



**ORDINANCE NO. 894-24**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS ANNEXING APPROXIMATELY 10.95 ACRES OF LAND PURSUANT TO SECTION 43.1055, SUBCHAPTER C-1 OF CHAPTER 43 OF THE TEXAS LOCAL GOVERNMENT CODE, AND PROVIDING FOR THE EXTENSION OF THE BOUNDARY LIMITS OF SAID CITY SO AS TO INCLUDE SAID 10.95 ACRES WITHIN THE CITY LIMITS, AND GRANTING TO SAID PROPERTY AND TO ALL FUTURE INHABITANTS OF SAID PROPERTY ALL OF THE RIGHTS AND PRIVILEGES OF OTHER CITIZENS AND BINDING SAID FUTURE INHABITANTS BY ALL OF THE ACTS AND ORDINANCES OF THE SAID CITY; APPROVING AN ANNEXATION SERVICE PLAN FOR THE AREA; DIRECTING FILING OF A CERTIFIED COPY OF THE ORDINANCE AND ANNEXATION SERVICE PLAN WITH THE PARKER COUNTY CLERK; AND DECLARING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Willow Park (the “City”), at its meeting on November 14, 2023, passed a resolution declaring the City’s intent to annex approximately 7,815 feet of East Bankhead Highway, comprising approximately 10.95 acres of land (the “Annexed Property”) into the territorial limits of the City pursuant to Section 43.1055 of the Local Gov’t Code, in accordance with the procedures provided under Subchapter C-1 of Chapter 43 of the Local Gov’t Code; directing staff to prepare a Service Plan for the Annexed Property; and scheduling two (2) public hearings on the proposed annexation for December 12, 2023; and

**WHEREAS**, the City received a request to annex the Property from Parker County, the political subdivision that maintains the East Bankhead Highway right-of-way, in accordance with Section 43.1055 (c) of the Local Gov’t Code; and

**WHEREAS**, at its December 12, 2023 meeting, the City Council conducted two public hearings on the proposed annexation of the Annexed Property, after properly publishing notice of the public hearings in the Community News, a newspaper having general circulation in the City, on or after the 20<sup>th</sup> day but before the 10<sup>th</sup> day before the public hearings, and the public hearings gave all interested persons the right to appear and be heard on the proposed annexation; and

**WHEREAS**, the above-mentioned public hearings were conducted not more than forty (40) days nor less than twenty (20) days prior to the institution of annexation proceedings; and

**WHEREAS**, the Annexed Property is contiguous and adjacent to the territorial boundaries of the City;

**WHEREAS**, the requirements for annexation of the Annexed Property as stated in Chapter 43 of the Texas Local Government Code have been met;

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:**

**Section 1.** That the Annexed Property, comprised of approximately 10.95 acres, and described and depicted in attached Exhibit “A,” which is incorporated herein as though set out in full, is hereby annexed to the City of Willow Park, Parker County, Texas, and that the boundary limits of the City of Willow Park be, and the same, hereby, are extended to include the Annexed Property within the city limits of the City of Willow

Park, and the same shall hereafter be included within the territorial limits of said city, and the inhabitants thereof shall hereafter be entitled to all the rights and privileges of other citizens of the City of Willow Park, and they shall be bound by the acts, ordinances, resolutions, and regulations of said city.

**Section 2.** That the Annexation Service Plan, a copy of which is attached hereto as Exhibit "B", is approved for the Annexed Property and is the service plan for the Annexed Property.

**Section 3.** The City Secretary is hereby directed to file with the County Clerk of Parker County, Texas, a certified copy of this Ordinance, along with a copy of the Annexation Service Plan attached hereto as Exhibit "B".

**Section 4.** This Ordinance shall be effective upon its approval and adoption by the City Council on the date set forth below.

