and many of the bolts looked new. From our observations this portion of the fire escape appeared to be code compliant. The eastern portion of the escape (Photo 38) was quite old. Based on our experience this portion would require upgrade to the railings and possibly to the platform.

Photos 39 and 40 show the steel exit stair located on the east side of the building. As shown in Photo 40 the stair treads and risers appear to be coming apart and should receive immediate maintenance.

Juliet Balcony

The Juliet balcony is located above the main entrance on Academy Street (Photos 41, 42). City personnel indicated that the balcony was unsafe structurally. We were not able to gain access to the balcony itself or able to view the balcony framing. We observed that the balcony railing was deteriorated. We were also told that part of the balcony ceiling contained asbestos.

Exterior Masonry

Overall, the exterior masonry appeared in good condition. There are locations where re-pointing of the brick should be done. There are other localized areas where removal of previous attachments to the brick have left damaged brick. These should also be replaced.

The existing stone masonry is of primary concern. The stone masonry appears to be sandstone and is used for both the lower portions of exterior walls and for lintels (Photos 33-35). The stone has been delaminating with pieces falling to the ground (Photo 36).

C. Summary of Findings

Based on our site visit and our discussion with City personnel, it is our opinion that the building is in reasonable condition. The floors are flat, the walls appear plumb, and there aren't any obvious major structural defects. What we did observe was a building that needs a new or repaired roof and other associated work at the windows to keep water from entering the building. Water entrance into a building will degrade and weaken the building structure over time. We recommend that a new or widely repaired roof be first on the list of upgrades to the building.

The roof drains that are leaking into the rifle range and in the 2nd floor should also be a priority. It wasn't clear to us where the roof drains discharged their water. We recommend that the entire roof drain system, starting at roof level, be checked and repaired or replaced to prevent discharge of rain water into the building or against the building foundation.

We recommend the fire escape that is located on the north side of the building be analyzed to determine if the members are structurally adequate per the building code. As stated previously, it appears the western portion of the fire escape has been recently renovated and appears to be adequate whereas the eastern portion will likely require reinforcement.

The steel exit stair located on the east side of the building should be repaired or replaced as soon as practical. It appears the steel stairs are corroded and are beginning to come apart.

The Tower roof should be investigated for soundness and the drain should be checked. Depending on the plans for the Tower, we recommend a detailed investigation of the floor framing in the Tower due to the multiple floor framing infills, framing additions, and extensive water staining.

The Juliet balcony will need further investigation. As stated previously, City personnel indicated that the balcony floor was unsafe structurally. The ceiling on the underside will need to be removed so a structural assessment can be completed. The balcony flooring looked worn and the balcony railing appeared heavily weathered and in need of replacement.

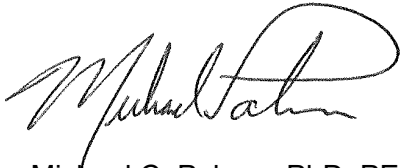
A masonry contractor with expertise in historical structures can be retained to remove the loose pieces from the stone masonry. We also recommend the brick be re-pointed as required and missing or cracked brick be replaced. This masonry work should be done with attention given to matching existing mortar and brick color.

D. Closing

We appreciate the opportunity to be of service on this project. Please call if you have any questions or require additional information.

Sincerely,

ELWYN & PALMER CONSULTING ENGINEERS PLLC

A handwritten signature in black ink, appearing to read 'Michael Palmer', written in a cursive style.

Michael C. Palmer, PhD, PE
Partner

Attachments

PRESENT: Mayor Mark Drnek
Council Member Cecelia Walsh-Russo
Council Member Shannon McHugh
Council Member Kaytee Lipari Shue
Council Member Len Carson
Council Member Scott Harrington (*arrived at 6:04pm, left at 9:20pm, returned at 9:49pm*)
Council Member Bryce Wooden
Council Member Don Mathisen

ABSENT: None.

The regular meeting of the Common Council was called to order at 6:03 pm. Those in attendance stood for the pledge of allegiance.

