

**CITY OF WILLOW PARK
ORDINANCE 871 -23**

AN ORDINANCE OF THE CITY OF WILLOW PARK, TEXAS PROVIDING FOR A ZONING CHANGE FROM "C" COMERCIAL AND "IH-20" OVERLAY DISTRICT TO "PD -C" PLANNED DEVELOPMENT DISTRICT AND "IH-20" OVERLAY DISTRICT FOR LOT 1, BLOCK 3, PORTER ADDITION; REPEALING CONFLICTING ORDINANCES; PROVIDING FOR A SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Willow Park, Texas, is a Type A general law municipality located in Parker County, created in accordance with the provisions of Chapter 211 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, BPO Real Estate, LLC (Owner) has applied for a change in zoning for Lot 1, Block 3, Porter Addition, (the "Property") from "C" Commercial and "IH-20" Overlay District to "PD-C" Planned Development District, and

WHEREAS, the City has complied with all requirements of Chapter 211 of the Local Government Code and all other laws dealing with notice, publication and procedural requirements for the rezoning of the Property; and

WHEREAS, The City of Willow Park, Texas does hereby deem it advisable and in the public interest to grant the requested zoning.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:

SECTION 1

The Zoning Ordinance, and the Official Zoning Map are hereby amended insofar as they relate to certain land located in Willow Park, Texas, as shown on the Zoning Site Plan attached hereto as Exhibit 'A', and described by legal description attached as Exhibit 'B', by changing the zoning of said property from C Commercial and IH-20 Overlay District to PD-C Planned Development district, including any other conditions and restrictions imposed and approved by the City Council, which are incorporated herein.

SECTION 2 PD DEVELOPMENT STANDARDS

2.0 Planned Development – Restaurant Use

2.01 General Description: Restaurant use shall be establishments providing dine-in and take out food service to the general public. Access shall be allowed from access drives or parking areas connecting to adjacent public roadways. Requirements for development shall be governed by standards as described below and the City of Willow Park ‘C’ Design Standards (Zoning Ordinance Article 14.06.014). If there are conflicts between the requirements of Article 14.06.014 and these Planned Development requirements, the Planned Development requirements shall govern.

2.02 Multiple Food Service Establishments on a Single Lot:

- Within this Planned Development, Owner shall be permitted by right to develop and operate multiple restaurant concepts, both attached and free standing.
- If multiple food service establishments are constructed, each shall generally conform to the original structure built on the lot from an architectural perspective. Alternate, but complimentary color schemes are permissible.
- Upon submittal for building permit of subsequent food service establishments, it shall be at staff discretion to determine if the architectural and colors scheme proposed meet the intent of the preceding requirement, or if the proposal should be referred to city council for confirmation the proposal meets the intent of this ordinance.

2.03 Permitted Uses:

- All uses permitted in the ‘C’ Commercial Zoning District.
- A “Farmers Market” concept featuring direct sales to consumers on a periodic basis is specifically allowed. The “Farmers Market” is defined as temporary facilities consisting of portable tents, booths, canopies, or similar structures located within the open space or parking lot with local vendors selling produce, craft, and artesian products directly to the general public. The Farmers Market is limited to operational hours of Friday – Sunday on no more than six (6) consecutive weekends, once in the Spring and once in the Fall. Local public health and safety standards must be adhered to at all times. The owners of the project shall notify city staff a minimum of five (5) business days prior to opening a Farmers Market. City may, at their discretion, require the Farmers Market to be located at specific location(s) on the property due to weather or other concerns.

Accessory Uses Allowed:

Accessory buildings compatible with restaurant use
Off-Street Parking
Passive Open Space Greenspace Uses