**PASSED AND APPROVED** on this the 9<sup>th</sup> day of January, 2024.

  
DOYLE MOSS, Mayor

ATTEST:

  
CRYSTAL DOZIER, City Secretary

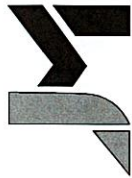


APPROVED AS TO FORM:

  
WILLIAM P. CHESSER, City Attorney

The Willow Park City Council, acting on Ordinance No. 894-24, did on the 9<sup>th</sup> day of January, 2024 vote as follows:

	<u>FOR</u>	<u>AGAINST</u>	<u>ABSTAIN</u>
Doyle Moss	_____	_____	_____
Eric Contreras, Place 1	____/____	_____	_____
Chawn Gilliland, Place 2	____/____	_____	_____
Greg Runnebaum, Place 3	____/____	_____	_____
Lea Young, Place 4	____/____	_____	_____
Nathan Crummel, Place 5	____/____	_____	_____






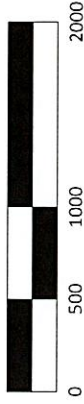
**JACOB  
MARTIN**

TBPLS FIRM# 10194493 FIRM# F-2448

3465 CURRY LANE  
ABILENE, TX 79606  
325-695-1070  
1925 FORT WORTH HWY.  
WEATHERFORD, TX 76086  
817-594-9880  
1014 BROADWAY STREET  
LUBBOCK, TX 79414  
806-368-6375