APPOINTMENT OF FIRST WARD COUNCIL MEMBER

1. **MOTION**, made by Council Member Walsh-Russo and seconded by Council Member McHugh, that the Common Council approves the following resolution:

WHEREAS, because of the resignation of Council Member Luke Murphy, effective June 1, 2024, there exists a vacancy for the position of Council Member – First Ward; and

WHEREAS, the Mayor, pursuant to the provisions of Section C-23 of the City Charter, is given the power, and directed therein, to appoint a person to fill that vacancy until the next general election, subject to the approval of the Common Council; now, therefore,

BE IT RESOLVED, that the Mayor hereby appoints Elayne Mosher-Campoli to fill that vacancy during the unfulfilled term of Ward 1 Council Member Luke Murphy, and the Common Council concurs with that appointment.

This appointment is effective June 4, 2024 and will expire December 31, 2024.

Mayor Drnek asked for discussion.

Council Members inquired about the process for reintroducing the motion and also asked why this was being done prior to the petitioners’ section. The options for allowing public discussion were reviewed (tabling vs withdrawing) and there was no action to withdraw the motion.

MOTION, made by Council Member Lipari Shue and seconded by Council Member Harrington that the motion be tabled to allow for public comment.

Ayes: Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 7-0-0

PETITIONERS

The Common Council received comments from the following people (a “W” after the speaker’s name indicates that written comments were submitted for the record and will be attached to the end of these minutes): Stacey Mitchell; Sean Moundas; Chris Wolf-Gould; Jim Phillips; Bryan Shaughnessy; and Zanna McKay.

MOTION, made by Council Member Lipari Shue and seconded by Council Member Wooden, that motion #1 is untabled.

Ayes: Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 7-0-0

1. **MOTION**, made by Council Member Walsh-Russo and seconded by Council Member McHugh, that the Common Council approves the following resolution:

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BE IT RESOLVED, that the Mayor hereby appoints Elayne Mosher-Campoli to fill that vacancy during the unfulfilled term of Ward 1 Council Member Luke Murphy, and the Common Council concurs with that appointment.

This appointment is effective June 4, 2024 and will expire December 31, 2024.

Mayor Drnek asked for further discussion.

Council Members made additional inquiries to the process and the Mayor referenced an item of correspondence sent that day indicating his desire to hold any votes or discussion on 27 Market St to occur after the person to fulfill the Ward 1 term is elected in November.

Mayor Drnek asked for further discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 7-0-0

SWEARING IN

Council Member Elayne Mosher-Campoli was sworn in and the oath book was signed.

PUBLIC HEARING(S)

- A public hearing was held before the Mayor to receive comments on an ordinance modifying Chapter 21 of the City of Oneonta Municipal Code entitled “Ethics, Code of”. This ordinance was approved by Common Council on May 21, 2024. There was no one wishing to be heard and the public hearing was closed.
- A public hearing was held before the Mayor to receive comments on a local law amending the City of Oneonta Charter to include the Finance and Human Resources Committee as one of the chartered *Committees, Boards and Commissions* of the City. This local law was approved by Common Council on May 21, 2024. There was no one wishing to be heard and the public hearing was closed.

CORRESPONDENCE

City Clerk Harrington read correspondence received from Maureen Daly and representatives from the City’s PBA, Sergeant’s Union and CSEA into the record.

COMMITTEE REPORTS

- Legislative Committee – the Common Council received an update on the Legislative Committee from Council Member Carson.
- Quality of Life and Infrastructure Committee – the Common Council received an update on the Quality of Life and Infrastructure Committee from Council Member Harrington.

APPROVAL OF WARRANTS

2. **MOTION**, made by Council Member Carson and seconded by Council Member Mathisen, that the Common Council approves the warrants totaling \$894,130.82 and that the same be placed on the Director of Finance’s desk for payment, as presented.

Mayor Drnek asked for discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 8-0-0

CONSENT AGENDA

MOTION, made by Council Member Harrington and seconded by Council Member Mathisen, that the Common Council accepts and approves consent agenda items 3-5.

3. **MOTION**, that the Common Council approves the minutes of the regular meeting held May 21, 2024.