- 2.04** Required Parking: In accordance with City of Willow Park Development standards.
- 2.05** Overlay District: Subject property is located within the C/IH-20 Overlay District. Provisions of Zoning Ordinance Article 14.06.016 shall apply.
- 2.06** Building Materials: In accordance with City of Willow Park Development standards.
- 2.07** Architectural Standards: In accordance with City of Willow Park Development standards.
- 2.08** Lot Coverage: In accordance with City of Willow Park Development standards.
- 2.09** Building Setbacks: In accordance with City of Willow Park Development standards.
- 2.10** Building Height: In accordance with City of Willow Park Development standards.
- 2.11** Cross Access: Owner shall incorporate vehicular cross-access between subject property and Lot 2, Block 3, Porter Addition into the site plan for the development.
- 2.12** Open Space: Private open space within the subject property and floodplain/ floodway of the Clear Fork Trinity River may be provided within subject property. Owner may use this private open space for recreation opportunities for its patrons, provided no improvement or construction occurs which would impact water flow within the floodway. Overflow parking may be provided within the floodway provided any such parking is approved by City of Willow Park prior to construction.
- 2.13** Garbage and Trash Collection: In accordance with City of Willow Park Development standards.
- 2.13** Landscaping: Landscaping requirements shall be in accordance with the City of Willow Park standard landscaping requirements.
- 2.14** Signage: Signage shall be in accordance with the City of Willow Park standard signage requirements.

SECTION 3 SEVERABILITY CLAUSE

This ordinance shall be cumulative of all provisions of ordinances of the City of Willow Park, Texas except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Willow Park's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment of decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs an sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence paragraph or section.

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**SECTION 4
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law.

PASSED AND APPROVED this the 14th day of March, 2023.

APPROVED:

Doyle Moss
Doyle Moss, Mayor



ATTEST:

Crystal Dozier
Crystal Dozier, City Secretary

The Willow Park City Council in acting on Ordinance No. 871 -23 did on the 14th day of March, 2023 vote as follows:

	FOR	AGAINST	ABSTAIN
Doyle Moss, Mayor	<u> </u>	<u> </u>	<u> </u>
Eric Contreras, Place 1	<u>Absent</u>	<u> </u>	<u> </u>
Chawn Gilliland, Place 2	<u>✓</u>	<u> </u>	<u> </u>
Greg Runnebaum, Place 3	<u>Absent</u>	<u> </u>	<u> </u>
Lea Young, Place 4	<u>✓</u>	<u> </u>	<u> </u>
Nathan Crummel, Place 5	<u>✓</u>	<u> </u>	<u> </u>