# EXHIBIT "A"

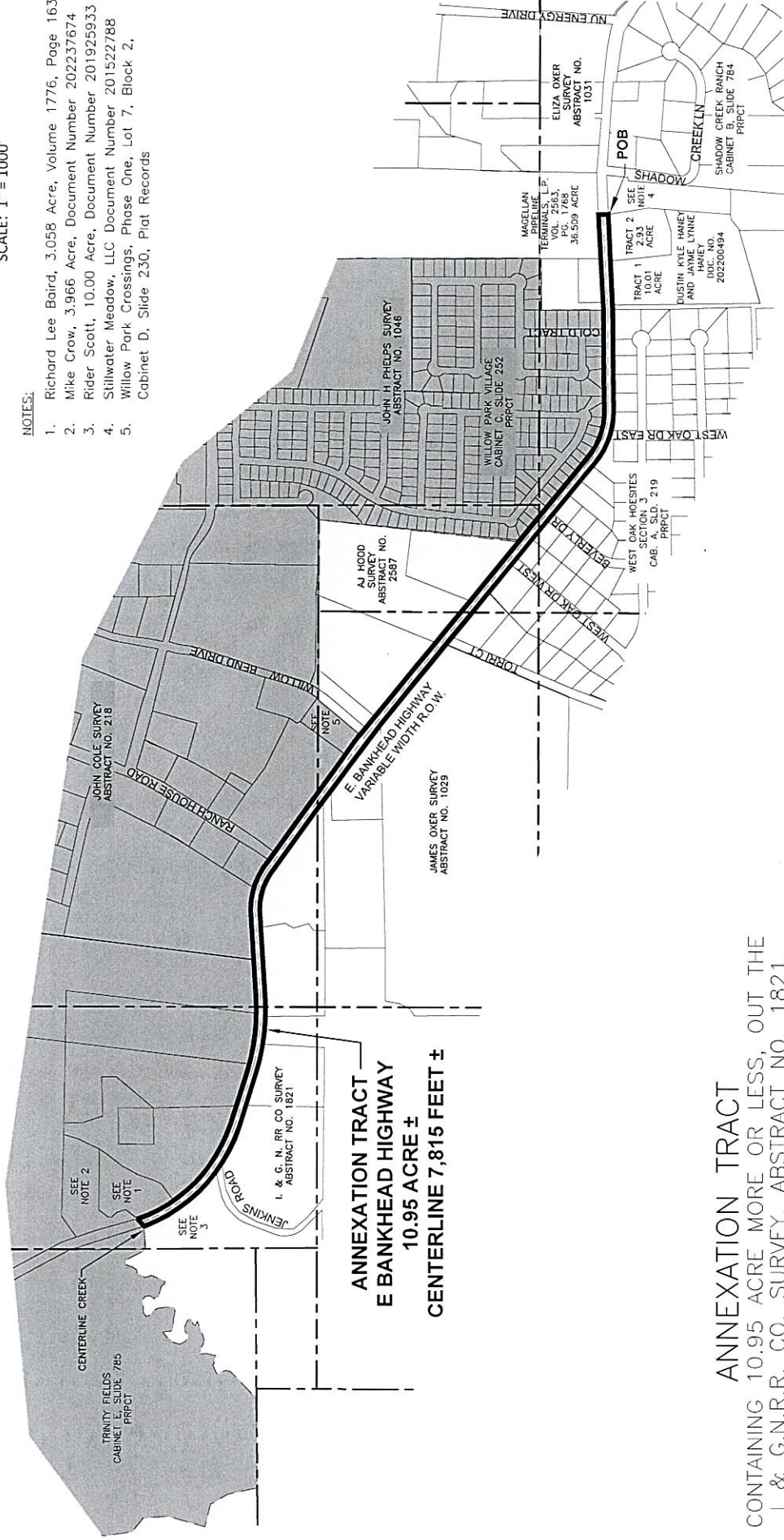
-  WILLOW PARK CITY LIMITS
-  ANNEXATION TRACT (BOLD)
-  SURVEY LINES



SCALE: 1" = 1000'

### NOTES:

1. Richard Lee Baird, 3.058 Acre, Volume 1776, Page 1637
2. Mike Crow, 3.966 Acre, Document Number 202237674
3. Rider Scott, 10.00 Acre, Document Number 201925933
4. Stillwater Meadow, LLC Document Number 201522788
5. Willow Park Crossings, Phase One, Lot 7, Block 2, Cabinet D, Slide 230, Plat Records



## ANNEXATION TRACT

CONTAINING 10.95 ACRE MORE OR LESS, OUT THE  
 I & G.N.R.R. CO. SURVEY, ABSTRACT NO. 1821,  
 JOHN COLE SURVEY, ABSTRACT NO. 218,  
 JAMES O'XER SURVEY, ABSTRACT NO. 1029,  
 A.J. HOOD SURVEY, ABSTRACT NO. 2587, AND  
 ELIZA O'XER SURVEY, ABSTRACT NO. 1031;  
 PARKER COUNTY, TEXAS

DRAWING COMPLETED: OCTOBER 26, 2023

**EXHIBIT A**  
**ANNEXATION TRACT**  
**METES AND BOUNDS DESCRIPTION**

**BEING** 7815 feet more or less of East Bankhead Highway (a variable width right-of-way) out of the following Surveys and Abstracts in Parker County, Texas: I & G.N.R.R. Co. Survey, Abstract No. 1821, John Cole Survey, Abstract No. 218, James Ozer Survey, Abstract No. 1029, A.J. Hood Survey, Abstract No. 2587, And Eliza Ozer Survey, Abstract No. 1031;

**BEGINNING** at a point being in the Eliza Ozer Survey, Abstract No. 1031, in the south right-of-way line of said East Bankhead Highway, being the northeast corner of a 2.93 acre tract, Tract Two, conveyed in Warranty Deed with Vendor's Lien, to Dustin Kyle Haney and Jayme Lynne Haney, recorded in Document Number 202200494, Official Public Records, Parker County, Texas, same being the northwest corner of a 3.549 acre tract conveyed in a Warranty Deed with Vendor's Lien to Stillwater Meadow, LLC recorded in Document Number 201522788, Official Public Records, Parker County, Texas, from which a ½ inch rebar rod for the northeast corner of said 3.549, same being in the west line of Shadow Creek Lane, bears N87°05'53"E 261.34 feet, being the southeast corner of this described tract;

**THENCE** northwesterly along the south and southwesterly right-of-way line of said East Bankhead Highway, crossing said AJ Hood Survey, James Ozer Survey, John Cole Survey, 7850 feet more or less to a point in the center of a creek, being in said I & G.N.R.R. Co. Survey, Abstract No. 1821, being on the existing City of Willow Park City Limits Line, same being the northeast corner of a 10.0 acre tract conveyed in Special Warranty Deed to Rider Scott, recorded in Document Number 201925933, Official Public Records, Parker County, Texas, same being the southeast corner of Trinity Fields, and addition to the City of Willow Park, recorded in Cabinet E, Slide 785, Plat Records, Parker County, Texas, for the southwest corner of this described tract;