4. **MOTION**, that the Common Council authorizes the Director of Finance to accept a gift in the amount of \$500 from an anonymous donor in acknowledgment “that it benefits in many ways from the City of Oneonta”, and authorizes any necessary budget amendments for said acceptance.
5. **MOTION**, that the Common Council approves the Purchasing Agent’s recommendation to extend the unit price bid for 2023 Transit Mix Concrete to the lowest responsive qualified bidder, Otsego Ready Mix, Inc., of Oneonta, NY, for one year, through June 30, 2025. The 2023 bid award included the option to extend for one year.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 8-0-0

DISCUSSION ITEM

6. **MOTION**, made by Council Member Mosher-Campoli and seconded by Council Member Lipari Shue, that the Common Council approves the following resolution:

**City of Oneonta Resolution
Intent to Declare Lead Agency in SEQRA Review**

WHEREAS, 6 NYCRR Part 617 of the State Environmental Review Law requires that a lead agency be established for conducting environmental review of projects in accordance with local and state environmental law; and

WHEREAS, State law specifies that for actions governed by local environmental review, the lead agency shall be that local agency which has primary responsibility for approving and funding or carrying out the action; and

WHEREAS, on September 29, 2023, the City of Oneonta and Town of Oneonta entered an intermunicipal agreement to implement the Oneonta Route 23 and 28 Complete Streets Project; and

WHEREAS, the City of Oneonta was awarded a Transportation Alternatives Program grant by the New York State Department of Transportation (NYSDOT); and

WHEREAS, this project will improve safety, mobility, pedestrian and bicycle accessibility, and community connectivity along the James F Lettis and Leslie G Foster Highway, NY Route 28, and NY Route 23 in the City and Town of Oneonta, which may include additional sidewalks, shared-use paths, lighting, signing, and other improvements; and

WHEREAS, this is an Unlisted action pursuant to the New York State Environmental Quality Review Act (SEQRA), which requires review; therefore, be it

RESOLVED, that the City of Oneonta Common Council, by way of this resolution, is declaring its intent to act as Lead Agency in Environmental Review for the proposed Oneonta Route 23 and 28 Complete Streets Project.

Mayor Drnek asked for discussion.

Council Members inquired about the process and any potential consequences to not acting as lead agency.

Mayor Drnek asked for further discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden

Noes: Council Member Mathisen

Absent: None.

Motion Passes 7-1-0

CITY ADMINISTRATOR’S REPORT

City Administrator Mattice provided a report to the Common Council including the following topics: Glenwood Culvert project completion; Market St Transportation Improvement project update; sidewalk and curb replacement project updates; grant opportunities; LWRP project; WAC and design charettes; and CDBG – lead service replacement update. Council Members asked for additional information on 47 Market St parking and intern use for outreach.

MAYOR’S REMARKS

Mayor Drnek spoke of the previous weekends Memorial Day event; the upcoming Independence Day parade; the start of the Renaissance program; and PrideFest.

DISCUSSION AGENDA

7. Public Safety Billing for Services Provided to Community Events – Council Members, Chiefs of the Police and Fire Departments, and representatives from Hill City Celebrations held a discussion on the costs associated with providing public safety services at community events. This discussion will continue at the Committee level and return at a future Common Council meeting.

The Common Council took a brief break at 7:49pm and reconvened at 7:55pm.

8. Human Resources Staffing Plan – discussion continued on the proposed restructuring of the Human Resources Department. Concerns and conversations surrounding the potential for shared services, compliance and staffing were heard. Chief Witzenburg offered written remarks in support of the restructuring.
9. **MOTION**, made by Council Member Lipari Shue and seconded by Council Member McHugh, that the Common Council establishes the title of Principal Human Resources Specialist, subject to all civil service requirements, allocated to the Administrative Manual salary grade A-4, with a standard workday of eight hours.

Mayor Drnek asked for discussion.

Council Members inquired about the civil service approval process.

Mayor Drnek asked for further discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Mosher-Campoli

Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 8-0-0

10. **MOTION**, made by Council Member Lipari Shue and seconded by Council Member Mosher-Campoli, that the Common Council approves the City Administrator’s temporary appointment of C. David Coury to the position of Principal Human Resources Specialist, at a base annual salary of \$70,000 (Administrative Manual salary grade A-4), effective June 5, 2024, subject to the satisfaction of all applicable civil service and pre-employment requirements.

Mayor Drnek asked for discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 8-0-0

EXECUTIVE SESSION

MOTION, made by Council Member Lipari Shue and seconded by Council Member Harrington, that the Common Council enter into executive session to obtain legal counsel from the City Attorney.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 8-0-0

The Common Council entered into executive session at 8:40pm and exited at 8:55pm by unanimous vote following a motion by Council Member Lipari Shue, seconded by Council Member Mathisen.