**EXHIBIT A
SITE PLAN**

NO.	REVISIONS	DATE

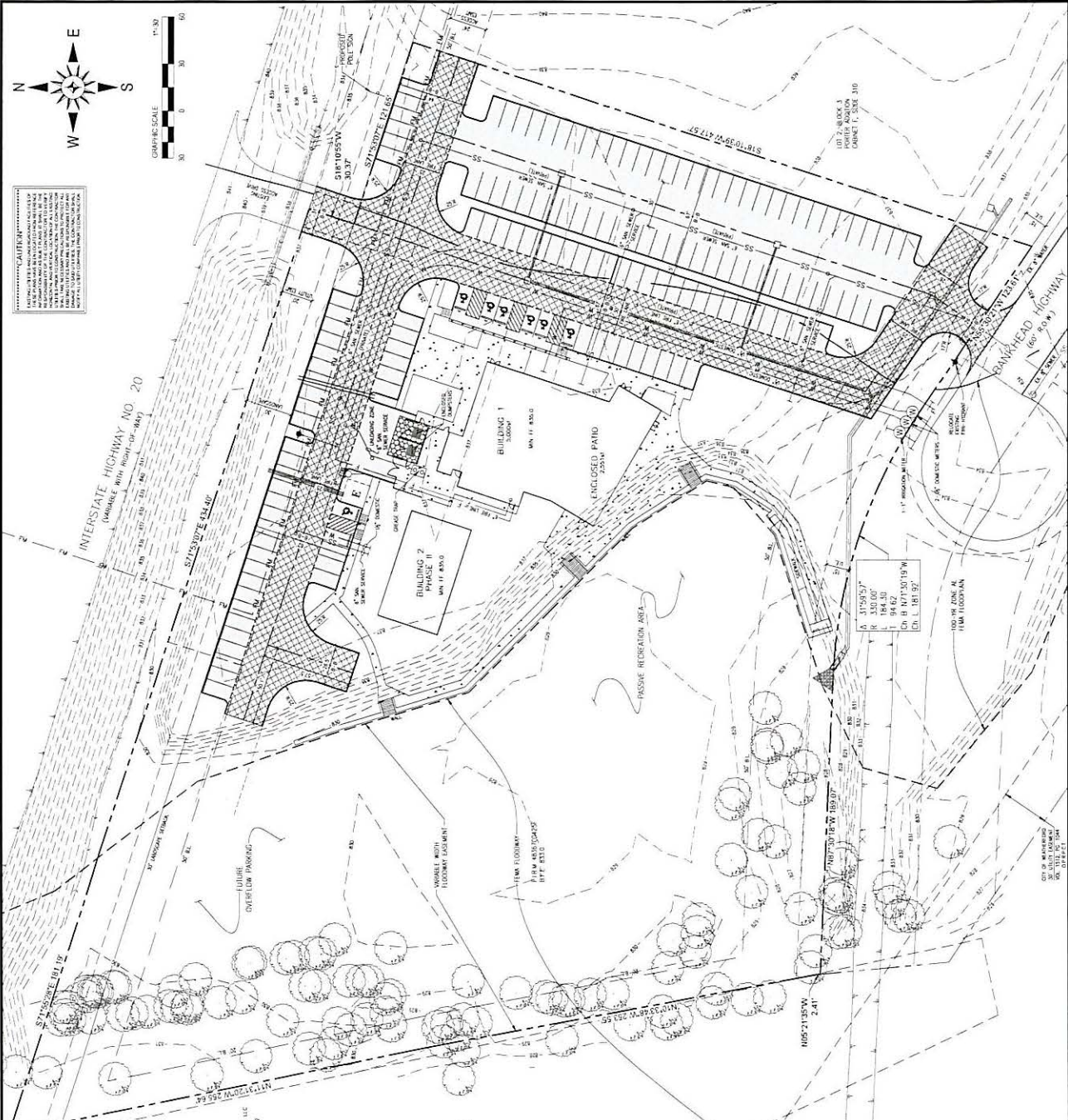
B
Baron-Stark
Engineers



SITE PLAN - STANDARD SERVICE
LOT 1, BLOCK 3, PORTER ADDITION
CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

CLIENT NO.	483
PROJECT NO.	9976
DESIGN	075
DRAWN	075
CHECKED	075
DATE	02/28/2024

C2.0



SITE PLAN DATA TABLE

ACREAGE	5.8468
EXISTING ZONING	COMMERCIAL
PROPOSED USE	RESTAURANT
PROPOSED STRUCTURES	ONE (1) STORY-COMMERCIAL
FAR	4.5%
PERCENT IMPERVIOUS	33.38%
PARKING REQUIRED	1 PARKING SPACES
PARKING PROVIDED	152 (INCLUDES 610)
OPEN SPACE	66.67%

- GENERAL NOTES**
- ALL ROAD SHOWN ARE TO THE BACK OF CURB
 - ALL BACK OF CURB ROAD ARE 3'-0" UNLESS NOTED OTHERWISE
 - ALL PAVED PARKING SPACES ARE MAN ACCESSIBLE AND SHALL MEET T&E/A
 - INTERSECTIONS SHALL BE WISCONSIN, A MINIMUM OF 6" HIGH WITH 8" CONCRETE PAVING AT 3,600 PSI
 - ALL THE LANE PAVING SHALL BE 6" CONCRETE AT 3,600 PSI
 - ALL PAVING PAVING SHALL BE 5" CONCRETE AT 3,600 PSI W/ CURB & GUTTER
 - ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN
 - REFUSE CONTAINERS SHALL BE SCREENED ON THREE SIDES BY CONSTRUCTION OF A MASONRY WALL OF SUFFICIENT HEIGHT TO FULLY SCREEN SAID CONTAINERS. SWAPAR MATERIALS TO THOSE OF THE PRIMARY STRUCTURE AND SHALL BE ENCLOSED ON THE FOURTH SIDE BY AN OPAQUE GATE
 - REFER TO ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.



LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING WATER VALVE
(Symbol)	EXISTING FIRE HYDRANT
(Symbol)	EXISTING MANHOLE
(Symbol)	EXISTING LIGHT POLE
(Symbol)	PROPOSED WATER VALVE
(Symbol)	PROPOSED WATER METER
(Symbol)	PROPOSED MANHOLE
(Symbol)	PROPOSED LIGHT POLE
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	PROPOSED PRE-PAVED PAVING
(Symbol)	PROPOSED CONCRETE PAVING

APPLICANT
BPO REAL ESTATE, LLC
609 S. GOLIAD, ST. UNIT 2410
ROCKWALL, TX, 75087
732-587-5839

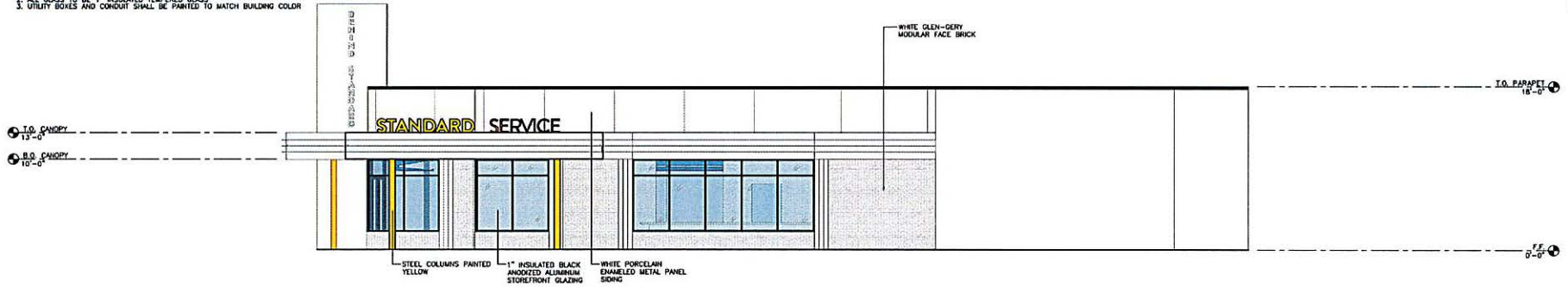
EXHIBIT B
LEGAL DESCRIPTION

Being all of Lot 1, Block 3, Porter Addition, an addition to the City of Willow Park, Texas as recorded in Cabinet F, Slide 310, Plat Records Parker County, Texas.

EXHIBIT C
ARCHITECTURAL DRAWINGS

MATERIAL CALCULATION				
	N. ELEVATION	E. ELEVATION	S. ELEVATION	W. ELEVATION
MASONRY	50%	34%	66%	90%
GLASS	15%	30%	23%	7%
METAL	35%	36%	11%	3%

NOTE:
 1. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. ALL GLASS TO BE 1" INSULATED TEMPERED GLASS
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR



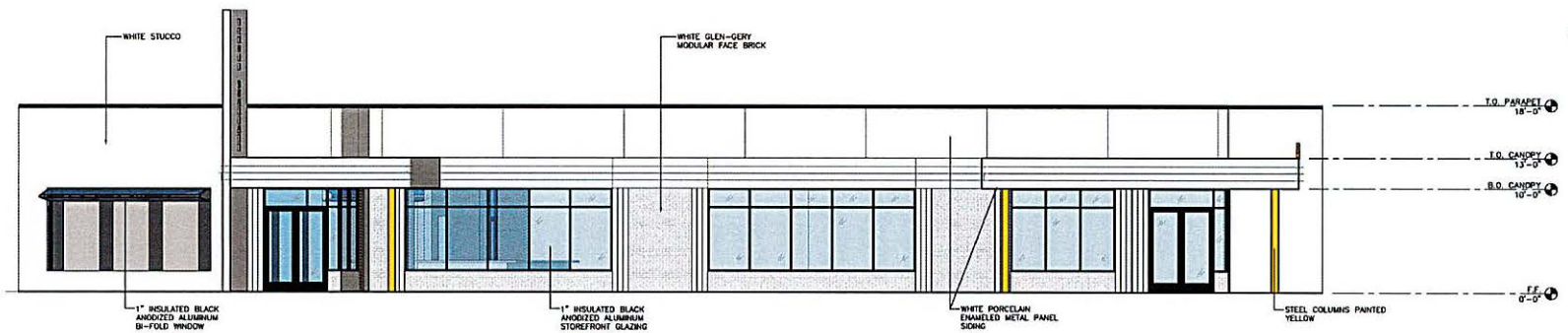
NORTH EXTERIOR ELEVATION

SCALE : 3/16" = 1'-0"

PROJECT NO. : 2212
 DATE : 6/28/2022
 DRAWN BY : MS

REVISIONS :