**THENCE** crossing said East Bankhead Highway with the center of said creek, along the existing City of Willow Park City Limits Line, being the most westerly corner of a 3.058 acre tract conveyed in Warranty Deed with Vendor's Lien, to Richard Lee Baird, recorded in Volume 1776, Page 1637, Deed Records, Parker County, Texas, same being the most southerly southwest corner of a 3.966 acre tract conveyed in a Revocable Transfer on Death Deed, to Mike Crow, recorded in Document Number 202237674, Official Public Records, Parker County, Texas, and being an ell corner for the existing City of Willow Park, Texas, City Limits Line, being the northwest corner of this described tract;

**THENCE** in an southeasterly direction along the common line of said easterly and northerly right-of-way line of said East Bankhead Highway and the City of Willow Park City Limits Lines to a point being at the northwest intersection of said East Bankhead Highway and west right-of-way of Willow Bend Drive, being the most southerly southeast corner of Lot 7, Block 2, Willow Park Crossing, Phase One, recorded on Cabinet D, Slide 230, Plat Records, Parker County, Texas, and being an ell corner for where the said City Limits Line departs said East Bankhead Highway to the northeast along said west right-of-way of Willow Bend Drive;

**THENCE** continuing southeasterly with the northeasterly line of said East Bankhead Highway, to a point for the southwest corner of Willow Park Village, an addition in the City of Willow Park, Recorded in Cabinet C, Slide 252, Plat Records, Parker County, Texas, and being a point for an ell corner where the existing City of Willow Park City Limits joins said Bankhead Highway from the north;

**THENCE** continuing southeasterly with common line of the northeasterly line of said East Bankhead Highway, the southerly line of said Willow Park Village, and City of Willow Park City Limits Line, to a point for the most southerly southeast corner of said Willow Park Village, same being the southwest corner of Box 4 Storage and Retail, an addition recorded in Cabinet E, Slide 575, Plat Records, Parker County, Texas, and being an ell corner for which the City of Willow Park City Limits Line departs Bankhead Highway to the north;

**THENCE** continuing along the northerly line of said East Bankhead Highway to a point being in the south line of a 36.509 acre tract conveyed is a Special Warranty Deed, to Magellan Pipeline Terminals, L.P. recorded in Volume 2563, Page 1768, Official Public Records, Parker County, Texas, and being at right angles from the northeast corner of said Haney 2.93 acre tract, Tract Two, from which the southeast corner of said 36.509 acre tract, approximately bears, N86°34'17"E 79.2 feet and N87°45'50"E 201.1 feet;

**THENCE** crossing said East Bankhead Highway to the **POINT OF BEGINNING**, containing 10.95 acres more or less.

**EXHIBIT “B”**

**SERVICES TO BE PROVIDED TO ANNEXED LAND**

**MUNICIPAL SERVICE PLAN**

**TERRITORY**

This Service Plan is applicable to the territory, an approximately 10.95 acre tract, which is described in the Annexation Ordinance attached to this document, which is being annexed by the City of Willow Park, Texas.

**INTENT**

It is the intent of the City of Willow Park that this Service Plan shall provide for the delivery of full available municipal services to the annexed area in accordance with State law. The failure of this plan to describe any particular service shall not be deemed to be an attempt to omit the provision of such services from the annexed area. The delivery of municipal services may be accomplished through any means permitted by law.

**EFFECTIVE TERM**

This Service Plan shall be in effect for a ten-year period commencing on the effective date of this annexation.

**FIRE**

*Existing Services:* Parker County Emergency Services District No. 1

*Services to be Provided:* Fire suppression will be available to the area upon annexation. Primary fire response will be provided by the Parker County Emergency Services District No. 1 station, located at 101 Stagecoach Trail. Adequate fire suppression activities can be afforded to the annexed area within current budget appropriation. Fire prevention activities will be provided by the City Fire Marshall’s office.