The following motion was then offered:

MOTION, made by Council Member Walsh-Russo and seconded by Council Member Mathisen, that the Common Council directs the City Administrator to prepare budget amendment motions necessary to implement the proposed Human Resources office staffing structure to include one full-time Principal Human Resources Specialist, two full-time Human Resources Specialists, and one part-time Human Resources Specialist.

Mayor Drnek asked for discussion.

Council Members expressed interest in simply defunding the HR Director position and not removing the title.

Mayor Drnek asked for further discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Harrington
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: None.

Motion Passes 8-0-0

11. **MOTION**, made by Council Member Mosher-Campoli and seconded by Council Member Wooden, that the Common Council authorizes the submission of a grant application to the NYSDOS Smart Growth Community Planning and Zoning Grant Program for an amount up to \$150,000 to fund the completion of a Comprehensive Plan update for the City of Oneonta, and further authorizes the City Administrator to sign all documents and agreements necessary to execute a grant agreement and complete the project, subject to review by the City Attorney. The Common Council further authorizes a local match of 10% of the total grant award amount, not to exceed \$15,000, and authorizes any necessary budget amendments and transfers.

Mayor Drnek asked for discussion.

Council Member Mathisen inquired what the funding would cover. Information was provided by City Administrator Mattice, Community Development Director Pangman, and Code Enforcement Officer / Deputy Community Development Director Yerly.

Mayor Drnek asked for further discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: Council Member Harrington

Motion Passes 7-0-1

12. **MOTION**, made by Council Member Lipari Shue and seconded by Council Member Mosher-Campoli, that the Common Council authorizes the City Administrator to execute an agreement with Verizon-New York, Inc. for the permanent relocation of underground communications infrastructure located on Market St in association with the City’s Market Street Transportation Improvements projects in the estimated amount of \$52,671.45 to be pre-paid, and authorizes the payment of all actual expenses incurred, not to exceed \$60,000, and further authorizes all necessary budget amendments and transfers. Funding for this expenditure was previously approved by Common Council on December 5, 2023.

Mayor Drnek asked for discussion.

Council Member Carson inquired about the project budget. City Administrator Mattice reported we were “well within” budget and agreed to provide monthly updates to the Common Council.

Mayor Drnek asked for further discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: Council Member Harrington

Motion Passes 7-0-1

13. **MOTION**, made by Council Member Lipari Shue and seconded by Council Member Mathisen, that the Common Council authorizes the City Administrator to execute an agreement with Charter Communications Holdings, LLC for the permanent relocation of underground communications infrastructure located on Market St in association with the City’s Market Street Transportation Improvements projects in the estimated amount of \$117,783.30 to be pre-paid, and authorizes the payment of all actual expenses incurred, not to exceed \$130,000, and further authorizes all necessary budget amendments and transfers. Funding for this expenditure was previously approved by Common Council on December 5, 2023.

Mayor Drnek asked for discussion.

Council Member Lipari Shue made further inquiries about what remains buried underneath the parcel.

Mayor Drnek asked for further discussion and, hearing none, asked the Clerk to call the roll.

Ayes: Council Member Mosher-Campoli
Council Member Walsh-Russo
Council Member McHugh
Council Member Lipari Shue
Council Member Carson
Council Member Wooden
Council Member Mathisen

Noes: None.

Absent: Council Member Harrington

Motion Passes 7-0-1

14. 2023 Year-End Financial Report – Q&A – this item was moved to the June 18th meeting.
15. ARPA Projects – this item was moved to the June 18th meeting.
16. Local Development Corporation – this item was moved to the June 18th meeting.

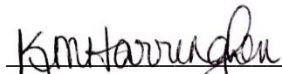
ADDITIONAL BUSINESS / COUNCIL CONSIDERATION

Council Members held further discussion about the following topics: heat emergency plan for the City (with a tie in to Climate Smart Communities) and previous emails which had been sent but not responded to to the Common Council as a whole. Finally, they welcomed Elayne Mosher-Campoli to the Common Council.

ADJOURNMENT

There being no further business to discuss, the regular meeting of the Common Council was adjourned at 9:49 pm.

I, KERRIANN HARRINGTON, City Clerk and Clerk of the Common Council, DO HEREBY CERTIFY that the foregoing is a true and correct report of all motions, resolutions and ordinances passed or enacted, and all other procedures had and taken by the Common Council at the regular meeting held on June 4, 2024.



KERRIANN HARRINGTON, City Clerk