EXTERIOR ELEVATIONS



EAST EXTERIOR ELEVATION

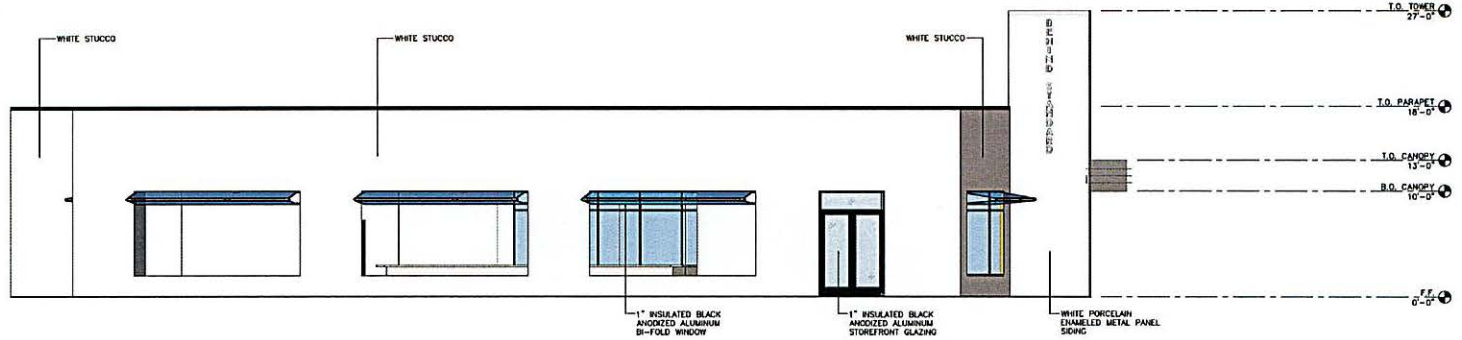
SCALE : 3/16" = 1'-0"

STANDARD SERVICE
 WILLOW PARK, TX

A200

MATERIAL CALCULATION				
	N ELEVATION	E ELEVATION	S ELEVATION	W ELEVATION
MASONRY	50%	34%	66%	90%
GLASS	15%	30%	23%	7%
METAL	35%	36%	11%	3%

- NOTE:
 1. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
 2. ALL GLASS TO BE 1" INSULATED TEMPERED GLASS.
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.



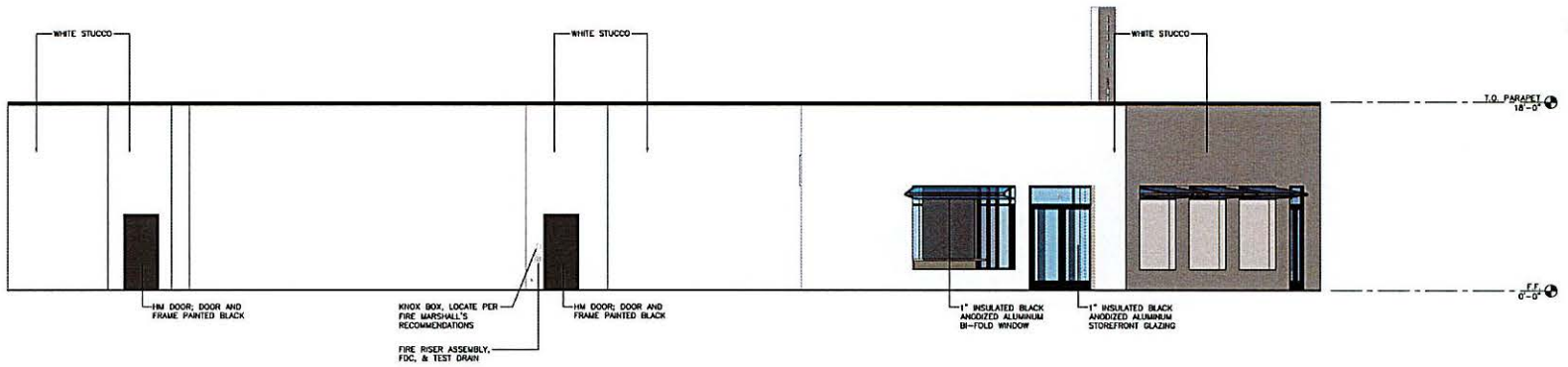
SOUTH EXTERIOR ELEVATION

SCALE : 3/16" = 1'-0"