**POLICE**

*Services to be Provided:* Currently, the area is under the jurisdiction of the Parker County Sheriff’s Office. Upon annexation, the City of Willow Park Police Department will extend regular and routine patrols to the area. It is anticipated that the implementation of police patrol activities can be effectively accommodated within the current budget and staff appropriation.

**BUILDING INSPECTION**

*Existing Services:* None

*Services to be Provided:* The Building Inspection Department will provide Code Compliance Services upon annexation. This includes issuing building, electrical, mechanical and plumbing permits for any new construction and remodeling, and enforcing all other applicable codes which regulated building construction within the City of Willow Park.

## **PLANNING AND ZONING**

*Existing Services:* None

*Services to be Provided:* The Planning and Zoning Department's responsibility for regulating development and land use through the administration of the City of Willow Park Zoning Ordinance will extend to this area on the effective date of the annexation. The property will also continue to be regulated under the requirements of the City of Willow Park Subdivision Ordinance. These services can be provided within the department's current budget and staff appropriation.

## **HEALTH CODE ENFORCEMENT SERVICE**

*Services to be Provided:* The City of Willow Park will implement the enforcement of the City's health ordinances and regulations on the effective date of the annexation. Such services can be provided with current personnel and within the current budget appropriation.

## **STREET**

*Existing Services:* County Street Maintenance

*Services to be Provided:* Roads, streets or alleyways that have been dedicated to the City or which are owned or acquired by the City shall be maintained to the same degree and extent that other roads, streets, and alleyways are maintained in areas with similar topography, land use, and population density on the effective date of the annexation, except to the extent the public roads or streets are maintained by Parker County or the State of Texas. This service can be provided within the current budget appropriation.

## **STORM WATER MANAGEMENT**

*Services to be Provided:* Developers will provide storm water drainage improvements at their own expense and will be inspected by the City Engineers at the time of completion. The City will then maintain the drainage improvements, upon approval, and acceptance.

## **STREET LIGHTING**

*Services to be Provided:* The City of Willow Park will coordinate any request for improved street lighting within the local electric provider in accordance with standard policy.

## **TRAFFIC ENGINEERING**

*Services to be Provided:* The City of Willow Park Public Works Department will provide, after the effective date of annexation, any additional traffic control devices.

## **WATER SERVICE**

*Services to be Provided:* Water service to the area will be provided in accordance with applicable codes and departmental policy. When property develops in the area, water service shall be provided in accordance with utility extension ordinances. Extension of service shall comply with City codes and ordinances.

## **SANITARY SEWER SERVICE**

*Services to be Provided:* Sanitary sewer service to the area will be provided in accordance with applicable codes and departmental policy. When property develops in the area, sanitary sewer service shall be provided in accordance with utility extension ordinances. Extension of service shall comply with City codes and ordinances.

## **SOLID WASTE SERVICES**

*Services to be Provided:* Solid Waste Collection shall be provided to the area upon annexation in accordance with the present ordinance. Service shall comply with existing City policies, beginning with occupancy of structures.

## **MISCELLANEOUS**

All other applicable municipal services will be provided to the area in accordance with the City of Willow Park's established policies governing extension of municipal services to newly annexed areas.





City of Willow Park  
120 El Chico Trail, Suite A  
Willow Park, Texas 76087  
Phone: (817) 441-7108 · Fax: (817) 441-6900

January 16, 2024

Parker County Clerk  
Attn: Lila Deakle  
1112 Santa Fe Drive  
Weatherford, TX 76087

Re: Annexation Ordinance

Dear Ms. Deakle:

I, Crystal Dozier, City Secretary of the City of Willow Park, Texas do hereby certify that the attached annexation ordinance is a true and correct copy of Ordinance No. 894-24 approved by the City of Willow Park City Council on January 9, 2024.

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Crystal Dozier, TRMC, CMC  
City Secretary  
City of Willow Park

**FILED AND RECORDED**

OFFICIAL PUBLIC RECORDS

202401144  
01/16/2024 01:13 PM  
Fee: 57.00  
Lila Deakle, County Clerk  
Parker County, TX  
ORDINANCE