PROJECT NO. : 2212
 DATE : 6/28/2022
 DRAWN BY : MS

REVISIONS:

EXTERIOR ELEVATIONS



WEST EXTERIOR ELEVATION

SCALE : 3/16" = 1'-0"

STANDARD SERVICE
 WILLOW PARK, TX

A201

STANDARD SERVICE
WILLOW PARK, TX

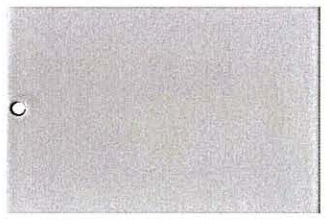
MATERIAL CALCULATION

	1. QUANTITY	2. UNIT	3. EXTENSION	4. TOTAL	5. REMARKS
MASONRY	500	SQ. YD.	345	215	75
CEILING	125	SQ. YD.	345	115	55
METAL	500	SQ. YD.	345	115	55

NOTE: QUANTITY SUBJECT TO ANY REVISIONS BY ARCHITECT. APPROXIMATE.
 ALL SURFACES SHALL BE PAINTED TO MATCH BUILDING COLOR.



GLAZED CERAMIC TILE MASONRY FACE BRICK



WHITE PORCELAIN ENAMELED METAL PANEL BRICK



WHITE STUCCO

STANDARD SERVICE
WILLOW PARK, TX

STANDARD SERVICE
WILLOW PARK, TX

A100

1/1/2011

**EXHIBIT D
LANDSCAPE PLAN**

CITY REQUIREMENTS

LELAND OVERLAY DISTRICT
 1. MINIMUM TREE CALIBER SHALL BE 4" DBH.
 2. MINIMUM TREE HEIGHT SHALL BE 12'-0".
 3. MINIMUM TREE SPACING SHALL BE 12'-0".
 4. MINIMUM TREE SPACING SHALL BE 12'-0".
 5. MINIMUM TREE SPACING SHALL BE 12'-0".
 6. MINIMUM TREE SPACING SHALL BE 12'-0".
 7. MINIMUM TREE SPACING SHALL BE 12'-0".
 8. MINIMUM TREE SPACING SHALL BE 12'-0".
 9. MINIMUM TREE SPACING SHALL BE 12'-0".
 10. MINIMUM TREE SPACING SHALL BE 12'-0".

PLANTLIST

SYM	SPACING	QTY	SIZE	HT	SP	NOTES
CE	CLERMONT	3	4" CAL.	12-14'	5-6'	BURGESS GARDEN
CO	CHINA PEAR	3	4" CAL.	12-14'	5-6'	BURGESS GARDEN
LO	LILAC	14	4" CAL.	12-14'	5-6'	BURGESS GARDEN
IB	IBERIS	7	4" CAL.	12-14'	5-6'	BURGESS GARDEN
CH	CHERRY	7	4" CAL.	12-14'	5-6'	BURGESS GARDEN
CP	CRABAPPLE	7	4" CAL.	12-14'	5-6'	BURGESS GARDEN
HP	HONEYLOCUST	7	4" CAL.	12-14'	5-6'	BURGESS GARDEN
SE	STEEL EDGING	424	10" H.T.	13"	13"	DETAIL THIS SHEET

LANDSCAPE NOTES

1. PLANT LIST FOR THIS SHEET ONLY.
2. CONTRACTOR TO VERIFY ALL QUANTITIES AND SPACING.
3. ALL TREES AND PLANTS TO BE PLANTED WITH PROPER SPACING AND MAINTENANCE ACCESS.
4. ALL TREES AND PLANTS TO BE PLANTED WITH PROPER SPACING AND MAINTENANCE ACCESS.
5. ALL TREES AND PLANTS TO BE PLANTED WITH PROPER SPACING AND MAINTENANCE ACCESS.
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9. ALL TREES AND PLANTS TO BE PLANTED WITH PROPER SPACING AND MAINTENANCE ACCESS.
10. ALL TREES AND PLANTS TO BE PLANTED WITH PROPER SPACING AND MAINTENANCE ACCESS.

LANDSCAPE LEGEND

EXISTING LANDSCAPE
 PROPOSED LANDSCAPE
 (SEE NOTE BELOW)

